

DATE 01/11/2008

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000026605

APPLICANT WILLIAM HARPER PHONE 623-3873

ADDRESS 119 SW HOBBY PL LAKE CITY FL 32024

OWNER DONALD, LORIE & BRANDON WOOD PHONE 386-867-1135

ADDRESS 750 SE LESLIE WOOD LN LULU FL 32061

CONTRACTOR WILLIAM HARPER PHONE 623-3873

LOCATION OF PROPERTY 441 S, L 240, R 245, L LESLIE WOOD LN, PROPERTY 1 3/4 MILES

RIGHT

TYPE DEVELOPMENT MODULAR, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 35.00 STORIES 1

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 19-5S-18-10599-003 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 21.72

000001517 RR28281142

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

PERMIT 07-0952 BK JH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

NOC ON FILE

EXISTING MH TO BE REMOVED 45 DAYS AFTER CO IS ISSUED Check # or Cash 1406

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic

 date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing

 date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor

 date/app. by date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)

 date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert

 date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool

 date/app. by date/app. by date/app. by

Reconnection Pump pole Utility Pole

 date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof

 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 25.00 TOTAL FEE 300.00

INSPECTORS OFFICE L. Hedden CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

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(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
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Columbia County Building Permit Application

For Office Use Only Application # 0712-86 Date Received 11/27 By JW Permit # 1517/26605
 Zoning Official BLK Date 11-01-08 Flood Zone X FEMA Map # N/A Zoning A-3
 Land Use A-3 Elevation N/A MFE 1st River N/A Plans Examiner DKJTH Date 1-3-07
 Comments OWNERS MUST SIGN APR. Existing MH to be removed 45 day after CO issued
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Authorization from Contractor
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Fax 386-752-2571

Name Authorized Person Signing Permit WILLIAM L. HARPER Phone 386-623-3873
 Address 119 SW HOBBY PL. LAKE CITY, FL. 32024
 Owners Name RONALD, LORIE AND BRANDON WOOD Phone 386-867-1135
 911 Address 750 SE LESLIE WOOD LN., LULU, FL, 32061
 Contractors Name WILLIAM L. HARPER Phone 386-623-3873
 Address 119 SW HOBBY PL. LAKE CITY, FL. 32024

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address CURTIS KEEN 9263 CR 417 LIVE OAK FL. 32060

Mortgage Lenders Name & Address FIRST FEDERAL SAVINGS BANK OF FLORIDA PO. BOX 2029 LAKE CITY, FL

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 19-55-18-10599-003 ~~PARENT PARCEL~~ Estimated Cost of Construction \$100,000.00

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions GO HWY 441 SOUTH TO HWY 240 (WATERMELON PARK), GO LEFT, GO HWY 240 TO PRICE CREEK RD, GO RIGHT, GO PRICE CREEK TO LESLIE WOOD LN., GO LEFT, GO APP. 1/4 MI. PROPERTY ON RIGHT (MARKED WITH 911 ADDRESS) Number of Existing Dwellings on Property 1

Construction of MODULAR HOME Total Acreage 21.72 Lot Size 0.63

Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16ft.

Actual Distance of Structure from Property Lines - Front 70' Side 50' Side 50' Rear 70'

Number of Stories 1 Heated Floor Area 1498 Total Heated Floor Area 1498 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

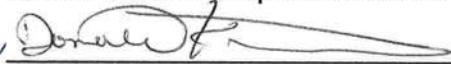
FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


Owners Signature

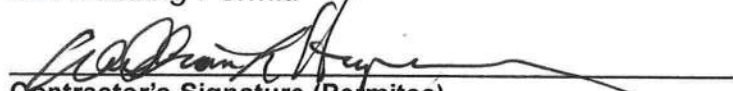
Affirmed under penalty of perjury to by the Owner and subscribed before me this 11 day of January 20 08.
Personally known _____ or Produced Identification FL Drivers License


State of Florida Notary Signature (For the Owner)

SEAL:

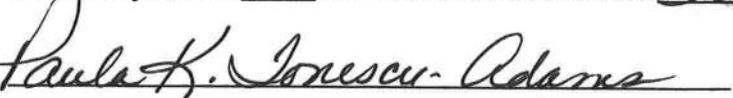


CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

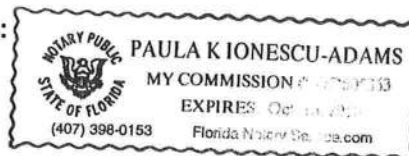

Contractor's Signature (Permittee)

Contractor's License Number RR282811402
Columbia County
Competency Card Number 000258

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27 day of December 2007.
Personally known _____ or Produced Identification Dr. License


State of Florida Notary Signature (For the Contractor)

SEAL:



Columbia County Building Department Culvert Permit

Culvert Permit No.
000001517

DATE 01/11/2008 PARCEL ID # 19-5S-18-10599-003
APPLICANT WILLIAM HARPER PHONE 623-3873
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OWNER DONALD, LORIE & BRANDON WOOD PHONE 386-867-1135
ADDRESS 750 SE LESLIE WOOD LN LULU FL 32061
CONTRACTOR WILLIAM HARPER PHONE 623-3873
LOCATION OF PROPERTY 441 S, L 240, R 245, L LESLIE WOOD LN, PROPERTY 1 3/4 MILES ON THE
RIGHT _____

SUBDIVISION/LOT/BLOCK/PHASE/UNIT _____

SIGNATURE _____

INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other _____

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALLATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

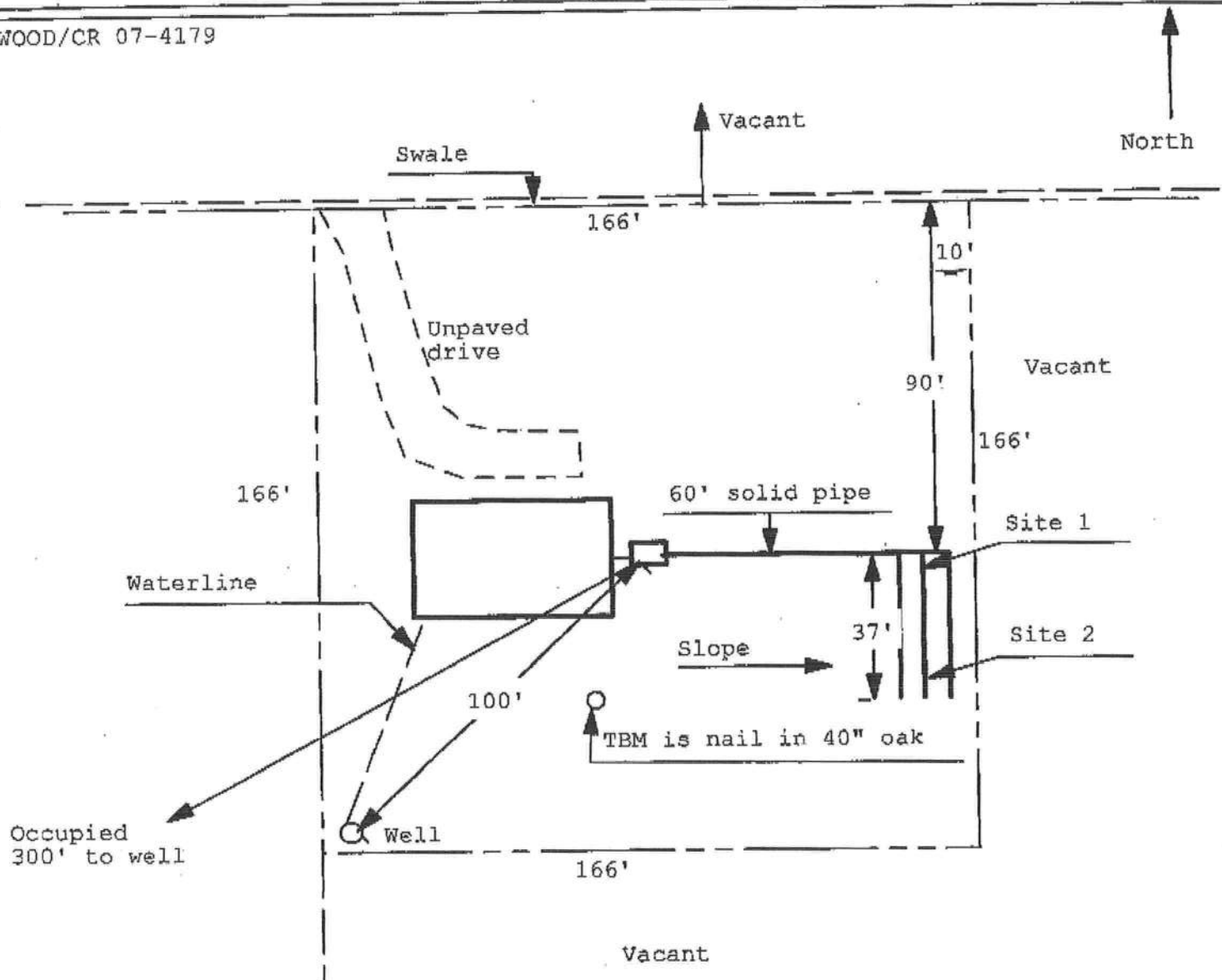
Amount Paid 25.00



**Application for Onsite Waste Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 07-0952

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

WOOD/CR 07-4179

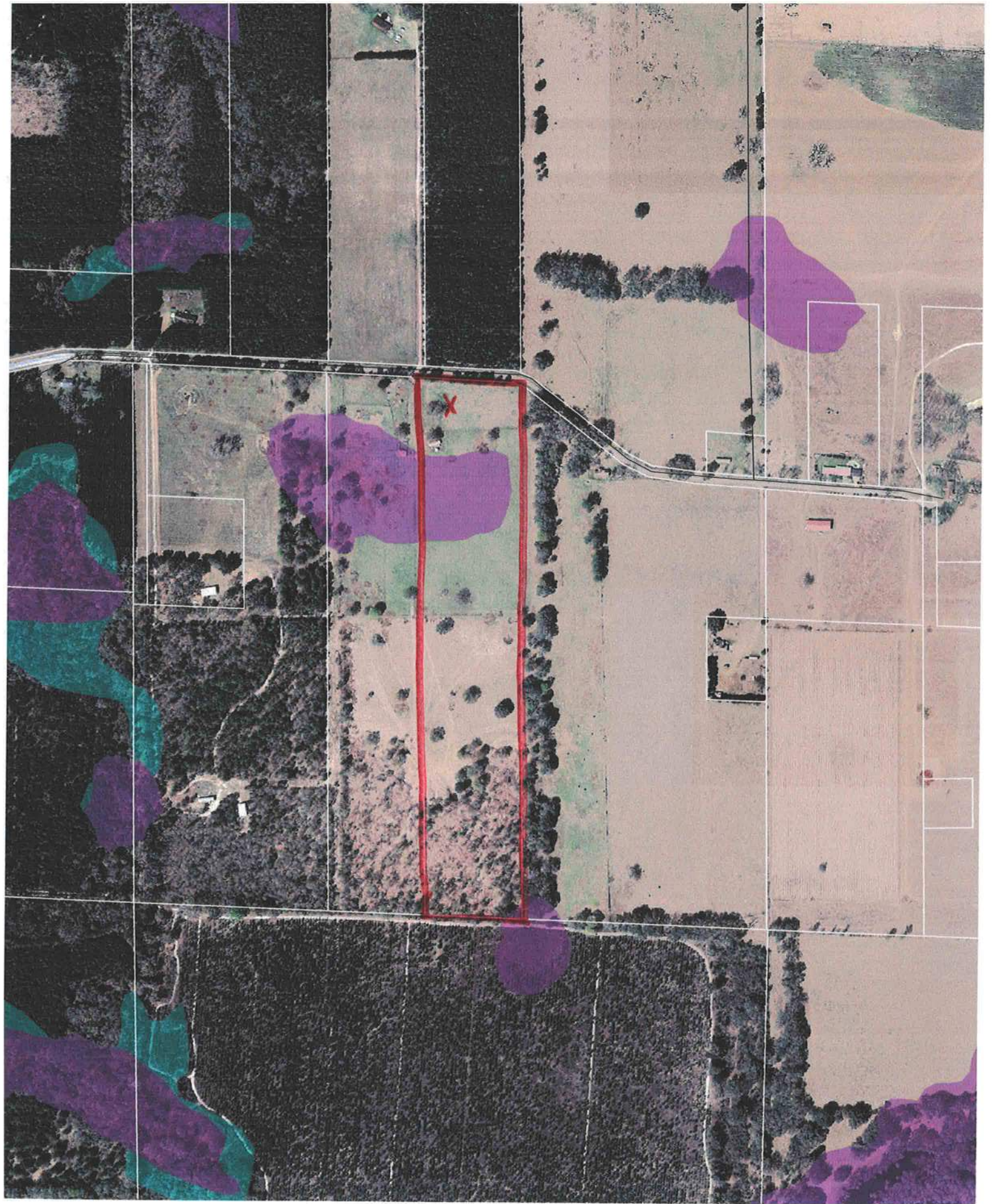


1 inch = 40 feet

Site Plan Submitted By Paul L. [Signature] Date 11/21/07
 Plan Approved ☒ Not Approved ☐ Date 12-10-07

By Mr. [Signature] Columbia CPHU

Notes: _____



0712-86



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 19-5S-18-10599-003 - PASTURELAN (006200)

Name: WOOD DONALD & LORIE	LandVal	\$2,000.00
Site:	BldgVal	\$0.00
Mail: P O BOX 345	ApprVal	\$5,908.00
LAKE CITY, FL 320560345	JustVal	\$112,746.00
Sales Info 2/8/2005 \$100.00 V / U	Assd	\$5,908.00
	Exmpt	\$0.00
	Taxable	\$5,908.00

0 150 300 450 ft



This information, GIS Map Updated: 11/15/2007, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



Columbia County Property Appraiser

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PARCEL: 19-5S-18-10599-003 - PASTURELAN (006200)

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LAKE CITY, FL 320560345	JustVal	\$112,746.00
Sales Info 2/8/2005 \$100.00V / U	Assd	\$5,908.00
	Exmpt	\$0.00
	Taxable	\$5,908.00

0 0.07 0.14 0.21 mi



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© 2007 Columbia County, Florida

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 12/19/2007 DATE ISSUED: 12/21/2007

ENHANCED 9-1-1 ADDRESS:

750 SE LESLIE WOOD LN
LULU FL 32061

PROPERTY APPRAISER PARCEL NUMBER:

19-5S-18-10599-003

Remarks:

PARENT PARCEL

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

Approved Address

1071

DEC 21 2007

911Addressing/GIS Dept

Columbia County Building Department

NOTICE TO PERMITEE: (Pursuant to SS 713.135)

AS A CONDITION OF THE ISSUANCE OF A PERMIT, YOU **MUST** PROVIDE A COPY OF THIS NOTICE TO THE PROPERTY OWNER.

	Permitee, Printed Name	Permitee Signature	Date
STATE OF FLORIDA			
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION			

FLORIDA'S CONSTRUCTION LIEN LAW

PROTECT YOURSELF AND YOUR INVESTMENT

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, **even if you have paid your contractor in full.**

This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

This document explains Florida Statute 713, Part 1, as it pertains to home construction and remodeling, and provides tips on how you can avoid construction liens on your property.

Protecting Yourself

If you hire a contractor and the improvements cost more than \$2,500, you should know the following:

- You may be liable if you pay your contractor and he then fails to pay his suppliers or contractors. There is a way to protect yourself: a Release of lien. Before you make any payment, be sure you receive this waiver from suppliers and subcontractors covering the materials used and work performed.
- Request from the contractor, via certified or registered mail, a list of all subcontractors and suppliers who have a contract with the contractor to provide services or materials to your property.
- If your contract calls for partial payments before the work is completed, gets a Partial Release of Lien covering all workers and materials used to that point.
- Before you make the last payment to your contractor, obtain an affidavit that specifies all unpaid parties who performed labor, services or provided materials to your property. Make sure that your contractor obtains releases from these parties before you make the final payment.
- Always file a Notice of Commencement before beginning a home construction or remodeling project. The local authority that issues building permits is required to provide this form. You must record the form with the Clerk of the Circuit Court in the county where the property being improved is located. Also post a certified copy at the job site. (In lieu of a certified copy, you may post an affidavit stating that a Notice of commencement has been recorded. Attach a copy of the Notice of commencement to the affidavit.)

FLORIDA'S CONSTRUCTION LIEN LAW

- In addition, the building department is prohibited from performing the first inspection if the Notice of Commencement is not also filed with the building department. You can also supply a notarized statement that the Notice has been filed, with a copy attached.

DBPR Customer Contact Center

1940 North Monroe Street

Tallahassee, Florida

32399-1027

Website: <http://www.myflorida.com/dbpr/>

Phone

850 487-1395

Fax: 850 488-1830

Email

CallCenter@dbpr.state.fl.us

INTERNET

www.MyFlorida.com

The Notice of Commencement notes the intent to begin improvements, the location of the property, description of the work and the amount of bond (if any). It also identifies the property owner, contractor, surety, lender and other pertinent information. Failure to record a Notice of Commencement or incorrect information of the Notice could contribute to your having to pay twice for the same work or materials.

Whose Responsibility Is It To Get These Releases?

You can stipulate in the agreement with your contractor that he must provide all releases of lien. If it is not a part of the contract, however, or you act as your own contractor, YOU must get the releases. If you borrow money to pay for the improvements and the lender pays the contractor(s) directly, instruct the lender to get releases before making any payments. If your lender then fails to follow the legal requirements, the lending institution may be responsible to you for any loss.

What Can Happen If I Don't Get Releases of Lien?

You will not be able to sell your property unless all outstanding liens are paid. Sometimes a landowner can even be forced to sell his property to satisfy a lien.

Who Can Claim a Lien on My property?

Contractors, laborers, material suppliers, subcontractors and professionals such as architects, landscape architects, interior designers, engineers or land surveyors all have the right to file a claim of lien for work or materials. Always get a release of lien from anyone who does work on your home.

Additional Tips on Home Construction

- Verify that your contractor is properly licensed. Information regarding licensing can be found below.
- If you intend to get financing, consult with your lender or an attorney before recording your Notice of Commencement.
- Insist that the contractor/remodeler secures a building permit and adheres to all building codes and ordinances.

Information All Construction Contracts Should Contain

- The contractor's name, address, telephone number and contractor's license number.
- A precise description of work and materials to be supplied. The contract should specify the grade of construction, flooring and trim materials to be used. Don't accept the phrase "or equivalent", the contract should specify appliance models and alternates for models not available.
- A beginning date.
- A completion date.
- A complete list of companies or individuals supplying the contractor with labor or materials. Be sure they are insured so you are protected against theft or damage to their supplies or work.
- Financing information and the payment schedule.
- All necessary building permits or licenses.
- Agreement regarding site clean-up and debris disposal.
- All warranty agreements.

Ask for explanations and clarifications of legal terms or confusing language. Be sure you understand completely what you are signing: **Remember**, promises are difficult to enforce unless they are in writing. Even for small jobs, have a written contract spelling out the details. Be wary of anyone who says, "We don't need to bother putting it in writing." Some contractors require a down payment of 10-30 percent of the total and an additional payment at the halfway point. Pay only when the work is done to your satisfaction and you have releases of lien as described above. If the completion date is critical, like a swimming pool planned for summertime use, link payment to on-time performance. Changes to a contract after construction has begun can cost you.

Specify in the contract how changes are to be handled and insist that all change orders be in writing and signed by both you and the contractor.

Cancellation of Contracts

Some home repair/improvement contracts can be canceled in writing (preferably by certified mail) Without penalty or obligation by midnight of the third business day after signing. They include:

- Those signed anywhere other than the seller's normal place of business.
- Those signed as a result of door-to-door solicitation, except emergency home repairs.
- Those paid on an installment basis. Other contracts are binding as soon as they are signed, so be sure before you sign.

Things You Should Know Before Starting

The most frequently cited complaints concerning home remodeling; home improvements and home repair are cost overruns, missed deadlines and inferior workmanship. Another persistent problem is "fly-bynight" contractors who take deposits or payments before finishing or starting work. When you need something done to your home, choose a contractor carefully. Be wary of door-to-door salespeople and telephone solicitors promising "this-month-only" bargains. Make sure your contractor is properly licensed and insured. The Construction Lien Law is complex and cannot be covered completely in this document. We recommend that whenever a specific problem arises, you consult an attorney.

To register a complaint (or to learn if Complaints have been filed against a prospective contractor)

Call:

Florida Department of Business and Professional Regulation, Customer Contact Center 850 487-1395

Email:

CallCenter@dbpr.state.fl.us

Write:

Florida Department of Business and Professional Regulation
1940 North Monroe Street
Tallahassee, Florida 32399-1027

Or go online to:

www.MyFlorida.com

Click on Business and Professional Licenses

To check al license on the Internet 24 hours a day, please visit www.MyFlorida.com and click on Business and Professional Licenses, then Search for a Licensee.

License verification is available 24/7 by calling our Customer Contract Center at 850 487-1395

You may also contact your local building department or the Better Business Bureau.

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By Starr Leagle
Deputy Clerk

Date 12-13-2007



Prepared by and return to:

✓ Law office of Dana Edmisten Hill
P. O. Drawer G
Live Oak, FL 32064
386-362-1900
File Number: 07415

Inst: 200712027363 Date: 12/13/2007 Time: 8:16 AM
19 DC, P. DeWitt Cason, Columbia County Page 1 of 2

PERMIT NO. _____

TAX FOLIO NO. p/o R 10599-003

[Space Above This Line For Recording Data]

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF SUWANNEE

The undersigned hereby give notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property:

Part of the SE $\frac{1}{4}$ and the SW $\frac{1}{4}$ of Section 19, Township 5 South, Range 18 East, Columbia County, Florida, being more particularly described as follows:

Commence at Southwest corner of SE $\frac{1}{4}$ of said Section 19 and run thence N 00°23'04" E, along the West line of said SE $\frac{1}{4}$, 2019.11 feet to the Point of Beginning; thence N 84°11'33" W, 88.46 feet; thence N 00°23'04" E, 166.00 feet to the South maintained right of way of SW Leslie Wood Road; thence S 84°11'33" E, along said South maintained right of way, 166.00 feet; thence S 00°23'04" W, 166.00 feet; thence N 84°11'33" W, 77.54 feet to the Point of Beginning.

2. General Description of Improvement: Construction of Dwelling

3. Owner Information:

- a. Name and Address: Donald Wood, Lorie Wood and Brandon Wood, 740 SE Leslie Wood Road, Lulu, FL 32061
- b. Interest in Property: Fee Simple
- c. Name and address of fee simple titleholder (if other than owner): _____

4. Contractor (name and address): Better Bilt Homes, 3993 US Highway 90 West, Lake City, FL 32055

5. Surety:

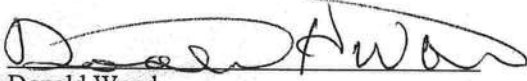
- a. Name and Address: _____
- b. Amount of Bond: _____

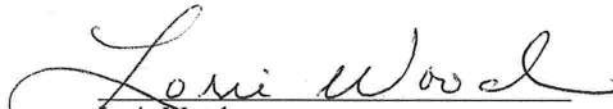
6. Lender (name and address): First Federal Savings Bank of Florida, P. O. Box 2029, Lake City, FL 32056

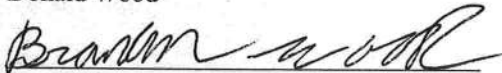
7. Persons within the state of Florida designated by owner upon whom notices or other documents may be served as provided by Florida Statutes 713.13(1)(a)(7): NONE

8. In addition to himself, owner designates: Paula Hacker of First Federal Savings Bank of Florida, 4705 West U.S. Highway 90 / P. O. Box 2029, Lake City, Florida 32056 to receive a copy of the Lienor's Notice as provided in Florida Statutes 713.13(1)(b).
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____

Dated this 12th day of December, 2007.


Donald Wood

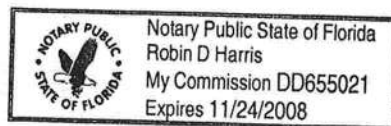

Lorie Wood


Brandon Wood

State of Florida
County of Suwannee

The foregoing instrument was sworn to and subscribed before me this 12th day of December, 2007 by Donald Wood, Lorie Wood and Brandon Wood, who ☐ are personally known to me or ☒ have produced FDLs as identification and who did not take an oath.

[Notary Seal]




Notary Public

Printed Name: Robin D. Harris

My Commission Expires: November 24, 2008

When recorded, mail to:

Name: DONALD WoodAddress: PO Box 345City/State/Zip Code: LAKE City, FL 32056

Space above this line for Recorder's use

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS:

That I (we), Donald & Lorie Wood
the undersigned, for the consideration of Ten Dollars (\$10.00), and other valuable considerations, do
hereby release, remise, and forever quitclaim unto Donald Wood Lorie Wood
Brandon Wood

all right, title and interest in that certain Property situated in Columbia County,
State of Fla, and described as follows:

PART OF THE SE 1/4 AND THE SW 1/4, SECTION 19, TOWNSHIP 5 SOUTH, RANGE 18 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SE 1/4 OF SAID SECTION 19 AND RUN THENCE N 00°23'04" E, ALONG THE WEST LINE OF SAID SE 1/4, 2019.11 FEET TO THE POINT OF BEGINNING; THENCE N 84°11'33" W, 88.46 FEET; THENCE N 00°23'04" E, 166.00 FEET TO THE SOUTH MAINTAINED RIGHT OF WAY OF SW LESLIE WOOD ROAD; THENCE S 84°11'33" E, ALONG SAID SOUTH MAINTAINED RIGHT OF WAY, 166.00 FEET; THENCE S 00°23'04" W, 166.00 FEET; THENCE N 84°11'33" W, 77.54 FEET TO THE POINT OF BEGINNING, CONTAINING 0.63 ACRES, MORE OR LESS.

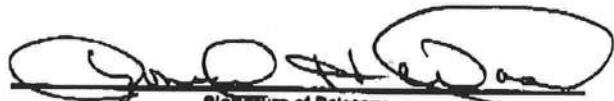
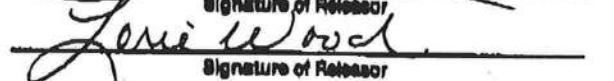
IN WITNESS WHEREOF, I (we) have hereunto set my(our) hand(s) and seal this 1st day of
November, 2007.

DONALD H Wood

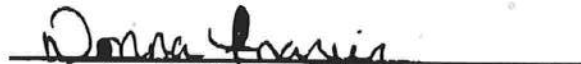
Printed Name of Releasor

LORIE Wood

Printed Name of Releasor


Signature of Releasor

Signature of ReleasorDONNA FRAZIER

Printed Name of Witness (If required by State Laws)


Signature of Witness (If required by State Laws)

ACKNOWLEDGMENT (States Other Than California)

State of Florida)
County of Columbia) ss.

On this 1st day of November, 2007, before me, the undersigned
Notary Public, personally appeared DONALD H Wood AND Lorie Wood

known to me to be the individual(s) who executed the foregoing instrument and acknowledged the same
to be his(her)(their) free act and deed.

My Commission Expires: _____

Rita A. Newton
Notary Public

If acknowledged in the State of Florida, complete section(s) below:

(Releasor) ☒ Personally Known (or) ☐ Produced Identification

If applicable, Type of Identification Produced: _____



(Co-Releasor) ☒ Personally Known (or) ☐ Produced Identification

If applicable, Type of Identification Produced: _____

ACKNOWLEDGMENT (State Of California)

State of California)
County of _____) ss.

On this _____ day of _____, _____, before me, _____
_____, the undersigned Notary Public, personally appeared,

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose
name(s) is(are) subscribed to the attached instrument and acknowledged to me that he(she)(they)
executed the same in his(her)(their) authorized capacity(ies), and that by his(her)(their) signature(s) on
the instrument, the person(s) or the entity upon behalf of which the person(s) acted, executed the
instrument.

WITNESS my hand and official seal.

Notary Public

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 5355M-North	Builder:
Address:	Permitting Office:
City, State: Jacksonville, FL 32223-	Permit Number:
Owner:	Jurisdiction:
Climate Zone: North	

1. New construction or existing New 2. Single family or multi-family Single family 3. Number of units, if multi-family 1 4. Number of Bedrooms 3 5. Is this a worst case? Yes 6. Conditioned floor area (ft²) 1493.33 ft² 7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default) <table border="0"> <tr> <td>a. U-factor:</td> <td>Description</td> <td>Area</td> </tr> <tr> <td>(or Single or Double DEFAULT)</td> <td>7a. (Dble, U=0.3)</td> <td>75.0 ft²</td> </tr> <tr> <td>b. SHGC:</td> <td>7b. (SHGC=0.3)</td> <td>153.2 ft²</td> </tr> <tr> <td>(or Clear or Tint DEFAULT)</td> <td></td> <td></td> </tr> </table> 8. Floor types <table border="0"> <tr> <td>a. Raised Wood, Stem Wall</td> <td>R=11.0, 1493.3 ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> </tr> </table> 9. Wall types <table border="0"> <tr> <td>a. Frame, Wood, Exterior</td> <td>R=19.0, 1296.0 ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> </tr> <tr> <td>d. N/A</td> <td></td> </tr> <tr> <td>e. N/A</td> <td></td> </tr> </table> 10. Ceiling types <table border="0"> <tr> <td>a. Under Attic</td> <td>R=33.0, 1493.3 ft²</td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> <tr> <td>c. N/A</td> <td></td> </tr> </table> 11. Ducts <table border="0"> <tr> <td>a. N/A</td> <td></td> </tr> <tr> <td>b. N/A</td> <td></td> </tr> </table>	a. U-factor:	Description	Area	(or Single or Double DEFAULT)	7a. (Dble, U=0.3)	75.0 ft²	b. SHGC:	7b. (SHGC=0.3)	153.2 ft²	(or Clear or Tint DEFAULT)			a. Raised Wood, Stem Wall	R=11.0, 1493.3 ft²	b. N/A		c. N/A		a. Frame, Wood, Exterior	R=19.0, 1296.0 ft²	b. N/A		c. N/A		d. N/A		e. N/A		a. Under Attic	R=33.0, 1493.3 ft²	b. N/A		c. N/A		a. N/A		b. N/A		12. Cooling systems a. N/A b. N/A c. N/A 13. Heating systems a. N/A b. N/A c. N/A 14. Hot water systems a. Electric Resistance b. N/A c. Conservation credits (HR-Heat recovery, solar DHP-Dedicated heat pump) 15. HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HR-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
a. U-factor:	Description	Area																																					
(or Single or Double DEFAULT)	7a. (Dble, U=0.3)	75.0 ft²																																					
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b. N/A																																							
c. N/A																																							
a. N/A																																							
b. N/A																																							

Glass/Floor Area: 0.10

Total as-built points: 18365

Total base points: 22118

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]DATE: 12/11/06

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: [Signature]DATE: 1/19/2007

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 87.6

The higher the score, the more efficient the home.

, , Jacksonville, FL, 32223-

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 3 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft²) 1493.33 ☐
7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)
 - a. U-factor: Description Area

(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 75.0 ft² ☐
 - b. SHGC:

(or Clear or Tint DEFAULT) 7b. (SHGC=0.3) 153.2 ft² ☐
8. Floor types
 - a. Raised Wood, Stem Wall R=11.0, 1493.3 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
9. Wall types
 - a. Frame, Wood, Exterior R=19.0, 1296.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
 - d. N/A ☐
 - e. N/A ☐
10. Ceiling types
 - a. Under Attic R=33.0, 1493.3 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
11. Ducts
 - a. N/A ☐
 - b. N/A ☐

12. Cooling systems

a. N/A

b. N/A

c. N/A

13. Heating systems

a. N/A

b. N/A

c. N/A

14. Hot water systems

a. Electric Resistance

b. N/A

c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump)

15. HVAC credits

(CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating)

APPROVED BY
N/A INC.

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
shall adhere to the following criteria:

Const. Type:	Occupancy:	Allowable No. of Floors:	Wind Velocity:	Fire Rating of Ext. Walls:	Plan No.:	Allow. Floor Load:	Approval Date:	Manufacturer:

Cap: 50.0 gallons
EF: 0.91

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



***NOTE:** The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.5)

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked air breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

APPROVED BY

 J. E. INC.

These prints comply with the
 Florida Manufactured Building
 Act and adopted codes and
 adhere to the following criteria:
 Const. Type:
 Occupancy:
 Allowable No.
 of Floors:
 Wind Velocity:
 Fire Rating of
 Ext. Walls:
 Plan No.:
 Allow. Floor Load:
 Approval Date:
 Manufacturer:

V8
 R3
 One (1)
 130 MPH
 0 hr
 MFT-3359-3986-3642-ECSSM
 40 PSF
 1/19/2007
 Cavalier Home Builders

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Multiplier X Credit Multiplier	= Total
3		2635.00	7905.0	50.0	0.01	3		1.00 2663.98 1.00	7991.9
				As-Built Total:					7991.9

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	= Total Points	Cooling Points	+	Heating Points	= Total Points
6278		7935	7905 22118	5793		4579	7992 18365

PASS



APPROVED BY

N/A INC.

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Ext. Walls:	0 hr
Plan No.:	MFT-3359-3986-3642-E3355M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Caveller Home Builders

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

BASE			AS-BUILT					
Winter Base Points: 14323.1			Winter As-Built Points: 8795.1					
Total Winter Points	X System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points
14323.1	0.5540	7935.0	8795.1	1.00	1.000	0.521	1.000	4579.4



APPROVED BY

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MT-3359-3986-3642-E5355M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Cavalier Home Builders

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Omt Len Hgt			Area X WPM X WOF = Points			
.18	1493.3	20.17	5422.0	1.Double,U=0.35,SHGC=0.	N	0.0	0.0	15.0	11.40	1.00	171.0
				2.Double,U=0.35,SHGC=0.	W	0.0	0.0	75.0	9.85	1.00	723.0
				3.Double,U=0.35,SHGC=0.	W	0.0	0.0	25.0	9.65	1.00	241.0
				4.Double,U=1.00,SHGC=0.	E	0.0	0.0	16.0	27.54	1.00	440.0
				5.Double,U=0.35,SHGC=0.	E	0.0	0.0	7.5	8.82	1.00	66.0
				6.Double,U=0.35,SHGC=0.	E	0.0	0.0	14.7	8.82	1.00	129.0
				As-Built Total:			153.2			1770.0	
WALL TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	0.0	0.00	0.0	1. Frame, Wood, Exterior	19.0			1296.0	2.20	2851.2	
Exterior	1296.0	3.70	4795.2								
Base Total:				1296.0			4795.2				
				As-Built Total:			1296.0			2851.2	
DOOR TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	0.0	0.00	0.0	1.Exterior Insulated				40.0	8.40	336.0	
Exterior	40.0	12.30	492.0								
Base Total:				40.0			492.0				
				As-Built Total:			40.0			336.0	
CEILING TYPES Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1493.3	2.05	3061.3	1. Under Attic	33.0			1493.3	1.96 X 1.00	2926.9	
Base Total:				1493.3			3061.3				
				As-Built Total:			1493.3			2926.9	
FLOOR TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	0.0(p)	0.0	0.0	1. Raised Wood, Stem Wall	11.0			1493.3	1.20	1792.0	
Raised	1493.3	0.96	1433.6								
Base Total:				1493.3			1433.6				
				As-Built Total:			1493.3			1792.0	
INFILTRATION Area X BWPM = Points							Area X WPM = Points				
							1493.3			-0.59 -881.1	

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

EnergyGauge® 4.5 RES 2004 FLRC SB v4.5

NIA INC.

Const. Type.
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Firm Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavaller Home Builders

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

BASE				AS-BUILT					
Summer Base Points: 19316.2				Summer As-Built Points: 18663.8					
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component (System - Points)	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X System Multiplier X Credit Multiplier = Cooling Points
19316.2		0.3250	6277.8	18663.8		1.00		1.000	0.310 1.000 5793.5

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:

Fire Rating of
Ext. Walls:
Plan No.:

Allow. Floor Load:
Approval Date:
Manufacturer:

VB

R3

One (1)

130 MPH

0 hr

MFT-3359-3986-3642-E5355M

40 PSF

1/19/2007

Cavaller Home Builders

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Jacksonville, FL, 32223-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points			
.18	1493.3	18.59	4997.0	1.Double,U=0.35,SHGC=0.	N	0.0	0.0	15.0	8.20	1.00	123.0
				2.Double,U=0.35,SHGC=0.	W	0.0	0.0	75.0	16.90	1.00	1267.0
				3.Double,U=0.35,SHGC=0.	W	0.0	0.0	25.0	16.90	1.00	422.0
				4.Double,U=1.00,SHGC=0.	E	0.0	0.0	16.0	14.83	1.00	237.0
				5.Double,U=0.35,SHGC=0.	E	0.0	0.0	7.5	18.48	1.00	136.0
				6.Double,U=0.35,SHGC=0.	E	0.0	0.0	14.7	18.48	1.00	271.0
				As-Built Total:			153.2			2458.0	
WALL TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points			
Adjacent	0.0	0.00	0.0	1. Frame, Wood, Exterior	19.0			1296.0	0.90	1166.4	
Exterior	1296.0	1.70	2203.2								
Base Total:				As-Built Total:			1296.0			1166.4	
DOOR TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points			
Adjacent	0.0	0.00	0.0	1.Exterior Insulated				40.0	4.10	164.0	
Exterior	40.0	6.10	244.0								
Base Total:				As-Built Total:			40.0			164.0	
CEILING TYPES Area X BSPM = Points				Type	R-Value			Area X SPM X SCM = Points			
Under Attic	1493.3	1.73	2583.5	1. Under Attic	33.0			1493.3	1.65 X 1.00	2465.9	
Base Total:				As-Built Total:			1493.3			2465.9	
FLOOR TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points			
Slab	0.0(p)	0.0	0.0	1. Raised Wood, Stem Wall	11.0			1493.3	-1.90	-2837.3	
Raised	1493.3	-3.99	-5958.4								
Base Total:				As-Built Total:			1493.3			-2837.3	
INFILTRATION Area X BSPM = Points							Area X SPM = Points				
	1493.3	10.21	15246.9				1493.3 10.21 15246.9				

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

EnergyGauge® DCA Form 600A-2004R
EnergyGauge®/FIRE'S 2004 FLRCB v4.5

APPROVED BY

NIA INC.

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3996-3642-E5355M
40 PSF
1/19/2007
Cavaller Home Builders

Additional BTUH for people, Appliances etc.		3900	BTUH
The Total BTUH for the walls above grade are	3840	2561	BTUH
The Total BTUH for the walls below grade are	0		
The Total BTUH for the Exposed openings are	3772	11139	BTUH
The total BTUH for the ceilings	2545	2694	BTUH
The total BTUH for the floors	1944	0	BTUH
The BTUH infiltration for the openings is	19790	6061	BTUH
DUCT LOSS OR DUCT GAIN	0	0	BTUH
TOTAL SENSIBLE HEAT GAIN		26355	BTUH
LATENT GAIN		7423	BTUH
TOTAL BTUH, THIS BUILDING	31891	33778	BTUH
The total CFM of air required	725	1409	CFM

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY	Const. Type:
NFB INC.	VB
	Occupancy:
	R3
	Allowable No.
	One (1)
	of Floors:
	130 MPH
	Wind Velocity:
	Free Rating of
	0 hr
	Ext. Walls:
	MFT-3359-3986-3642-E535SM
	Plan No.:
	40 PSF
	Allow. Floor Load:
	1/19/2007
	Approval Date:
	Manufacturer:
	Cavalier Home Builders

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HEATLOSS	HEATGAIN	
	0	BTUH
703	469	BTUH
320	1072	BTUH
329	348	BTUH
251	0	BTUH
1511	463	BTUH
0	0	BTUH
	2352	BTUH

	HEAT LOSS	HEAT GAIN	
Additional BTUH for people, Appliances etc.		0	BTUH
The Total BTUH for the outside walls are	703	469	BTUH
The Total BTUH for the Exposed Openings are	320	1072	BTUH
The total BTUH for the ceilings	329	348	BTUH
The total BTUH for the floors	251	0	BTUH
The BTUH infiltration for the openings is	1511	463	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		2352	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	3114	BTUH	
The total CFM of air required for this room is	71	126	CFM

HEATLOSS	HEATGAIN	
	0	BTUH
189	126	BTUH
300	1005	BTUH
196	208	BTUH
150	0	BTUH
1416	434	BTUH
0	0	BTUH
	1773	BTUH

Additional BTUH for people, Appliances etc.		0	BTUH
The Total BTUH for the outside walls are	189	126	BTUH
The Total BTUH for the Exposed Openings are	300	1005	BTUH
The total BTUH for the ceilings	196	208	BTUH
The total BTUH for the floors	150	0	BTUH
The BTUH infiltration for the openings is	1416	434	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		1773	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	2251	BTUH	
The total CFM of air required for this room is	51	95	CFM

APPROVED BY

NFA
INC.

HEATLOSS	HEATGAIN	
	1500	BTUH
340	227	BTUH
562	1374	BTUH
383	405	BTUH
293	0	BTUH
3645	1116	BTUH
0	0	BTUH
	4622	BTUH
5223	BTUH	

Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-3358-3956-36-2-ESC35M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Cavalier Home Builders

Additional BTUH for people, Appliances etc.		1500	BTUH
The Total BTUH for the outside walls are	340	227	BTUH
The Total BTUH for the Exposed Openings are	562	1374	BTUH
The total BTUH for the ceilings	383	405	BTUH
The total BTUH for the floors	293	0	BTUH
The BTUH infiltration for the openings is	3645	1116	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		4622	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	5223	BTUH	

gnd

Additional BTUH for people, Appliances etc.		3900	BTUH
The Total BTUH for the walls above grade are	3840	2561	BTUH
The Total BTUH for the walls below grade are	0		
The Total BTUH for the Exposed openings are	3772	11139	BTUH
The total BTUH for the ceilings	2545	2694	BTUH
The total BTUH for the floors	1944	0	BTUH
The BTUH infiltration for the openings is	19790	6061	BTUH
DUCT LOSS OR DUCT GAIN	0	0	BTUH

TOTAL SENSIBLE HEAT GAIN		26355	BTUH
LATENT GAIN		7423	BTUH
TOTAL BTUH, THIS BUILDING	31891	33778	BTUH
The total CFM of air required	725	1409	CFM

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

APPROVED BY

NIP INC.

Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-3359-3686-3642-E5355M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Cavalier Home Builders

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9-11-01

CEILING TYPE IS: U-Value = .033, Unconditioned Attic Space Above
FLOOR TYPE IS: U-Value = .052, Floor, over Enclosed, Unconditioned space

Additional BTUH for people, Appliances etc.		0	BTUH
The Total BTUH for the outside walls are	703	469	BTUH
The Total BTUH for the Exposed Openings are	320	1072	BTUH
The total BTUH for the ceilings	329	348	BTUH
The total BTUH for the floors	251	0	BTUH
The BTUH infiltration for the openings is	1511	463	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		2352	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	3114	BTUH	
The total CFM of air required for this room is	71	126	CFM

UTILITY

```
CEILING HEIGHT IS 9. FEET, VOLUME IS 1040 CUBIC FEET  
1 EXPOSED OPENINGS,TOTALING >>>>>>>>>>>>>>>> 15. SQUARE FEET  
1 EXPOSED WALLS, not including openings,TOTALING >>>> 63. SQUARE FEET  
ROOM SIZE IS 8.7 LONG by 13.3 WIDE, TOTALING >> 115.6 SQUARE FEET  
WINDOW TYPE IS: U-Value = .399, Double Pane Low e coating, Clear Glass  
WALL TYPE IS: U-Value = .06, frame, Insulated  
CEILING TYPE IS: U-Value = .033, Unconditioned Attic Space Above  
FLOOR TYPE IS: U-Value = .052, Floor, over Enclosed, Unconditioned space
```

Additional BTUH for people, Appliances etc.		0	BTUH
The Total BTUH for the outside walls are	189	126	BTUH
The Total BTUH for the Exposed Openings are	300	1005	BTUH
The total BTUH for the ceilings	196	208	BTUH
The total BTUH for the floors	150	0	BTUH
The BTUH infiltration for the openings is	1416	434	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		1773	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	2251	BTUH	
The total CFM of air required for this room is	51	95	CFM

APPROVED BY

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

```
KITCHEN  
CEILING HEIGHT IS 9. FEET, VOLUME IS 2027 CUBIC FEET  
2 EXPOSED OPENINGS,TOTALING >>>>>>>>>>>>>>>> 38.6 SQUARE FEET  
1 EXPOSED WALLS, not including openings,TOTALING >>>> 113.5 SQUARE FEET  
ROOM SIZE IS 16.9 LONG by 13.3 WIDE, TOTALING >> 225.3 SQUARE FEET  
WINDOW TYPE IS: U-Value = .399, Double Pane Low e coating, Clear Glass  
WALL TYPE IS: U-Value = .06, frame, Insulated  
CEILING TYPE IS: U-Value = .033, Unconditioned Attic Space Above  
FLOOR TYPE IS: U-Value = .052, Floor, over Enclosed, Unconditioned space
```

	HEATLOSS	HEATGAIN	
Additional BTUH for people, Appliances etc.		1500	BTUH
The Total BTUH for the outside walls are	340	227	BTUH
The Total BTUH for the Exposed Openings are	562	1374	BTUH
The total BTUH for the ceilings	383	405	BTUH
The total BTUH for the floors	293	0	BTUH
The BTUH infiltration for the openings is	3645	1116	BTUH
DUCT LOSS OR DUCT GAIN for this room is	0	0	BTUH
SENSIBLE HEAT GAIN		4622	BTUH
THE TOTAL BTUH FOR THIS ROOM IS	5223	BTUH	

Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-3859-3986-3642-E5355M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Caveller Home Builders

Page # 3

9/11/21

9-11-07

R3	One (1)	130 MPH	0 hr	MFT-3359-3986-3642-55355M	40 PSF	1/19/2007	Caveller Home Builders
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Overturning strapping for Endwalls

Width= 26.7 ft
Wall Height= 9 ft
Roof Pitch= 6.24 /12

130 MPH

1-Story

Percent Full Height Sheathing of Endwall

Length	10	20	30	40	50	60	70	80	90	100
30	13493	6747	4498	3373	2699	2249	1928	1687	1499	1349
35	15530	7765	5177	3882	3106	2588	2219	1941	1726	1553
40	17567	8783	5856	4392	3513	2928	2510	2196	1952	1757
45	19603	9802	6534	4901	3921	3267	2800	2450	2178	1960
50	21640	10820	7213	5410	4328	3607	3091	2705	2404	2164
55	23677	11838	7892	5919	4735	3946	3382	2960	2631	2368
60	25714	12857	8571	6428	5143	4288	3673	3214	2857	2571
65	27750	13875	9250	6938	5550	4625	3964	3469	3083	2775
70	29787	14894	9929	7447	5957	4965	4255	3723	3310	2979
76	32231	16116	10744	8058	6446	5372	4604	4029	3581	3223

140 MPH

1-Story

Percent Full Height Sheathing of Endwall

Length	10	20	30	40	50	60	70	80	90	100
30	15649	7824	5218	3912	3130	2608	2236	1956	1739	1565
35	18011	9006	6004	4503	3602	3002	2573	2251	2001	1801
40	20373	10187	6791	5093	4075	3396	2910	2547	2264	2037
45	22735	11368	7578	5684	4547	3789	3248	2842	2526	2274
50	25097	12549	8366	6274	5019	4183	3585	3137	2789	2510
55	27460	13730	9153	6865	5492	4577	3923	3432	3051	2746
60	29822	14911	9941	7455	5964	4970	4260	3728	3314	2982
65	32184	16092	10728	8046	6437	5364	4598	4023	3576	3218
70	34546	17273	11515	8636	6909	5758	4935	4318	3838	3455
76	37380	18690	12460	9345	7476	6230	5340	4673	4153	3738

Simpson Strap/Anchor Capacities (lb):

1st story to foundation:		Interconnection between stories:	
STHD14RJ	5025	CMST12	8235
STHD10RJ	3730	CMSTC16	4585
STHD8RJ	2210	CS14	2490
		CS20	1030

Notes:

- (1) Endwalls must be secured to resist overturning on both ends of each FHS (full height sheathed) section and within 3 feet of each corner.
- (2) Percent Full Height Sheathing (% FHS) determined by taking the sum of the length of each segment of the wall then dividing by the total sidewall length.

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY
NIA INC.

gwl
1-11-07

Sidewalls

Full Height Sheathing Required For Specified Edge Spacing

3/8" Sheathing with 8d nails at 12" O.C. field spacing

Width= 26.7 ft
Wall Height= 9 ft
Roof Pitch= 6.24 /12

1-Story % FHS	6" O.C. edge		4" O.C. edge		3" O.C. edge		2" O.C. edge	
	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH
10	23	27	16	18	12	14	10	11
20	22	25	15	18	12	14	9	11
30	20	23	14	16	11	13	8	10
40	19	22	13	15	10	12	8	9
50	17	20	12	14	9	11	7	8
60	16	18	11	13	8	10	7	8
70	14	17	10	11	8	9	6	7
80	13	15	9	10	7	8	5	6
90	11	13	8	9	6	7	5	5
100	10	11	7	8	5	6	4	5

Notes:

- (1) 2.6 ft needed to be considered a segment (3.5:1 ratio)
- (2) Studs must have a maximum spacing of 16" O.C.
- (3) Percent Full Height Sheathing (% FHS) determined by taking the sum of the length of each segment of the wall then dividing by the total sidewall length.
- (4) Studs must be doubles and nails must be staggered when nails are spaced @ 2" O.C.

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E53C5M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

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7-11-07

Endwall Shearwalls

Full Height Sheathing Required For Specified Edge Spacing

3/8" Sheathing with 8d nails at 12" O.C. field spacing

Width= 26.7 ft
Wall Height= 9 ft
Roof Pitch= 6.24 /12

Endwalls - 1 Side Sheathed

1-Story Length	6" O.C. edge		4" O.C. edge		3" O.C. edge		2" O.C. edge	
	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH
30	14	16	10	11	8	9	6	7
35	16	19	11	13	9	10	7	8
40	18	21	13	15	10	11	8	9
45	20	24	14	16	11	13	9	10
50	23	26	16	18	12	14	9	11
55	25	N/A	17	20	13	15	10	12
60	N/A	N/A	18	21	14	17	11	13
65	N/A	N/A	20	23	16	18	12	14
70	N/A	N/A	21	25	17	19	13	15
76	N/A	N/A	23	N/A	18	21	14	16

Endwalls - 2 Sides Sheathed

1-Story Length	6" O.C. edge		4" O.C. edge		3" O.C. edge		2" O.C. edge	
	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH	130 MPH	140 MPH
30	7	8	5	6	4	4	3	3
35	8	9	6	6	4	5	3	4
40	9	11	6	7	5	6	4	4
45	10	12	7	8	5	6	4	5
50	11	13	8	9	6	7	5	5
55	12	14	9	10	7	8	5	6
60	13	16	9	11	7	8	6	6
65	15	17	10	12	8	9	6	7
70	16	18	11	12	8	10	6	7
76	17	20	12	13	9	10	7	8

Notes:

- (1) 2.6 ft needed to be considered a segment (3.5:1 ratio)
- (2) Studs must have a maximum spacing of 16" O.C.
- (3) At panel Edges Studs must be doubled and nails must be staggered when nails are spaced @ 2" O.C.
- (3) When both sides are sheathed and nail spacing is less than 6" the panel joints must be offset to fall on different framing members or studs must be doubled and nails staggered.
- (4) Each full height sheathed section along the endwall must be tied down at both ends.

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3966-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY

NIA INC.

[Handwritten Signature]

Use a ply/OSB strip fastened with 0.131"x2.5" nails OR 10d nails toed at the proper spacing.
Use a 5/8" anchor bolt to connect sill to foundation at the proper spacing.

Nails Needed to Resist Sliding

Anchor Bolt Spacing (inches)

1-Story Unit Length (ft)	Endwall Nail Spacing (" O.C.)		Sidewall Nail Spacing (" O.C.)	
	Wind Speed MPH		Wind Speed MPH	
	130	140	130	140
30	4	4	6	6
35	4	3	6	6
40	3	3	6	6
45	3	2	6	6
50	3	2	6	6
55	2	2	6	6
60	2	2	6	6
65	2	2	6	6
70	2	6*	6	6
76	2	6*	6	6

1-Story Unit Length (ft)	Endwall Wind Speed MPH		Sidewall Wind Speed MPH	
	Wind Speed MPH		Wind Speed MPH	
	130	140	130	140
30	72	84	72	72
35	64	55	72	72
40	56	49	72	72
45	50	43	72	72
50	45	39	72	72
55	42	36	72	72
60	38	33	72	72
65	35	31	72	72
70	33	28	72	72
76	30	26	72	72

Note: For 6" use 0.131"x2.5" nails @ 6" O.C. and LTP4 clips @ 12" O.C.

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3896-3642-E5355M
40 PSF
1/19/2007
Cavaller Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY

NIA INC.

John
11-07

4.3

Roof Diaphragm Design

Number represents the length of blocking needed from EACH end.

N/A- Blocking not needed.

A minimum of 7/16" roof sheathing must be used.

1-Story Unit Length (ft)	Blocking needed (ft)	
	Wind Speed MPH	
	130	140
30	N/A	N/A
35	N/A	N/A
40	N/A	N/A
45	N/A	N/A
50	N/A	N/A
55	N/A	1
60	N/A	4
65	2	6
70	4	9
76	7	11

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY
NIA INC.

[Handwritten Signature]

Gable Roof Diaphragm and Shearwall Force Calculation (ASCE 7-02)

Client: Cavalier
Job Number: Shearwall Calcs
Description:

Building Geometry:

Ridge Length, B = 76.0 ft
Total Width, L = 26.7 ft
Blocking Height, h_b = 18.0 in.
Sidewall/Eave Height, h_e = 120.0 in.
Roof Slope, a = 6.24 /12 pitch
Roof slope, a = 27.5 deg.
Sidewall Overhang, L_{OH} = 12.0 in.
Endwall Overhang, B_{OH} = 12.0 in.

Loading Conditions:

Basic Wind Speed (V_{3s}) = 140 & 130 mph
Importance Factor (I_w) = 1.00
Exposure Category: C
Topographic Factor (K_{zt}) = 1.0
Height & Exposure (K_h) = 0.89
Directionality (K_d) = 0.85

Height Above Grade:

Stories Above Grade = 1.0
Sidewall Eave (z) = 11.5 ft
Roof Peak (z) = 19.0 ft
Mean Roof Height (h) = 15.2 ft
MWFRS End Zone, $2a$ = 6.0 ft

NET Horizontal Wind Loads (MWFRS)			Wind Speed (V_{3s})	
			130	140
Transverse	Wall	Wind Pressure (q_h)	32.7	37.9
		End Zone	40.4	46.9
	Roof	Interior	30.6	35.5
		End Zone	16.4	19.0
Longitudinal	Wall	Interior	13.9	16.1
		End Zone	34.0	39.4
	Roof	Interior	22.5	26.1
		End Zone	16.4	19.0

Vertical Roof Projection = 7.5 ft
Wall Height = 9.0 ft
Misc. Framing Height = 1 ft/level

Shearwall Loads (plf)

Shearwall Design Loads

		Wind Speed (V_{3s})	
		Zone	
Roof Diaphragm	End	130	140
	Interior	304	353
		241	280

Sliding Pressures (plf)

Sliding Design Loads

	Zone	130	140
Floor Diaphragm	End	527	611
	Interior	410	475

VB
R3
One (1)
130 MPH
0 hr
MFT-3350-3986-3642-E3355M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

APPROVED BY
MA INC.

Signature

Total Force to Shearwalls (each side)

		Shearwall Force Per End of Unit (lbf)				Sliding Force Per End of Unit (lbf)			
		Endwall		Sidewall		Endwall		Sidewall	
		Wind Speed (V_{3s})		Wind Speed (V_{3s})		Wind Speed (V_{3s})		Wind Speed (V_{3s})	
		130	140	130	140	130	140	130	140
Bracing 1 Floor and Roof	Unit Length	30	3998	4637		6498	7537		
	35	4601	5337			7523	8725		
	40	5205	6036			8548	9913		
	45	5808	6736			9572	11101		
	50	6412	7436			10597	12290		
	55	7015	8136			11621	13478		
	60	7619	8836			12646	14666		
	65	8222	9536			13671	15855		
	70	8826	10236			14695	17043		
	76	9550	11076	2803	3251	15925	18469	4645	5387

CAVALIER HOME BUILDERS, ELECTRICAL FEEDER CALCULATION

Date: 11/21/2006
 Prepared By: Scott Lee
 Model # N/A
 Job # E5355MS
 Size 56 x 26.67

lighting load 1493.52 sqft. x 3 w/ft = 4480.56 watts

Small App. & Laundry 3120.00 x 1500 watts = 4500 watts

Name Plate Ratings or Fixed Appliances and Motors

Furnace Blower	0	watts
Exhaust	960	
Disposal	0	
D/W	1200	
W/H 1- @ 5500watts	5500	
Dryer 1- @ 5500watts	5000	
Range 1- @ 5200watts	5200	
Oven	0	
Cooktop	0	
ice	0	
Security/Exit	0	
Special Devices	0	

Subtotal 26840.56

100% of 1st 10Kw 10000
 40% of remainder 6736.224

Air Conditioning @ 100% 20000

Total 36736.22 watts
 240 volts = 153.0676 Amps

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

Const. Type:
 Occupancy:
 Allowable No.
 of Floors:
 Wind Velocity:
 Fire Rating of
 Ext. Walls:
 Plan No.:
 Allow. Floor Load:
 Approval Date:
 Manufacturer:

These prints comply with the
 Florida Manufactured Building
 Act and adopted Codes and
 adhere to the following criteria:

APPROVED BY


Handwritten signature
 11/20/07



ENGINEERS
PLANNERS
CONSULTANTS

305 NORTH OAKLAND AVENUE * P.O. BOX 490 * NAPPANEE, INDIANA 46550
WEB: WWW.NTAINC.COM

PHONE: 574-773-7975
FAX: 574-773-2732

August 2, 2007

Mr. Michael Ashworth, Planning Manager
Dept. of Community Affairs-Manufactured Buildings Program
2555 Shumard Oak Boulevard
Tallahassee, FL 32399-2100

RE: Cavalier Home Builders, Millen Division
Millen, GA
Approvals: MFT-3359-Model-E5355M

Dear Mr. Ashworth

Enclosed please find one set of documents for the above-noted model. NTA hereby certifies that it has examined the building plan and other documents submitted by the manufacturer for certification and found them to be in compliance with the following codes:

Rule 9B-72 FAC for Product Approval
2004 Florida Residential Code w/05/06 & 2007 Supplement
2005 National Electrical Code

If you have any questions concerning this submission, please feel free to contact this office at any time.

Additionally, a hard copy of these plans with the required engineer's raised seal is on file at NTA, Inc.

Approved By:

A handwritten signature in dark ink, reading "Charles A. Osterday, Jr.", written over a horizontal line.

Charles A. Osterday, Jr.
Director of Modular Building Services

Enclosures: As Stated

cc: Scott Lee, Cavalier Home Builders

COLUMBIA COUNTY OFFICIAL C A L E N D A R

O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 19-5S-18-10599-003

Building permit No. 000026605

Use Classification MODULAR, UTILITY

Fire: 85.47

Permit Holder WILLIAM HARPER

Waste: 117.25

Owner of Building DONALD, LORIE & BRANDON WOOD

Total: 202.72

Location: 750 SE LESLIEWOOD LANE, LULU, FL

Date: 03/05/2008

Harry Dicks

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

GENERAL NOTES:

1. THIS UNIT MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.
2. CONSTRUCTION TYPE: VB UNPROTECTED
3. DESIGNED FLOOR LIVE LOAD: 40 P.S.F.
4. DESIGNED ROOF LIVE LOAD: 20 P.S.F.
5. DESIGNED WIND VELOCITY: 130 MPH, EXP "C"
6. MIN. HALLWAY WIDTH IS 36"
7. ALL GLASS IN DOORS, SIDELIGHTS, TUB, SHOWER ENCLOSURES SHALL BE SAFETY GLAZED.
8. INTERIOR DOORS SHALL BE UNDERCUT 1" A.F.F. OR EQUAL RETURN AIR GRILLS INSTALLED.
9. ALL SUPPLY AIR REGISTERS SHALL BE ADJUSTABLE.
10. OCCUPANCY CLASSIFICATION: RESIDENTIAL
11. THESE PLANS COMPLY WITH RULE 9B-72 (PRODUCT APPROVAL)
12. THE RAISED SEAL SET OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY DCA.

ELECTRICAL NOTES:

1. ALL VENT FANS SHALL EXTEND TO THE EXTERIOR OF THE BUILDING. (THIS EXCLUDES A CHARCOAL VENT RANGE HOOD)
2. BATHROOM VENT FANS SHALL PROVIDE 50 CFM.
3. LIGHTING PROVIDED IN CLOSETS SHALL BE 18" MIN. FROM SHELVING.
4. CEILING FANS SHALL BE INSTALLED WITH BLADES NO LOWER THAN 7'-0" A.F.F.

THERMAL ZONE:

CEILING: R-33
WALLS: R-19
FLOOR: R-11

WIND BOURNE PROTECTION OF DEBRIS

SECURE 7/16" MIN. OSB OR PLYWOOD PANELS INTO THE SUPPORT FRAMING ON EACH SIDE OF THE OPENING WITH #8x3" SCREWS @ 12" OC. 96" MAXIMUM OPENING SPANS (SEE R301.2.1.2 OF THE 2004 FBC)

ATTENTION LOCAL INSPECTIONS DEPARTMENT:

***** REFER TO THE MODULAR DATA SHEET FOR ITEMS SUBJECT TO LOCAL INSPECTION *****

- A. LATERAL & VERTICAL CONNECTION = PG. 10 (SET-UP MANUAL)
- B. ROOF SET-UP & CONNECTION = PG. 10 (SET-UP MANUAL)
- C. VERTICAL & HORIZONTAL PLUMBING CONNECTION BETWEEN MODULES = PG. 12 (SET-UP MANUAL)
- D. VERTICAL & HORIZONTAL MECHANICAL CONNECTION = PG. 13 (SET-UP MANUAL)
- E. ELECTRICAL CONNECTION BETWEEN MODULES = PG. 14 (SET-UP MANUAL)
- F. FIRE STOPPING & ELIMINATION OF AIR INFILTRATION = PG. 10.2 (SET-UP MANUAL)

PLUMBING NOTES:

1. TUB ACCESS SHALL BE PROVIDED FROM UNDER UNIT UNLESS OTHERWISE SPEC.
2. SHOWERS SHALL HAVE WATERPROOF WALL MATERIAL TO A HEIGHT OF 6'-0" A.F.F. MIN.
3. ALL SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.5 G.P.M.
4. ALL FIXTURES ARE PROVIDED WITH SHUT-OFF VALVES.
5. THE COLD WATER BRANCH LINE SERVING THE WATER HEATER WITH LOCKOUT SHALL BE PROVIDED WITH A SHUT-OFF VALVE.
6. WHEN POLYETHYLENE SUPPLY PIPING IS USED A MIN. 6" METAL PIPE IS PROVIDED BETWEEN THE HOT WATER SUPPLY AND WATER HEATER WITH LOCKOUT.
7. WATER HEATER WITH LOCKOUT SHALL BE PROVIDED WITH APPROVED TEMP. & PRESSURE RELIEF VALVE & HAVE A MAX. TEMP. SETTING OF 210 DEG. F°

ATTENTION LOCAL INSPECTIONS DEPT.

The following items have not been completed by CAVALIER HOMES, have not been inspected by NTA Inc., and are not certified by the Florida Modular Label. Code compliance must be determined at the local level.

1. Electrical fixture (ceiling fans) inst.
2. Heat pump to include cross-over connections.
3. Chimney termination completion.
4. Storm Doors
5. V-Box for heating system installed by others.
6. Dryer vent installed on site.
7. Flood-lights
8. Main trunk of H.V.A.C. along with branch ducts to register boots to be completed on-site for off-frame only.
9. Installation of dormer on a 7/12 roof pitch.

Florida Codes

2002 NATIONAL ELECTRICAL CODE
2004 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION WITH 2006 SUPPLEMENTS
2004 FLORIDA RESIDENTIAL CODE WITH 2006 SUPPLEMENTS

DUCT LAYOUT

MINIMUM DUCT THICKNESS = 0.013 / EQUIVALENT GAL VANIZED GAGE NO. = 30
HVAC SYSTEM IS DESIGNED AND INSTALLED BY OTHERS AND SUBJECT TO LOCAL REVIEW AND APPROVAL.

CAVALIER HOME BUILDERS LLC.
MILLEN DIVISION
P.O. BOX 630
206 MAGNOLIA STREET.
MILLEN, GA. 30442
CONTACT NAME: SCOTT LEE
PHONE NO. 1-478-982-4000
FAX. NO. 1-478-982-4394

CAVALIER HOME BUILDERS LLC.
ADDISON DIVISION
P.O. BOX 540
32 WILSON BLVD.100
ADDISON, AL. 35540
CONTACT NAME: JOHNNY WOOTEN
PHONE NO. 1-256-747-1575
FAX. NO. 1-256-747-2344

EXTERIOR ELEVATION NOTES:

ATTIC VENTILATION:

CEILING INLET: (56X26 7X14) = 215,309 sq. in.
REQUIRED INLET AREA: (5X215,309)/300 = 359
PROVIDED INLET AREA: (56X2)X6, 185 = 683 sq. in.
683 sq. in. > 359 sq. in. therefore ok.
REQUIRED OUTLET AREA: (5X215,309)/300 = 359
359/150 = 2.4 -> 3 VENTS REQ'D
PROVIDED OUTLET AREA: 150 sq. ft. PER POP VENT
3 X 150sq. in. = 450
450 sq. in. > 359 sq. in. therefore ok.

FLORIDA STRUCTURAL
LOAD LIMITATIONS:
(FBC 1606.1.7)

FLOOR LIVE LOAD: 40 PSF	VB
ROOF LIVE LOAD: 20 PSF	R3
ROOF SNOWLOAD: NOT APPLICABLE	
CONSTRUCTION TYPE	VB
OCCUPANCY	R3
FIRE RATING OF EXT. WALLS	0
HIGH VELOCITY HURRICANE ZONE SEISMIC LOAD: NOT APPLICABLE	NO
WIND LOAD: A. 130 MPH B. 1w = 1.0 C. C D. GCF = 0.18 E. PW = 49.3 PSF F. PW = 82.9 PSF G. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT. FLOOD LOAD: THIS BUILDING IS NOT DESIGNED TO BE LOCATED IN A FLOOD HAZARD AREA.	WIND SPEED. WIND IMPORTANCE FACTOR. WIND EXPOSURE CATEGORY. INTERNAL PRESSURE COEFFICIENT. INTERIOR ZONE WALL COMPONENT & CLADDING LOAD. EXTERIOR ZONE WALL COMPONENT & CLADDING LOAD. UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

These prints comply with the Florida Manufacture Building Act and adhere to the following criteria:
APPROVED BY
NTA INC.
Const. Type:
Occupancy:
Allowable No. of Floors:
Wind Velocity:
Fire Rating of Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

CAVALIER HOME BUILDERS LLC.
HAMILTON DIVISION
P.O. BOX 1418
330 BUCCANEER ST.
HAMILTON, AL. 35570
CONTACT NAME: DOUG CARPENTER
PHONE NO. 1-205-921-3135
FAX. NO. 1-205-921-6538

FILE COPY

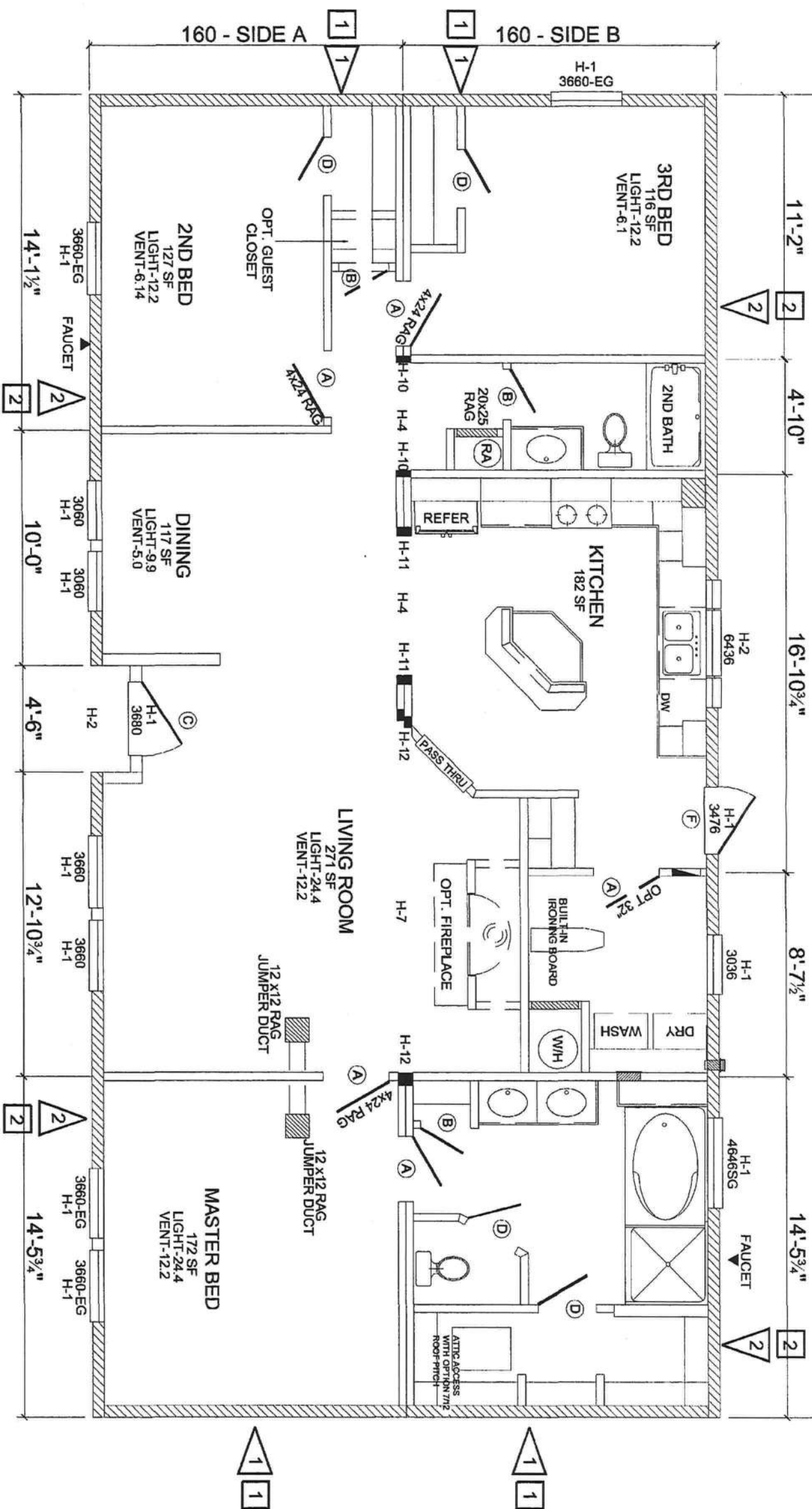
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THIS BUILDING HAS NOT BEEN DESIGNED FOR PLACEMENT IN BROWARD OR DADE COUNTIES.

9/21/07

DOOR R.O.

56'-0" (96" SIDEWALL 108" OPTIONAL SIDEWALL)



130 MPH SHEARWALL SHEATHING NOTES

- | | | |
|---|--|-----------|
| 1 | USE 3/8" SHEATHING W/ 8d NAILS @ 4" OC EDGE & 12" OC FIELD SPACING (ENDWALL). | H-1 = W/1 |
| 2 | USE 3/8" SHEATHING W/ 8d NAILS @ 6" OC EDGE & 12" OC FIELD SPACING (SIDEWALL). | H-2 = W/1 |
| 1 | USE PLYWOOD STRIP W/ 8d NAILS @ 2" OC (ENDWALL) | H-3 = W/1 |
| 2 | USE PLYWOOD STRIP W/ 8d NAILS @ 6" OC (SIDEWALL) | H-4 = R/1 |
| | | H-5 = R/1 |

DOOR SCHEDULE

6-PANEL (STORM DOOR) U-VALUE = 0.50 / R-VALUE = 2.00
 9-LITE (STORM DOOR) U-VALUE = 0.50 / R-VALUE = 2.00
SLIDING GLASS DOOR

KINRO WINDOW SCHEDULE - SERIES 9750				
SIZE	ROUGH OPENING	GLASS/VENT EQ. SASH	MAX. ALLOWABLE ROOM SIZE EQ. SASH	
SH2460	24 1/4" X 60 1/4"	7.69	3.93	96.13
SH4636	64 1/4" X 36 1/4"	12.08	2.28	57.00
SH3660	36 1/4" X 60 1/4"	12.2	6.14	152.50
SH3036	30 1/4" X 60 1/4"	9.95	5.03	123.39
SH3036	30 1/4" X 36 1/4"	5.55		66.00
SH4646	46 1/2" X 46 1/2"	13.17	0.00	199.50

HEADER SPECIES

H-1 = WINDOW HEADER (3) 2 X 6S #3 SYP
H-2 = WINDOW HEADER (3) 2 X 6S #3 SYP
H-3 = WINDOW HEADER (2) 2 X 6S #2 SYP
H-4 = RIDGE BEAM 12" X 6.375" 1/L MASTER PLANK
H-5 = RIDGE BEAM 12" X 10" 1/L MASTER PLANK
H-6 = RIDGE BEAM 12" X 11.875" 1/L MASTER PLANK
H-7 = RIDGE BEAM 12" X 14" 1/L MASTER PLANK
H-8 = RIDGE BEAM 12" X 14" 1/L MASTER PLANK
H-9 = RIDGE BEAM 12" X 18" 1/L MASTER PLANK
H-10 = (2) COLUMN STUDS #2 S.P.F. TO EQUAL 2.8 - M.B.L.
H-11 = (3) COLUMN STUDS #2 S.P.F. TO EQUAL 4.2 - M.B.L.
H-12 = (5) COLUMN STUDS #2 S.P.F. TO EQUAL 5.5 - M.B.L.
H-13 = (4) COLUMN STUDS #2 S.P.F. TO EQUAL 7.0 - M.B.L.

08-E5355MS - 56x28-3BR 2Bath	SCALE	MODULAR	page 12	SL
	N.T.S.		page no.	2 of 11

MODEL PLAN



Cavalier Home Builders

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

APPROVED BY



Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

VB
R3

One (1)
130 MPH

0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

ELECTRICAL SCHEDULE / 200 AMP SERVICE					ELECTRICAL SCHEDULE / 200 AMP SERVICE				
CIR. NO.	DESCRIPTION	BREAKER AMP.	VOLTS	COPPER WIRE	CIR. NO.	DESCRIPTION	BREAKER AMP.	VOLTS	COPPER WIRE
1	WASHER	20	120	12/2	18	* GENERAL LIGHTING / ARC FAULT	15	120	14/2
2	GENERAL LIGHTING	15	120	14/2	20	OVEN	30	240	10/3
3	FREEZER	20	120	12/2	24	DISHWASHER	15	120	14/2
4	WATER HEATER WITH LOCKOUT	30	240	10/2	26	RANGE/SURFACE UNIT	40	240	8/3
5	MICROWAVE	20	120	12/2	29	* GENERAL LIGHTING/ARC FAULT	15	120	14/2
7	GROUND FAULT INTERRUPTED - KIT.	20	120	12/2	31	GENERAL LIGHTING	15	120	14/2
8	GENERAL LIGHTING	15	120	14/2	32	REFER	15	120	14/2
9	GROUND FAULT INTERRUPTED - KIT.	20	120	12/2	33	EXTERIOR GFI	20	120	12/2
10	* GENERAL LIGHTING/ARC FAULT	15	120	14/2	34	BATH GFI	20	120	12/2
12	DRYER	30	240	10/3	35	BLANK	15	120	14/2
16	* GENERAL LIGHTING/ARC FAULT	15	120	14/2	36	BLANK	20	120	12/2

⊕ = WALL MOUNTED LIGHT FIXTURE

⊕ = EXHAUST FAN

⊕ = SMOKE ALARM W/ BATTERY BACK-UP (INTERCONNECTED)

⊕ = THERMOSTAT

⊕ = MAIN DISTRIBUTION PANEL

⊕ = FLUORESCENT LIGHT

⊕ = JUNCTION BOX

⊕ = ARC FAULT RECEPT.

ELECTRICAL DEVICES

⊕ = DUPLEX OUTLET ON 15 AMP CIRCUIT

⊕ = DUPLEX OUTLET ON 20 AMP CIRCUIT

⊕ = DUPLEX OUTLET ON GFI CIRCUIT

⊕ = EXTERIOR OR WET LOCATION OUTLET

⊕ = SWITCH

⊕ = DOUBLE GANG SWITCH

⊕ = CEILING MOUNTED LIGHT FIXTURE

08-E5355MS - 56x28-3BR 2Bath

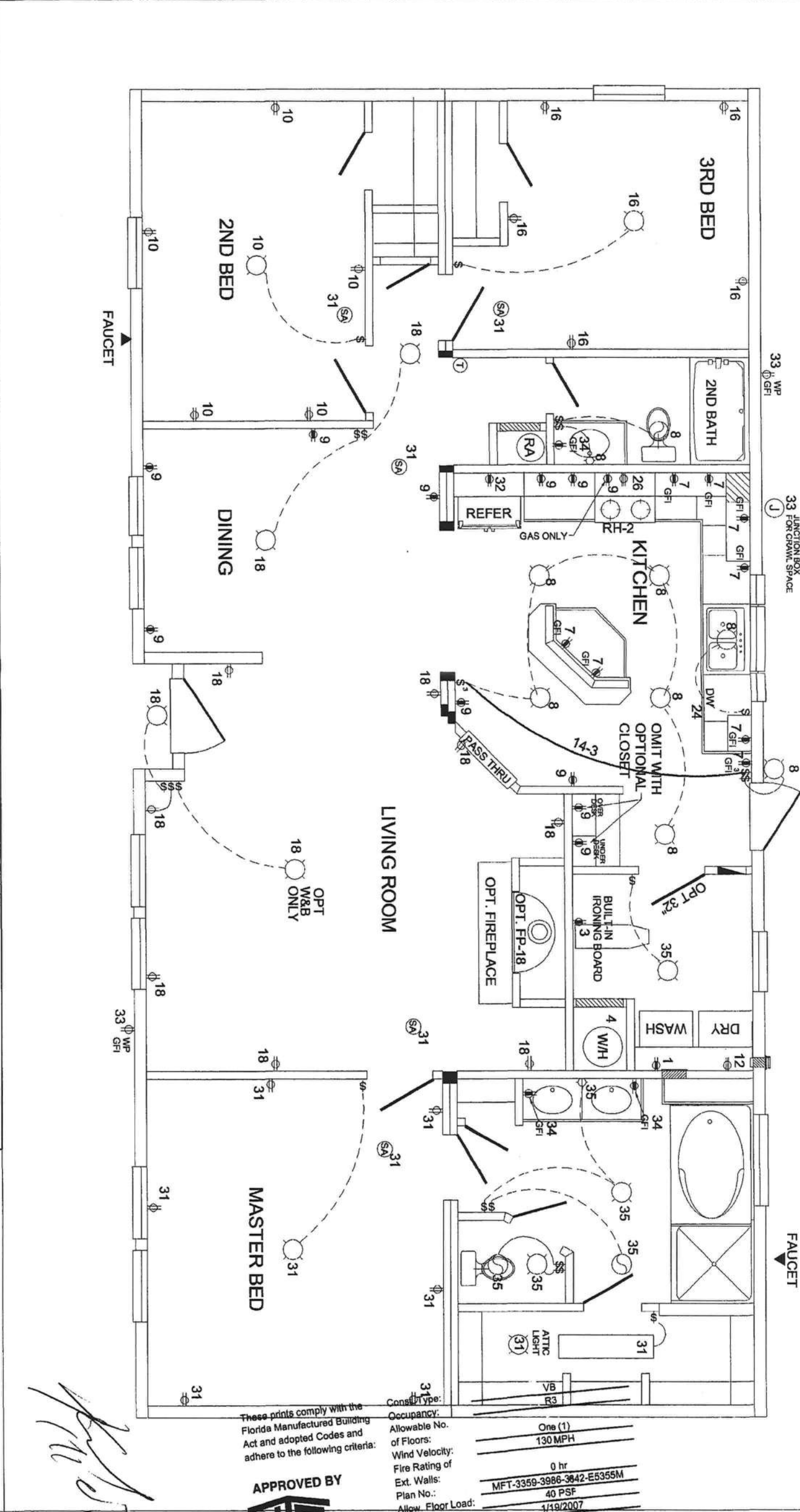
SCALE: N.T.S.

drawn by: SL

page no: 3 of 11

ELEC. PLAN

Cavalier Home Builders™



These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

APPROVED BY

Consent Type: Occupancy: Allowable No. of Floors: Wind Velocity: Fire Rating of Ext. Walls: Plan No.: Allow Floor Load: Approval Date: Manufacturer:

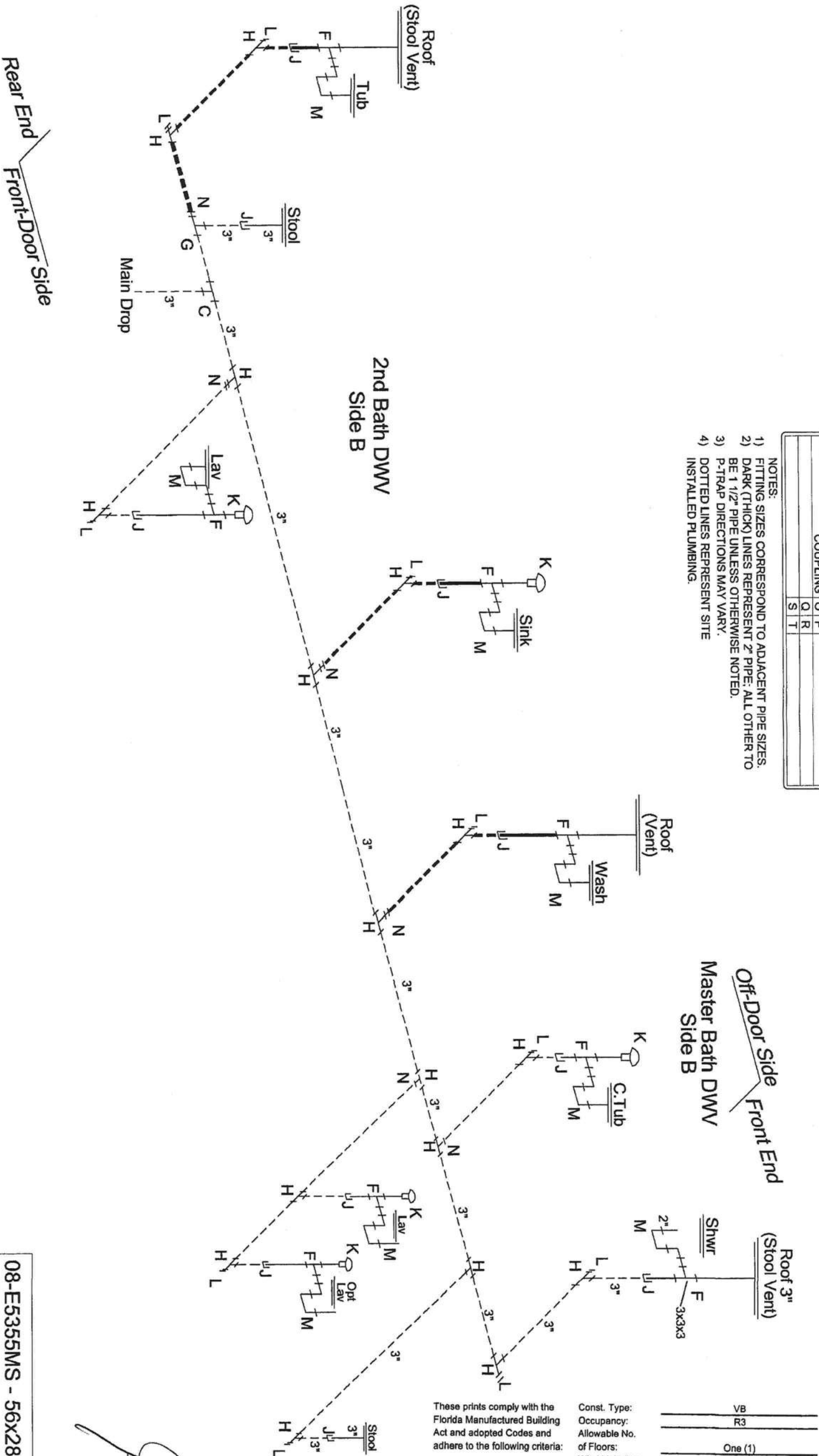
One (1) 130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavalier Home Builders

INC.

Signature

DWV FITTING LEGEND											
90° LONG TURN ELL	A	B	45° ST. ELL								
DOUBLE ELL	C	D	90° CLOSET ST. ELL								
90° LONG TURN ST. ELL	E	F	SANITARY TEE								
DOUBLE SANITARY TEE	G	H	LONG TURN TY								
45° Y	I	J	CAP & CHAIN								
MECHANICAL VENT	K	L	CLEAN OUT PLUG								
P-TRAP	M	N	REDUCER BUSHING								
COUPLING	O	P									
	Q	R									
	S	T									

- NOTES:
- 1) FITTING SIZES CORRESPOND TO ADJACENT PIPE SIZES.
 - 2) DARK (THICK) LINES REPRESENT 2" PIPE: ALL OTHER TO BE 1 1/2" PIPE UNLESS OTHERWISE NOTED.
 - 3) P-TRAP DIRECTIONS MAY VARY.
 - 4) DOTTED LINES REPRESENT SITE INSTALLED PLUMBING.

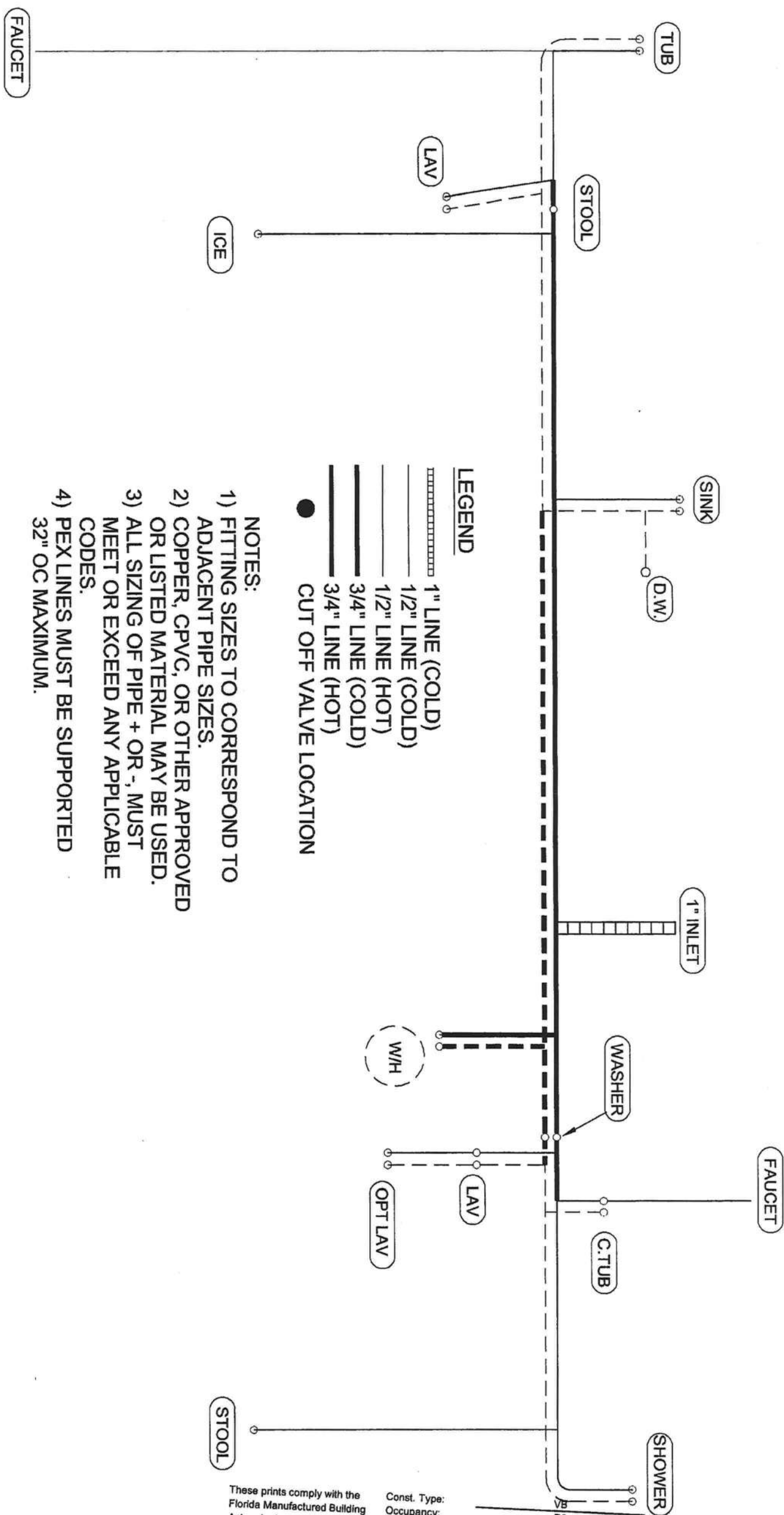


These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:



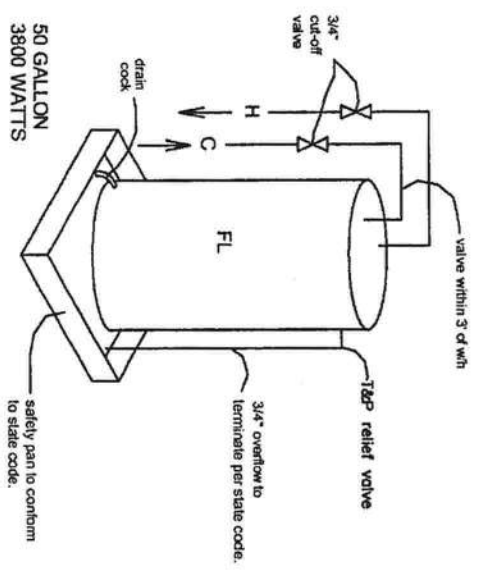
Const. Type:	VB
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	130 MPH
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-3359-3986-3642-E5355M
Allow. Floor Load:	40 PSF
Approval Date:	1/19/2007
Manufacturer:	Cavaller Home Builders

Signature



- LEGEND**
- 1" LINE (COLD)
 - 1/2" LINE (COLD)
 - 1/2" LINE (HOT)
 - 3/4" LINE (COLD)
 - 3/4" LINE (HOT)
 - CUT OFF VALVE LOCATION

- NOTES:**
- 1) FITTING SIZES TO CORRESPOND TO ADJACENT PIPE SIZES.
 - 2) COPPER, CPVC, OR OTHER APPROVED OR LISTED MATERIAL MAY BE USED.
 - 3) ALL SIZING OF PIPE + OR -, MUST MEET OR EXCEED ANY APPLICABLE CODES.
 - 4) PEX LINES MUST BE SUPPORTED 32" OC MAXIMUM.



Const. Type:	One (1)
Occupancy:	130 MPH
Allowable No. of Floors:	0 hr
Wind Velocity:	MFT-3359-3986-3642-E5355M
Fire Rating of Ext. Walls:	40 PSF
Plan No.:	1/19/2007
Allow. Floor Load:	Cavalier Home Builders
Approval Date:	
Manufacturer:	

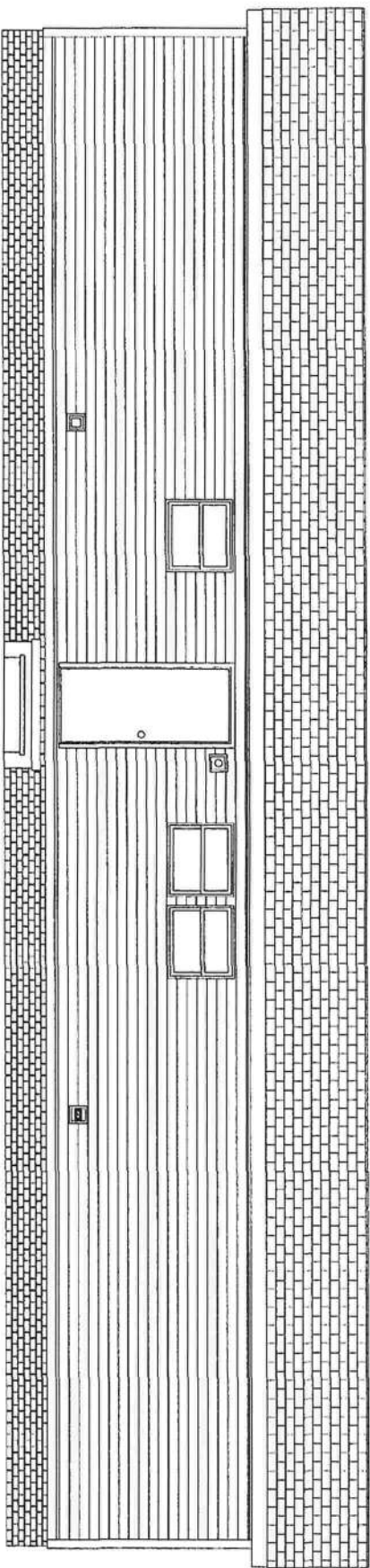
These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

APPROVED BY

NIA INC.

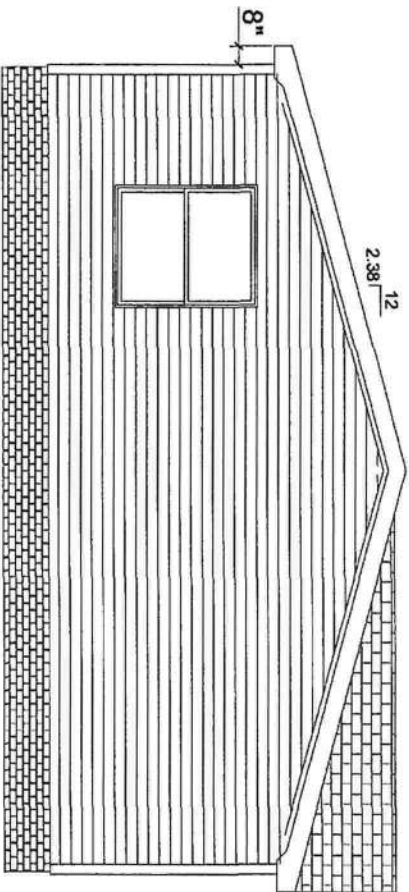
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RAC



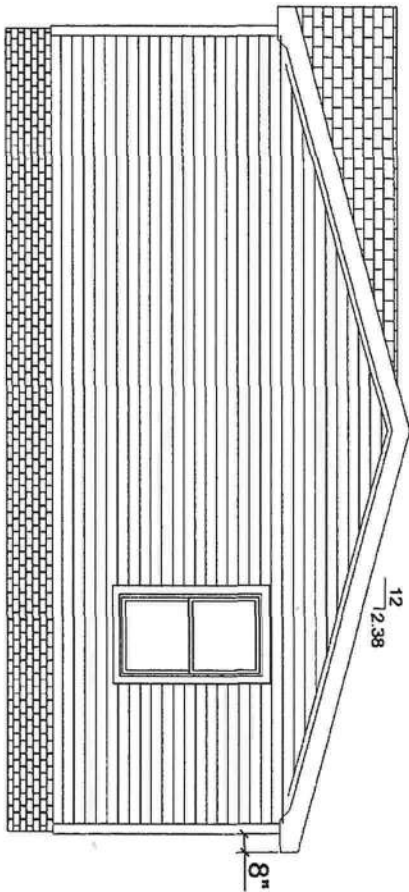
REAR ELEVATION

2.38' 12

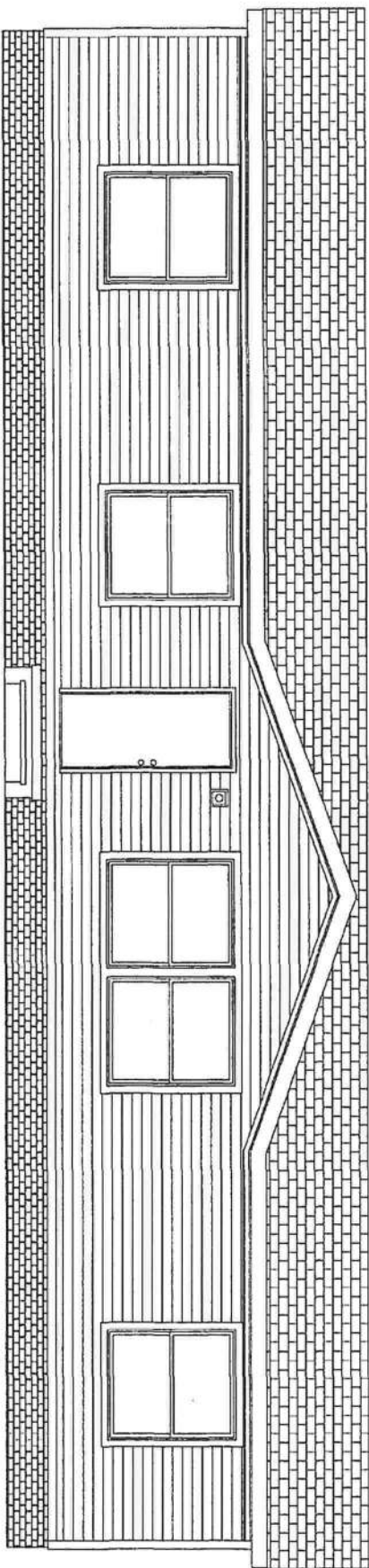


LEFT ELEVATION

12 12.38



RIGHT ELEVATION



FRONT ELEVATION

MODEL: 08-E5355-MS - 28x56
3-BEDROOM / 2-BATH
STANDARD 3:12 ROOF PITCH

9/6/05

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY
NIA INC.

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

VB
R3
One (1)
130 MPH
0 hr
MFT-3359-3986-3642-E5355M
40 PSF
1/19/2007
Cavaller Home Builders

EXTERIOR MATERIALS:

1. EXTERIOR WALL FINISH: VINYL SIDING
2. SOFFIT FINISH: VINYL SOFFIT
3. ROOF COVERING: SHINGLES

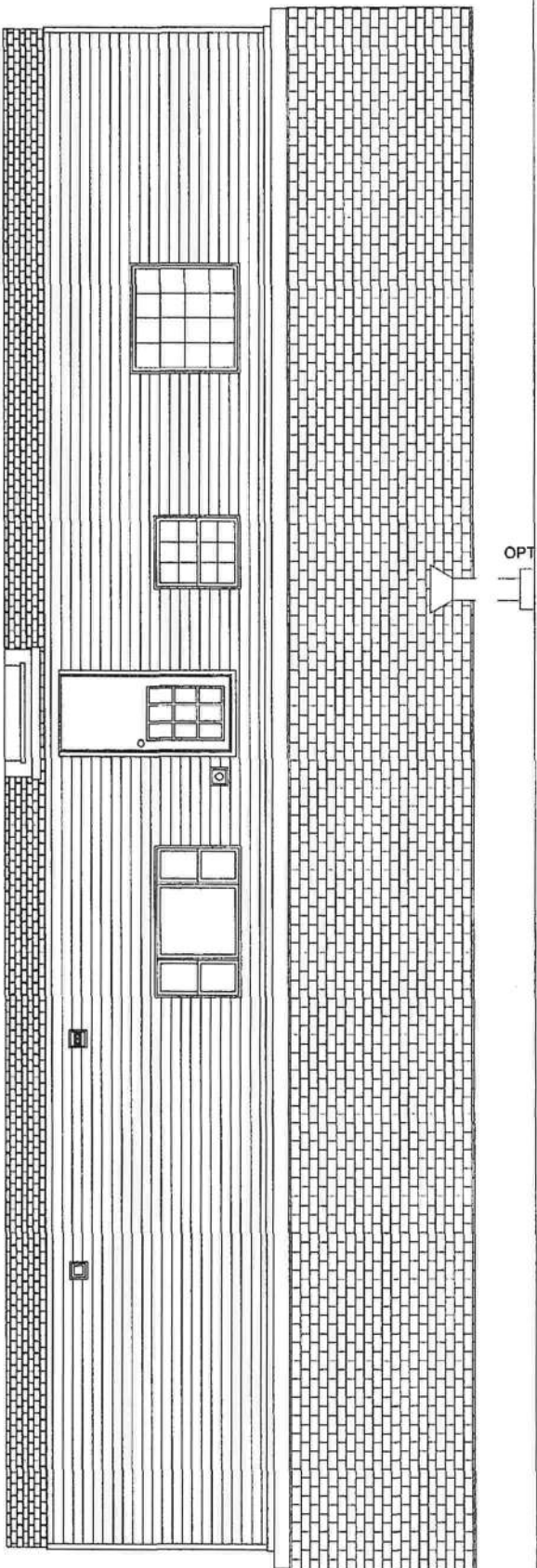
9/11/05

08-E5355MS - 56x28-3BR 2Bath

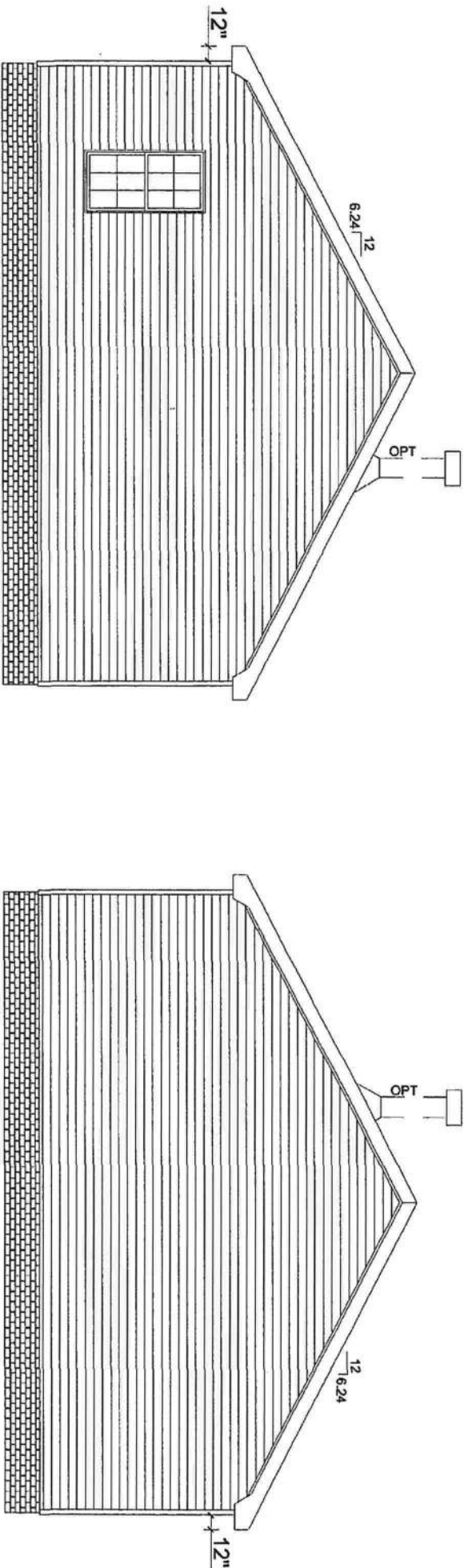
MODULAR

Exterior Elevations

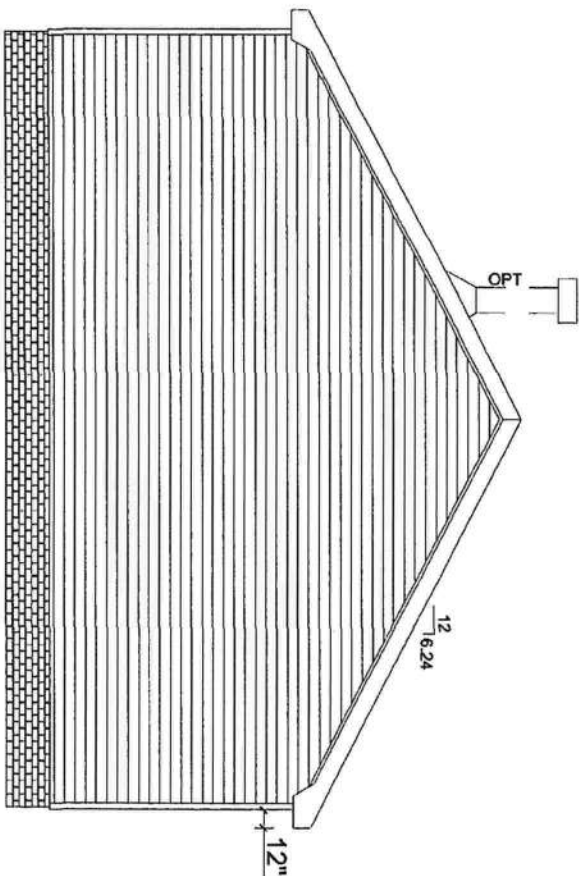
Cavaller Home Builders™



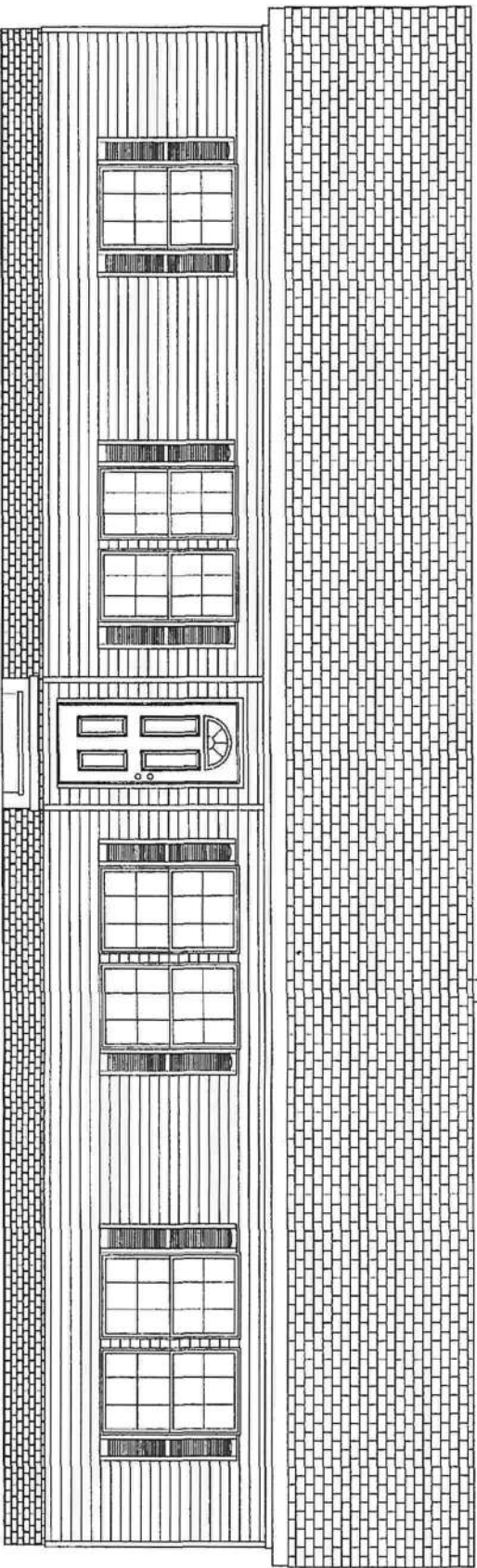
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

Cavalier Home Builders
MODEL: 08-E5355-MS - 28x60
3-BEDROOM / 2-BATH
STANDARD 7:12 ROOF PITCH

VB
R3

One (1)
130 MPH

0 hr

MFT-3359-3986-3642-E5355M

40 PSF

1/19/2007

Cavalier Home Builders

Const. Type:
Occupancy:
Allowable No.
of Floors:
Wind Velocity:
Fire Rating of
Ext. Walls:
Plan No.:
Allow. Floor Load:
Approval Date:
Manufacturer:

These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
adhere to the following criteria:

APPROVED BY

NIA INC.

Handwritten signature

EXTERIOR MATERIALS:

1. EXTERIOR WALL FINISH: VINYL SIDING
2. SOFFIT FINISH: VINYL SOFFIT
3. ROOF COVERING: SHINGLES

08-E5355MS - 56x28-3BR 2Bath

MODULAR

OPTION

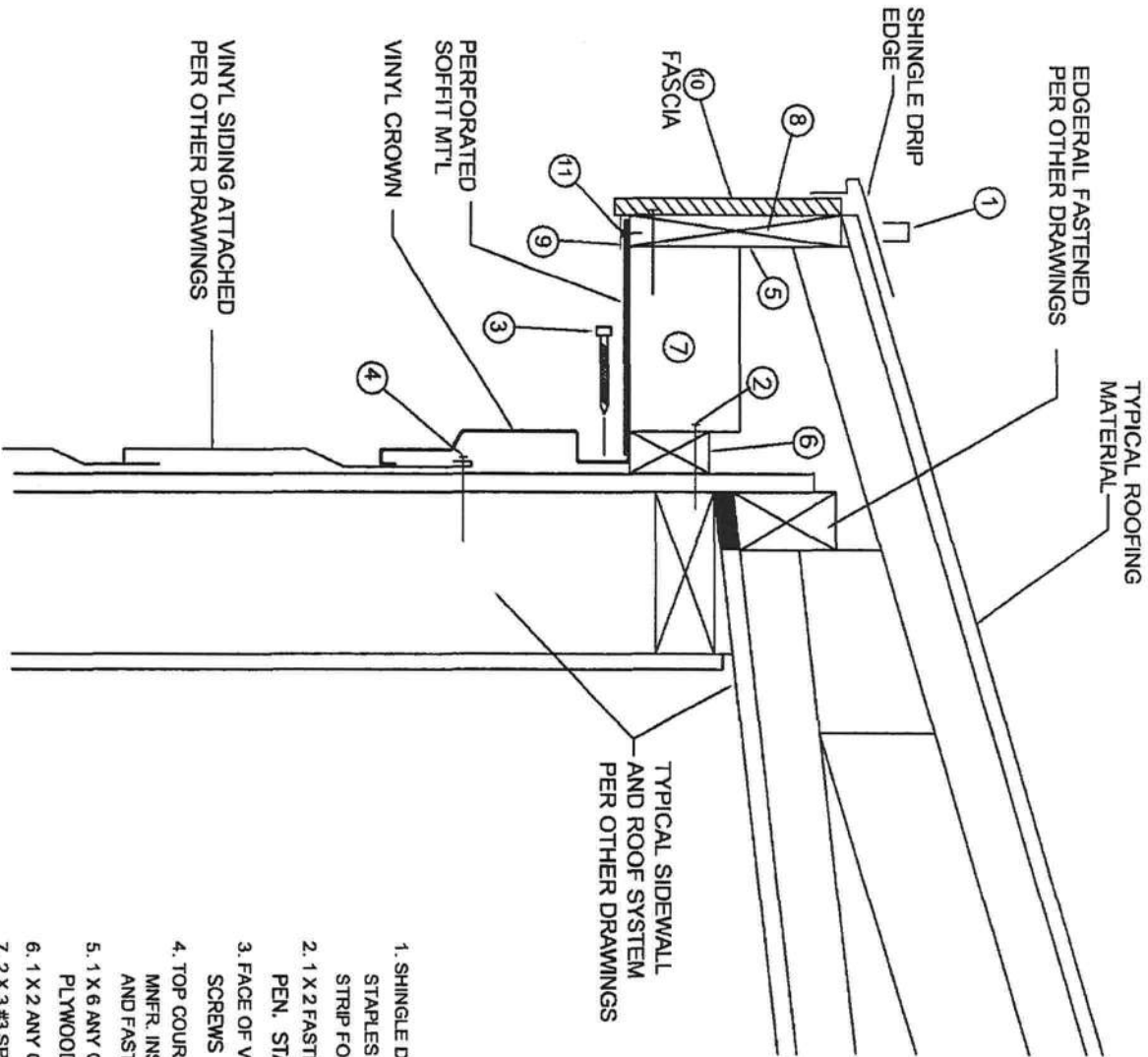
EXTERIOR ELEVATIONS

Cavalier Home Builders™

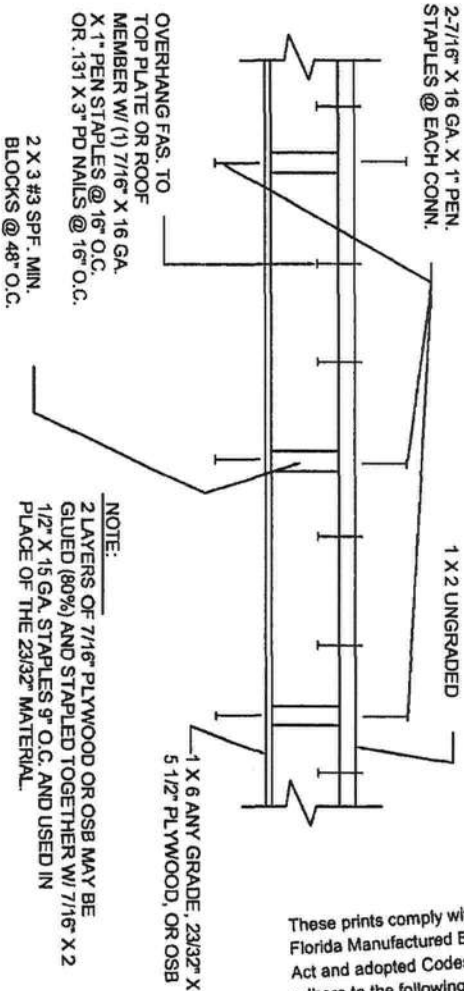
RIDGE BEAM CONSTRUCTION

- 1. MICROLAM Fb = 2,900 P.S.I.
- 2. MICROLAM MUST BE CONTINUOUS OVER CLEARSPANS.
- 3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- 4. INSTALL (2 X 4) X 20" S.P.F. #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN. FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND (6) - 15 GA. STAPLES WITH 3/4" MINIMUM PENETRATION INTO MICROLAM BEAM.

12" MAX. OVERHANG



- 1. SHINGLE DRIP EDGE TO DECKING W/ 1" X 3/4" X 16 GA. STAPLES 16" O.C. (MAY USE FASTENING OF SHINGLE STARTER STRIP FOR DRIP EDGE SECUREMENT).
- 2. 1 X 2 FASTENED TO TOP PLATE OR STUD WITH (1) 7/16" X 16 GA. X 1" PEN. STAPLES AT 16" O.C.
- 3. FACE OF VINYL CROWN TO STUDS WITH 1 1/4" METAL SCREWS 48" O.C.
- 4. TOP COURSE OF VINYL TO BE TRIMMED AND SLOTTED PER MNFR. INSTRUCTIONS. PLACE TO COURSE BEHIND CROWN AND FASTEN PER WINDZONE.
- 5. 1 X 6 ANY GRADE, 23/32" PLYWOOD, OSB OR 2 LAYERS OF 7/16" PLYWOOD OR OSB.
- 6. 1 X 2 ANY GRADE, 23/32" PLYWOOD, OR O.S.B.
- 7. 2 X 3 #3 SPF. MIN. BLOCKS 48" O.C.
- 8. FASCIA FASTENED TO TOP CHORD OF TRUSS W/ (2) 7/16" X 1" PEN. X 16 GA. STAPLES.
- 9. 3" L-BAR FASTENED INTO 1 X 6 W/ 3/4" X 18 GA. STAPLES 24" O.C.
- 10. "HARDIE" FASCIA FASTENED TO 1 X 6 W/ (1) 2-1/4" X 7d NAILS 16" O.C. STAGGERED.
- 11. SOFFIT MTL FASTENED TO 1 X 6 W/ (1) 3/4" X 18 GA. STAPLE AT 48" O.C.



NOTE: 2 LAYERS OF 7/16" PLYWOOD OR OSB MAY BE GLUED (80%) AND STAPLED TOGETHER W/ 7/16" X 2 1/2" X 15 GA. STAPLES 9" O.C. AND USED IN PLACE OF THE 23/32" MATERIAL.

These prints comply with the Florida Manufactured Building Act and adopted Codes and adhere to the following criteria:

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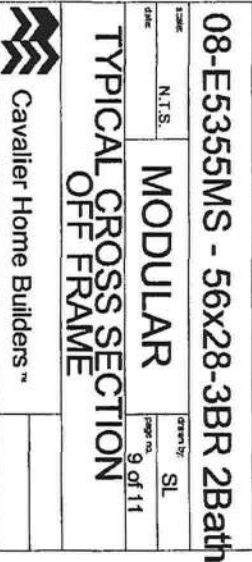
Const. Type:
Occupancy:
Allowable No. of Floors:
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Fire Rating of Ext. Walls:
Plan No.:
Allow. Floor Load:
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Manufacturer:

VB
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INTERIOR FINISH MATERIAL		EXTERIOR FINISH MATERIAL	
CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURERS SPECIFICATIONS.		ROOF - 215# ASPHALT OR FIBERGLASS SHINGLES OVER 2 LAYERS 15# FELT UNDERLAYMENT OR EQUIV. INSTALLED PER MANUFACTURERS SPECIFICATIONS	
WALLS - CORRIDORS - 3/8" MINIMUM GYPSUM BOARD.		WALL - .019 INCH ALUMINUM SIDING (*) WALL - 5/8 INCH D-11 APA RATED PANEL SIDING (*) WALL - 7/16 INCH LP INNER SEAL APA RATED PANEL SIDING WALL - VINYL LAP SIDING	
FLOORS - BLOCK TILE OF LINOLEUM IN BATH AND OTHER WET AREAS CARPET, BLOCK TILE OR LINOLEUM INSTALLED IN ALL OTHER AREAS		* MAY BE USED AS BRACING MATERIAL. FASTEN SIDING PER SPECIFICATIONS GIVEN ABOVE FOR 3/8 INCH APA RATED SIDING EXTERIOR	
08-E5355MS - 56x28-3BR 2Bath		scale: N.T.S.	drawn by: SL
MODULAR		date:	page no. 8 of 11
MISC. DETAILS		Cavalier Home Builders™	

(2004 FBC WITH 2006 SUPPLEMENTS)



1.88 SQUARE FEET NET FREE AREA OF ATTIC VENTILATION TO BE PROVIDED BY GABLE AND/OR ROOF VENTS

FASTEN HALVES TOGETHER WITH #10 x 3" SCREW 32" O.C. (ALTERNATE SIDES) OR 30 ga. GALV. RIDGE CAP FASTENED WITH 1"x1-1/4"x1/8ga. STAPLES AT 16" O.C. EACH SIDE (NOMINAL 3/12 ONLY)

FASTEN HALVES TOGETHER WITH (1) - #10 x 3" SCREW 4" O.C. (ALTERNATE SIDES) SIMPSON LSTA18 GALV. STEEL STRAPS @ 32" O.C.

DESIGNED TRUSSES @ 16" OR 24" O.C. DESIGNED ROOF TRUSS LOADS:
LIVE LOAD 20 PSF TOP CHORD
DEAD LOAD 10 PSF TOP CHORD
LIVE LOAD 0 PSF BOTTOM CHORD
DEAD LOAD 10 PSF BOTTOM CHORD
TRUSS CALC REF: ROOF SECTION OF CONSTRUCTION MANUAL

2x4 blocking required at decking seams. The blocking is required for 14'-0" from the overhang.

EXTERIOR WALL STUDS & CRIPPLES
2x6 SPF #3 @ 16" O.C. (100 & 130 M.P.H.)
(2) 2 x HEADER PER APPROVED STRUCTURAL PACKAGE
(2004 FBC WITH 2006 SUPPLEMENTS)

2x3/32" STRUCTURE WOOD, STURDI FLOOR
EXP. 1, 24" O.C. (MEYERHAUSER), 98 x 2"
R.S. P.D.D @ 8" PERIMETER TO 8" IN FIELD.

LSTA18 SIMPSON STRAPS INSTALLED FROM WALL STUD TO FLOOR JOIST AT OPENING STUDS AND 16" O.C. PER MANUFACTURERS INSTALLATION INSTRUCTIONS (TYPICAL SIDEWALL & ENDWALLS)

OUTRIGGER 8'-0" O.C. MAX.
CROSSMEMBER 8'-0" O.C. MAX.
5/16" x 3" LAG SCREWS WITH FLANGE
CLIP (16" O.C.)

INSULATION:
CEILING = R-33
WALLS = R-19
FLOOR = R-11

(2004 FBC WITH 2006 SUPPLEMENTS)

GENERAL FIRE BLOCKING:
ALL LOCATIONS SUCH AS PENETRATIONS THRU FLOORS OR CEILINGS MUST BE FIRE PROOFED USING EITHER INSULATION OR APPROVED SEALANT.

CROSS SECTION NOTES:
1. UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY WITH ASTM A36, YIELD STRENGTH = 36 KSI.
2. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307
3. INTERIOR WALLS SHALL BE CONSTRUCTED TO WITHSTAND A HORIZONTAL FORCE OF 5 PSF.

ROOF COVERING OVER 7/8" OSB RATED SHEATHING.
MINIMUM EXP. - 1, 240. (FASTEN 3" ON EDGE TO 8" O.C. IN FIELD WITH 1/2" x 1 3/4" 15 GA. STAPLE (130 MPH) SHINGLES PER MANUFACTURERS INSTALLATION INSTRUCTIONS (FASTENING) CORROSION RESISTANT .120 x 1" SHINGLE NAIL PD

DETAIL A-A

EXTERIOR WALL FINISH (VINYL SIDING)
7/8" x 1 3/4" x 16 GA. PER M.L.
EXTERIOR WALL STRUCTURAL BRACING:
SIDEWALLS 7/8" OR 1" OSB SHEATHING
BRACING INSTRUCTIONS:
STRUCTURAL SHEATHING THAT SHALL EXTEND CONTINUOUSLY FROM TOP OF TRUSS TOP CHORD TO 3" MINIMUM BELOW TOP OF RIM JOIST WITH ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND GRADE AS EXTERIOR WALL FRAMING. BRACING SHALL BE LOCATED AS CLOSE TO EACH CORNER OF BUILDING AS POSSIBLE.

BRACING MATERIAL:
3" MIN. * APA RATED SHEATHING EXP. 1, (SEE SHEATHING PLAN NOTES FOR SHEATHING FASTENING SPECS.
RIM JOIST (2) - 2" x 10" SYP #2 (5) PER JOIST
.131 x 3" PD NAILS
RIM JOIST (1) - 2" x 8" SYP #2 (5) PER JOIST
.131 x 3" PD NAILS

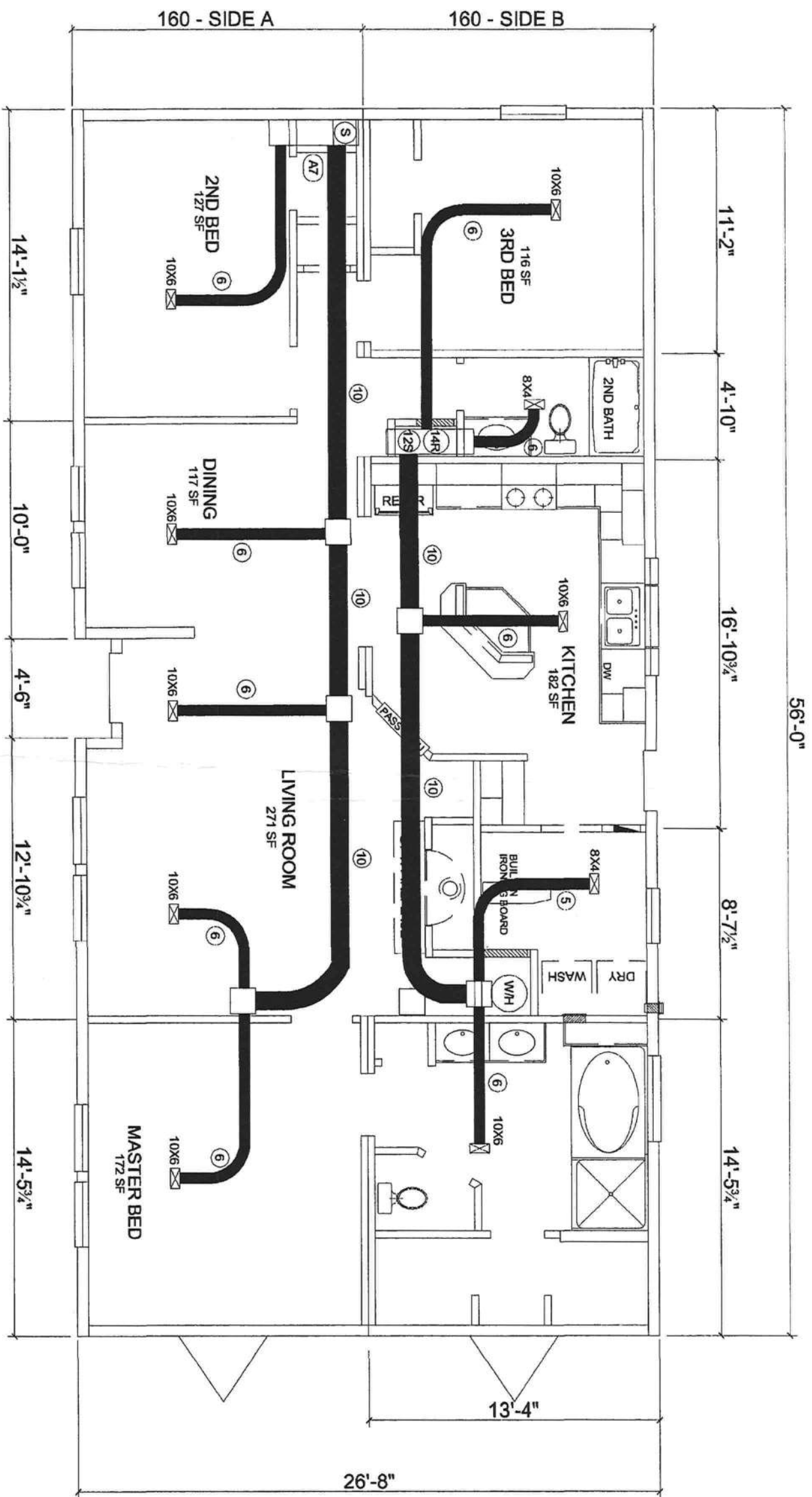
BRACING INSTRUCTIONS:
STRUCTURAL SHEATHING THAT SHALL EXTEND CONTINUOUSLY FROM TOP OF TRUSS TOP CHORD TO 3" MINIMUM BELOW TOP OF RIM JOIST WITH ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND GRADE AS EXTERIOR WALL FRAMING.

CHASSIS TIE DOWN STRAP
@ 6'-0" O.C. MAXIMUM
MAX. (100 & 130 M.P.H.)
ALONG EXTERIOR I-BEAMS
(SEE SET-UP MANUAL)

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Const. Type:
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Wind Velocity:
Fire Rating of Ext. Walls:
Plan No.:
Allow. Floor Load:
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One (1)
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0 hr
MFT-3359-3988-3642-E5355M
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1/19/2007
Cavaller Home Builders

Handwritten signature/initials

08-E5355MS - 56x28-3BR 2Bath

Scale: N.T.S. MODULAR

OVERHEAD DUCT

Cavaller Home Builders™