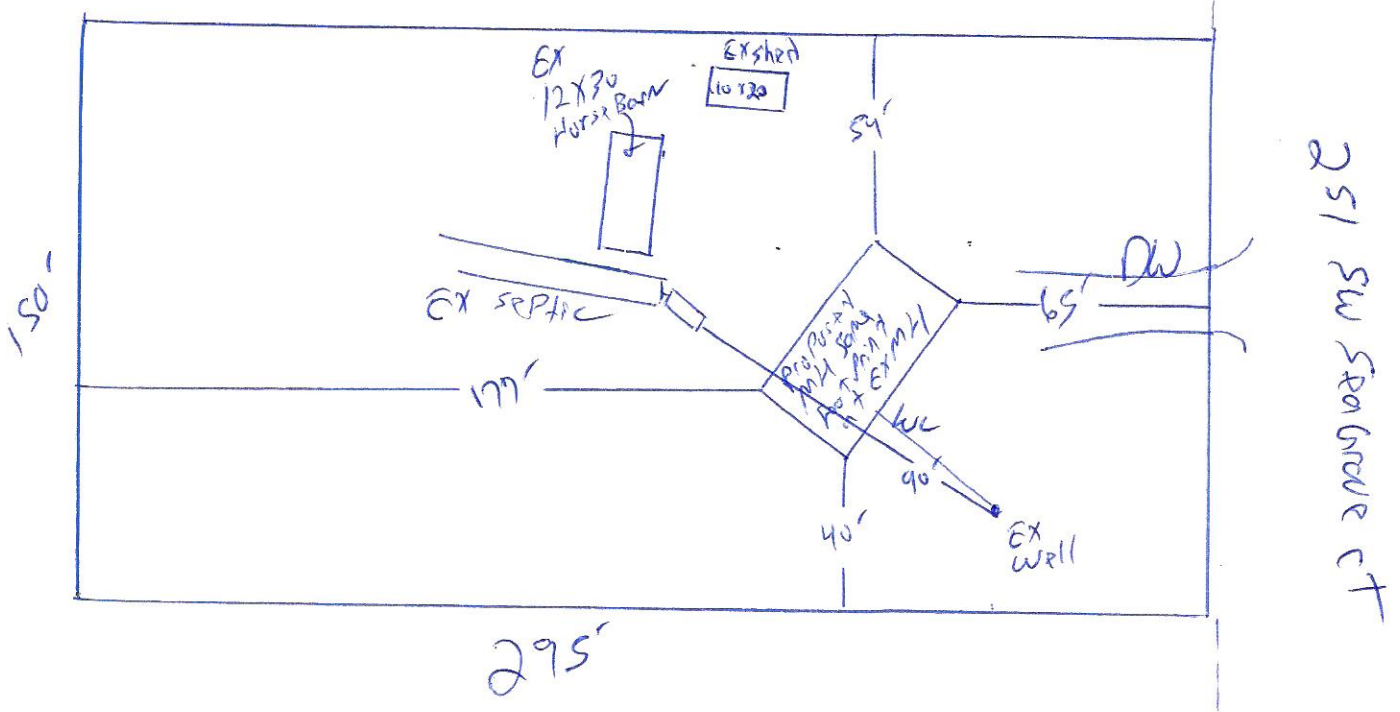


STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number _____

1"=58'

PART II - SITEPLAN



Notes: 295' to Portinent Features

Site Plan submitted by: J. H. Hender

Plan Approved _____ Not Approved _____ Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Columbia County Property Appraiser

updated: 8/12/2020

Parcel: 33-6S-16-04049-015

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel

Next Higher Parcel >>

2019 TRIM (pdf)

Interactive GIS Map

Print

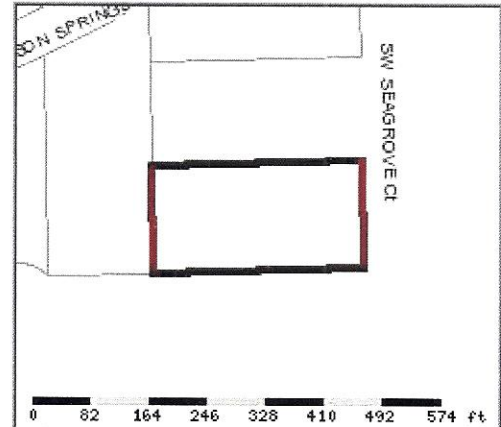
Owner & Property Info

<< Prev

Search Result: 3 of 5

Next >>

Owner's Name	NORTHERN ALACHUA HOLDINGS LLC		
Mailing Address	20638 NW 78TH AVE ALACHUA, FL 32615		
Site Address	251 SW SEAGROVE CT		
Use Desc. (code)	VACANT (000000)		
Tax District	4 (County)	Neighborhood	16
Land Area	0.000 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. COMM SW COR OF SEC, RUN E 400 FT, N 527.13 FT TO SE'LY R/W WILSON SPRINGS RD, RUN NE ALONG R/W 371.55 FT, S 238.87 FT FOR POB, RUN E 295 FT TO W R/W OF A 60-FOOT RD, S 150 FT, W 295 FT, N 150 FT TO POB. (AKA LOT 15 FORT WHITE ACRES UNREC) ORB 767-1922, 785-320 TD 1058-2662. ORB 1091-1995 (QUIET TITLE), WD 1148-2405		

**Property & Assessment Values**

2019 Certified Values		
Mkt Land Value	cnt: (0)	\$14,618.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$14,618.00
Just Value		\$14,618.00
Class Value		\$0.00
Assessed Value		\$14,618.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$14,618 Other: \$14,618 Schl: \$14,618	

2021 Working Values		
Mkt Land Value	cnt: (0)	\$14,618.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$14,618.00
Just Value		\$14,618.00
Class Value		\$0.00
Assessed Value		\$14,618.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$14,618 Other: \$14,618 Schl: \$14,618	

NOTE: 2021 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/17/2008	1148/2405	WD	V	U	01	\$100.00
9/12/2005	1058/2662	TD	V	U	01	\$16,500.00
12/31/1993	785/320	QC	V	U	01	\$0.00
11/4/1992	767/1922	AG	V	U	13	\$5,250.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1 LT - (00000000.000AC)	1.00/1.00/1.00/1.00	\$11,368.00	\$11,368.00
009945	WELL/SEPT (MKT)	1 UT - (00000000.000AC)	1.00/1.00/1.00/1.00	\$3,250.00	\$3,250.00

Columbia County Property Appraiser

updated: 8/12/2020

Ronnie Brannon

Ad Valorem Taxes and Non-Ad Valorem Assessments

Columbia County Tax Collector

REAL ESTATE 2019 33248

Account Number	Payor	Exemptions	Taxable Value	Millage Code
R04049-015		See Below	See Below	004

NORTHERN ALACHUA HOLDINGS LLC
20638 NW 78TH AVE
ALACHUA FL 32615

33-6S-16 0000/0200 COMM SW COR OF
SEC, RUN E 400 FT, N 527.13 FT TO
SE'LY R/W WILSON SPRINGS RD, RUN NE
ALONG R/W 371.55 FT, S 238.87 FT
FOR POB, RUN E 295 FT TO W R/W OF A
60-FOOT RD, S 150 FT, W 295 FT, N
150 FT TO POB. (AKA LOT 15 FORT
WHITE ACRES See Tax Roll For Extra
Legal

Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	8.0150	14,618		\$14,618	\$117.16
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	14,618		\$14,618	\$10.93
LOCAL	3.9880	14,618		\$14,618	\$58.30
CAPITAL OUTLAY	1.5000	14,618		\$14,618	\$21.93
SUWANNEE RIVER WATER MGT DIST	0.3840	14,618		\$14,618	\$5.61
LAKE SHORE HOSPITAL AUTHORITY	0.9620	14,618		\$14,618	\$14.06
Total Millage		15.5970	Total Taxes		\$227.99

Non-Ad Valorem Assessments		
Code	Levyng Authority	Amount
FFIR	FIRE ASSESSMENTS	\$219.98
Total Assessments		\$219.98
Taxes & Assessments		\$447.97



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

LICENSED QUALIFIER AUTHORIZATION

I, ROY M. HARVEY (license holder name), licensed qualifier
for MIKE HARVEY TRANSPORT & SET UP (company name), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the license holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are under my direct supervision and control and is/are authorized to purchase and sign permits; call for inspections and sign subcontractor verification forms on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Jeff Harder</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances. I understand that the State and County Licensing Boards have the power and authority to discipline a license holder for violations committed by him/her, his/her agents, officers, or employees and that I have full responsibility for compliance with all statutes, codes and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

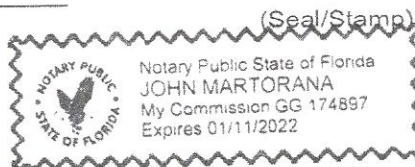
[Signature] License Number 1H1177397 Date 9-22-20
Licensed Qualifiers Signature (Notarized)

NOTARY INFORMATION:

STATE OF: FLORIDA COUNTY OF: MARION

The above license holder, whose name is ROY M. HARVEY,
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 22 day of SEPT, 2020.

[Signature]
NOTARY'S SIGNATURE



COLUMBIA COUNTY PERMIT WORKSHEET

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

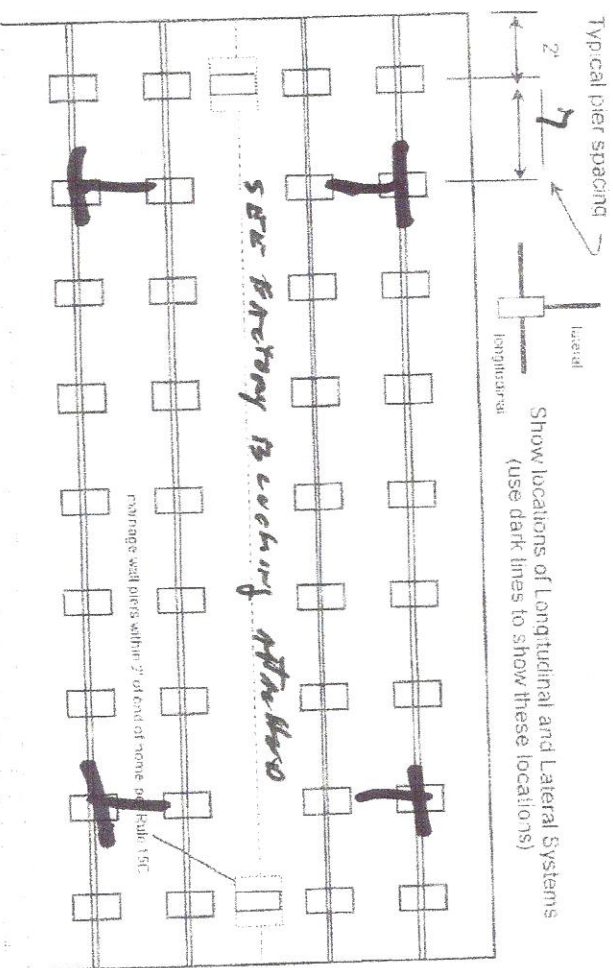
Installer Roy M. Haver License # IN 1102397

911 Address where home is being installed. 251 SEAGRAVE CT
FT. WHITE

Manufacturer NOBILITY Length x width 25' x 19'

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in. Installer's initials RMH



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C ☐
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Decal # _____
Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	16' x 16' (256)	18' 1/2" x 18' 1/2" (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'	5'	6'	7'	8'	9'
2000 psf	5'	6'	7'	8'	9'	10'
2500 psf	6'	7'	8'	9'	10'	11'
3000 psf	7'	8'	9'	10'	11'	12'
3500 psf	8'	9'	10'	11'	12'	13'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

17' x 25'

I-beam pier pad size
Perimeter pier pad size
Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer OLSON TECH
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer OLSON TECH

Sidewall
Longitudinal
Marriage wall
Shearwall

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1700 X 1700 X 1700

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1700 X 1700 X 1700

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. loading capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

ROY M. HANCOCK

Date Tested

9-22-00

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. *42*

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. *45*
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. *46*

Department of Growth Management
Building Division

Permit Number:

Date:

Site Preparation

Debris and organic material removed Swale ☒ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: LAGS Length: 6" Spacing: 16" o/c
Walls: Type Fastener: NAILS Length: 3" Spacing: 6" o/c
Roof: Type Fastener: For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

ROY M. HANCOCK

Type gasket: FOAM
Pg. FACTORY INSTALLED

Installed: Between Floors Yes ☐ X
Between Walls Yes ☐ X
Bottom of ridgebeam Yes ☐ X

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☐ X Pg. *50, 58*
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed: Yes ☐ X No ☐ X
Dryer vent installed outside of skirting. Yes ☐ X N/A
Range downflow vent installed outside of skirting. Yes ☐ X N/A
Drain lines supported at 4 foot intervals. Yes ☐ X
Electrical crossovers protected. Yes ☐ X
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

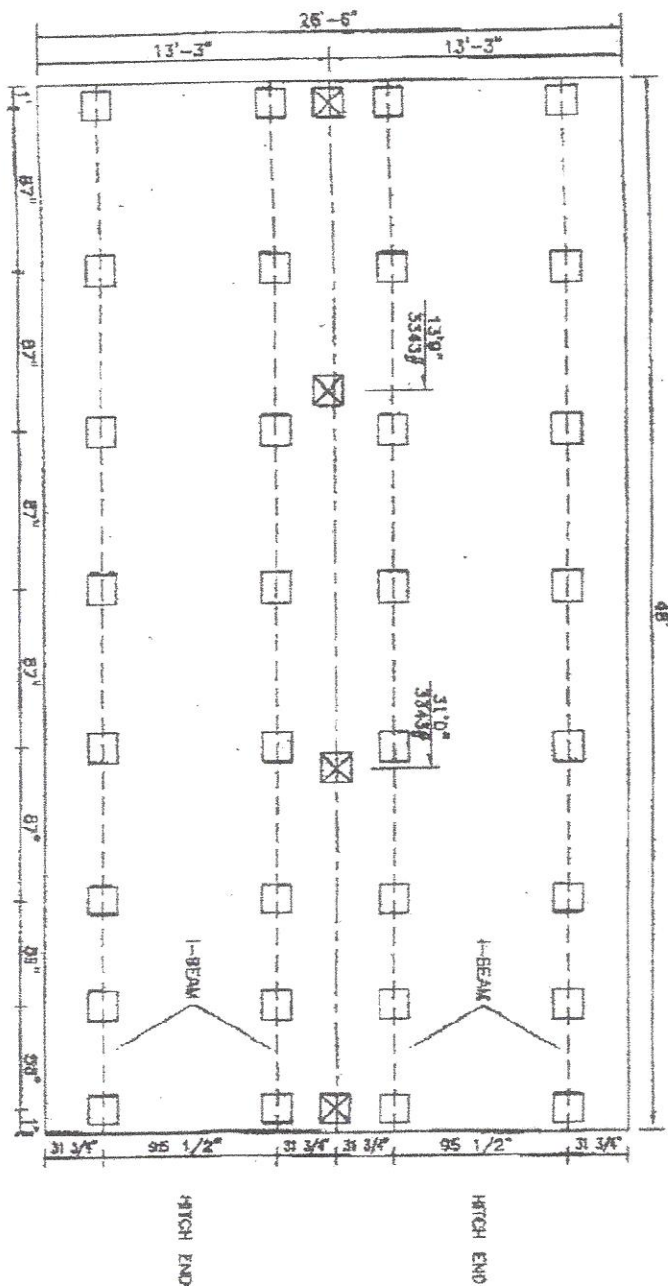
Installer Signature

ROY M. HANCOCK

Date

9-22-00

1500 LB SOIL.....28' X 48'
 I BEAM PADS.....17" X 25" ... 7' o/c
 OLIVER TECH STABILIZING SYSTEM
 4' ANCHORS @ 5'4" OR LESS



- NOTES:
- (1) COLUMN SUPPORT PIERS MAY BE WITHIN 6" OF OPENINGS GREATER THAN 48"
 - (2) ADDITIONAL PIERS ARE REQUIRED AT EACH SIDE OF EXTERIOR DOOR OPENINGS.
 - (3) THIS IS A TYPICAL DRAWING FOR THIS MODEL. SPACING MAY BE DIFFERENT IF MAX. SPACING IS NOT EXCEEDED.

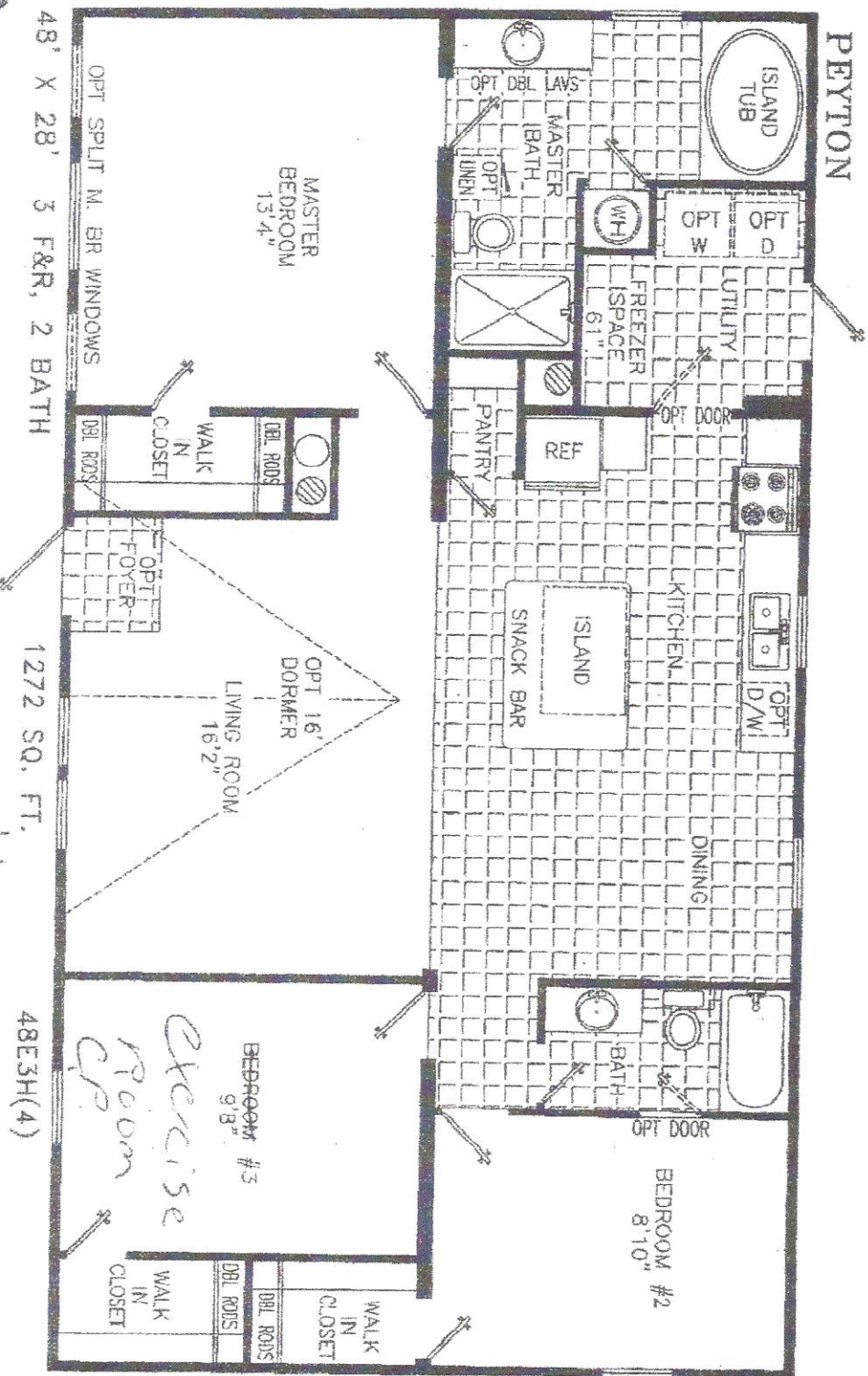
- ☒ COLUMN SUPPORT PIERS
☐ 17 1/2" X 25 1/2" BASE PAD

THIS PRINT HAS BEEN
 ROTATED 160 DEGREES

SPACING FOR 1500 PSF SOIL WITH 17 1/2" X 25 1/2" BASE PAD
 MAXIMUM SPACING FOR THE I-BEAM PIERS IS 87"

NT		Reylon	
NOBILITY HOMES INC.		PRINT NUMBER	
DATE 1-18-18		48E3H(4)	

Prestige Home Centers



NOBILITY
HOMES INC.
nobilityhomes.com

*Homes Designed, Built & Serviced
By NOBILITY HOMES*

MANUFACTURED IN ACCORDANCE WITH STANDARDS
DEVELOPED AND ENFORCED BY HUD. DUE TO OUR
CONTINUING PROGRAM OF PRODUCT IMPROVEMENT, PRICES
AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT
NOTICE. SOME ITEMS SUCH AS TIRES, RIMS, AXLES AND
HITCHES MAY HAVE BEEN RECYCLED AFTER INSPECTION FOR
SAFETY AND APPEARANCE. ALL DIMENSIONS ARE NOMINAL.