

CIVIL DOCUMENTS FOR
LAKE CITY MEDICAL CENTER
ANCILLARY BUILDING EXPANSION
LAKE CITY, FLORIDA

EARLY RELEASE PACKAGE CHECKSET: DECEMBER 6, 2021



SEE ED EXPANSION,
PHARMACY, AND DIETARY
RENOVATION PLAN SET

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RENOVATION PLAN SET

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SITE DATA TABLE	
OWNER OF RECORD	NOTAMI HOSPITALS OF FL INC.
SITE ADDRESS	340 NW COMMERCE DRIVE, LAKE CITY, FL 32055
TOTAL PARCEL AREA	± 41.3 AC
PROJECT DISTURBANCE AREA (ED EXPANSION)	± 1.7 AC
PROJECT DISTURBANCE AREA (ANCILLARY EXPANSION)	± 1.6 AC
PARCEL / TAX NUMBER	35-3S-16-02556-003
ZONING DISTRICT	CG (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0290D, 12023C0291D DATED NOVEMBER 2, 2018 FLOOD ZONE: X

SETBACKS	REQUIRED	EXISTING/ PROPOSED
PARCEL FRONT	24	24
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)	1	TBD

PROJECT DESIGN TEAM

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Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF
GROUNDWATER SHOULD
BE ANTICIPATED.
CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION
FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL
NECESSARY PERMITS.

CALL 2 WORKING DAYS
BEFORE YOU DIG
IT'S THE LAW!
DIAL 811
Know what's below.
Call before you dig.
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



GreshamSmith.com

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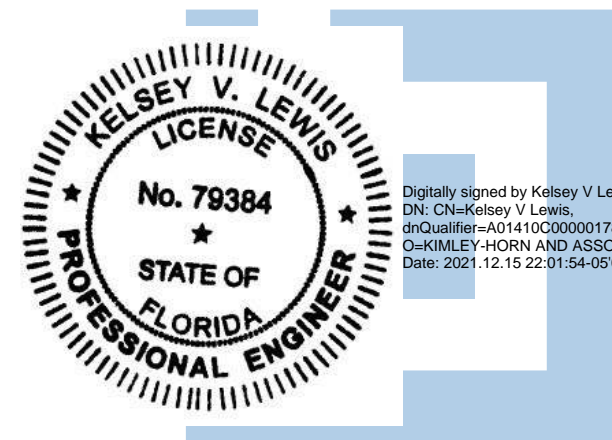


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ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

Client Code / File No.: 115

Revision		
No.	Date	Description

COVER SHEET

C000

KHA PROJECT: 110909011
GSP PROJECT: 45057.00
DATE: 12/06/2021

GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. HE SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS. HE SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK AND ALL OTHER DELETERIOUS MATERIAL.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED. THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ANY DISCREPANCIES ON THE CONSTRUCTION DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND TO THE ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY WITHIN ONE (1) WEEK OF TESTS BEING PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL CERTIFIED RECORD SURVEYS SHALL BE PROVIDED TO THE ENGINEER AT LEAST 30 DAYS PRIOR TO CONTRACTED COMPLETION DATE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS/INVERTS, DOWN SPOUTS AND BOLLARDS, BUILDING SIDEWALKS, ALSO REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND MOUNTING INSTRUCTIONS FOR WALL-MOUNTED SIGNS AND LIGHT FIXTURES.
- THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH THE CURRENT AMERICANS WITH DISABILITIES ACT AND THE CURRENT FLORIDA ACCESSIBILITY CODE.
- ALL VEGETATION FROM CLEARING / GRUBBING WILL BE DISPOSED OF LEGALLY OFF-SITE.

GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISHED GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR IN THE STATE OF FLORIDA TO THE OWNER FOR REVIEW.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- PIPE LENGTHS LISTED ARE BASED ON HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND USED FOR DESIGN. CONTRACTOR TO FIELD VERIFY ACTUAL PIPE LENGTHS NEEDED FOR CONSTRUCTION.
- SIDEWALKS ARE DESIGNED TO MEET ADA REQUIREMENTS WITH A MAX LONGITUDINAL SLOPE OF 5% AND A MAX CROSS SLOPE OF 2%. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
- ALL DISTURBED AREAS SHALL BE SODDED.
- COORDINATE WITH ARCHITECTURAL DRAWINGS WITHIN 5 FEET OF PROPOSED BUILDING.

UTILITY NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
4" TO 15", PVC PER ASTM D3034, SDR 26
16" AND GREATER, PVC PER C905, SDR 25
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE SIX INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE MOST CURRENT SPECIFICATIONS OF CITY OF LAKE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF THE SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL PULL BOXES IN PAVEMENT AREAS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATION WITH A CONCRETE COLLAR AND A MINIMUM OF 8" OF COMPACTED GRAVEL PER PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH TELEPHONE AND ELECTRIC COMPANY FOR ROUTING AND CONDUIT SPECIFICATIONS.
- THE CONTRACTOR MUST CONTACT THE CITY OF LAKE CITY WATER RESOURCE SERVICE UTILITY INSPECTION SECTION AND LINE MAINTENANCE TO SET UP THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR TO COORDINATE WITH THE CITY OF LAKE CITY WATER RESOURCE SERVICES PRIOR TO THE SELECTION AND ORDERING OF THE WATER METER AND/OR BACKFLOW PREVENTION DEVICE ASSEMBLIES.

SRWMD STORMWATER MANAGEMENT FACILITY SUBMITTALS AND CERTIFICATION

- WHEN A STORMWATER MANAGEMENT SYSTEM PERMITTED BY THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT IS ALTERED DURING CONSTRUCTION, A FLORIDA REGISTERED PROFESSIONAL ENGINEER OR PERSON UNDER THEIR RESPONSIBLE SUPERVISION, DIRECTION, OR CONTROL MUST BE ON THE CONSTRUCTION SITE AS NEEDED TO CERTIFY THAT THE SYSTEM WAS CONSTRUCTED AS PERMITTED. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THE ENGINEER IS ON-SITE TO INSPECT THE ALTERATION OF THE STORMWATER MANAGEMENT FACILITY. THE ENGINEER MUST ALSO NOTIFY THE SRWMD SURFACE WATER REGULATION MANAGER OF THE LIVE OAK REGULATION DEPARTMENT AT LEAST 48 HOURS IN ADVANCE. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE NOTICE TO THE ENGINEER.
- WITHIN 30 DAYS AFTER COMPLETION OF THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, THE ENGINEER, ON BEHALF OF THE PERMITTEE, SHALL SUBMIT TO SRWMD A WRITTEN STATEMENT OF COMPLETION AND CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER UTILIZING THE REQUIRED STATEMENT OF COMPLETION AND REQUEST FOR TRANSFER TO OPERATION ENTITY FORM IDENTIFIED IN CHAPTER 40D-1.659 OF THE FLORIDA ADMINISTRATIVE CODE. THIS PACKAGE MUST ALSO INCLUDE SIGNED, DATED, AND SEALED RECORD DRAWINGS. THE GENERAL CONTRACTOR MUST PROVIDE AS-BUILT SURVEYS TO THE ENGINEER WITHIN 10 DAYS OF COMPLETION OF THE STORMWATER MANAGEMENT FACILITY AND NO LATER THAN 30 DAYS PRIOR TO THE CONTRACTED COMPLETION DATE. THE AS-BUILT SURVEYS MUST MEET THE FOLLOWING REQUIREMENTS:
 - PREPARED AND SIGNED BY A REGISTERED LAND SURVEYOR IN THE STATE OF FLORIDA
 - PRESENTED ON A PLAN INDICATING (AT A MINIMUM) THE HORIZONTAL LOCATION OF ALL STORMWATER FACILITY COMPONENTS INCLUDING BUT NOT LIMITED TO THE STORMWATER POND, RETAINING WALLS, STORMWATER STRUCTURES, PIPES, AND FILTRATION SYSTEM
 - INCLUDE VERTICAL LOCATIONS (AT A MINIMUM) FOR ALL STORMWATER PIPE AND STRUCTURE INVERT ELEVATIONS, STORMWATER PONDS, RETAINING WALLS, TOP/GRATE ELEVATIONS, PIPE SIZES, AND PIPE TYPES.
 - THE AS-BUILT SURVEY REQUIREMENTS OF THE SRWMD, FDOT, AND COLUMBIA COUNTY

HISTORIC RESOURCES STATEMENT

THE FOLLOWING REQUIREMENTS APPLY TO ALL BUILDING CONSTRUCTION OR ALTERATION, OR LAND ALTERATION ACTIVITIES.

- IF EVIDENCE OF EXISTENCE OF HISTORIC RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AFFECTED AREA. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE FLORIDA DIVISION OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. EXAMPLES OF EVIDENCE OF HISTORIC RESOURCES INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS.
- IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THE AREA MUST CEASE, AND THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

MAINTENANCE OF TRAFFIC NOTES

- ALL EXISTING PAVEMENT MARKINGS OUTSIDE THE CONSTRUCTION LIMITS THAT HAVE BEEN ALTERED BECAUSE OF CONSTRUCTION OPERATIONS SHALL BE REPLACED UPON THE COMPLETION OF THE PROJECT.
- PEDESTRIANS, BICYCLES, AND WHEELCHAIRS: AT THE END OF EACH WORKDAY OR WHENEVER THE WORK ZONE BECOMES INACTIVE, ANY DROP-OFF ADJACENT TO A SIDEWALK SHALL BE BACKFILLED AT A SLOPE NOT TO EXCEED 1:4.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL OF STORMWATER FROM ROADWAYS UTILIZED FOR TRAFFIC CONTROL IN A MANNER APPROVE BY THE ENGINEER.

CLEARING AND GRUBBING:

- DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
- CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK
- ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
- AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUIRE TREE WELLS WITHIN THE GRADING LIMITS.
- ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

EROSION AND SEDIMENT CONTROL INFORMATION:

- COMPREHENSIVE:
 - CONTRACTOR SHALL SUBMIT NPDES NOTICE OF INTENT (NOI) FOR A CONSTRUCTION GENERAL PERMIT (CGP) WITH FDEP.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
 - PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) BMP HANDBOOKS. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) BMP HANDBOOKS.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
 - CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND; REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.
 - ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
- DURING CONSTRUCTION:
 - ON-SITE DUST CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT HAS ACCUMULATED TO $\frac{1}{8}$ THE ORIGINAL HEIGHT OF THE BARRIER.
 - ALL OPEN SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. STONE FOR RIP-RAP SHALL CONSIST OF ROUGH UN-HEWN QUARRY GRANITE AS NEARLY IN RECTANGULAR SECTION AS PRACTICAL. THE MINIMUM SIZE STONE SHALL WEIGH BETWEEN 75 AND 150 POUNDS AND SHALL BE HAND PLACED AS A LOOSE STONE EMBANKMENT.
 - AT ANY TIME DURING CONSTRUCTION IF IT BECOMES NECESSARY TO PUMP STORM WATER OR GROUNDWATER FROM AN EXCAVATION, THE PUMPED WATER MUST NOT HAVE AN OBJECTIONABLE COLOR CONTRAST WHEN COMPARED TO THE RECEIVING WATERS AND MUST NOT IMPAIR IN ANY WAY THE RECEIVING WATERS. WATER THAT DOES NOT MEET THESE REQUIREMENTS MUST BE FILTERED OR DISCHARGED INTO A TEMPORARY SEDIMENT BASIN, WEIR TANK, DEWATERING TANK, GRAVITY BAG FILTER, SAND MEDIA FILTER, OR OTHER APPROVED DEVICE UNTIL IT MEETS THE EFFLUENT REQUIREMENTS. ONCE THE EFFLUENT REQUIREMENTS HAVE BEEN MET THE WATER MAY BE DISCHARGED INTO THE STORM SEWER SYSTEM.
 - THESE SAME REQUIREMENTS APPLY TO ALL AUTHORIZED NON-STORM WATER DISCHARGES UNDER THE STATE OF FLORIDA GENERAL NPDES PERMIT. AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
 - NO GRADED SLOPE SHALL EXCEED 3H:1V UNLESS OTHERWISE NOTED.
 - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL ONLY BE REMOVED AFTER THE SITE HAS ESTABLISHED A SOLID, STABILIZED STAND OF GRASS.

DEMOLITION INFORMATION:

- NOTIFICATIONS:

THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- DISPOSAL GUIDELINES:
 - ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
 - REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
 - ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
 - ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- TREE PROTECTION GUIDELINES:

PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.
- UTILITIES:
 - PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
 - ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.



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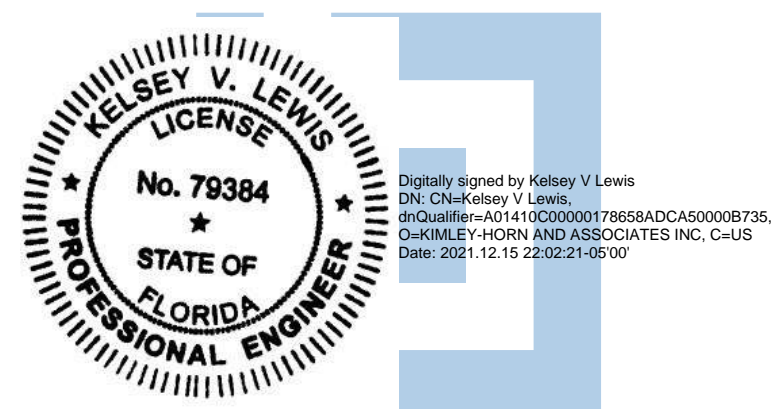
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ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

Client Code / File No.: 115

Revision		
No.	Date	Description

Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
NAVD 1988 FLORIDA NORTH ZONE

THE PRESENCE OF
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Sunshine State One Call of Florida, Inc. (800) 368-6868



GENERAL NOTES

C001

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"

TOPOGRAPHIC SURVEY FOR:

LAKE CITY MEDICAL CENTER NOTAMI HOSPITALS OF FLORIDA, INC.

SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16
EAST, LAKE CITY, COLUMBIA COUNTY, FLORIDA

DATE: SEPTEMBER 14, 2021
REVISED: NOVEMBER 17, 2021



NOTES:

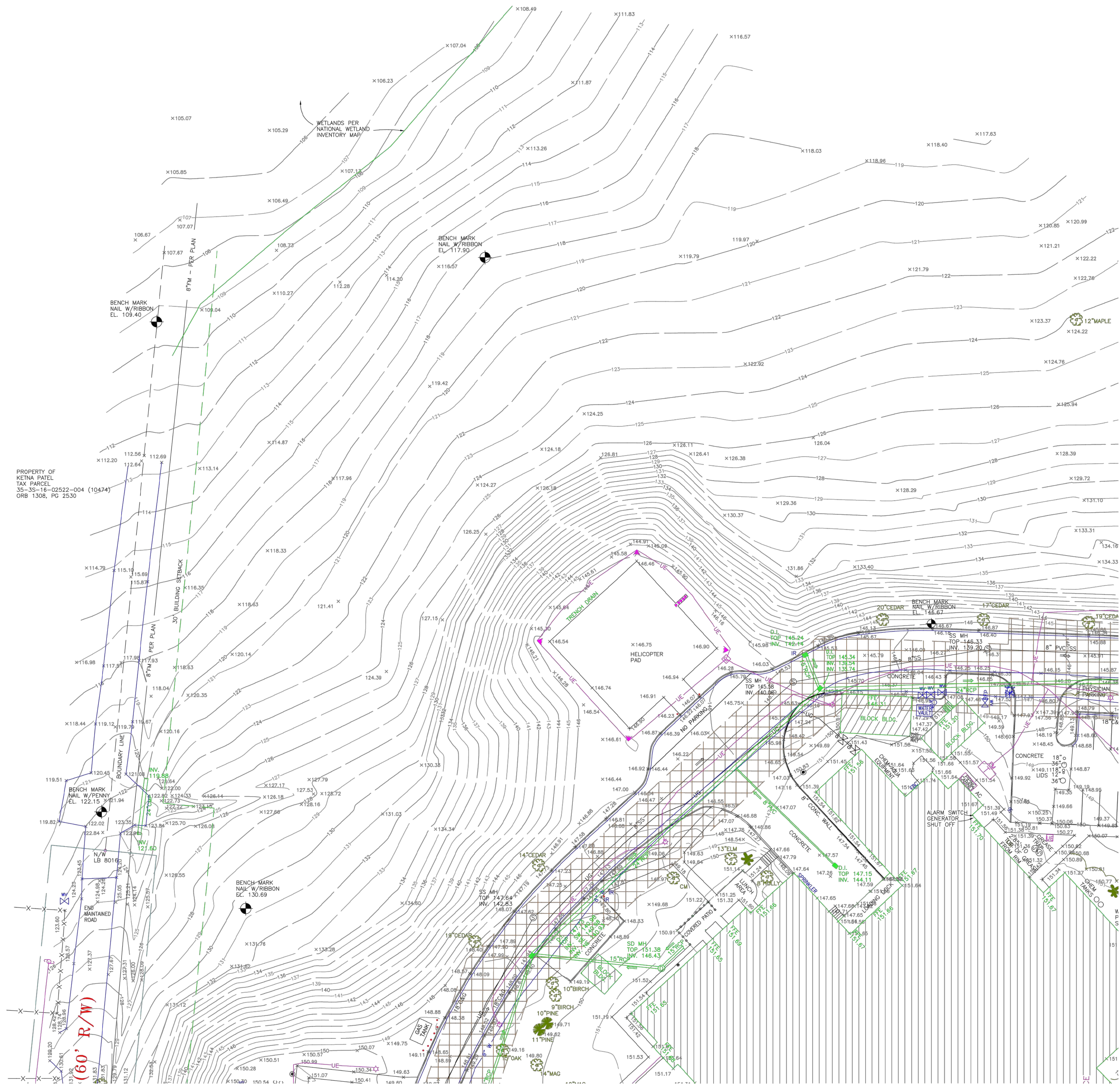
- HORIZONTAL AND VERTICAL CONTROL BASED UPON NAD 1983, NAVD 1988 FLORIDA NORTH ZONE.
- UNDERGROUND UTILITIES SHOWN ARE BASED UPON UTILITIES MARKED BY RHD UTILITY LOCATORS, VISUAL INSPECTION OR INFORMATION PROVIDED BY CLIENT.
- THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THE SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- PER F.E.M.A. MAP 1202302900 DATED 11-2-18, THIS PROPERTY IS LOCATED IN A "X" ZONE AND IS NOT IN A 100-YR FLOOD ZONE.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT TITLE OR ABSTRACT OR OPINION. THERE MAY BE DEEDS OR RECORD, UNRECORDED DEEDS, EASEMENTS OR RIGHT-OF-WAYS WHICH COULD AFFECT THE BOUNDARIES OR USE OF SUBJECT PROPERTY.
- EASEMENTS SHOWN ARE PER INFORMATION FOUND IN THE RECORDS OF COLUMBIA COUNTY, FLORIDA.
- THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND BY A MORE IN DEPTH SEARCH OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
- THERE WERE NO VISIBLE SIGNS OF FLAGGED WETLANDS AT THE TIME OF SURVEY.
- THERE WERE NO VISIBLE SIGNS OF RECENT EARTHWORK MOVING, CEMETERIES, RECENT ROAD OR SIDEWALK CHANGES AT THE TIME OF THIS SURVEY.
- PER INFORMATION RECEIVED BY THE CITY OF LAKE CITY - N.W. COMMERCE DRIVE IS BEING MAINTAINED BY COLUMBIA COUNTY.
- PER INFORMATION RECEIVED BY COLUMBIA COUNTY N.W. KNIGHTS AVENUE IS BEING MAINTAINED BY COLUMBIA COUNTY AND NW MEDICAL CENTER LANE IS BEING MAINTAINED BY THE CITY OF LAKE CITY.
- NO RIGHT-OF-WAY DEEDS WERE FOUND IN A SEARCH OF THE RECORDS OF COLUMBIA COUNTY FOR N.W. MEDICAL CENTER LANE, N.W. YORK DRIVE OR N.W. COMMERCE DRIVE.
- BUILDING SETBACK IS SHOWN AS 30' AND BASED UPON THE WIDTH OF THE RIGHT-OF-WAY.
- TAX PARCEL 35-3S-16-02556-003 (10528)
- PROPERTY OF NOTAMI HOSPITALS OF FLORIDA INC.
- PROPERTY ZONED: CG CO



	DENOTES UTILITY EASEMENT
	FLOW DIRECTION
	IRRIGATION VALVE
	ROOF DRAIN
	PEDESTRIAN CROSSING
	HANDICAP PARKING
	GAS VALVE/METER
	CURB & GUTTER
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	WELL
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	STOP SIGN
	DROP INLET
	BENCH MARK
	STORM DRAIN
	AIR CONDITIONER
	STORM MANHOLE
	SANITARY SEWER
	BACK FLOW PREVENTER
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E-mail: wherry@seasurveying.com
GA Certificate of Authorization No. 685

Registered Surveyor: Barbara
Registration Number: 6194
In the State of: Florida
Corporate License #7091



SHEET 1 OF 4

Kimley»Horn

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Landscape Reg #6667402



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ANCILLARY BUILDING

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340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

Client Code / File No.: 115

Revision		
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SURVEY BY OTHERS (1 OF
4)

C002

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KHA PROJECT: 110909011
GSP PROJECT: 45057.00
DATE: 12/06/2021

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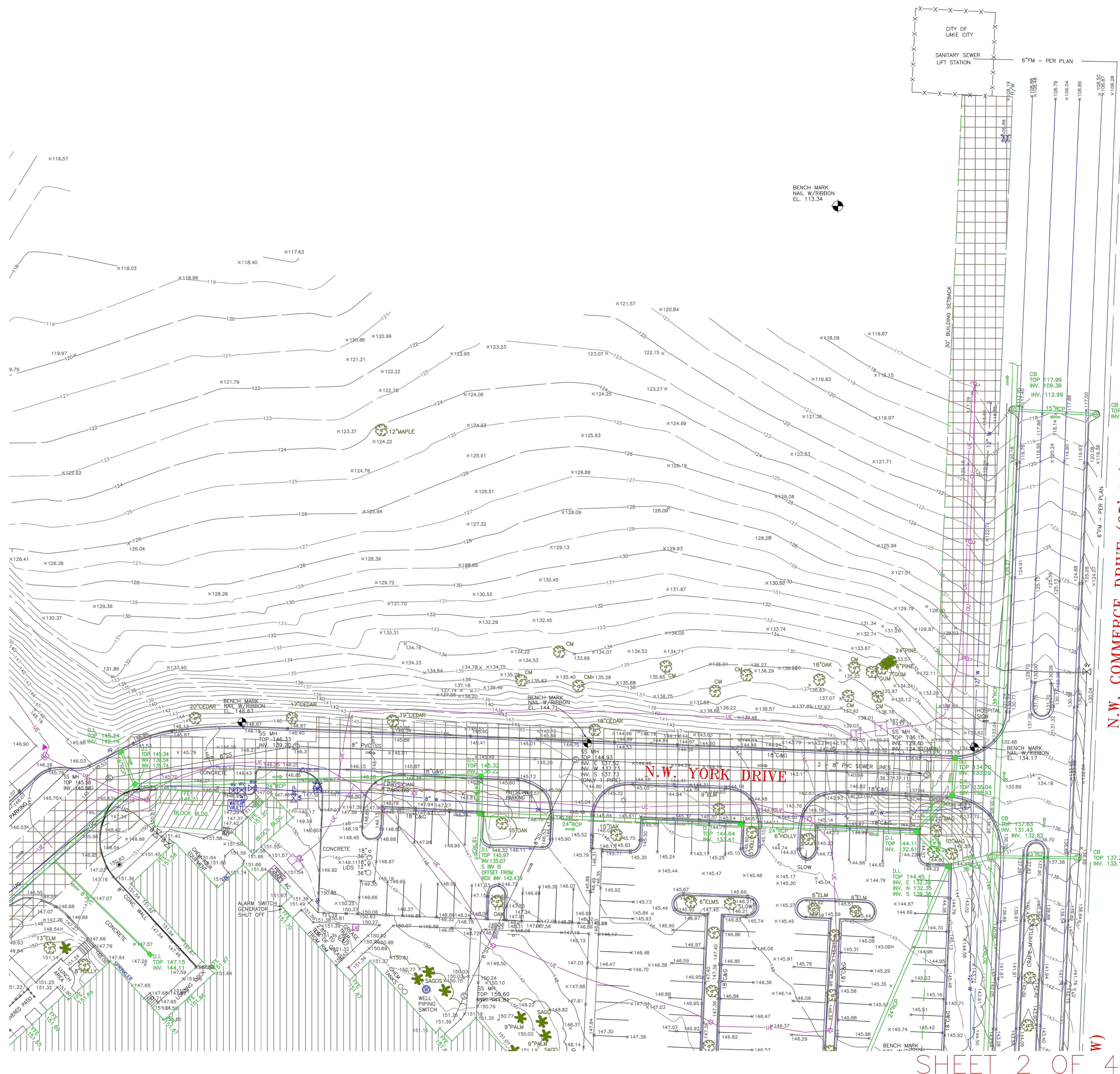
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NAD 1983



⇒	FLOW DIRECTION
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EV	HANDICAP PARKING
GV	GAS VALVE/METER
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CO	CLEAN OUT
SS MH	WELL
SS MH	SEWER MANHOLE
PIV	POST INDICATOR VALVE
MAG	MAGNOLIA
CM	CRAPE MYRTLE
OS	STOP SIGN
DI	DROP INLET
BM	BENCH MARK
SD	STORM DRAIN
AC	AIR CONDITIONER
SDMH	STORM MANHOLE
SS	SANITARY SEWER
BFP	BACK FLOW PREVENTER
N/W	NAIL W/WASHER

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E-mail: bwherry@southeasternsurveying.com
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Registered Surveyor: Barbara L. Wherry
Registration Number: 6194
In the State of: Florida
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Kimley»Horn

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C003

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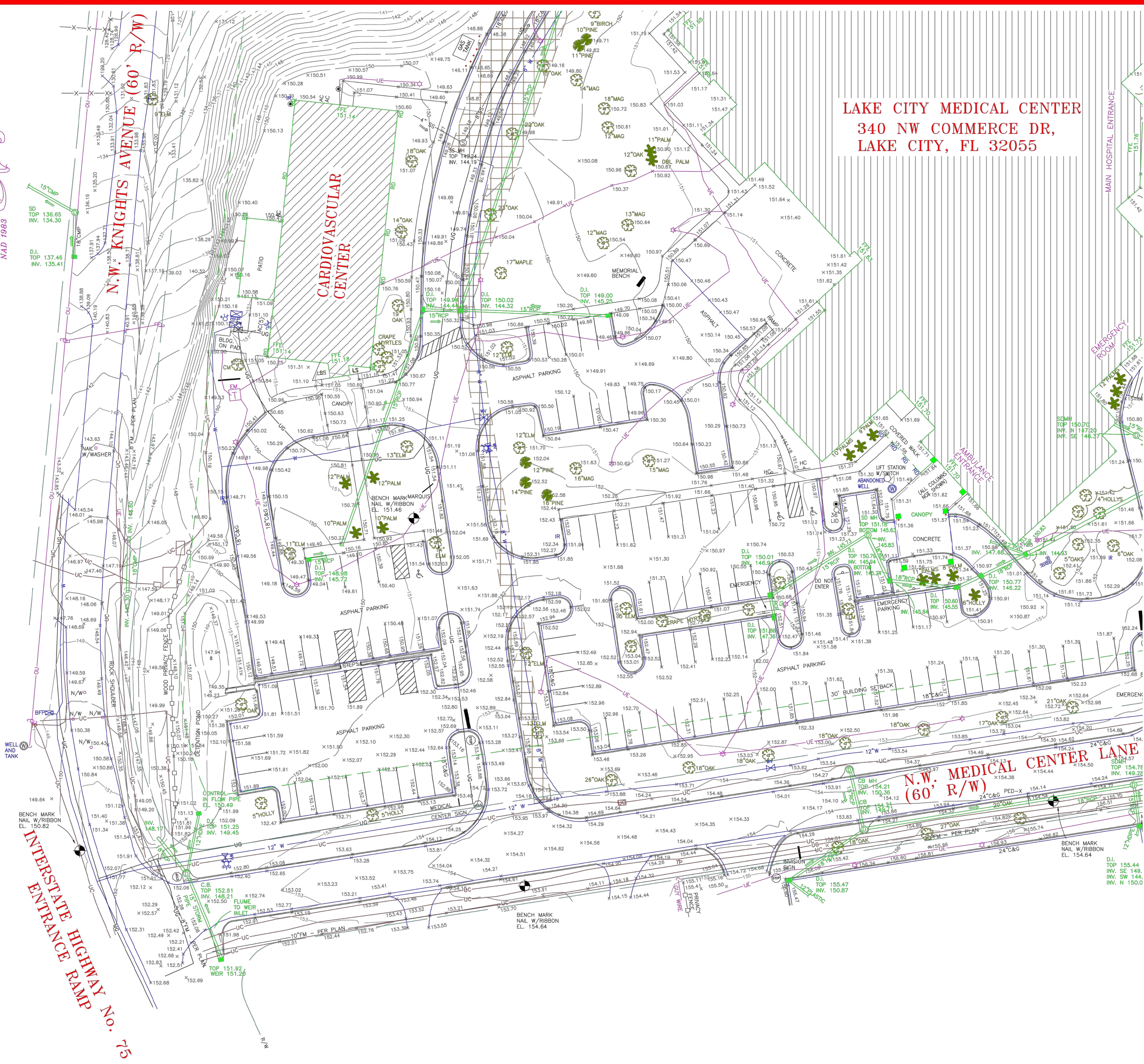
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SHEET 3 OF 4



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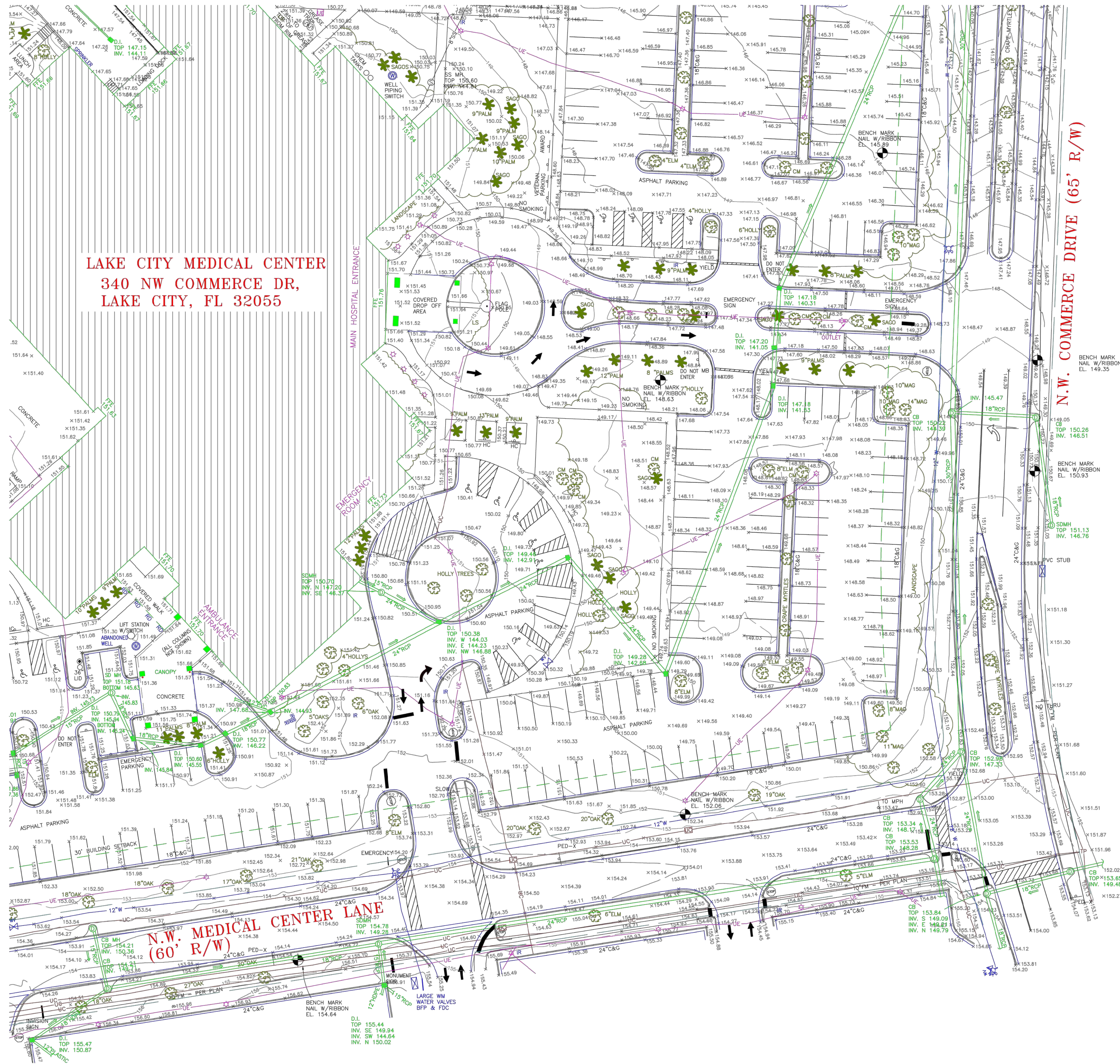
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- RD - IRRIGATION VALVE
- PED-X - ROOF DRAIN
- GV - PEDESTRIAN CROSSING
- C&G - HANDICAP PARKING
- UG - GAS VALVE/METER
- W - CURB & GUTTER
- FF - UNDERGROUND GAS
- UCO - WATER VALVE
- ☆ - FIRE HYDRANT
- Q - FINISHED FLOOR ELEVATION
- W - IN GROUND TELEPHONE/COMMUNICATION
- UE - FIRE DEPARTMENT CONNECT
- TM - LIGHT
- SS MH - POWER POLE
- W - GUY WIRE
- UE - WATER LINE
- TM - UNDERGROUND ELECTRIC
- SS MH - TRANSFORMER
- SS MH - ELECTRIC METER
- SS MH - CLEAN OUT
- SS MH - WELL
- SS MH - SEWER MANHOLE
- SS MH - POST INDICATOR VALVE
- CM - MAGNOLIA
- DI - CRAPE MYRTLE
- DI - STOP SIGN
- DI - DROP INLET
- DI - BENCH MARK
- SD - STORM DRAIN
- AC - AIR CONDITIONER
- SS MH - STORM MANHOLE
- SS - SANITARY SEWER
- BFP - BACK FLOW PREVENTER
- N/W - NAIL W/WASHER

**Southeastern
Surveying, Inc.**

601 N. St. Augustine Rd. Telephone: 229-259-9455
Valdosta, GA 31601 Fax: 229-259-9926
E-mail: bwherry@southernsurveying.com
GA Certificate of Authorization No. 685

Barbara L. Wherry

Registered Surveyor: Barbara
Registration Number: 6194
In the State of: Florida
Corporate License #7091



SHEET 4 OF 4

**Gresham
Smith**

GreshamSmith.com

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FL Registry No. RY3806
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Eric M. Snyder
Florida Registration #96197
Project Principal: Rob Hamby
Project Architect: Eric Snyder
Project Coordinator: Traci Myers
Interior Designer: Morgan Black

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FL Registry No. 1276
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MEP Proj Mgr: Paul C. McKinney
Mech Engineer of Record:
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Florida Registration #61090
Plum/Fire P. Designer:
Donna Seigal
Elec. Engineer of Record:
Paul C. McKinney
Florida Registration #56569
Stanley D. Lindsey & Associates, Ltd.
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FL Registry No. 1329
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Structural Engineer of Record:
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FL Registry No. 696
EOR: Kelsey Lewis, PE
Florida Registration #79384
Proj Mgr: Chris Akers
Landscape AOR: Charlie Johnson
Florida Reg #6667402



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Healthcare

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HCA Constr. Mgr.: Ben McAlpin

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027

ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No.: 3793800011

Florida AHCA
Project Submission No.: 23/100156
Client Code / File No.: 115

Revision		
No.	Date	Description

SURVEY BY OTHERS (4 OF 4)

C005

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PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
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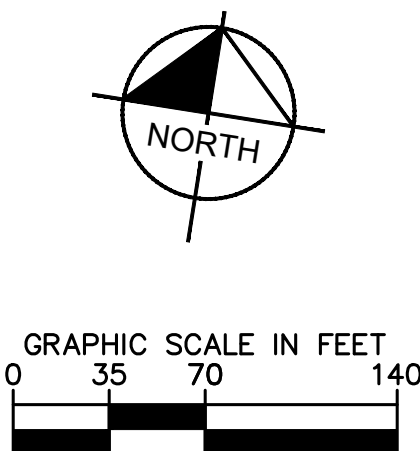
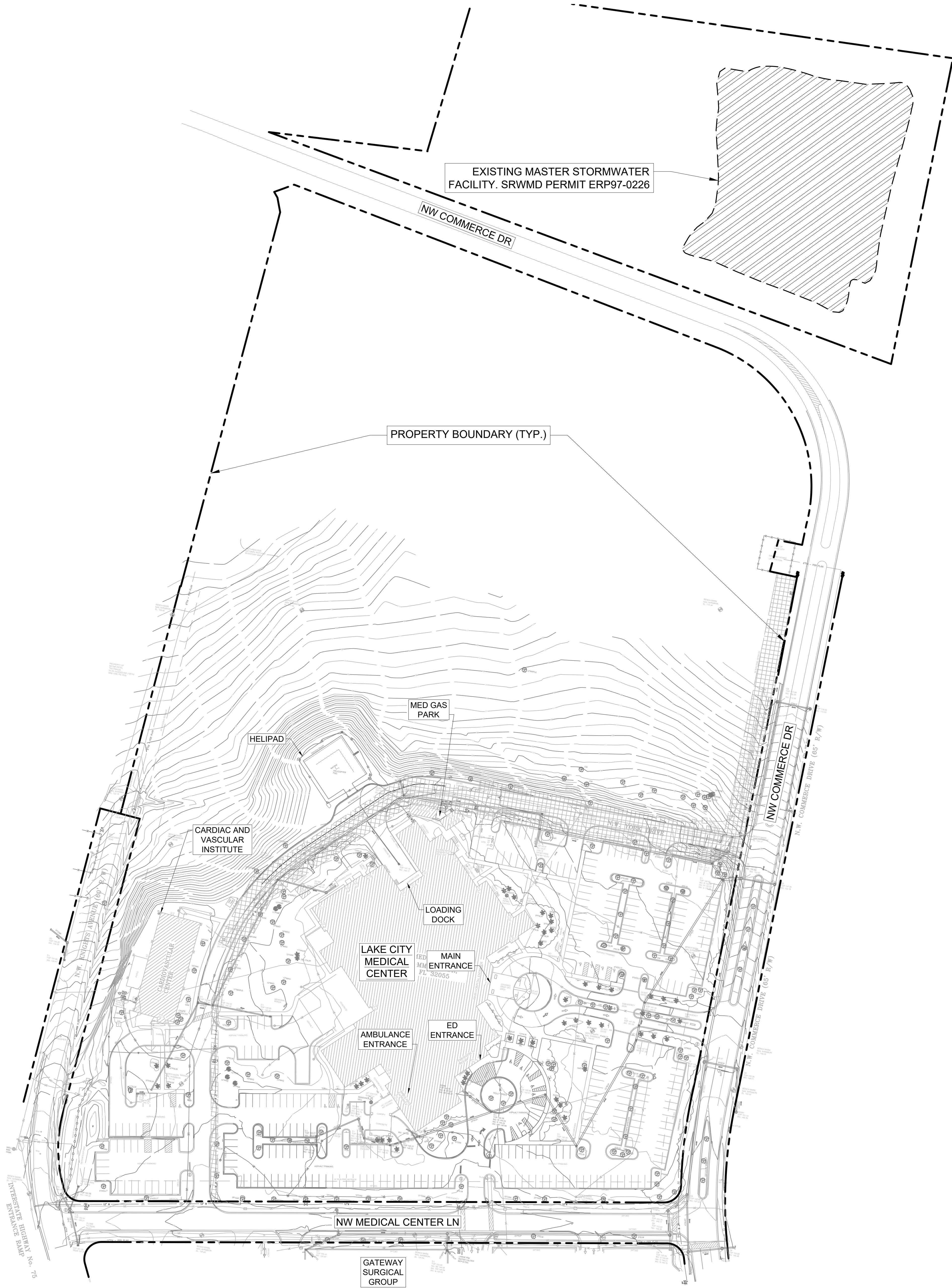
THE PRESENCE OF
GROUNDWATER SHOULD
BE ANTICIPATED.
CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION
FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL
NECESSARY PERMITS.

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BEFORE YOU DIG
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DIAL 811
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



KHA PROJECT: 110909011
GSP PROJECT: 45057.00
DATE: 12/06/2021

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"



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FL Registry No. 1276
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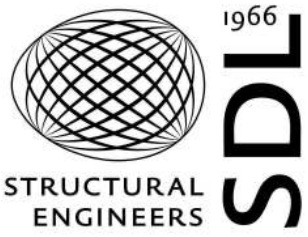
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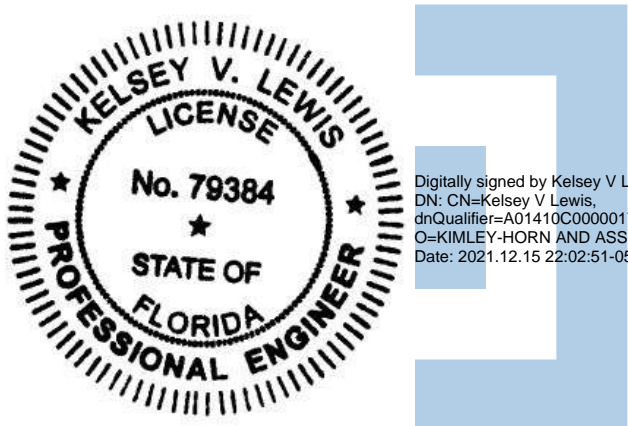
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ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA
Project Submission No.: 23/100156

Client Code / File No.: 115

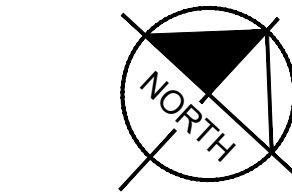
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EXISTING CONDITIONS -
OVERALL

C100

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FULL SHEET SIZE = 30"x42"

KHA PROJECT: 119099011
GSP PROJECT: 45057.00
DATE: 12/06/2021



GRAPHIC SCALE IN FEET
0 10 20 40

UTILITY DEMOLITION NOTE

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING UTILITY SERVICES CURRENTLY SERVING THE EXISTING BUILDING(S). CONTACT THE RESPONSIBLE UTILITY DEPARTMENT AND NOTIFY OWNER A MINIMUM OF 72 HOURS PRIOR TO DISCONNECTING SERVICES TO THE EXISTING BUILDING(S). MAINTAIN UTILITY SERVICE TO THE ADJACENT PROPERTIES FOR THE DURATION OF THE PROJECT.

EXISTING UTILITIES NOTE

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING WITH DEMOLITION AND/OR CONSTRUCTION WITH DEMOLITION AND/OR CONSTRUCTION.

DEMOLITION LEGEND

- REMOVE CONCRETE/ ASPHALT
- REMOVE UNDERGROUND UTILITY / STORM
- REMOVE CURB & GUTTER/ CURB
- REMOVE/ RELOCATE SITE OBJECT (HYDRANT, POLE, TREE, ETC.)
- LIMITS OF DISTURBANCE
- SAWCUT LINE

SEE DEMOLITION NOTES, SHEET C001 - GENERAL NOTES.



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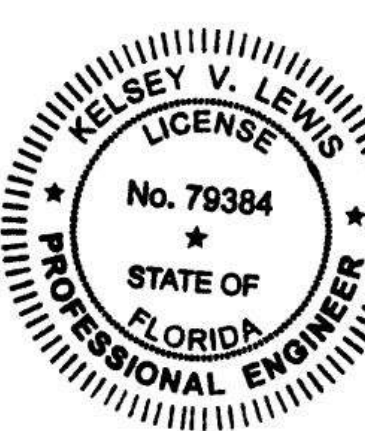
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o=Kimley-Horn, ou=Kimley-Horn, email=k.levi@kimley-horn.com,
c=US
Date: 2021.12.15 22:03:15-0500

ANCILLARY BUILDING

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340 NW Commerce Dr.
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DEMOLITION PLAN

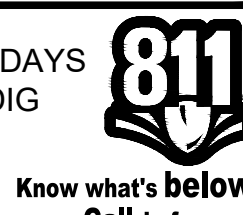
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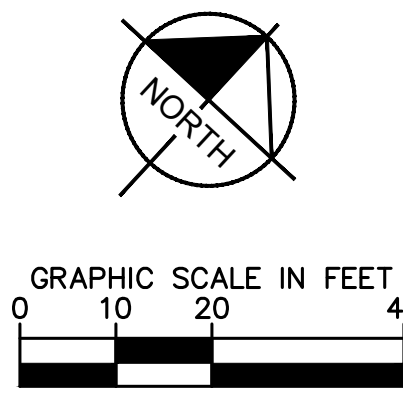
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General Contractors
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o=Kimley-Horn & Associates Inc., ou=KHA,
c=US
Date: 2021.12.15 22:03:48-0500

ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

Client Code / File No.: 115

Revision		
No.	Date	Description

EROSION CONTROL - PHASE
1

C300

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"

Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
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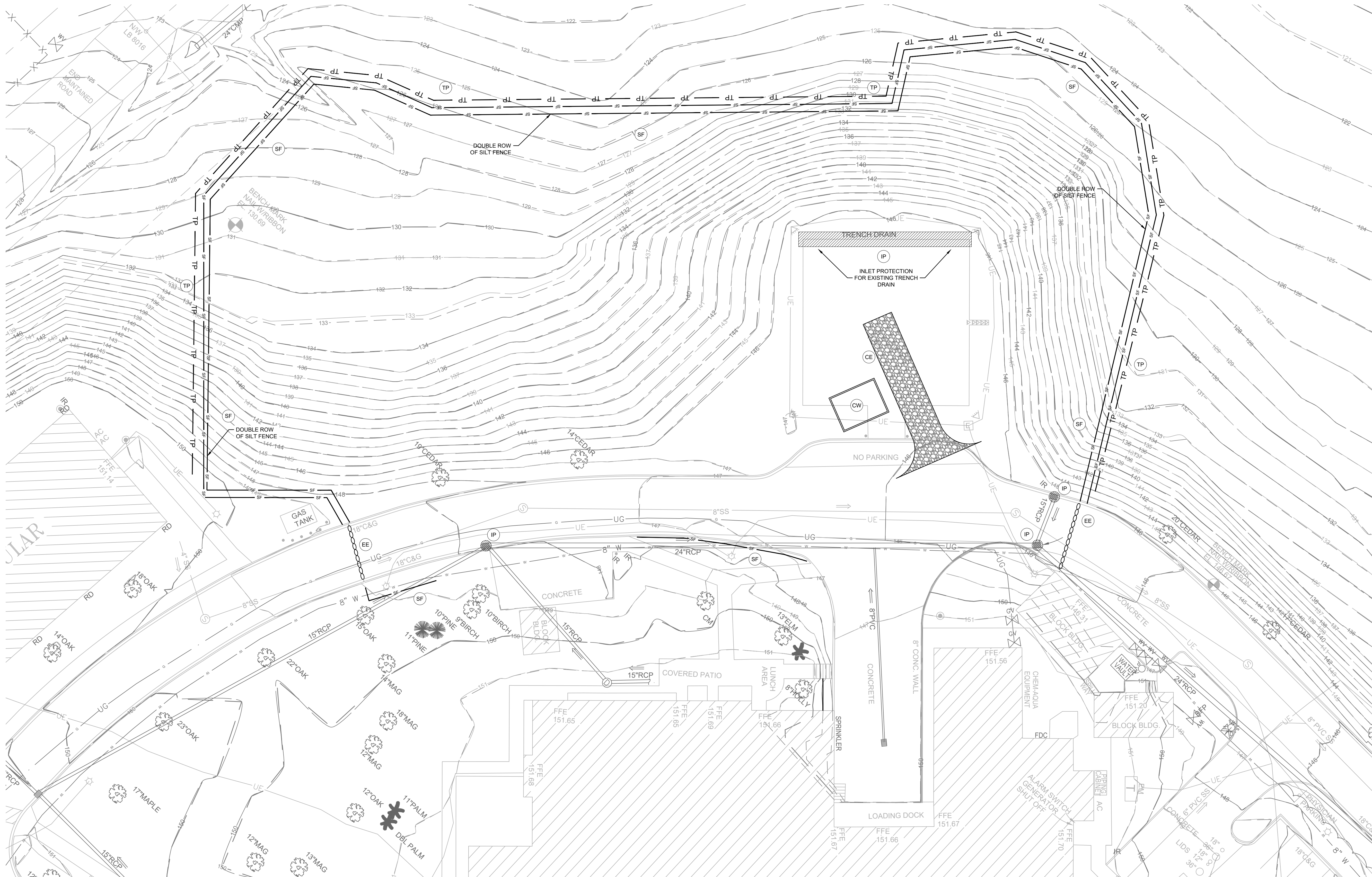
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EROSION CONTROL NOTES

- CONTRACTOR SHALL COORDINATE WITH CITY OF LAKE CITY GROWTH MANAGEMENT AND THE COUNTY'S ENVIRONMENTAL INSPECTOR.
- ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF LAKE CITY'S ENVIRONMENTAL INSPECTOR.
- THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER THE FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. INSPECTOR TO BE DESIGNATED AND AVAILABLE AT THE PRE-CONSTRUCTION MEETING.
- SILT FENCE SHOWN ON THESE PLANS SHALL BE INSTALLED GENERALLY IN THE LOCATIONS INDICATED. ADJUSTED FOR FIELD CONSTRAINTS. ALL PROPOSED SILT FENCE LOCATED WITHIN THE CRITICAL PROTECTION ZONE OF A TREE SHALL BE OF A NON-TRENCHED VARIETY, UNLESS ARBORENTURAL MITIGATION STATES OTHERWISE.
- CONTRACTOR SHALL INSPECT AND REPAIR ALL BMP'S AT LEAST ONCE A WEEK, AND AFTER EVERY SIGNIFICANT RAIN EVENT ($\geq 1/2"$ OF RAINFALL) A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
- ANY BMP IN NEED OF REPAIR OR REINSTALLATION SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF IDENTIFICATION OF THE NEED FOR SUCH CORRECTION.
- ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE APPLICABLE NFWMD ENVIRONMENTAL RESOURCE PERMIT.
- ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH.
- NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS HAVE BEEN NOTED ON THE TREE REMOVAL PLANS OR WHERE TREES ARE TO BE IMPACTED/MITIGATED PER THE TREE MITIGATION PLANS.
- STREET SWEEPING WILL BE REQUIRED AS NECESSARY.
- IMPROVEMENTS SHOWN FOR REFERENCE ONLY.
- COORDINATE DISPOSAL OF EXCAVATED MATERIAL WITH OWNER.

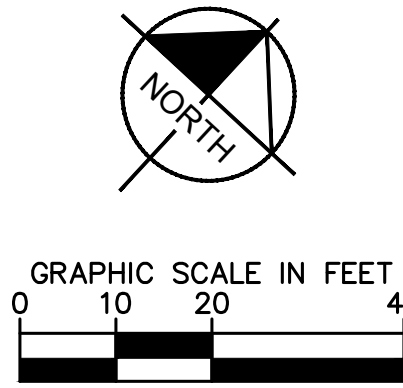
EROSION CONTROL CONSTRUCTION SEQUENCE

- PHASE I:**
- CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCES, SILT FENCE, AND CONCRETE WASHOUTS ON SITE PRIOR TO DEMOLITION BEGINNING.
 - AFTER PERIMETER MEASURES ARE INSTALLED, CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETING WITH THE CITY OF LAKE CITY.
 - ALL 3:1 OR STEEPER SLOPES TO BE STABILIZED WITHIN 7 DAYS.
- PHASE II:**
- CONTRACTOR TO CLEAR, GRUB, AND GRADE SITE.
 - INSTALL PROPOSED UTILITIES INCLUDING PROPOSED STORM INLETS WITH PROTECTION.
 - CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, OR AS INSTRUCTED BY THE EROSION CONTROL INSPECTOR.
- PHASE III:**
- PERMANENTLY STABILIZE SITE.
 - UPON PERMANENT SITE STABILIZATION, REMOVE SILT FENCE, TREE PROTECTION, AND ALL OTHER TEMPORARY EROSION CONTROL DEVICES.
 - FINISH INSTALLING PERMANENT STORMWATER BMP'S SHOWN ON EROSION CONTROL PLANS.



Drawing name: K:\NSH_LDEV\116990111 - Lake City\ACAD\DWG\Sheets\Ancillary\C300 EROSION CONTROL.dwg C300 EROSION CONTROL - PHASE 1 Dec 15, 2021 11:03am by Zack Newman

KHA PROJECT: 116990111
GSP PROJECT: 45057.00
DATE: 12/06/2021



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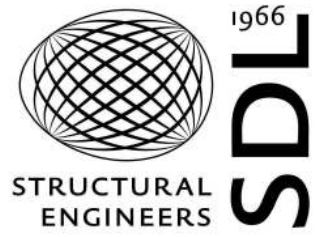
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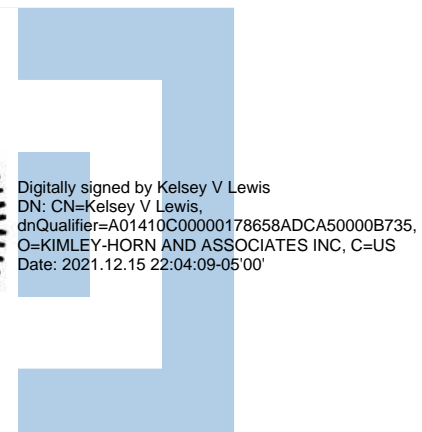
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Florida AHCA
Project Submission No.: 23/100156

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Revision		
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EROSION CONTROL - PHASE
2

C301

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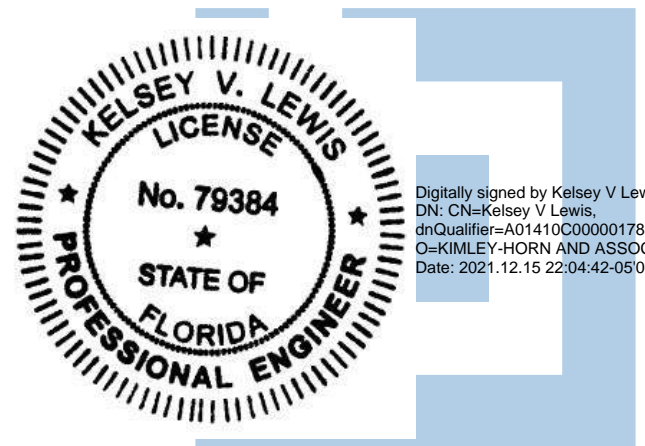


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LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793

Project Submission No : 23/10

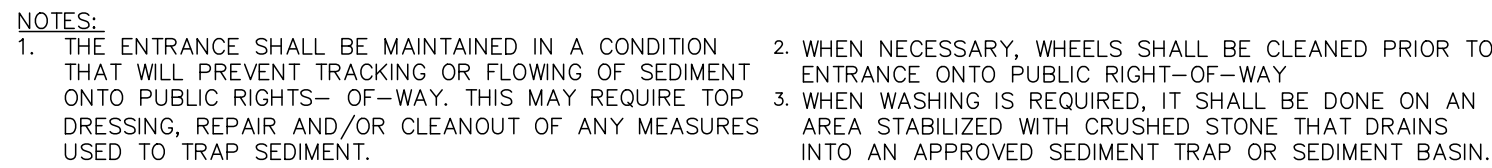
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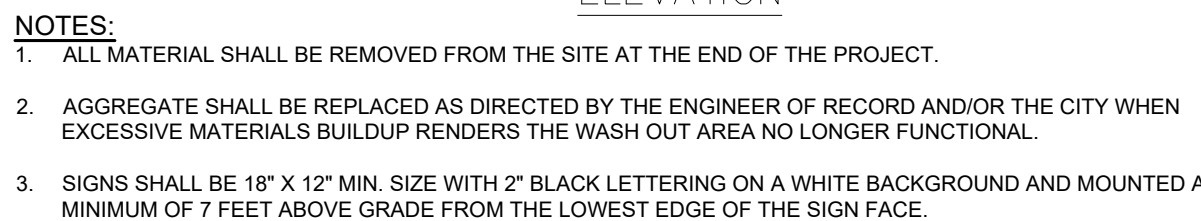
EROSION CONTROL DETAILS

C302

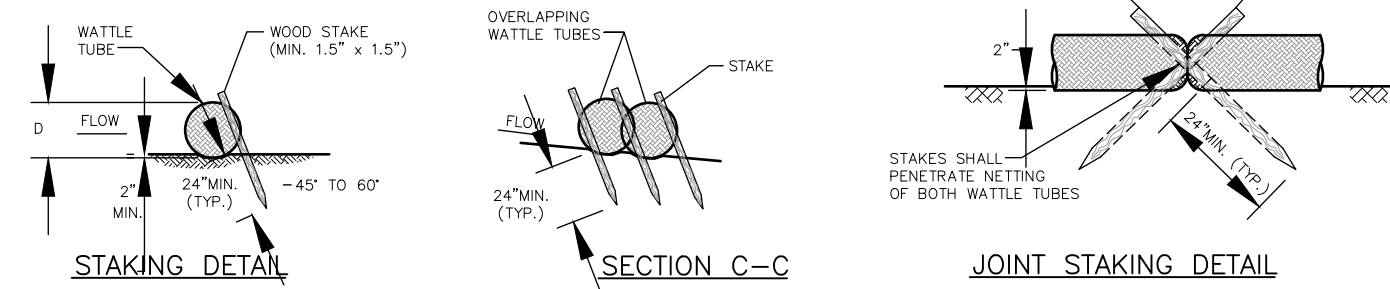
KHA PROJECT: 118099011
GSP PROJECT: 45057.00
DATE: 12/06/2021



1 CONSTRUCTION ENTRANCE (SOIL TRACKING PREVENTION)
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

NOT TO SCALE

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
NAVD 1988 FLORIDA NORTH ZONE

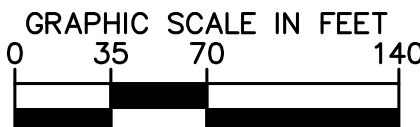
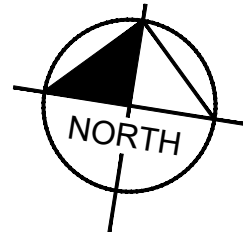
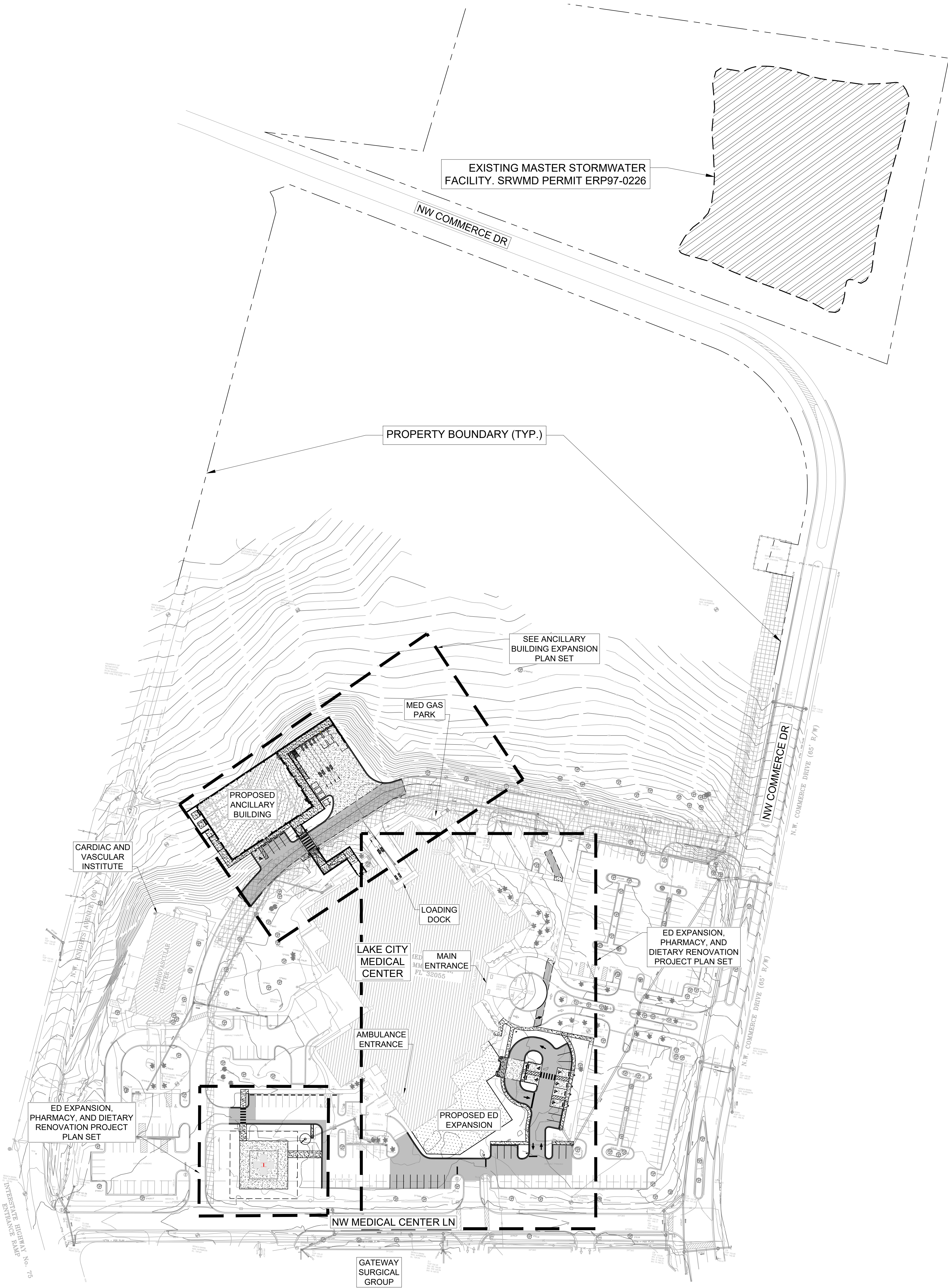
CALL 2 WORKING DAYS
BEFORE YOU DIG

IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

THE PRESENCE OF
GROUNDWATER SHOULD
BE ANTICIPATED.
CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION
FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL
NECESSARY PERMITS.



SITE DATA TABLE	
OWNER OF RECORD	NOTAMI HOSPITALS OF FL INC.
SITE ADDRESS	340 NW COMMERCE DRIVE, LAKE CITY, FL 32055
TOTAL PARCEL AREA	± 41.3 AC
PROJECT DISTURBANCE AREA (ED EXPANSION)	± 1.7 AC
PROJECT DISTURBANCE AREA (ANCILLARY EXPANSION)	± 1.6 AC
PARCEL / TAX NUMBER	35-35-16-02556-003
ZONING DISTRICT	CG (COMMERCIAL GENERAL)
EXISTING LAND USE	MEDICAL
FEMA FLOOD ZONE	12023C0290D; 12023C0291D DATED NOVEMBER 2, 2018 FLOOD ZONE: X

SETBACKS	REQUIRED	EXISTING/ PROPOSED
PARCEL FRONT	24	24
PARCEL SIDE	10	10
PARCEL REAR	15	15
LANDSCAPE BUFFERS		
LANDSCAPE BUFFERS	10	10
BUILDING DATA		
FLOOR AREA RATIO (FAR)	1	TBD

Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No.: 3793800011
Florida AHCA
Project Submission No.: 23/100156
Client Code / File No.: 115

Revision		
No.	Date	Description

OVERALL SITE LAYOUT

C400



GreshamSmith.com

ARCHITECT, INTERIOR DESIGN, ME&P
GRAPHICS
Gresham Smith
222 2nd Avenue South, Suite 1400
Nashville, TN 37201-2308
615.770.8100
FL Qualifier No. AR0013420
FL Registry No. RY3806
Architect/Interior Designer of Record:
Eric M. Snyder
Florida Registration #96197
Project Principal: Rob Hamby
Project Architect: Eric Snyder
Project Coordinator: Traci Myers
Interior Designer: Morgan Black

ME&P
I.C. Thomasson Associates, Inc.
2950 Kraft Drive, Suite 500
Nashville, TN 37204
615.346.3400
FL Qualifier No. 38970
FL Registry No. 1276
MEP Principal: Josh Cartwright
MEP Proj Mgr: Paul C. McKinney
Mech Engineer of Record:
Shawn Sullivan
Florida Registration #61090
Plum/Fire P. Designer:
Donna Seigal
Elec. Engineer of Record:
Paul C. McKinney
Florida Registration #56569

STRUCTURAL
Stanley D. Lindsey & Associates, Ltd.
177 Telecom PM, Michael Henry
750 Old Hickory Blvd, Building 1,
Suite 175
Brentwood, TN 37027
615.320.1735
FL Qualifier No. 39200
FL Registry No. 1329
Project Principal/Engineer:
Mark Hiner
Structural Engineer of Record:
Michael E. Corrin
Florida Registration #62025

CIVIL & LANDSCAPE
Kimley-Horn
2619 Centennial Blvd., Suite 200,
Tallahassee, FL 32308
850.553.3500
FL Qualifier No. 49629
FL Registry No. 696
EOR: Kelsey Lewis, PE
Florida Registration #79384
Proj Mgr: Chris Akers
Landscape AOR: Charlie Johnson
Florida Reg #6667402



I.C. Thomasson Associates, Inc.

CONSULTING ENGINEERS
2950 KRAFT DRIVE, SUITE 500
NASHVILLE, TN, 37204
PHONE: (615) 346-3400
FAX: (615) 346-3550
www.ictthomasson.com



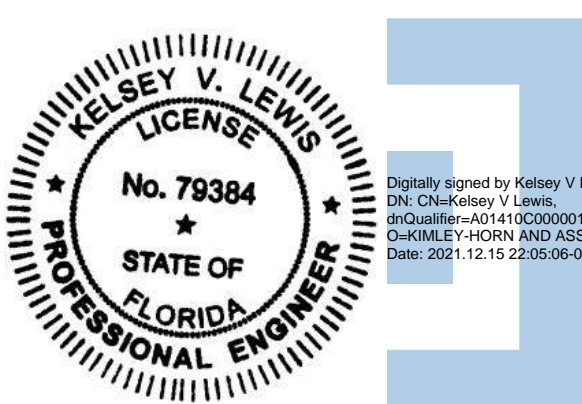
Kimley»Horn

2619 Centennial Blvd Suite 200,
Tallahassee, FL 32308



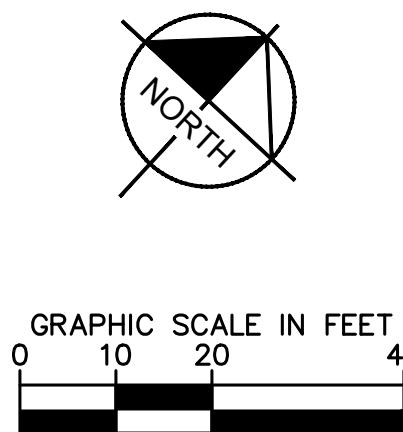
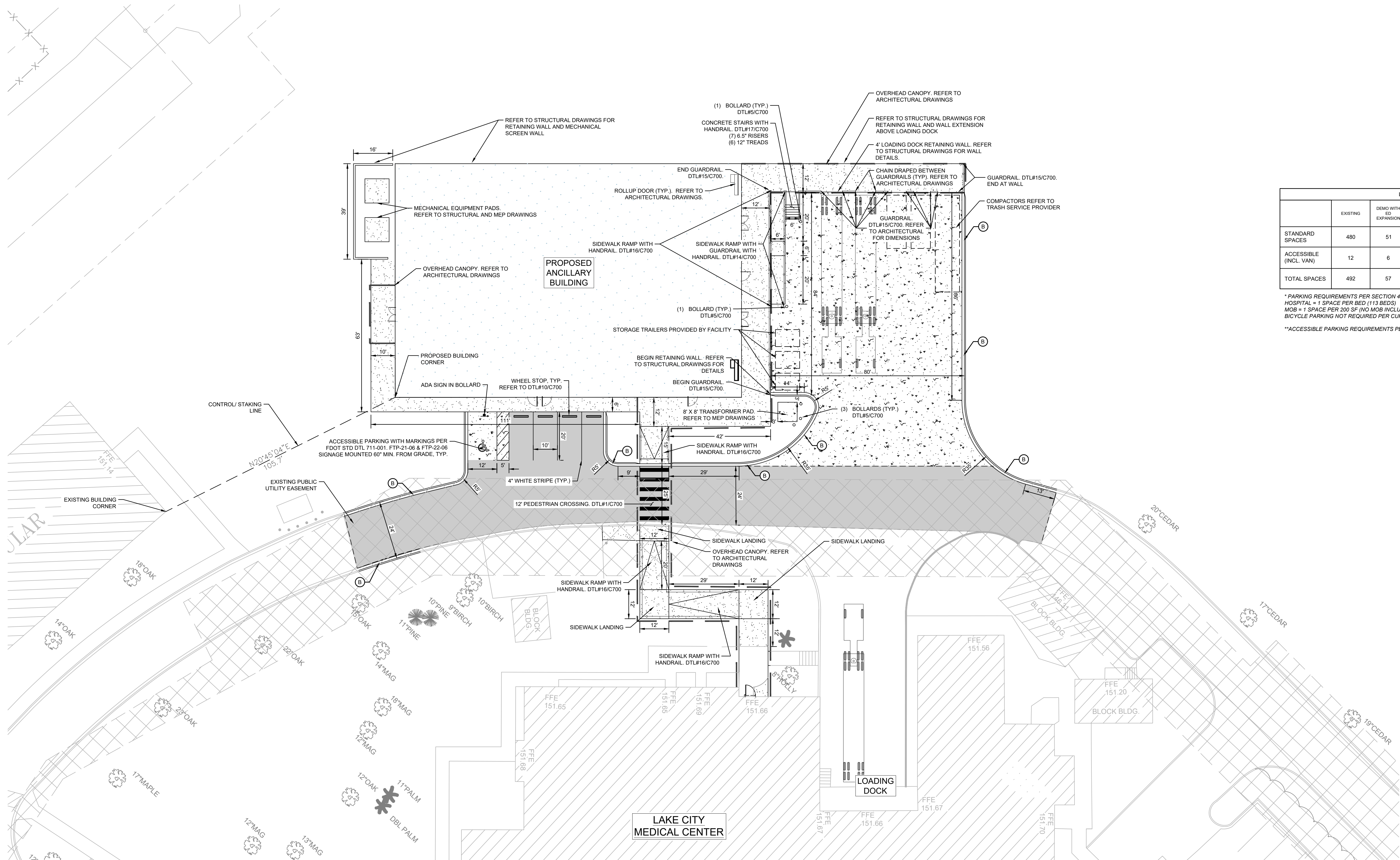
HCA Design & Construction
One Park Plaza, PO Box 550
Big, II, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Nicole Hoch
HCA Constr. Mgr.: Ben McAlpin

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
Brentwood, TN 37027



Digitally signed by Kelsey V. Lewis
DN: cn=Kelsey V. Lewis,
o=Kimley-Horn and Associates, Inc., c=US
Date: 2021.12.15 22:05:05 -0500

Drawing name: K:\NSH_LDEV\11899011-Lake City\ACAD\DWG\Site\Sheets\Ancillary\C401 SITE LAYOUT - ENLARGEMENT.dwg Date: 10/10/2021 11:04am by: Zach Newman




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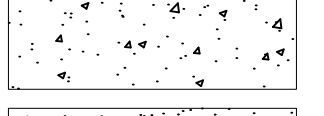
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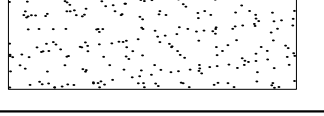
LAKE CITY MEDICAL CENTER PARKING DATA									
	EXISTING	DEM'D WITH ED EXPANSION	DEM'D WITH ANCILLARY	PROPOSED WITH ED EXPANSION	PROPOSED WITH ANCILLARY	RESULTING TOTAL	CODE REQUIRED	EXCESS PARKING (PROPOSED - CODE REQUIRED)	
STANDARD SPACES	480	51	0	13	4	446	113	333	
ACCESSIBLE (INCL. VAN)	12	6	0	6	1	13	9**	4	
TOTAL SPACES	492	57	0	19	5	459	122	337	

* PARKING REQUIREMENTS PER SECTION 4.12.11: HOSPITAL = 1 SPACE PER BED (113 BEDS) MOB = 1 SPACE PER 200 SF (NO MOB INCLUDED - OUT OF PROJECT SCOPE) BICYCLE PARKING NOT REQUIRED PER CURRENT LDC
**ACCESSIBLE PARKING REQUIREMENTS PER SECTION 208.2 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PAVEMENT LEGEND

 MEDIUM DUTY ASPHALT (REFER TO DETAIL #2 ON SHEET C700)


 CONCRETE PAVEMENT (REFER TO DETAIL #4 ON SHEET C700)

 CONCRETE SIDEWALK (REFER TO DETAIL #3 ON SHEET C700)

SITE LAYOUT NOTES

- INSTALL CONCRETE JOINTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.).
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- ALL LANDSCAPE ISLANDS SHALL BE BOUNDED WITH "TOP SOIL" 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL PAVEMENT MARKINGS ON-SITE ARE PAINT AND ALL STOP BARS ARE THERMOPLASTIC UNLESS OTHERWISE NOTED.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND CITY OF LAKE CITY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
- PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT CITY OF LAKE CITY FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.

CURB TYPE LEGEND

 MODIFIED TYPE 1" CURB. REFER TO DTL#13/C700


GreshamSmith.com

ARCHITECT, INTERIOR DESIGN, GRAPHICS
Gresham Smith
222 2nd Avenue South, Suite 1400
Nashville, TN 37201-2308
615.770.8100
FL Qualifier No. AR0013420
FL Registry No. RY3806
Architect/Interior Designer of Record:
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1.7/Telecom PM: Michael Henry

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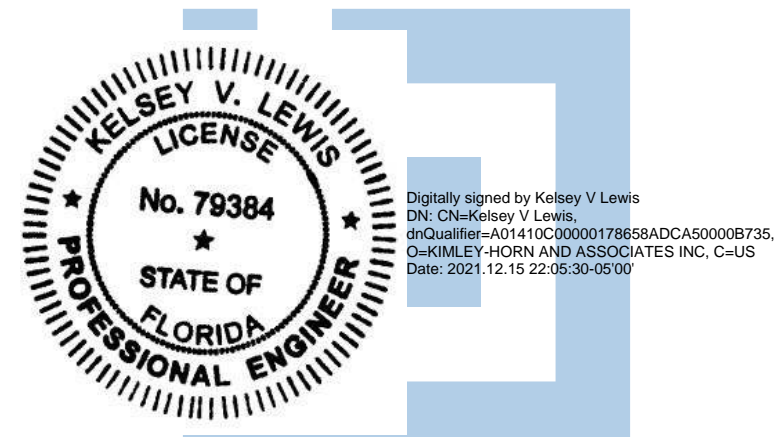


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One Park Plaza, PO Box 550
Big, IL, East 3rd Floor
Nashville, TN 37203
HCA Design Mgr.: Nicole Hoch
HCA Constr. Mgr.: Ben McAlpin

General Contractors
Robins & Morton
5500 Maryland Way, Suite 100
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340 NW Commerce Dr.
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HCA Project No.: 3793800011
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Project Submission No.: 23/100156
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Revision		
No.	Date	Description

SITE LAYOUT
ENLARGEMENT

C401

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"

Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
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DIAL 811
Sunshine State One Call of Florida, Inc. (800) 877-8111



KHA PROJECT: 11899011
GSP PROJECT: 45057.00
DATE: 12/06/2021

No.	Date	Description

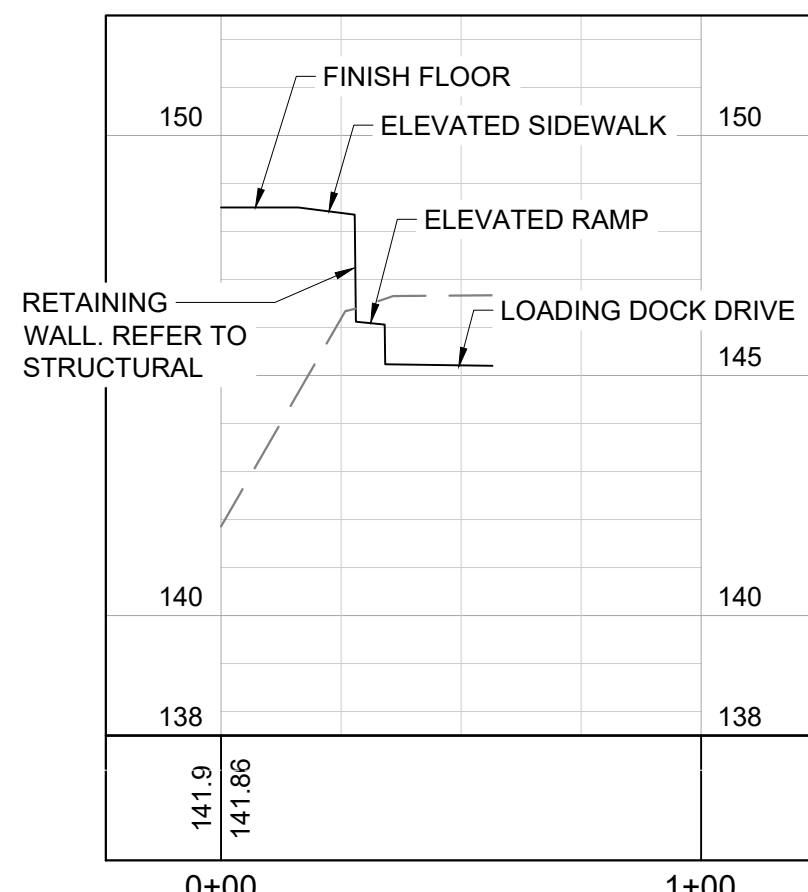
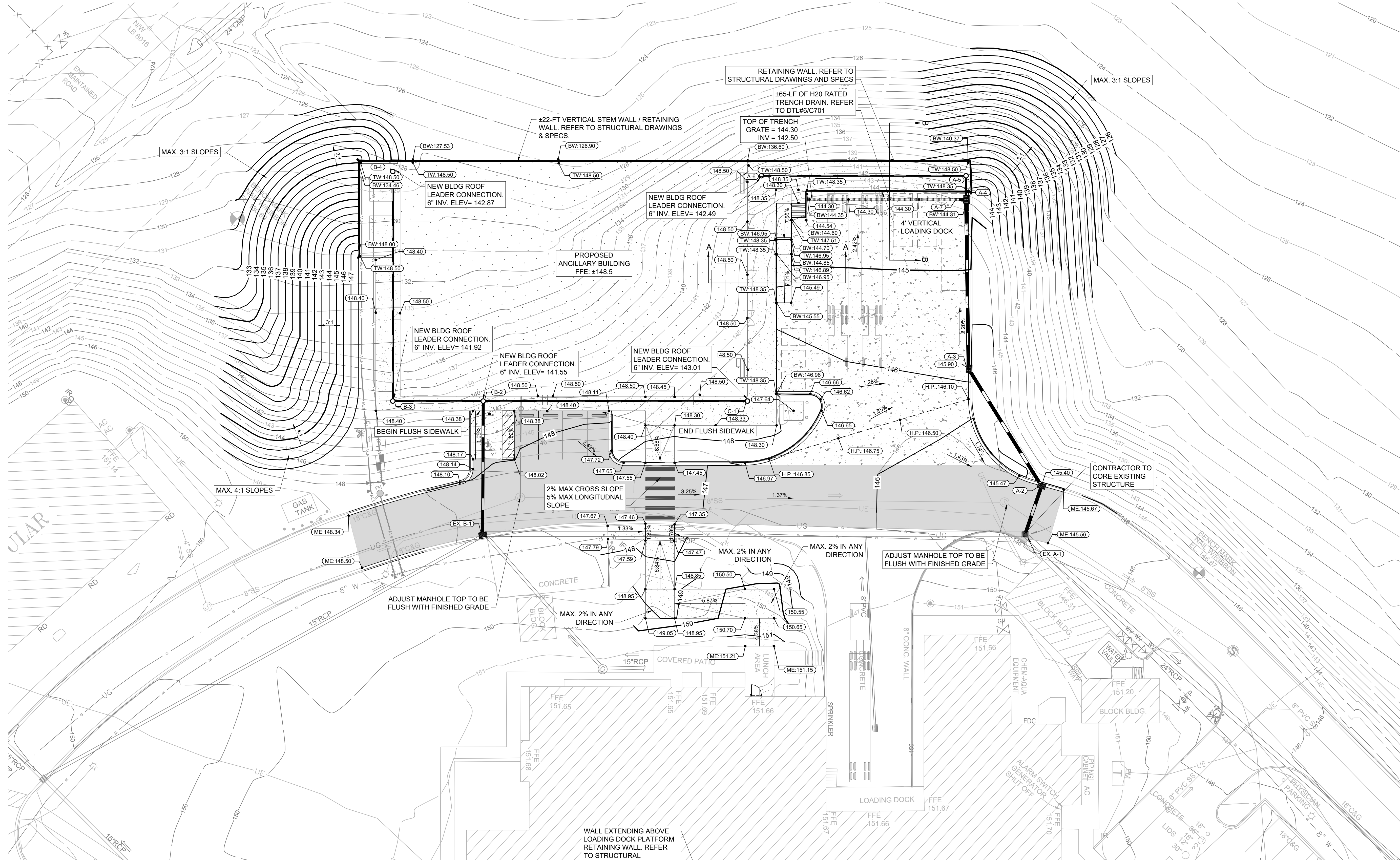
GRADING NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNERS REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
2. AREAS FOR CONSTRUCTION THAT REQUIRE DEWATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
3. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
4. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DIS TURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
5. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER.
6. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
7. THE GRADING PERMIT SITE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
8. EROSION AND SEDIMENT CONTROL DEVICES MUST BE DISPLAYED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
9. SEDIMENTATION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
11. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
12. CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
13. ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT, REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SOIL.
14. INSTALL SOD OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
15. TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
16. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
17. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-424-4770.
18. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
19. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING US PRECAST (UBP), US FOUNDRY (UBF), OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) PRODUCTS AS SPECIFIED OR APPROVED EQUAL.
20. ALL STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
21. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
22. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%.
23. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPES FOR RAMPS SHALL NOT EXCEED 12:1 (8.33%).
24. ALL SIDEWALK TURNING MANEUVERS TO BE LESS THAN 2% SLOPE IN ANY DIRECTION.
25. PROPOSED ELEVATIONS IN ALL PAVEMENT AREAS REPRESENT FINISHED TOP OF SOD/GRASS OR ANY OTHER LANDSCAPE MATERIAL.
26. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
27. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPE.
28. CONTRACTOR SHALL PROVIDE FIELD VERIFIED AS-BUILTS FOR ALL STORMWATER MANAGEMENT AREAS AND INFRASTRUCTURE.
29. ALL CLEANOUTS LOCATED WITHIN SIDEWALKS SHALL HAVE ADA ACCESSIBLE CAPS.
30. ALL CLEANOUTS WITHIN DRIVE AREAS SHALL HAVE H-20 LOADED RATED CAPS.

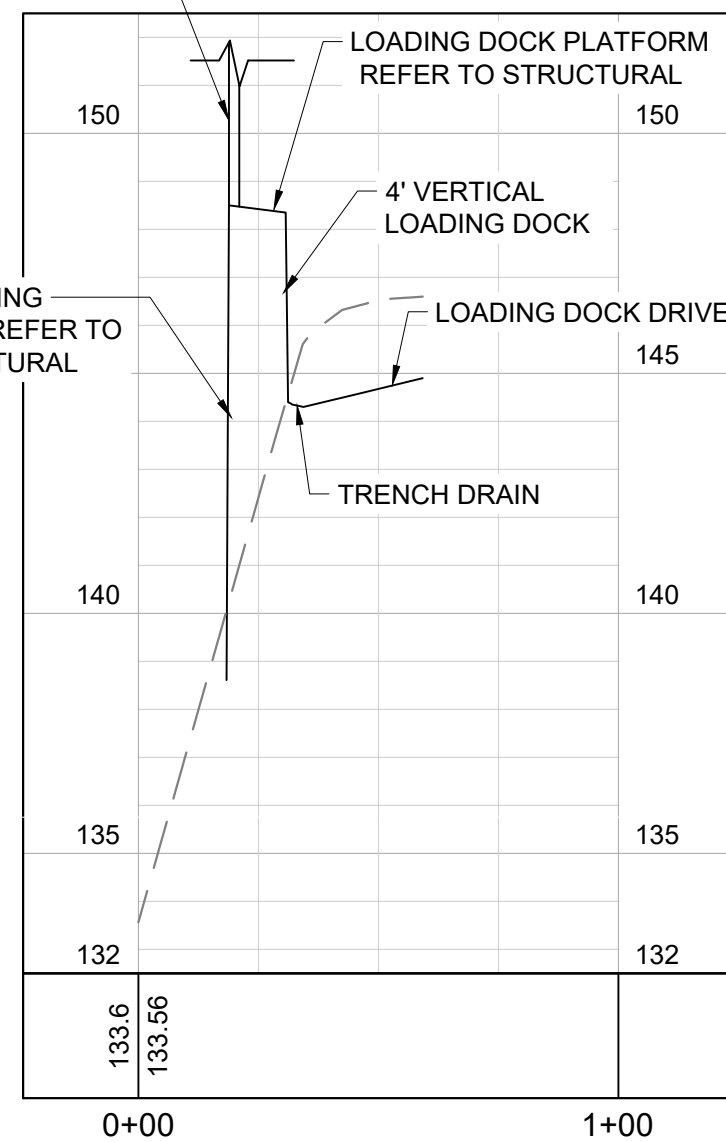
GRADING PLAN LEGEND

- SPOT ELEVATION
HIGH POINT
LOW POINT
TOP OF CURB/GUTTER LINE
TOP OF GRADE / COVER
FINISHED GRADE AT
AT LOWER SIDE OF WALL
FINISH FLOOR ELEVATION
EXISTING CONTOUR
PROPOSED CONTOUR

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SECTION A - A



SECTION B - B

STRUCTURE TABLE		
NAME	DESCRIPTION	TOP GRATE
A-2	TYPE 9 CURB INLET FDOT 425-024 P-BOTTOM/FDOT 425-010	145.40
A-3	TYPE 9 CURB INLET FDOT 425-024 P-BOTTOM/FDOT 425-010	145.90
A-4	TYPE 9 CURB INLET FDOT 425-024 P-BOTTOM/FDOT 425-010	144.30
A-5	CLEANOUT	148.43
A-6	CLEANOUT	148.42
A-7	TRENCH DRAIN	144.30
B-2	CLEANOUT	148.46
B-3	CLEANOUT	148.47
B-4	CLEANOUT	148.50
C-1	CLEANOUT	148.47
EX. A-1	EX. INLET DRAIN	145.35
EX. B-1	EX. INLET DRAIN	147.78

PIPE TABLE						
NAME	UPSTREAM	DOWNSTREAM	SIZE	LENGTH	SLOPE	MATERIAL
A-2 - EX. A-1	136.88 (A-2)	135.84 (EX. A-1)	15"	21'	5.00%	RCP
A-3 - A-2	139.16 (A-3)	136.88 (A-2)	15"	57'	4.00%	RCP
A-4 - A-3	140.55 (A-4)	139.16 (A-3)	15"	70'	2.00%	RCP
A-5 - A-4	141.65 (A-5)	141.55 (A-4)	6"	10'	1.00%	PVC
A-6 - A-5	142.49 (A-6)	141.65 (A-5)	6"	85'	1.00%	PVC
A-7 - A-4	141.59 (A-7)	141.55 (A-4)	10"	4'	1.00%	HDPE
B-2 - EX. B-1	141.55 (B-2)	141.00 (EX. B-1)	12"	56'	1.00%	PVC
B-3 - B-2	141.92 (B-3)	141.55 (B-2)	6"	38'	1.00%	PVC
B-4 - B-3	142.87 (B-4)	141.92 (B-3)	6"	90'	1.00%	PVC
C-1 - B-2	143.01 (C-1)	141.55 (B-2)	6"	109'	1.34%	PVC

ANCILLARY BUILDING

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Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

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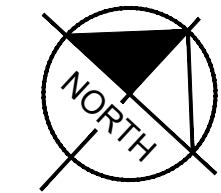
Revision

No.	Date	Description

SITE UTILITY PLAN

C600

LINE IS 3 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 30"x42"



GRAPHIC SCALE IN FEET
0 10 20 40

UTILITY LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING UNIDENTIFIED UTILITY
---	FDC
---	EXISTING FIBER OPTIC LINE
---	EXISTING ELECTRIC BOX
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING WATER METER
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY SEWER LINE
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING GAS LINE
---	EXISTING GAS METER
---	PROPOSED DOMESTIC WATER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED WATER METER VAULT
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER CLEANOUT

UTILITY NOTES

- CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- ALL WATER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF LAKE CITY UTILITIES DEPARTMENT STANDARD SPECIFICATIONS, LATEST EDITION.
- ALL SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF LAKE CITY'S STANDARD SPECIFICATIONS, LATEST EDITION.
- MAINTAIN MINIMUM 10 FEET VERTICAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS. REFER TO THE CITY OF LAKE CITY'S STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
- ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.

SANITARY SEWER GENERAL NOTES

- PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS, EASEMENTS AND APPROVALS HAVE BEEN OBTAINED. COPIES TO BE SUBMITTED AT PRECONSTRUCTION MEETING.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CHANGES OR ALTERATIONS MADE TO THESE CONSTRUCTION DRAWINGS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER VOIDS THE SEAL SHOWN HEREON, AND ANY LIABILITY ASSOCIATED WITH THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL NOTIFY ALL UTILITIES WITHIN AND ADJACENT TO THE PROJECT SITE TO IDENTIFY ANY POSSIBLE CONSTRUCTION CONFLICTS. THE ACCURACY OF THE LOCATIONS OF THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS IS NOT GUARANTEED. NOR IS IT GUARANTEED THAT ALL SUBSURFACE STRUCTURES ARE SHOWN.
- ALL PROPOSED SANITARY SEWER LINES AND MANHOLES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAKE CITY UTILITIES DEPARTMENT.
- SEWERS MUST BE CONSTRUCTED BY A LICENSED MUNICIPAL UTILITY CONTRACTOR (CLASSIFIED MU).
- THE CONTRACTOR SHALL NOTIFY THE CITY OF LAKE CITY UTILITIES DEPARTMENT 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ALL CUTS AND FILLS SHALL BE IN PLACE AND COMPACTED PRIOR TO SEWER CONSTRUCTION.
- WHERE WATER PIPING CROSSES THE SANITARY SEWER LINE, THE WATER SERVICE WITHIN 10 FEET OF THE POINT OF CROSSING SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE, OR THE SEWER LINE SHALL BE OF DUCTILE IRON FROM MANHOLE TO MANHOLE. ALL LATERALS SHALL BE MARKED WITH MAGNETIC TAPE.
- ALL CONNECTIONS TO EXISTING MANHOLES MUST BE CORED, BOOTED, AND INVERTS REFORMED.
- NEW MANHOLES SHALL NOT BE ADJUSTED MORE THAN 6 INCHES BY THE USE OF ONE CONCRETE RISER RING OR DOUGHNUT. MANHOLES RAISED MORE THAN 6" SHALL REQUIRE THE REMOVAL OF THE CONE SECTION AND PLACEMENT OF THE APPROPRIATE SIZE MANHOLE RISER. THE CONE SECTION SHALL THEN BE REINSTALLED OR REPLACED DEPENDING ON CONDITION.
- UPON COMPLETION OF THE PROJECT, "AS BUILT" DRAWINGS MUST BE PREPARED BY A FLORIDA REGISTERED ENGINEER AND SUBMITTED TO THE CITY OF LAKE CITY UTILITIES DEPARTMENT. (HARD COPY AND ELECTRONIC FORMAT).
- THE CONTRACTOR SHALL CALL THE CITY OF LAKE CITY UTILITIES DEPARTMENT FOR A PRE-CONSTRUCTION MEETING AT LEAST FIVE BUSINESS DAYS BEFORE THE START OF SEWER CONSTRUCTION.

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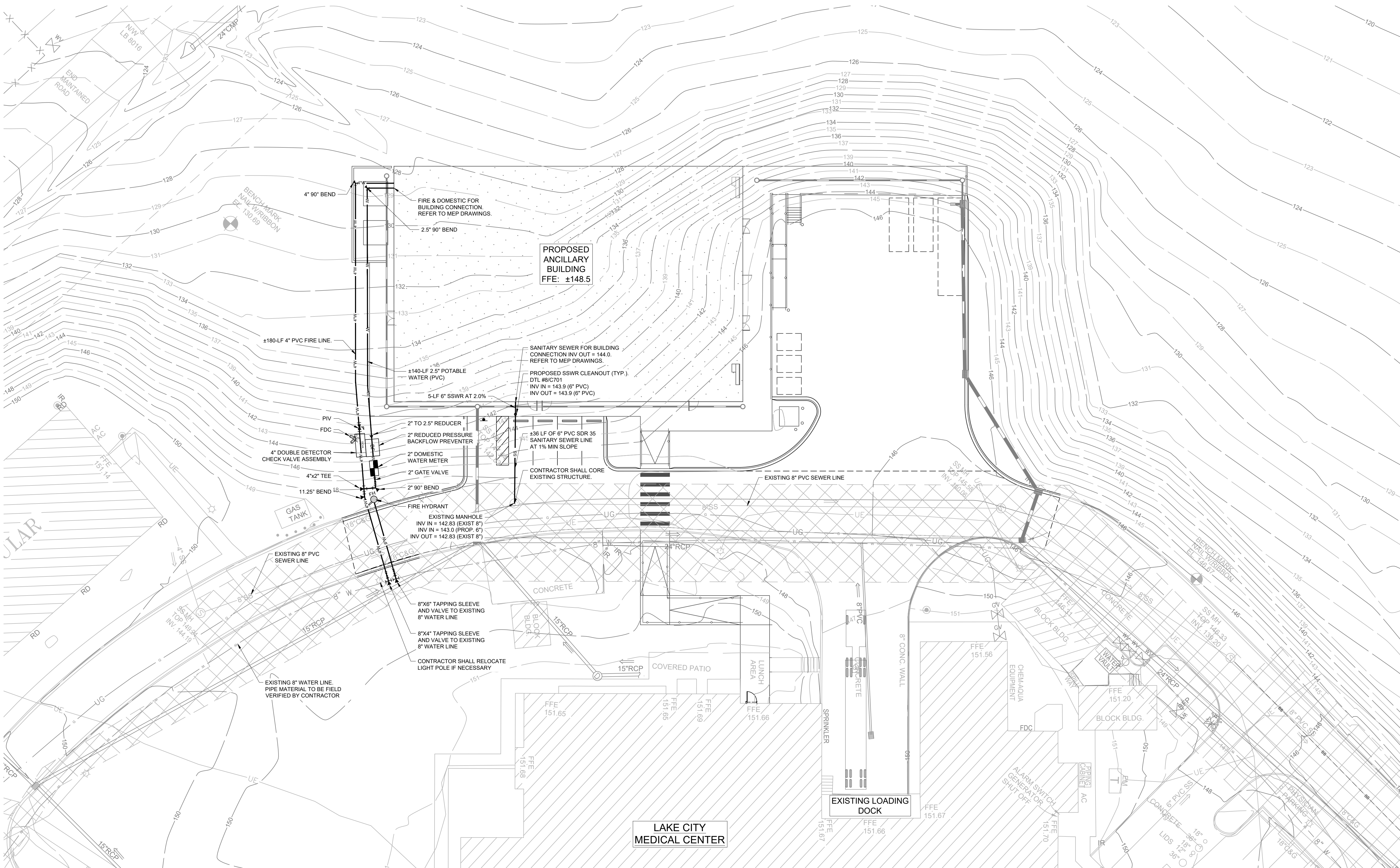
PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
NAVD 1988 FLORIDA NORTH ZONE

CALL 2 WORKING DAYS
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

THE PRESENCE OF
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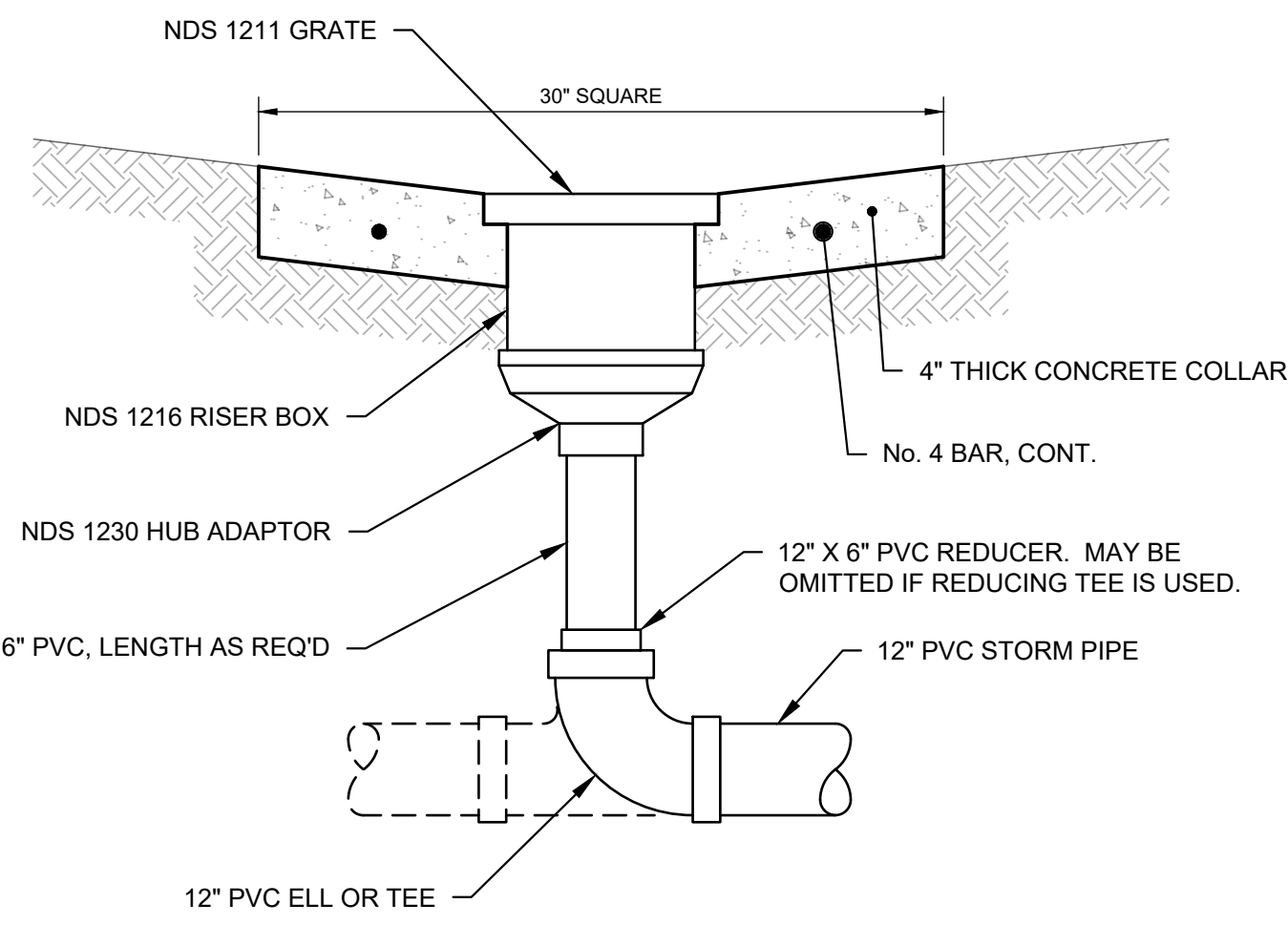
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1 NOT USED
NOT TO SCALE

2 PAVEMENT TRENCH REPAIR
NOT TO SCALE

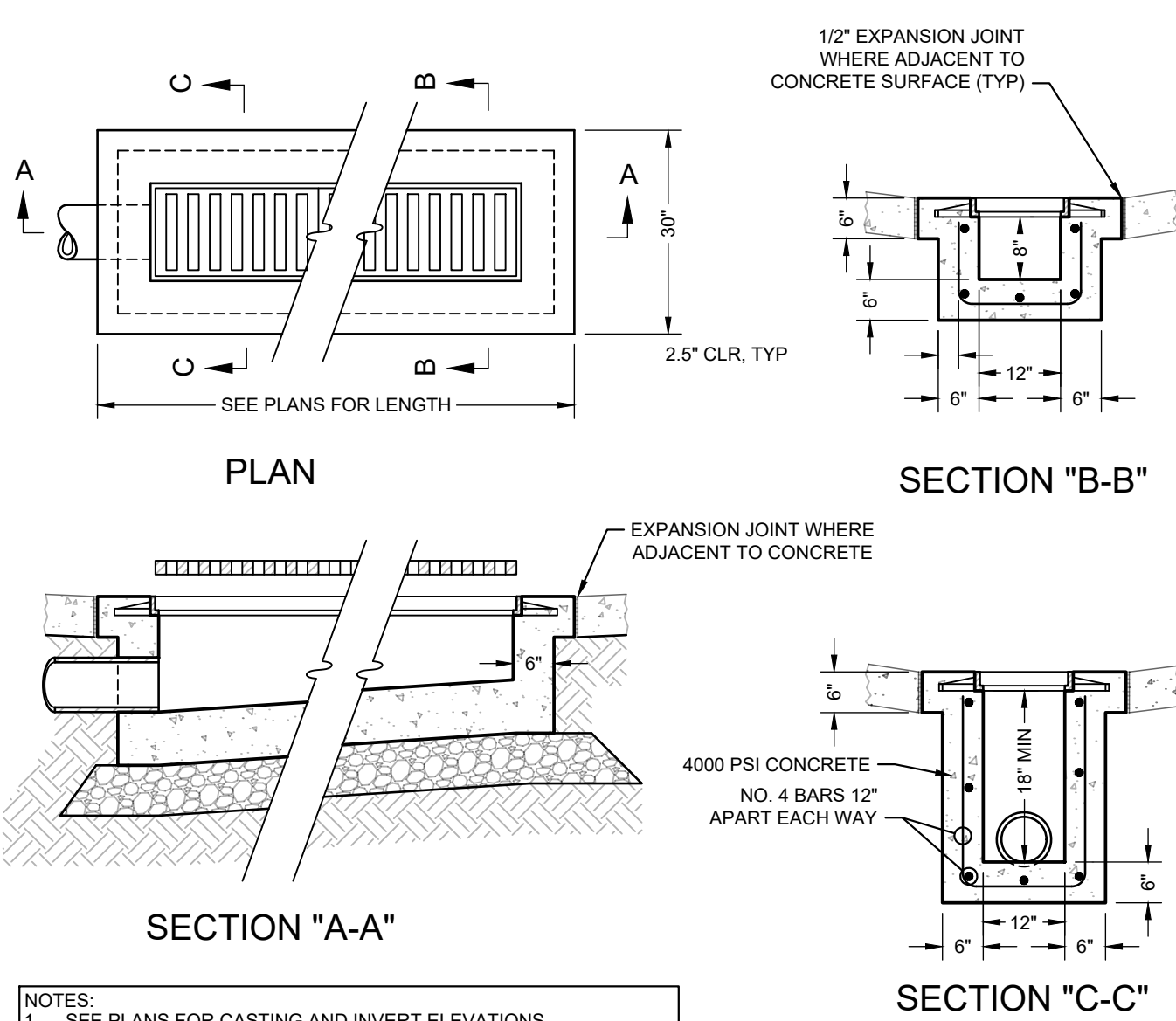
3 NOT UESD
NOT TO SCALE

4 NOT UESD
NOT TO SCALE



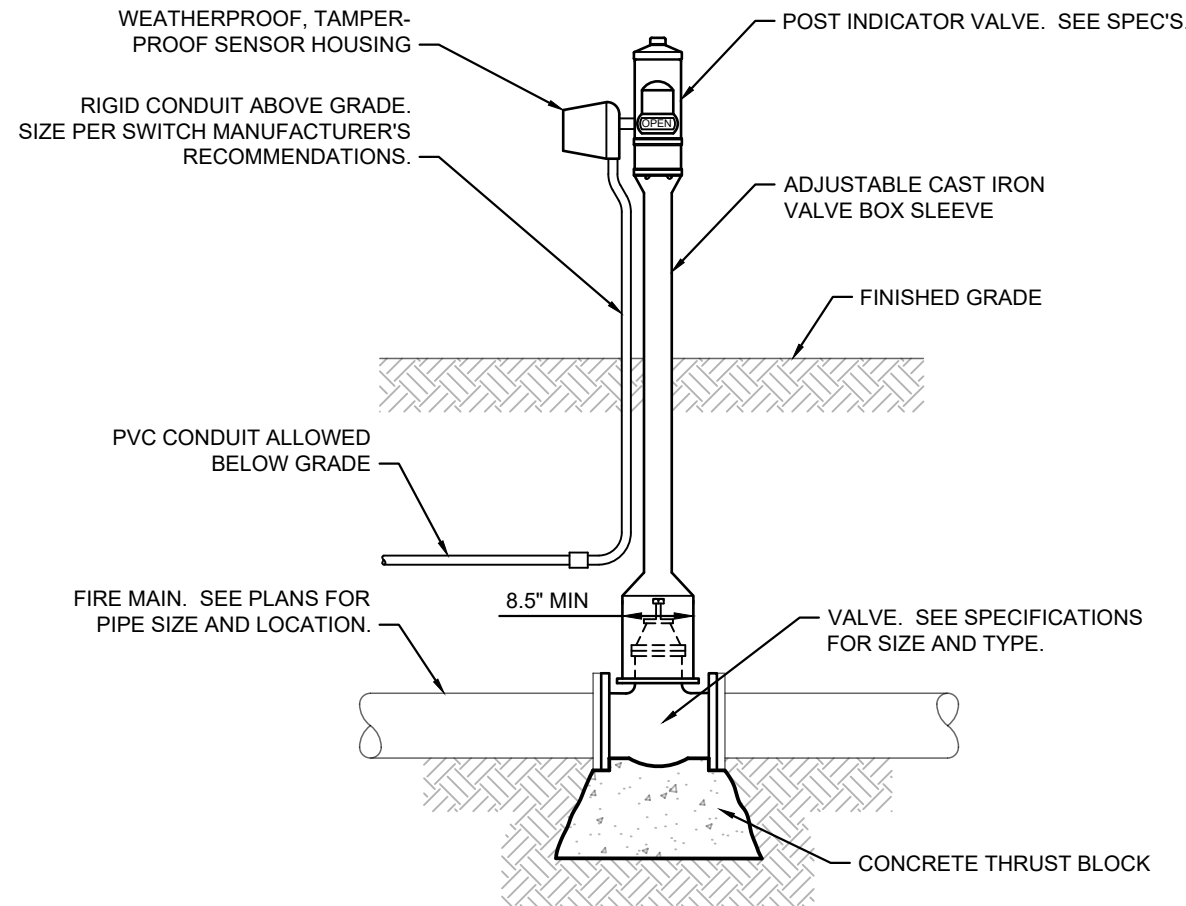
NDS IS BASIS FOR DESIGN. APPROVED EQUAL MAY BE SUBMITTED TO ENGINEER FOR APPROVAL.

5 12" AREA DRAIN INLET
NOT TO SCALE

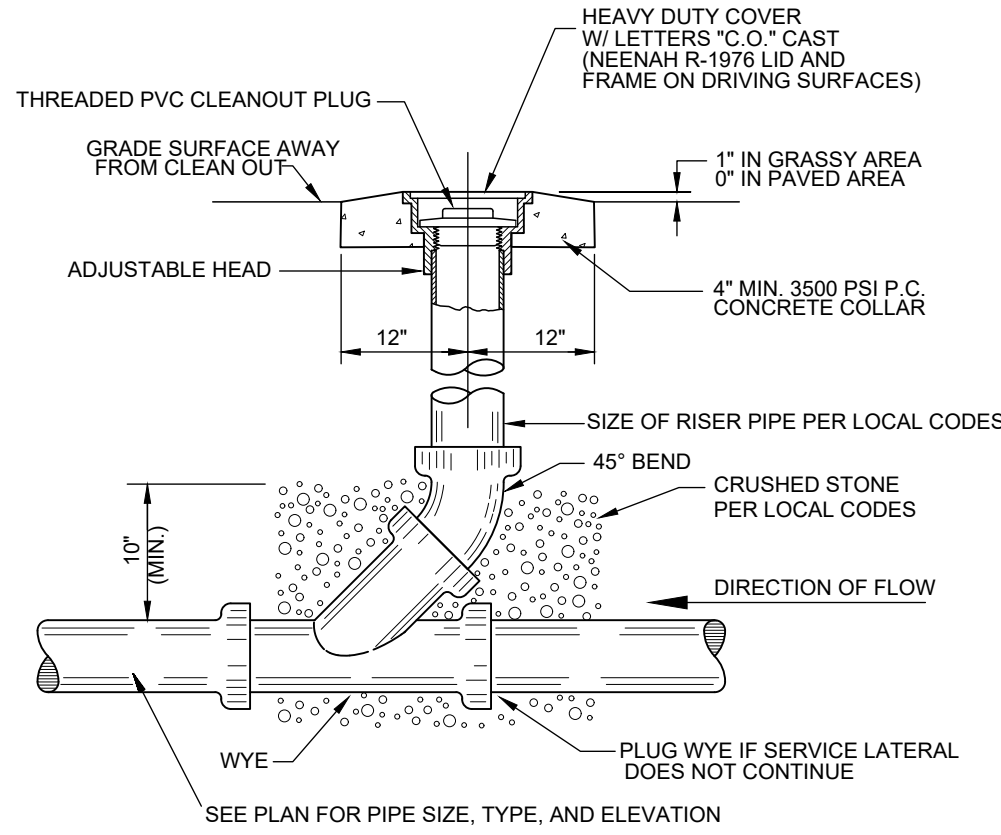


NOTES:
1. SEE PLANS FOR CASTING AND INVERT ELEVATIONS.
2. GRATE SHALL BE ZURN P12-05C, OR APPROVED EQUAL.

6 TRENCH DRAIN
NOT TO SCALE



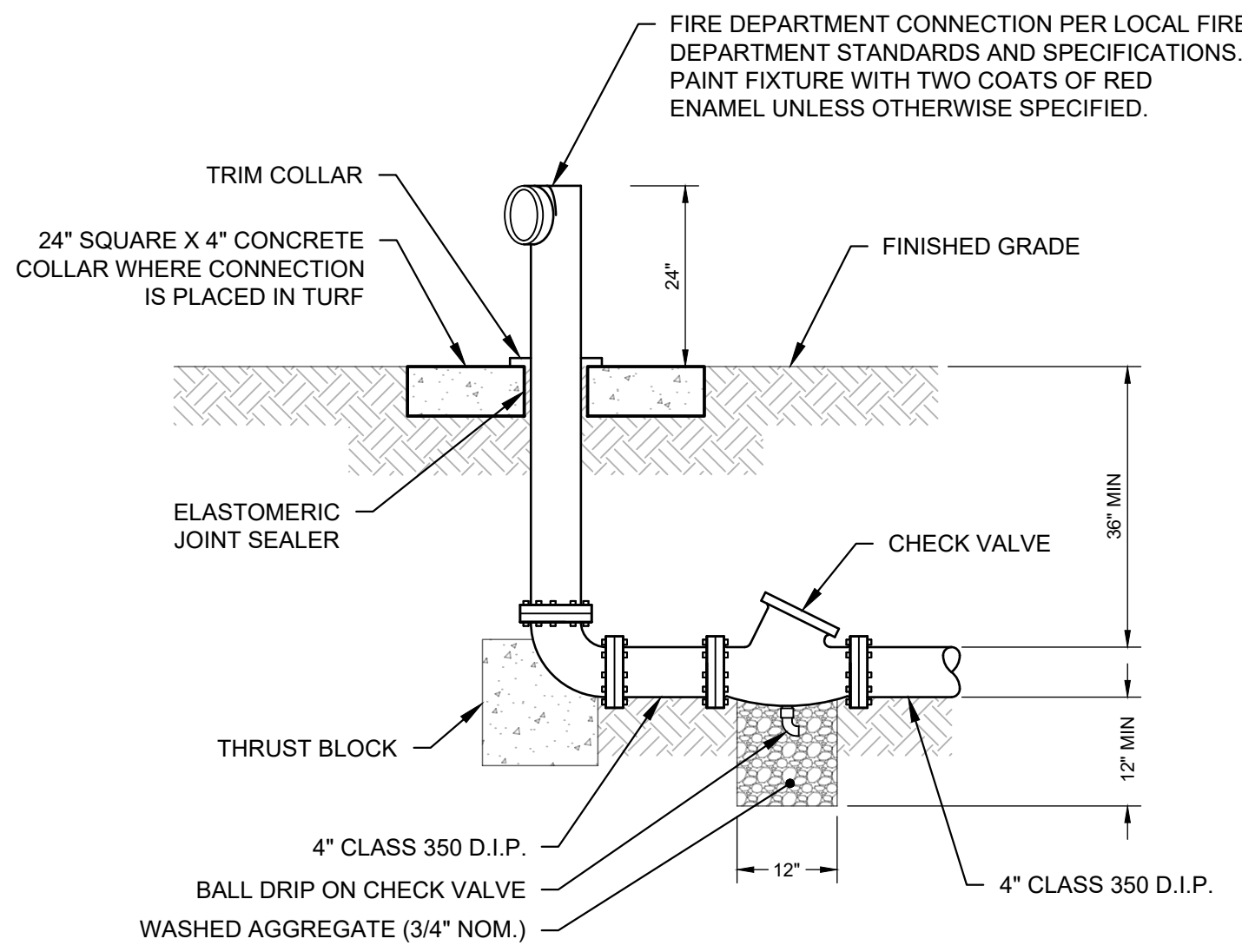
7 POST INDICATOR VAVLE (PIV)
NOT TO SCALE



NOTE: SEE APPLICABLE DETAIL FOR BACKFILL AND BEDDING INSTRUCTIONS.

NOTE: CLEAN OUT WITHIN VEHICULAR USE AREAS SHALL BE H-20 LOAD RATED.

8 STORM / SANITARY SEWER CLEANOUT
NOT TO SCALE



9 REMOTE FIRE DEPT. CONNECTION
NOT TO SCALE



GreshamSmith.com

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Florida Registration #96197
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Project Architect: Eric Snyder
Project Coordinator: Traci Myers
Interior Designer: Morgan Black

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MEP Proj Mgr: Paul C. McKinney
Mech Engineer of Record:
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Plum/Fire P. Designer:
Donna Seigal
Elec. Engineer of Record:
Paul C. McKinney
Florida Registration #56569
1.77Telecom PM: Michael Henry

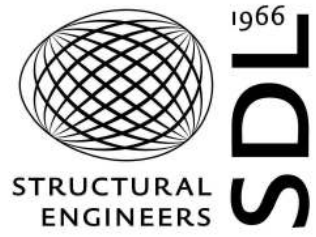
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Structural Engineer of Record:
Michael E. Corrin
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Proj Mgr: Chris Akers
Landscape AOR: Charlie Johnson
Florida Reg #6667402



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FAX: (615) 346-3550
www.ictthomasson.com



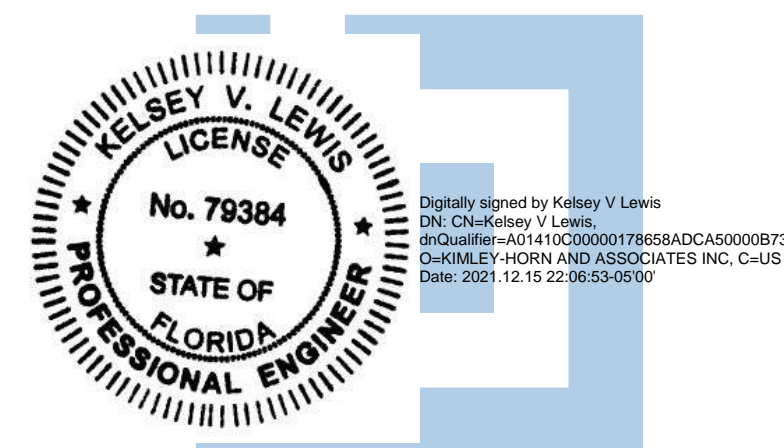
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Tallahassee, FL 32308



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Nashville, TN 37203
HCA Design Mgr.: Nicole Hoch
HCA Constr. Mgr.: Ben McAlpin

General Contractors
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5500 Maryland Way, Suite 100
Brentwood, TN 37027



ANCILLARY BUILDING

LAKE CITY MEDICAL CENTER

340 NW Commerce Dr.
Lake City, FL 32055

HCA Project No.: 3793800011

Florida AHCA

Project Submission No.: 23/100156

Client Code / File No.: 115

Revision		
No.	Date	Description

UTILITY DETAILS

Kimley»Horn

PER SURVEY BY SOUTHEASTERN
SURVEYING, INC., DATED SEPTEMBER
14, 2021, HORIZONTAL AND VERTICAL
CONTROL BASED UPON NAD 1983,
NAVD 1988 FLORIDA NORTH ZONE

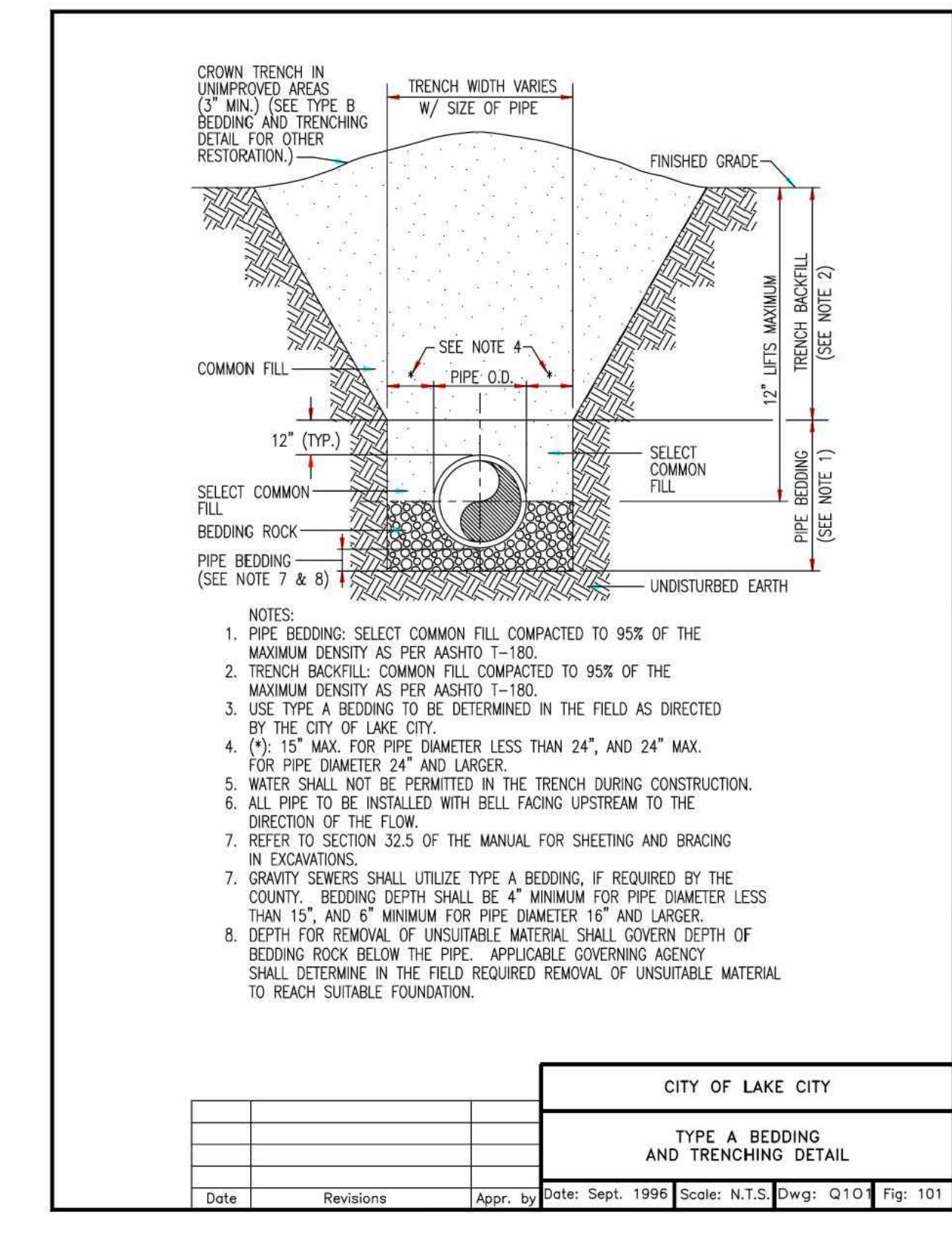
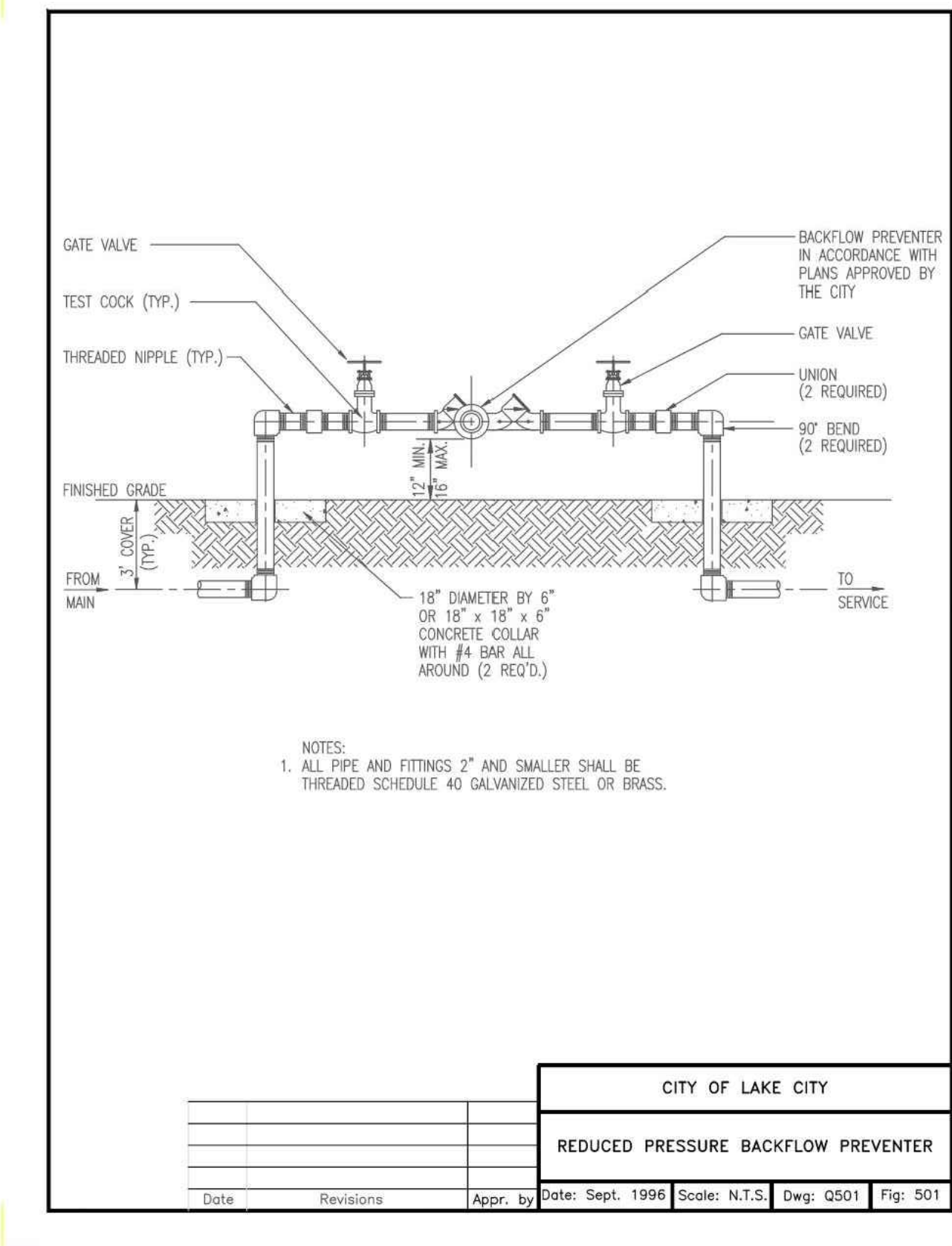
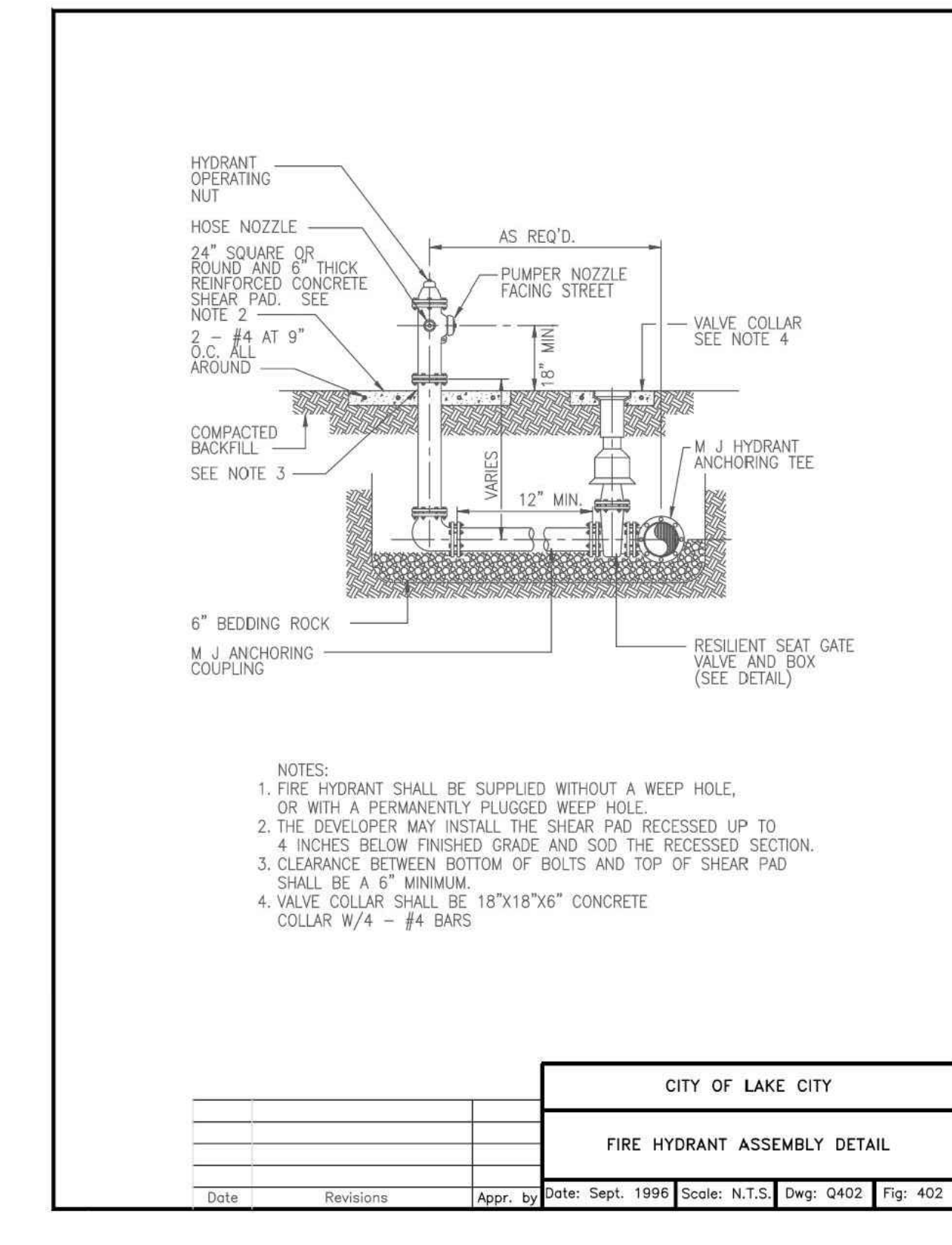
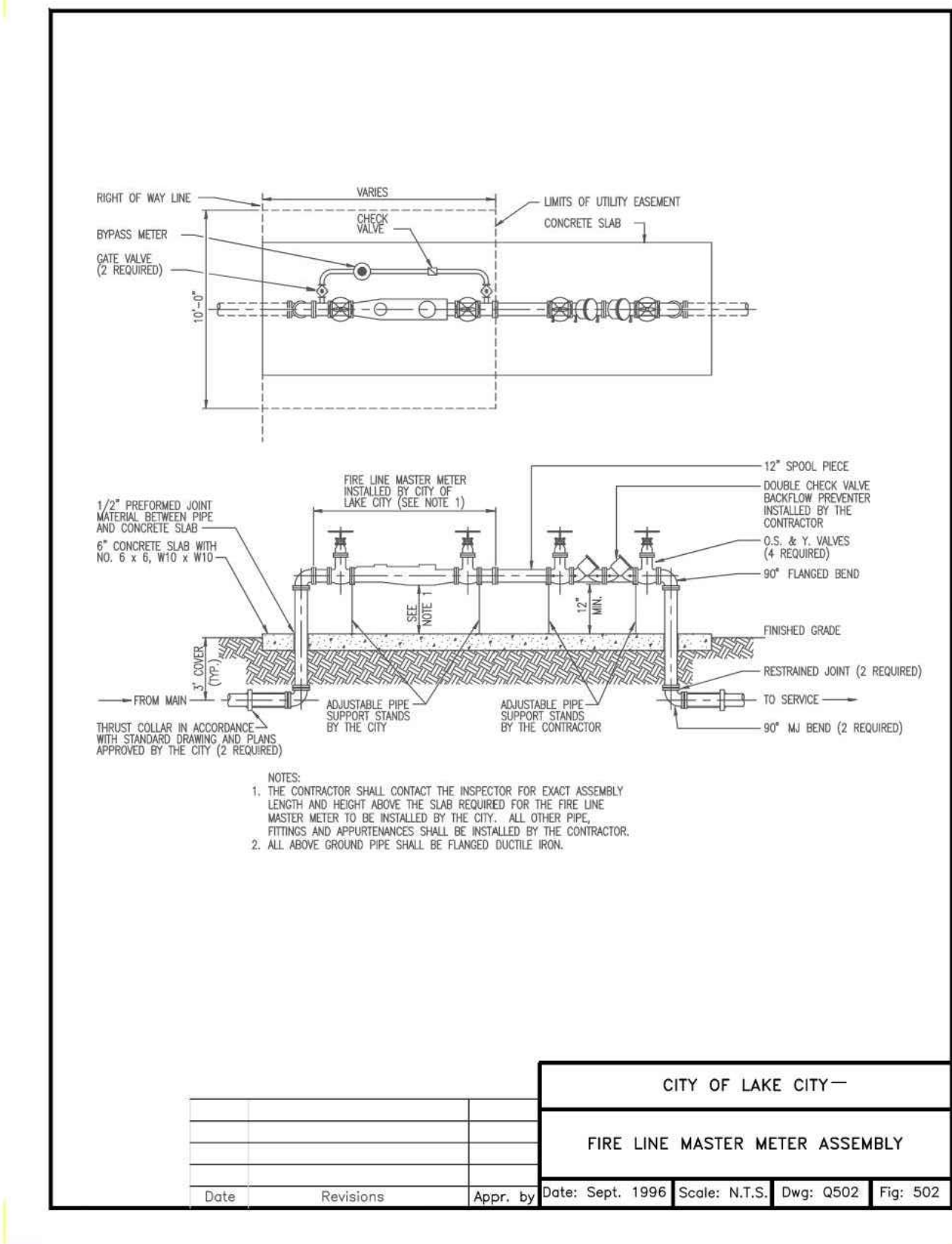
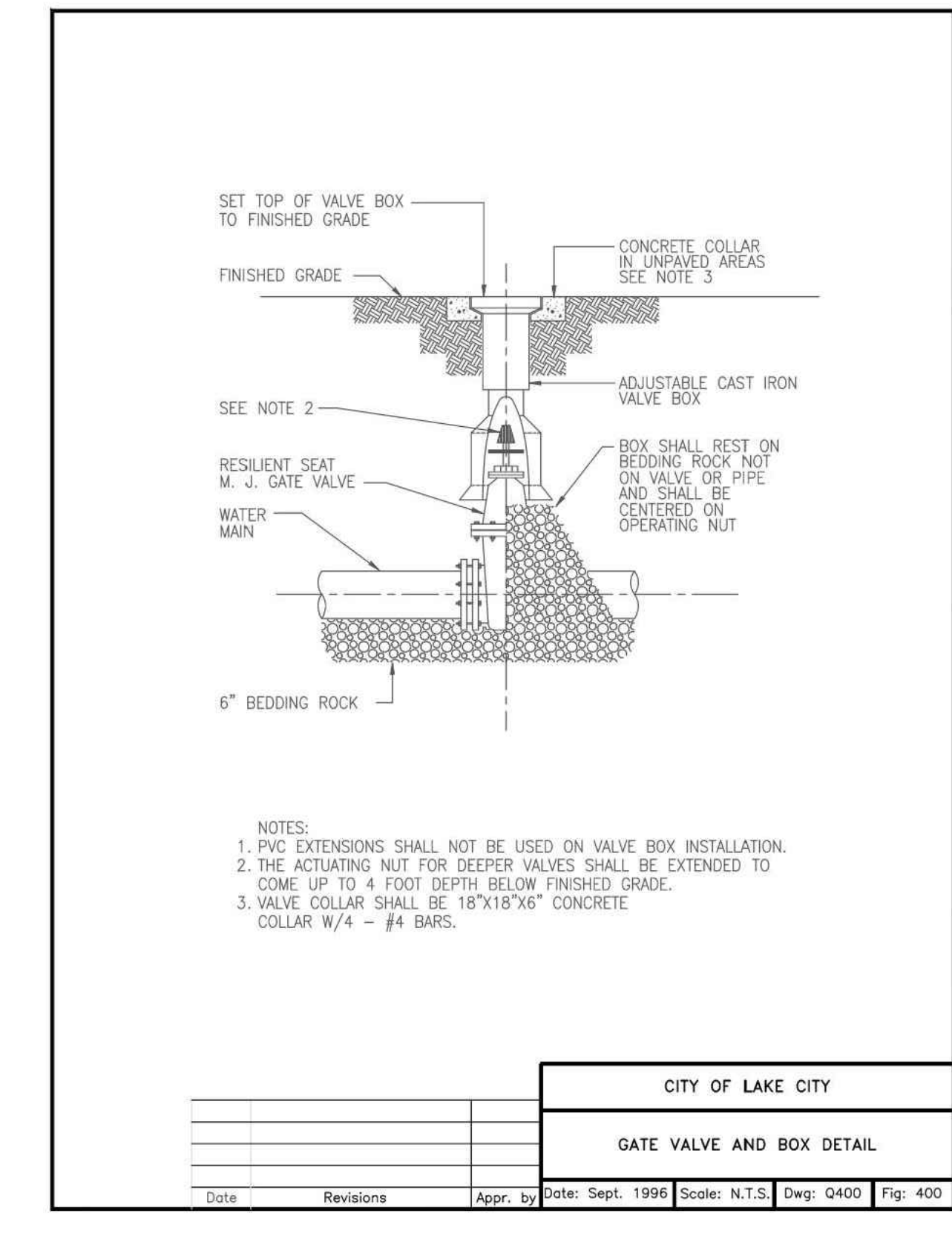
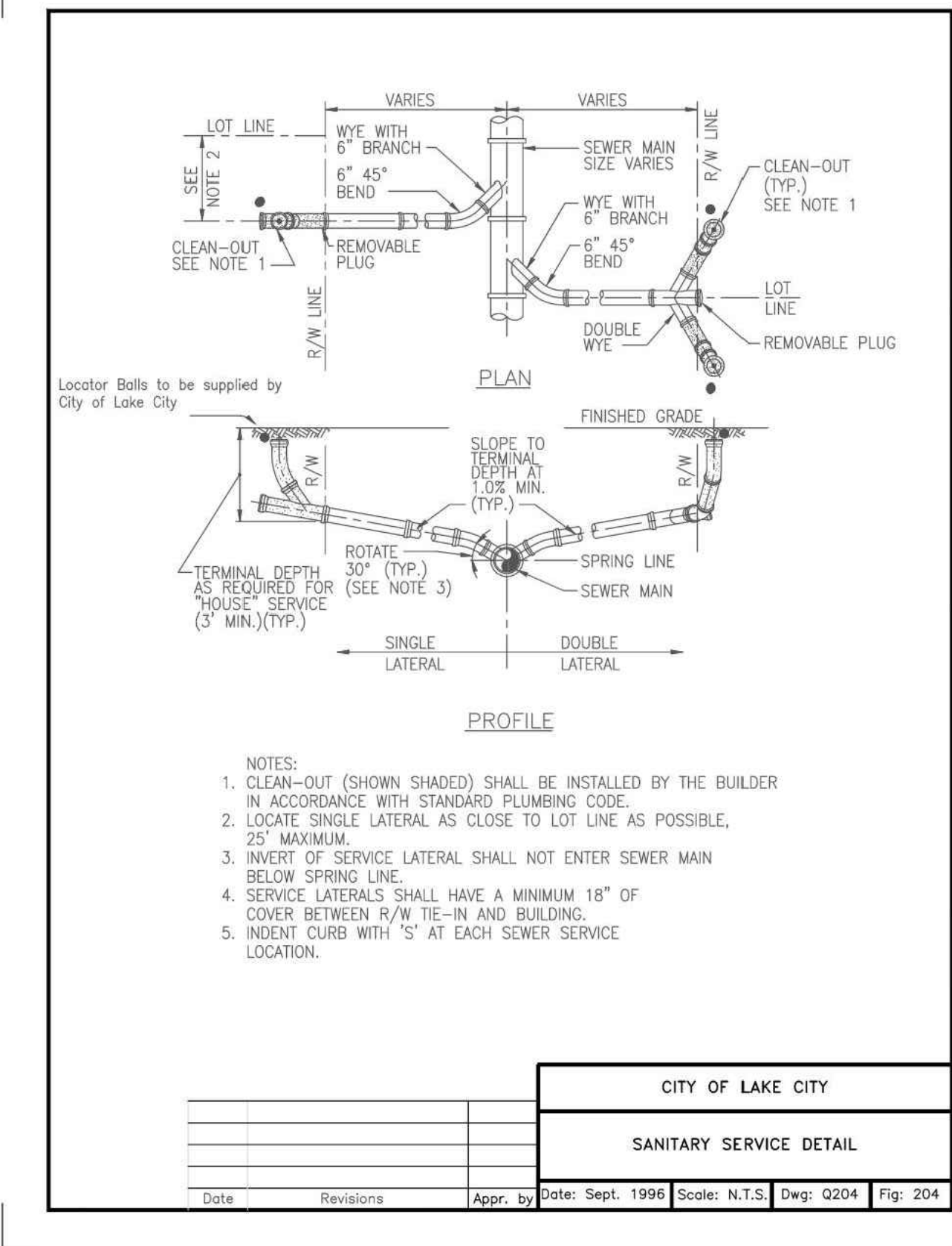
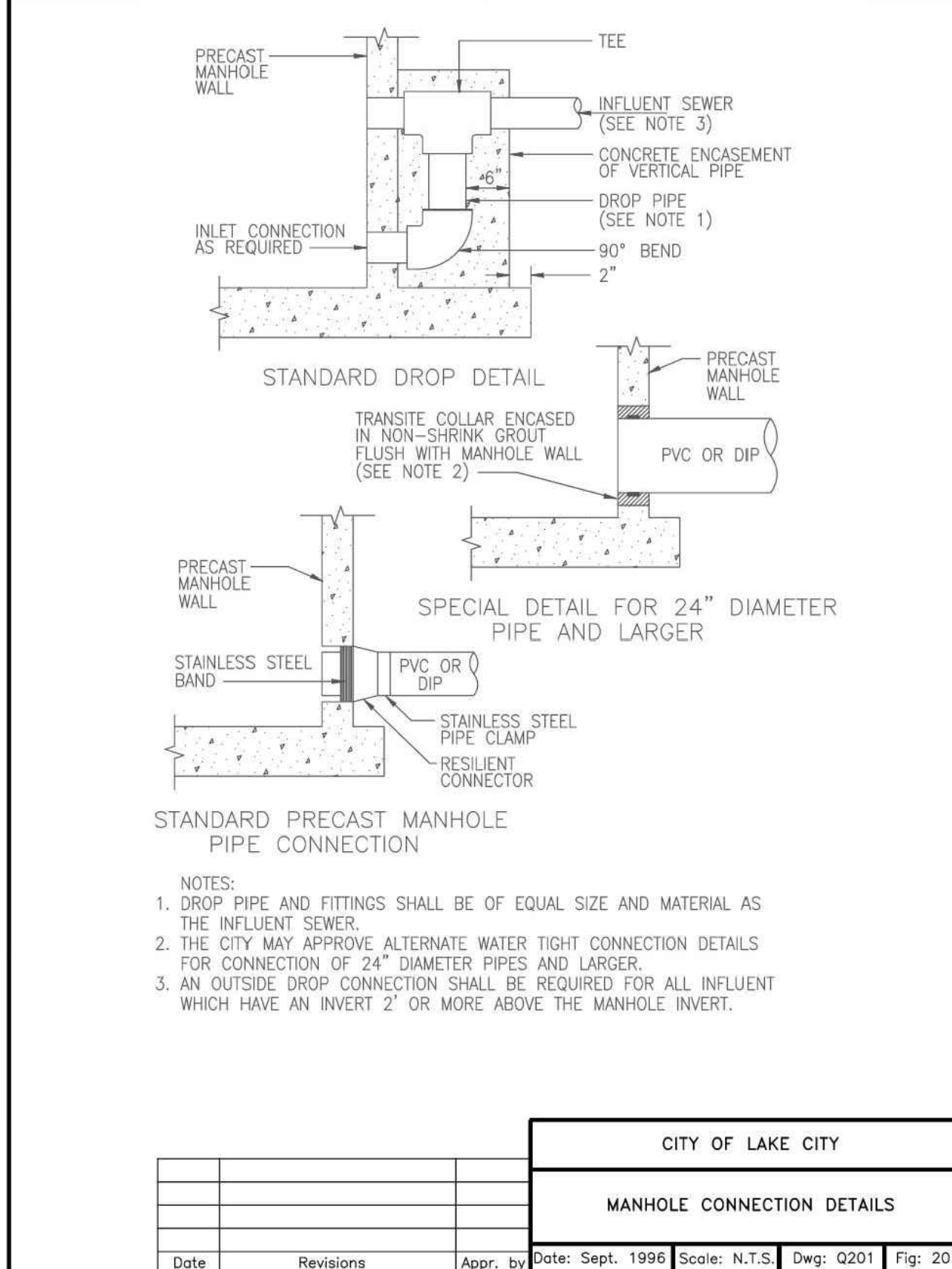
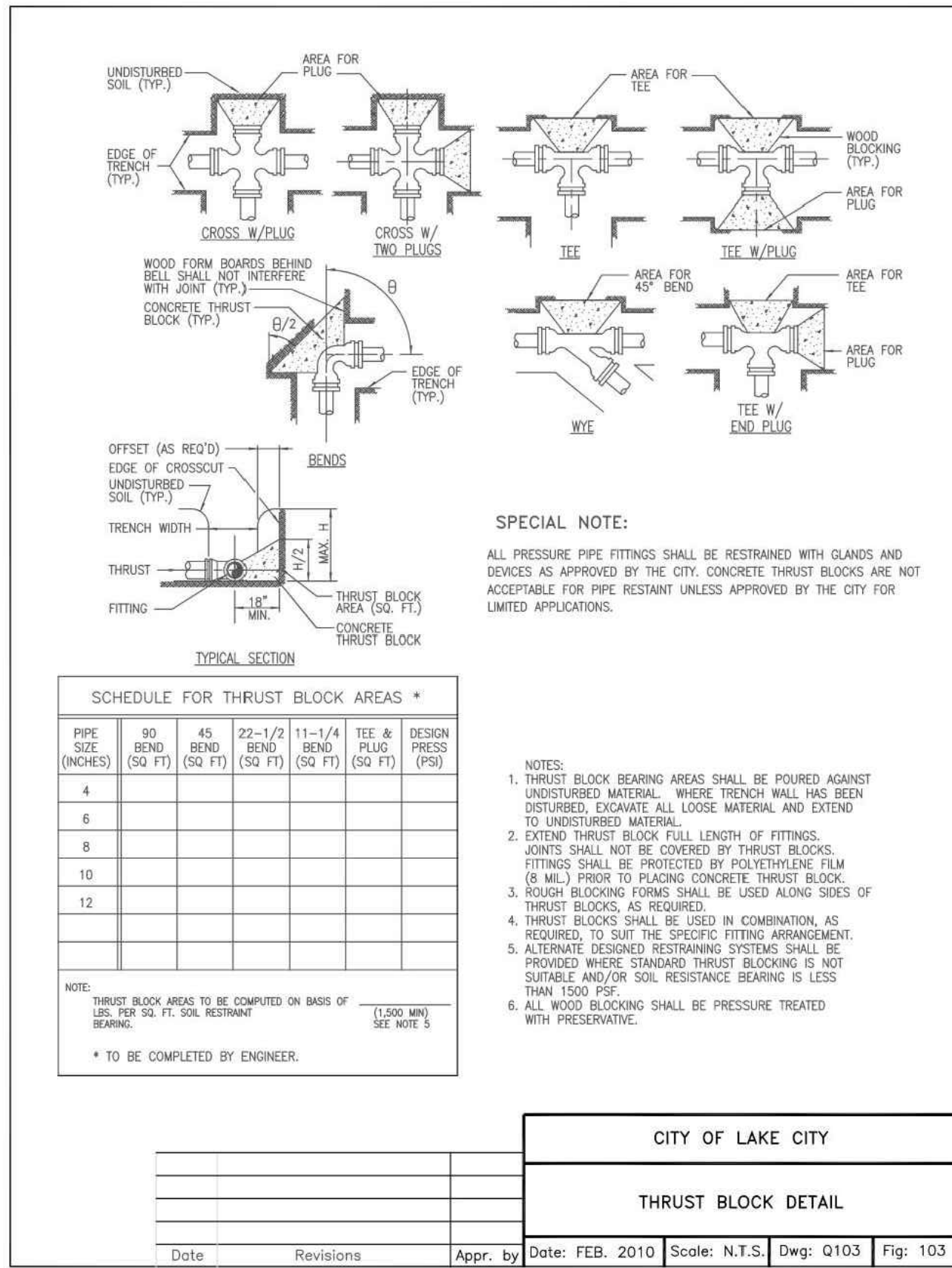
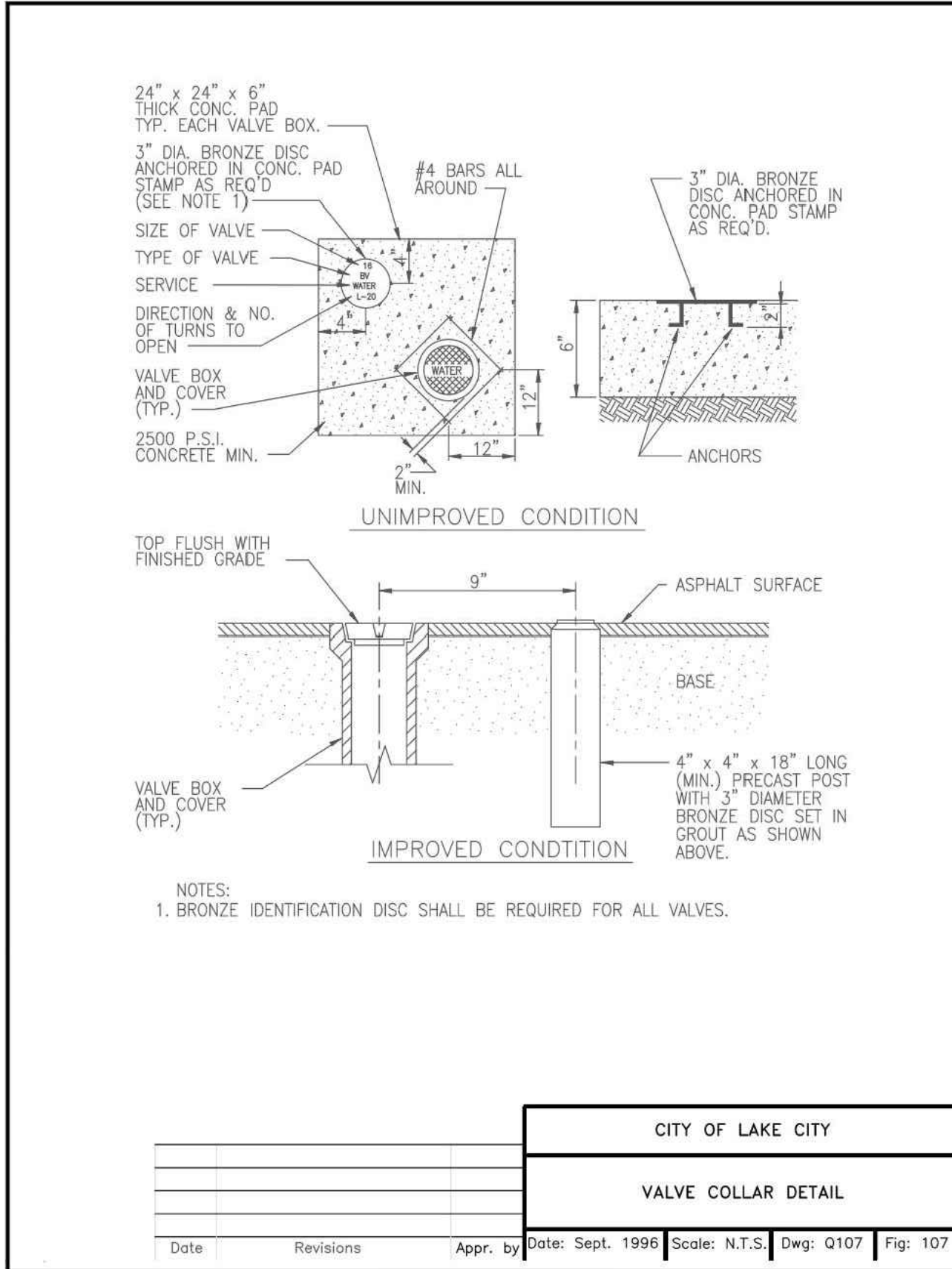
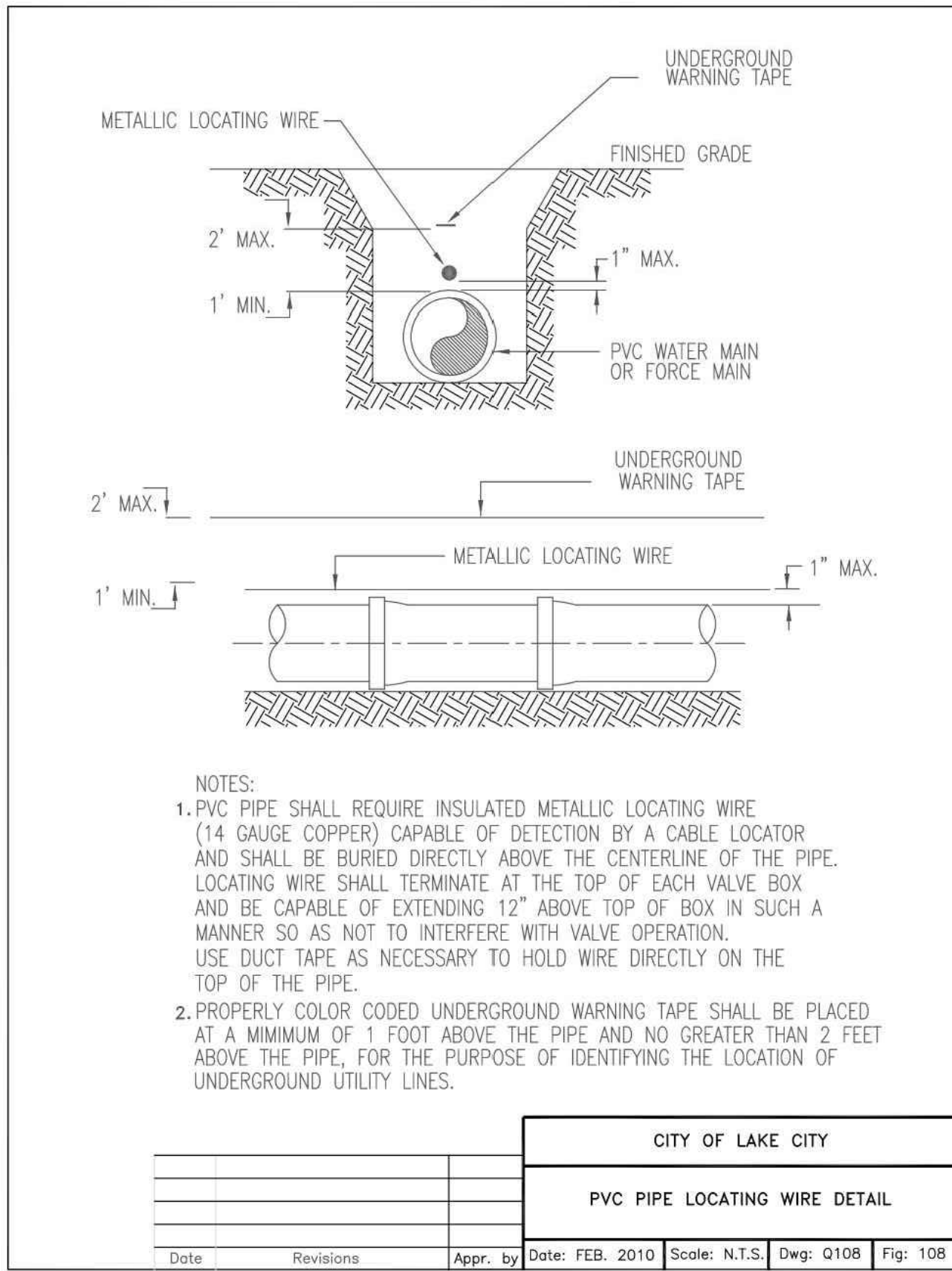
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KHA PROJECT: 11699011
GSP PROJECT: 45057.00
DATE: 12/06/2021



GreshamSmith

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SDS

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GSP PROJECT: 45057.00
DATE: 12/06/2021