

D * TE 11/12/2009

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000028211

APPLICANT WENDY GRENNELL PHONE 497-2311
ADDRESS PO BOX 39 FORT WHITE FL 32038
OWNER WILLIAM & SANDRA RICKLES PHONE 758-8278
ADDRESS 143 SW COLONY GLEN LAKE CITY FL 32024
CONTRACTOR BERNIE THRIFT PHONE 623-0046
LOCATION OF PROPERTY 41 S, R 131, R SW MEADOWLANDS DR, R SW HIGH FIELD TERR,
R SW COLONY GLN, 1ST PROPERTY ON LEFT
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 01-6S-16-03761-144 SUBDIVISION MEADOWLANDS
LOT 44 BLOCK PHASE 3 UNIT TOTAL ACRES 5.66

IH0000075
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 09-0358 BK WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: MINIMUM BOTTOM FLOOR ELEVATION MUST BE 78' PER S/D PLAT.
AN ELEVATION CONFIRMATION LETTER REQUIRED BEFORE POWER RELEASED

Check # or Cash 5696

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 70.62 WASTE FEE \$ 184.25
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ **TOTAL FEE** 629.87
INSPECTORS OFFICE La. Wood CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CL# 5696

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-10-08) Zoning Official BLR 12.11.09 Building Official CRD 11/5/09

AP# 0911-12 Date Received 11/4/09 By G Permit # 28211

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments 78.0 ft MLE per plat, elevation confirmation letter required

FEMA Map# N/A Elevation N/A Finished Floor 78.0 ft River N/A In Floodway N/A

☒ Site Plan with Setbacks Shown ☒ EH# 09-0358 ☐ EH Release ☐ Well letter ☐ Existing well

☐ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access

☐ Parent Parcel # ☐ STUP-MH ☐ F W Comp. letter

IMPACT FEES: EMS Fire Corr Road/Code

School = TOTAL N/A - Suspended

- Property ID # 01-65-16-03761-144 Subdivision Meadowlands Lot 44 Phase 3
- New Mobile Home ☒ Used Mobile Home ☐ MH Size 28x52 Year 2010
 - Applicant Wendy Grenett Rocky Ford or Dale Burd Phone # 386-497-2311
 - Address PO Box 39 Ft White FL 32038
 - Name of Property Owner William + Sandra Rickles Phone# 386-758-8278
 - 911 Address 143 SW COLONY GLEN LAKE CITY FL 32024
 - Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
 - Name of Owner of Mobile Home William + Sandra Rickles Phone # 386-758-8278
 - Address 491 SW Sunny Acres Gln Lake City FL 32024
 - Relationship to Property Owner same
 - Current Number of Dwellings on Property 0
 - Lot Size Total Acreage 5.66
 - Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
 - Is this Mobile Home Replacing an Existing Mobile Home No (owner)
 - Driving Directions to the Property 41 South to CR 131 (Tustenusue)
turn (R) to SW Meadowlands Drive turn (R)
(just before Verlong) to SW High Field Terr turn (R)
to SW Colony Gln turn (R) 1st property on (L)
 - Name of Licensed Dealer/Installer Bernie Thrift Phone # 386-623-0046
 - Installers Address 5557 NW Falling Creek Rd White Springs FL
 - License Number IH0000075 Installation Decal # 305688

Spoke Kollundg
11/2/09

PERMIT WORKSHEET

PERMIT NUMBER

Installer Bernard Thrieff License # 1H0000073

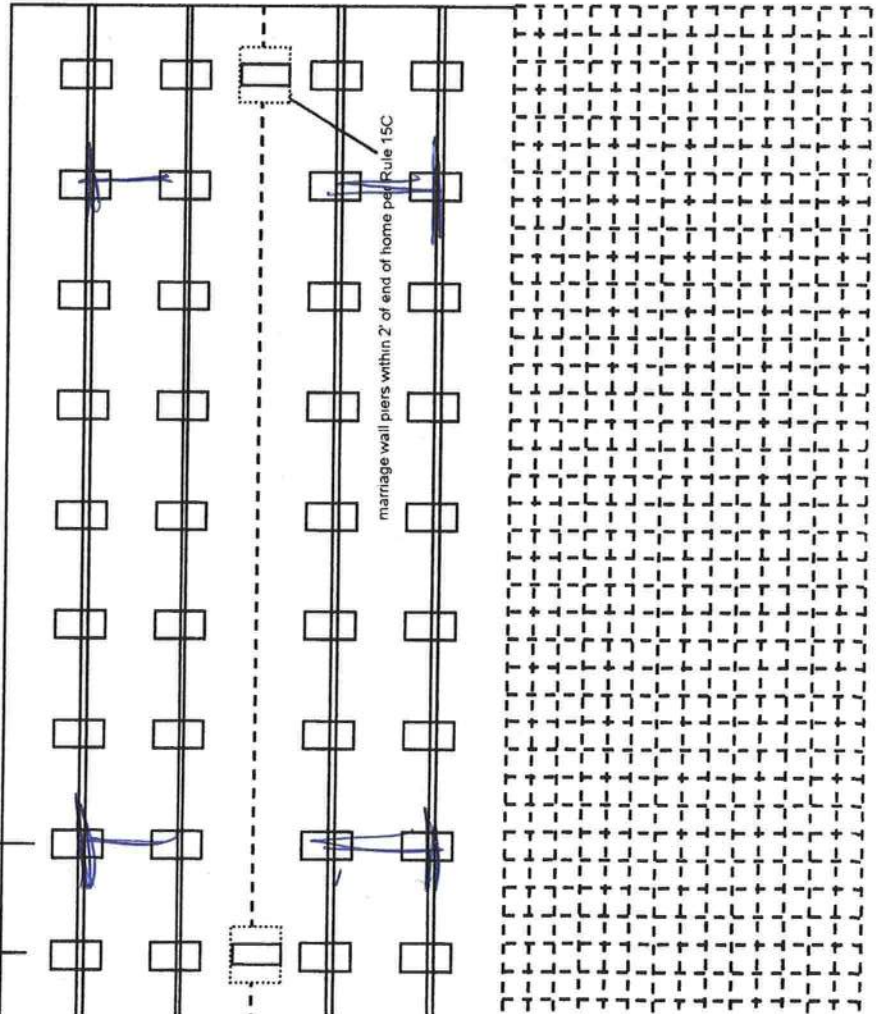
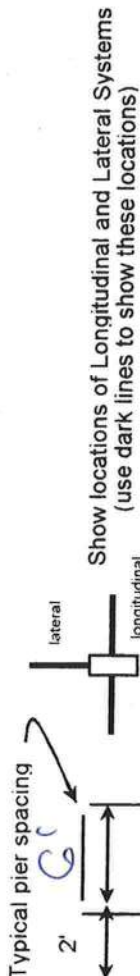
Address of home being installed 50 Colony Cln

Manufacturer IT White PC Length x width 32 x 28

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials BT



New Home ☒ Used Home ☐
 Home installed to the Manufacturer's Installation Manual ☒
 Home is installed in accordance with Rule 15-C ☐
 Single wide ☐ Wind Zone II ☐ Wind Zone III ☒
 Double wide ☒ Installation Decal # 305688
 Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17X25
 Perimeter pier pad size 16X16
 Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 19.6 Pier pad size 17X25

ANCHORS

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
 Manufacturer _____
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer Model 110 Oliver Systems

OTHER TIES

Sidewall Number 24
 Longitudinal 4
 Marriage wall 24
 Shearwall 24

PERMIT NUMBER

POCKET PENETROMETER TEST

POCKET penetrometer tests are rounded down to 2000 psf
check here to declare 1000 lb. soil without testing.

X 2500 X 2000 X 2000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

X 2000 X 2000 X 2000

TORQUE PROBE TEST

Results of the torque probe test is 2900 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Site: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Gerald Thrift

Tested

10-29-09

Electrical

Electrical conductors between multi-wide units, but not to the main power. This includes the bonding wire between multi-wide units. Pg. 5

Plumbing

Plumbing: All sewer drains to an existing sewer tap or septic tank. Pg. 5

Plumbing: All potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 5

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: 3/8 Lags Length: 5" Spacing: 24" OC
Walls: Type Fastener: 3/8 Lags Length: 5" Spacing: 24" OC
Roof: Type Fastener: Flashing Length: 10" x 7" Spacing: 76"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Factory Installed

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

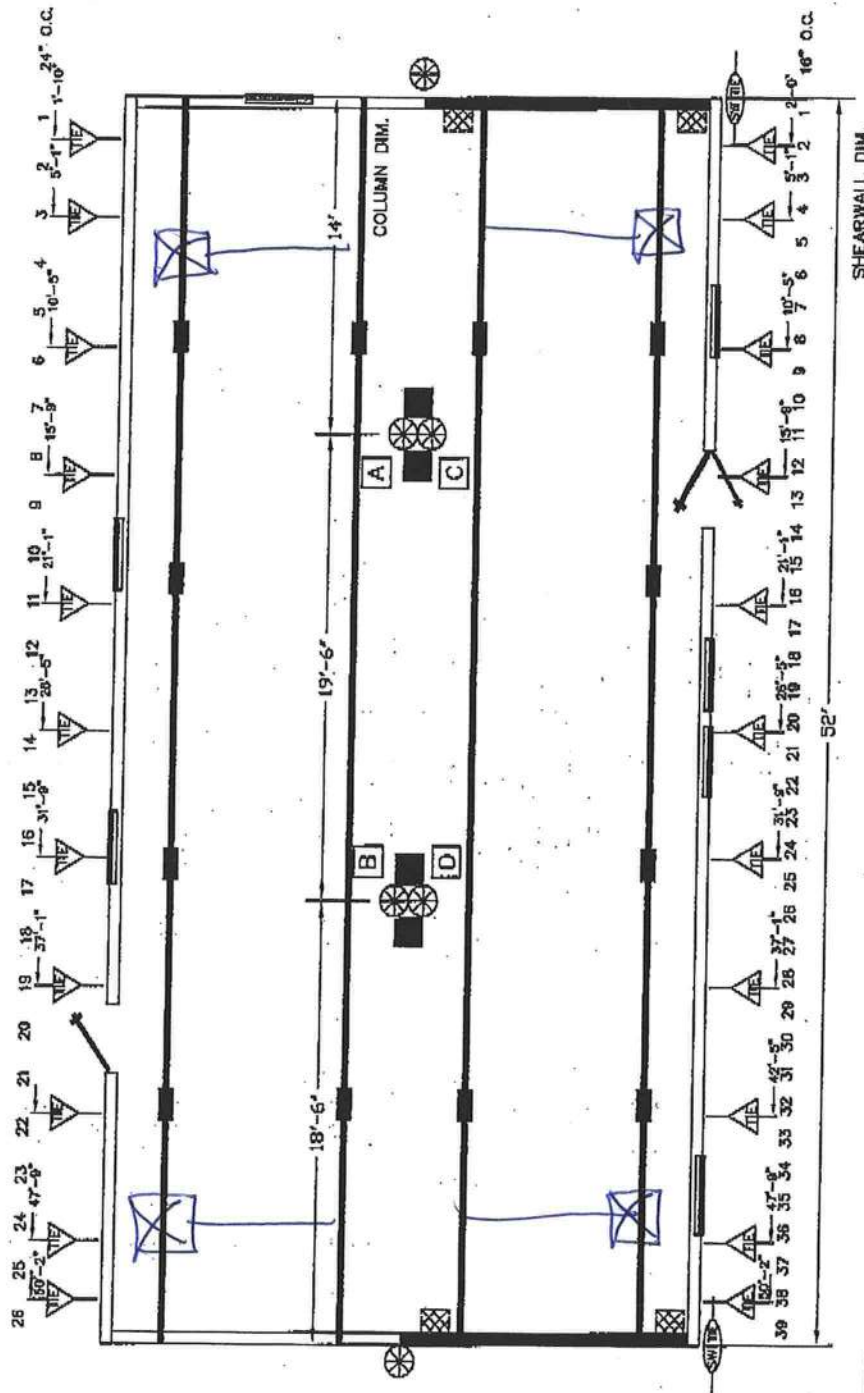
Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Gerald Thrift

Date

10-29-09



BLOCKING LEGEND:

- 1- BEAM BLOCKING
SEE SOIL BEARING CAPACITY CHARTS FOR SPACING
- 2- COLUMN BLOCKING
SEE SOIL BEARING CAPACITY CHARTS FOR PAD SIZE
- 3- SHEARWALL BLOCKING
- 4- SHEARWALL FRAME TIE
- 5- CENTER LINE TIES
- 6- VERTICAL TIE
MAX. SPACING 8'-9" CENTER TO CENTER
- 7- LONGITUDINAL TIES

1- SHEARWALL TIE

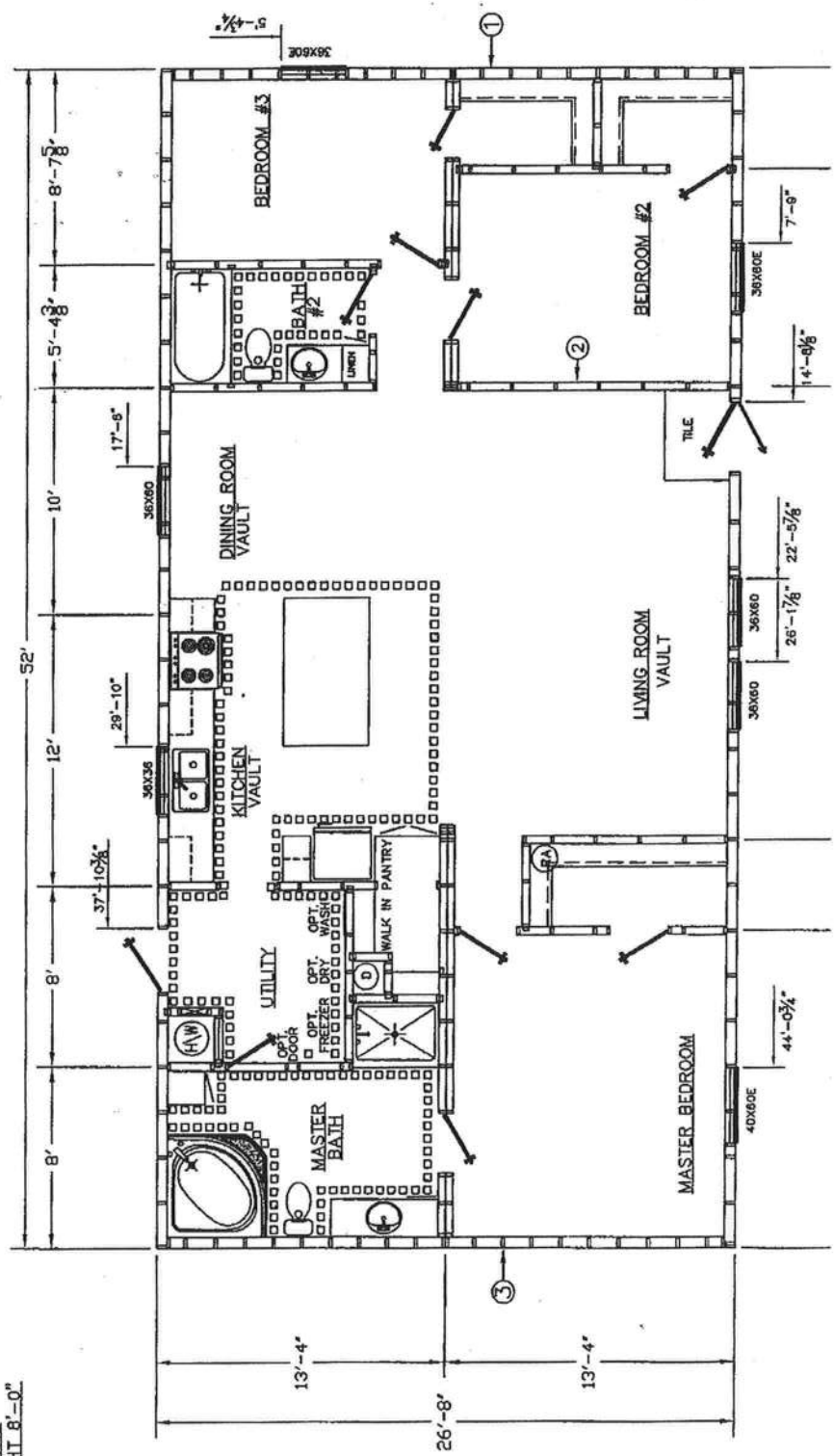
- 1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDEWALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER. WILL REQUIRE BLOCKING ON EACH SIDE.
- 2) 32" WIDE HOMES REQUIRED TO BE BLOCKED MIN 8'-0" ON CENTER BETWEEN COLUMNS.

model 1101v Oliver Systems

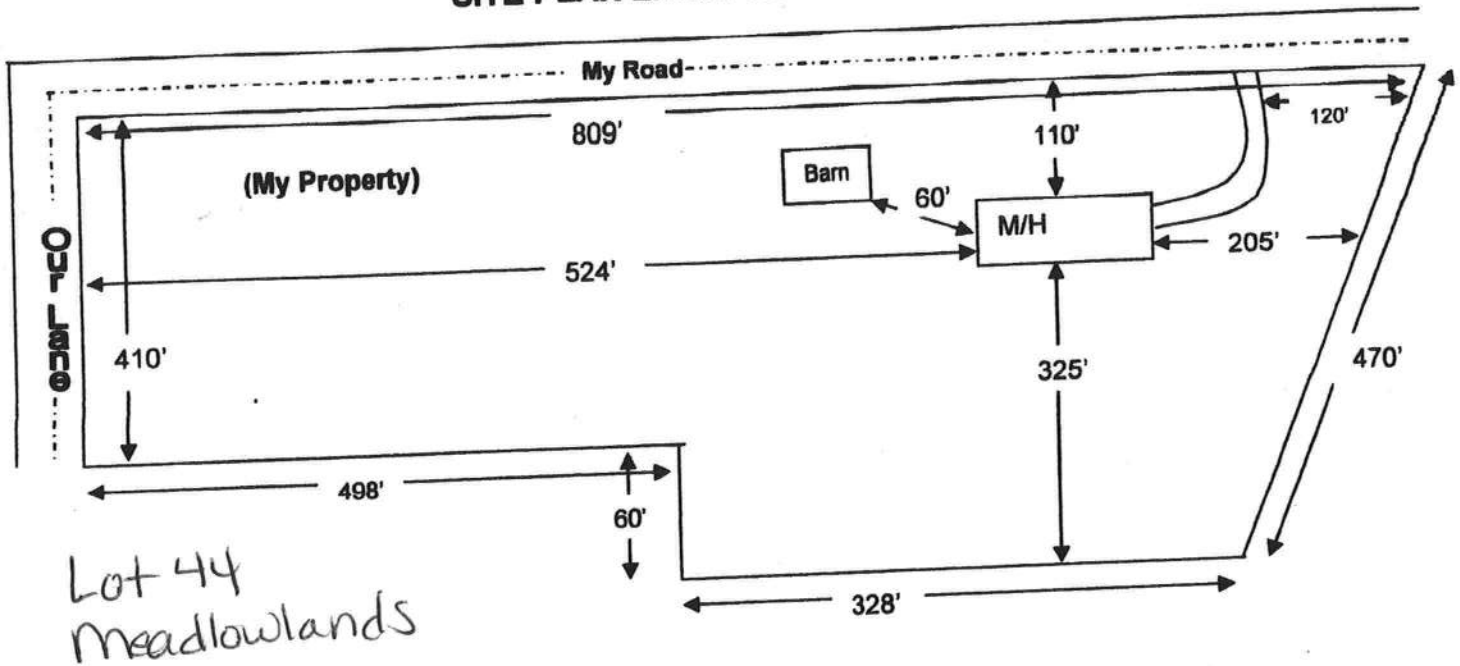
TownHomes P.O. BOX 1069 LAKE CITY, FLORIDA 32056	
Date: 10-2-07 Drawn: ROB Parent: NEW Code: T (07)	Revision: 1-10-05 2-1-06 3-1-06 4-1-06 5-1-06 6-1-06 7-1-06 8-1-06 9-1-06 10-1-06 11-1-06 12-1-06 13-1-06 14-1-06 15-1-06 16-1-06 17-1-06 18-1-06 19-1-06 20-1-06 21-1-06 22-1-06 23-1-06 24-1-06 25-1-06 26-1-06 27-1-06 28-1-06 29-1-06 30-1-06 31-1-06 32-1-06 33-1-06 34-1-06 35-1-06 36-1-06 37-1-06 38-1-06 39-1-06
Model: 2828-183	Print: BLOCKING PLAN

26'-8" WIDE HOME
SIDEWALL HEIGHT 8'-0"

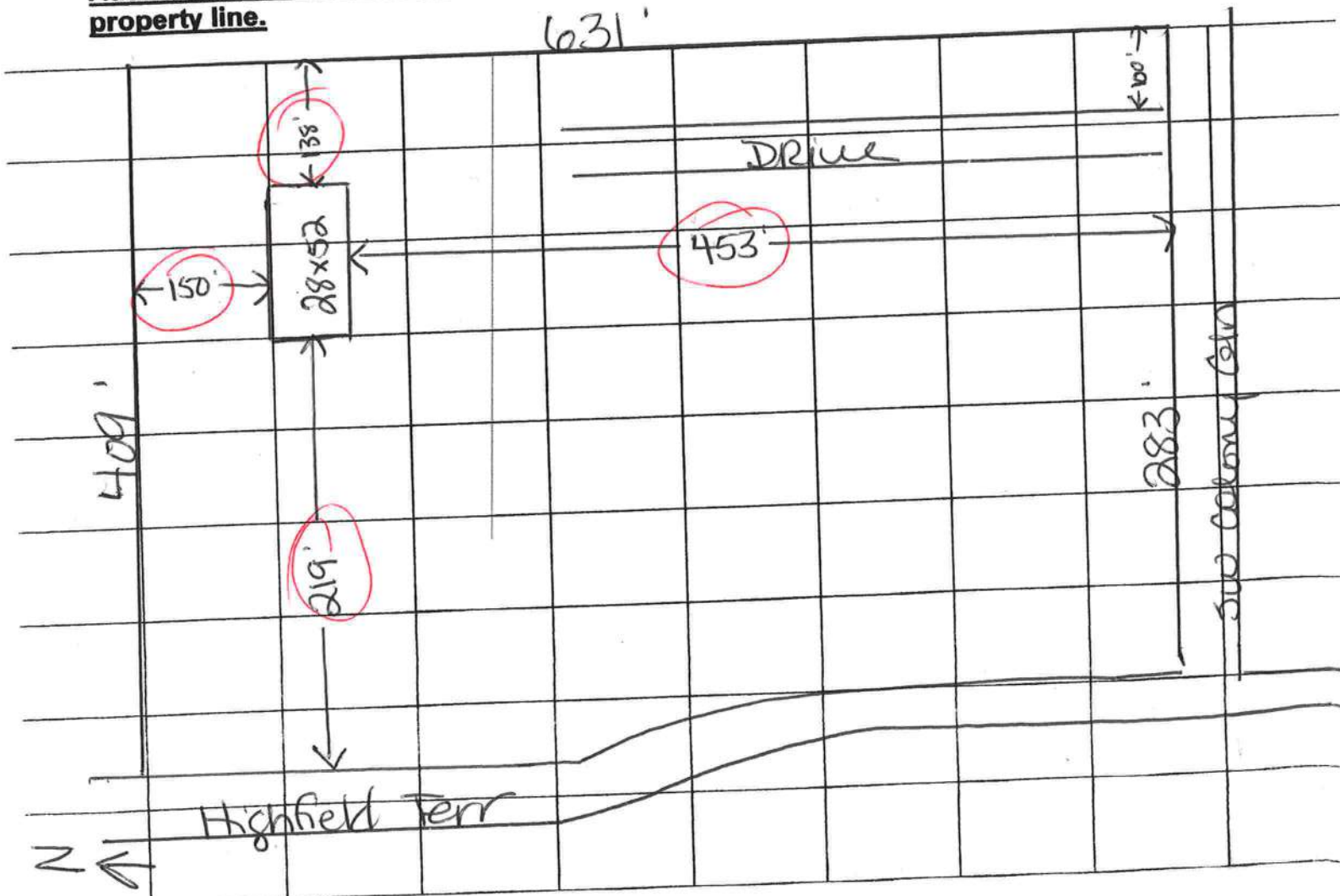
FRONT



SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



Prepared by:

Heritage Title Services of North Florida, Inc.
201 Parshley Street S.W.
Live Oak, Florida 32064

File Number: 09-0175

Inst:200912018111 Date:10/27/2009 Time:4:43 PM
Doc Stamp-Deed:455.00
DC,P DeWitt Cason,Columbia County Page 1 of 1 B:1183 P:570

General Warranty Deed

Made this October 20, 2009 A.D. By Charles E. Fleming and Cathy A. Fleming, husband and wife, whose address is: 1565 S.W. St. Andrews Drive, Palm City, FL 34490, hereinafter called the grantor, to William L. Rickles, Jr., and Sandra J. Rickles, husband and wife, whose post office address is: SW Colony Glen, Lake City, Florida 32024, hereinafter called the grantee:

(Whoever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 44 of MEADOWLANDS PHASE 3, a subdivision as per plat thereof recorded in Plat Book 8, Page(s) 7, of the Public Records of Columbia County, Florida.

Parcel ID Number: 03761-144

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2009.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Printed Name

LISA SCHMUCKER

Witness Printed Name

Myrtle Norris

State of

FL

County of

MARTIN

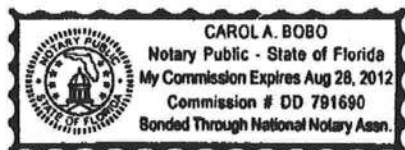
Charles E. Fleming

Address: 1565 S.W. St. Andrews Drive, Palm City, FL 34490

Cathy A. Fleming

Address: 1565 S.W. St. Andrews Drive, Palm City, FL 34490

The foregoing instrument was acknowledged before me this 20 day of October, 2009, by Charles E. Fleming and Cathy A. Fleming, husband and wife, who is/are personally known to me or who has produced F455-145-53-144-0 as identification.



Notary Public

Print Name:

CAROL A BOBO

My Commission Expires:

8-28-2012



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Bernard Thrift, give this authority for the job address show below
Installer License Holder Name
only, Lot 44 meadowlands, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Wendy Grennell	<i>Wendy Grennell</i>	☒ Agent ☐ Officer ☐ Property Owner
Rocky Ford	<i>Rocky D 7</i>	☒ Agent ☐ Officer ☐ Property Owner
		☐ Agent ☐ Officer ☐ Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Bernard Thrift
License Holders Signature (Notarized)

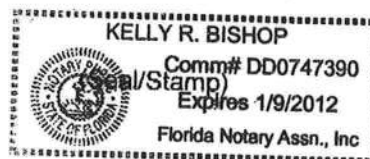
IH0000075 10-30-09
License Number Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Bernard Thrift, personally appeared before me and is known by me or has produced identification (type of I.D.) FL Dr on this 30 day of October, 2009.

Kelly R. Bishop
NOTARY'S SIGNATURE



COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 11/4/2009 DATE ISSUED: 11/6/2009

ENHANCED 9-1-1 ADDRESS:

143 SW COLONY

GLN

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

01-6S-16-03761-144

Remarks:

LOT 44 MEADOWLANDS S/D PHASE 3

Application #:
0911-12

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE

1568

Faxed on 11-6-09

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR Bernard Thrift PHONE 623-0046

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL <u>Good</u>	Print Name: <u>Michael Conner</u> License #: <u>ER13013192</u>	Signature: <u>Michael Conner</u> Phone #: <u>386-758-2233</u>
MECHANICAL/A/C <u>Good</u>	Print Name: <u>David Hall</u> License #: <u>CAC05424</u>	Signature: <u>David Hall</u> Phone #: <u>386-753-9992</u>
PLUMBING/GAS	Print Name: <u>Bernard Thrift</u> License #: <u>ITB0000075</u>	Signature: <u>Bernard Thrift</u> Phone #: <u>386-623-0046</u>
ROOFING	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
SHEET METAL	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
FIRE SYSTEM/SPRINKLER	Print Name: _____ License #: _____	Signature: _____ Phone #: _____
SOLAR	Print Name: _____ License #: _____	Signature: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

§. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

MEADOWLANDS PHASE 3

IN SECTION 1, TOWNSHIP 6 SOUTH, RANGE 16 EAST &
IN SECTION 36, TOWNSHIP 5 SOUTH, RANGE 16 EAST &
IN SECTION 6, TOWNSHIP 6 SOUTH, RANGE 17 EAST
COLUMBIA COUNTY, FLORIDA

NOTICE: This Plot as recorded in its graphic form, is the official depiction of the subdivided lands described herein and all its other representations are submitted in authority by any other graphic or digital form of the Plot. There may be additional representations that are not recorded on this Plot that may be found in the Public Records of Our County.

NOTE: As Flatted unit occupants must provide that such assessments will also be assessments for the construction, installation, maintenance, and operation of such equipment, including, but not limited to, any such construction, installation, maintenance, and operation of such television services that interfere with the facilities and services of electric, telephone, gas, or other public utility. It is the intent that if such television services damages the facilities of a public utility, it shall be solely responsible for the damages.



WETLANDS LINE		
LINE	BEARING	DISTANCE
A1	N 87°01'46" W	73.37
L2	N 7°36'33" E	107.56
L3	N 58°18'08" E	55.95

HARRIS-TEASER SEASON 2000 HIGHEST LINE		
LINE	BEARING	DISTANCE
H010	S 77°55'14" W	438.7
H012	S 77°55'14" W	783.3
H013	N 80°05'30" W	65.80
H014	S 77°55'48" W	71.97
H015	N 77°55'14" E	37.08
H016	N 41°30'37" E	146.23
H018	N 50°45'23" E	50.41
H019	S 57°04'23" W	109.07
H020	S 06°30'30" W	108.13
H021	N 75°40'12" E	75.63
H042	N 80°05'42" E	76.75
H043	N 15°01'30" E	304.34
H070	N 87°04'58" E	155.94
H071	S 21°57'04" E	112.77
H072	A 88°23'37" E	112.30
H073	S 01°59'29" E	112.25
H074	S 22°30'21" E	124.72

SHEET 3 OF 4 PLAT DATE 01/19/2005



Donald F. Lee and Associates, Inc.
SURVEYORS — ENGINEERS
 140 Northwest Highway Avenue, Lake City, Florida 32801
 Phone: (386) 355-8165 FAX: (386) 352-8187
 Telex: 511000

Rickles app 0911-12

A & B Well Drilling, Inc.

5673 NW Lake Jeffery Road

Lake City, FL, 32055

(O) 386-758-3409

(F) 386-758-3410

(C) 386-623-3151

11/6/2009

To: Columbia County Building Department

Description of well to be installed for Customer: 4" well residential PVC
Located at Address: 143 SW Colony Cir

1 hp 15 GPM Submersible Pump, 1 1/4" drop pipe, 86 gallon captive tank and back flow prevention, With SRWMD permit.

Bruce H Park

Sincerely
Bruce Park
President

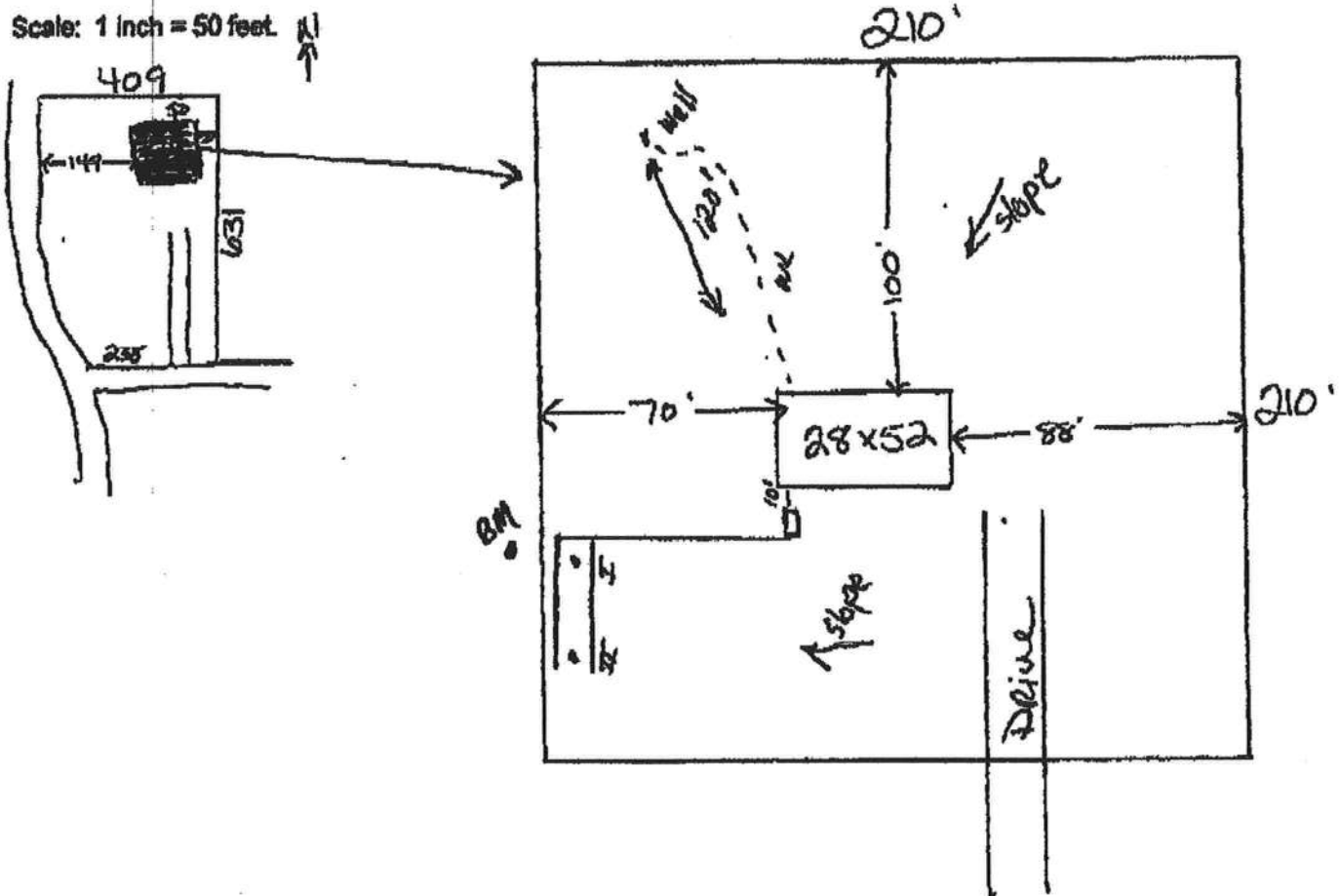
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0358

App # 0911-12 Pickles

PART II - SITEPLAN

Scale: 1 inch = 50 feet



Notes:

Site Plan submitted by: Loch P F D

Plan Approved ☒

Not Approved ☐

By Salac Ford, FH Director, Columbia

MASTER CONTRACTOR

Date 11-12-09

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

WESLEY M. RABON
PROFESSIONAL SURVEYOR AND MAPPER
PO BOX 235 (398 NW NULL ROAD)
WHITE SPRINGS , FLORIDA 32098
PHONE (386) 397-1199

OK
BLK
24.11.09

DATE : 11/23/2009

To Whom It May Concern:

RE: **PERMIT # 000028211**
FINISH FLOOR ELEVATION
LOT 44 MEADOWLANDS S/D PHASE 3
143 SW COLONY GLEN
LAKE CITY, FLORIDA 32025

SUBJECT PARCEL # 01-6S-16-03761-144. IS NOT IN A FLOOD ZONE
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 12023C0485C
DATED FEBUARY 4, 2009. THE MINIMUM FLOOR ELEVATION FOR THIS LOT
ACORRDING TO THE PLAT IS 78.0 FEET. THE ASBUILT FINISH FLOOR IS
82.43 FEET. SAID FINISH FLOOR IS 4.43 FEET ABOVE PLAT.

Thank you,
WESLEY M. RABON PSM # 6127

W. M. Rabon 11/24/09



**COLUMBIA COUNTY
FLORIDA**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 01-6S-16-03761-144

Building permit No. 000028211

Permit Holder BERNIE THRIFT

Owner of Building WILLIAM & SANDRA RICKLES

Location: 143 SW COLONY GLEN, LAKE CITY, FL

Date: 12/02/2009



Wayne H. Ruess

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)