

DATE 12/06/2006

Columbia County Building Permit

PERMIT
000025285

This Permit Expires One Year From the Date of Issue

APPLICANT CHARLES BREWINGTON PHONE 454-1174
ADDRESS 1565 SW BOBCAT DRIVE FORT WHITE FL 32038
OWNER CHARLES BREWINGTON PHONE 454-1174
ADDRESS 1565 SW BOBCAT DRIVE FORT WHITE FL 32038
CONTRACTOR MELVIN SHEPPARD PHONE 623-2203
LOCATION OF PROPERTY 47 S, L 27, R 138, R BOBCAT LANE, GO TO 8TH PLACE
ON THE RIGHT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 30-7S-17-10068-031 SUBDIVISION SASSAFRASS ACRES
LOT 31 BLOCK PHASE UNIT TOTAL ACRES 1.00

IH0000833
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-1019MD CS JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD, REPLACING EXISTING MH
OLD MH MUST BE REMOVED FRM POWER

Check # or Cash 6425

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 275.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVINCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

1st message 11/21/06

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official aps 11/20/06 Building Official DAVID H. HARRIS

AP# 0611-32 Date Received 11/13 By JW Permit # 25285

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments panel 290
old m/h to be disconnected from power & utel. & removed.

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☒ Well letter ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☐ Letter of Authorization from installer

☒ State Road Access ☐ Parent Parcel # _____ 06-1019MD ☐ STUP-MH _____

Property ID # 30-75-17-10068-031HX Subdivision LOT 31 SAGEAPPLE ACRES S/DORR B3243

- New Mobile Home ☒ JACOBSEN Used Mobile Home _____ Year 2007
- Applicant CHARLES S BREWINGTON JR Phone # (386) 454-1174
- Address P.O. BOX 2371 HIGH SPRINGS, FL 32655
- Name of Property Owner CHARLES S BREWINGTON JR Phone # (386) 454-1174
- 911 Address 1565 SW BOBCAT DRIVE FT. WHITE FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home CHARLES S BREWINGTON JR Phone # (386) 454-1174
Address 1565 SW BOBCAT DRIVE FT. WHITE FL 32038 / MAILING ADDRESS PO BOX 2371 HIGH SPRINGS, FL 32655
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 1
- Lot Size 150 X 300 Total Acreage 1 + or -
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (pd) 275
- Driving Directions to the Property SR 27 SOUTH TO CR 138 - TURN (R) GO TO S.W. BOBCAT DRIVE - TURN (R) GO TO 8TH PLACE ON (R)
- Name of Licensed Dealer/Installer Melvins Mobile Home Serv Phone # (386) - 623-2203
- Installers Address 6355 SE CR 245, Lake City, FL 32025
- License Number IH0000833 Installation Decal # 278564

inf

1 UNIT BEING CHANGED

PERMIT WORKSHEET

PERMIT NUMBER

Installer Robert Sheppard Mobile Home Service License # IH 0000833

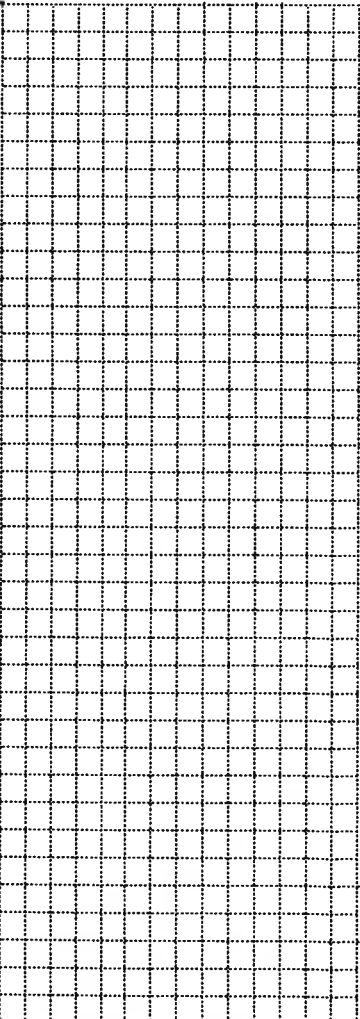
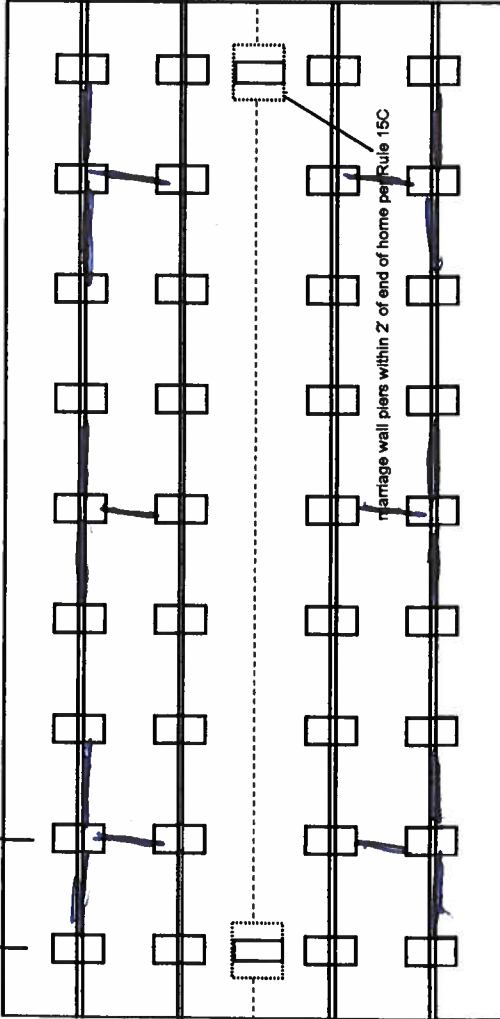
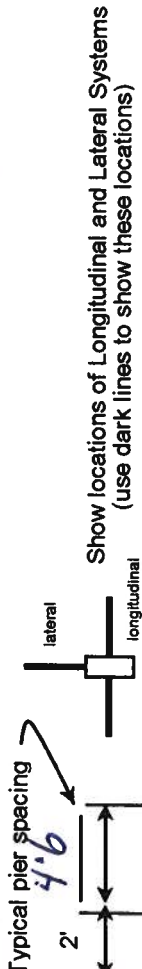
Address of home being installed 15605 SW Bobcat Dr.

Manufacturer Jacobsen Length x width 32 x 68

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials RS



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 278564

Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size 17x22

Other pier pad sizes (required by the mfg.) 17x22

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer Oliver 1101

Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver 1101

OTHER TIES

Sidewall
Longitudinal
Marriage wall
Shearwall

Number

28
68
84

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 1700 x 1700 x 1700

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1700 x 1700 x 1700

TORQUE PROBE TEST

The results of the torque probe test is 295 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Robert Sheppard

Date Tested

11-11-06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 29

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 28

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 28

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: 1295 Length: 5" Spacing: 16" oc
Walls: Type Fastener: 1295 Length: 4" Spacing: 16" oc
Roof: Type Fastener: 1295 Length: 6" Spacing: 16" oc
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

RS

Type gasket

Foam

Installed:

Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 28
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No ☐
Dryer vent installed outside of skirting. Yes ☒ N/A ☐
Range downflow vent installed outside of skirting. Yes ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒ N/A ☐
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the

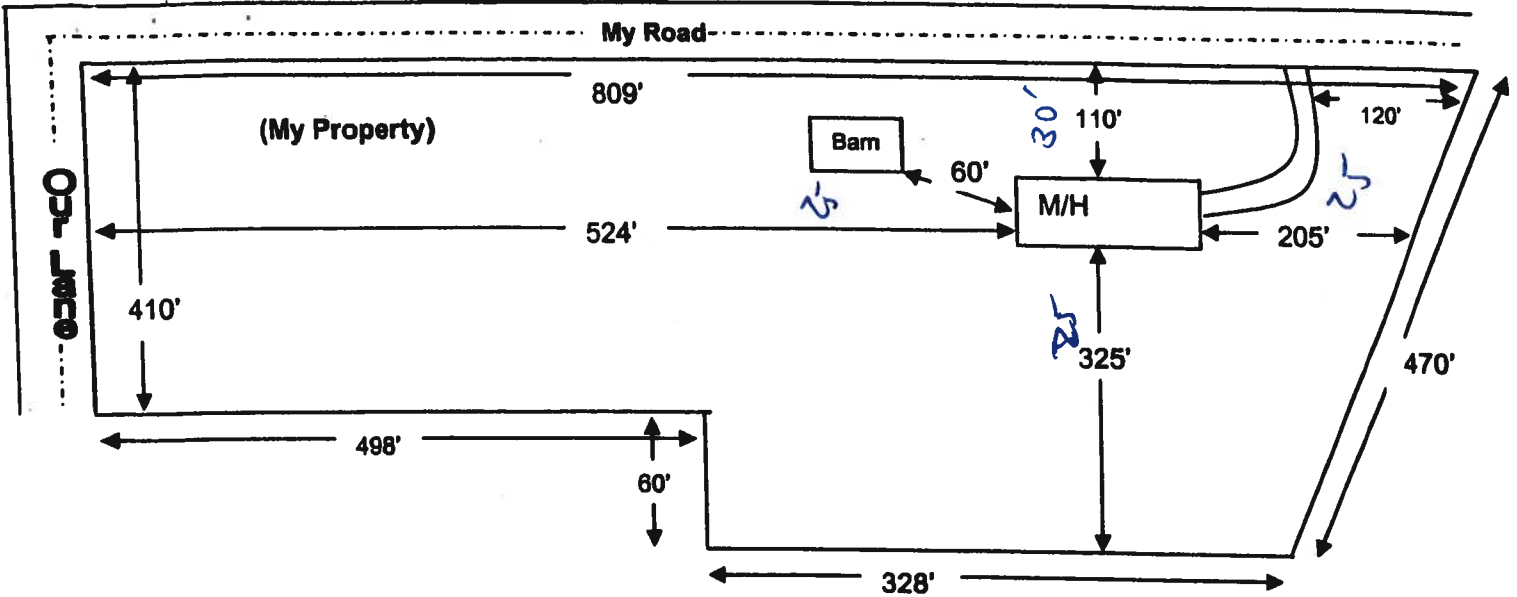
manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

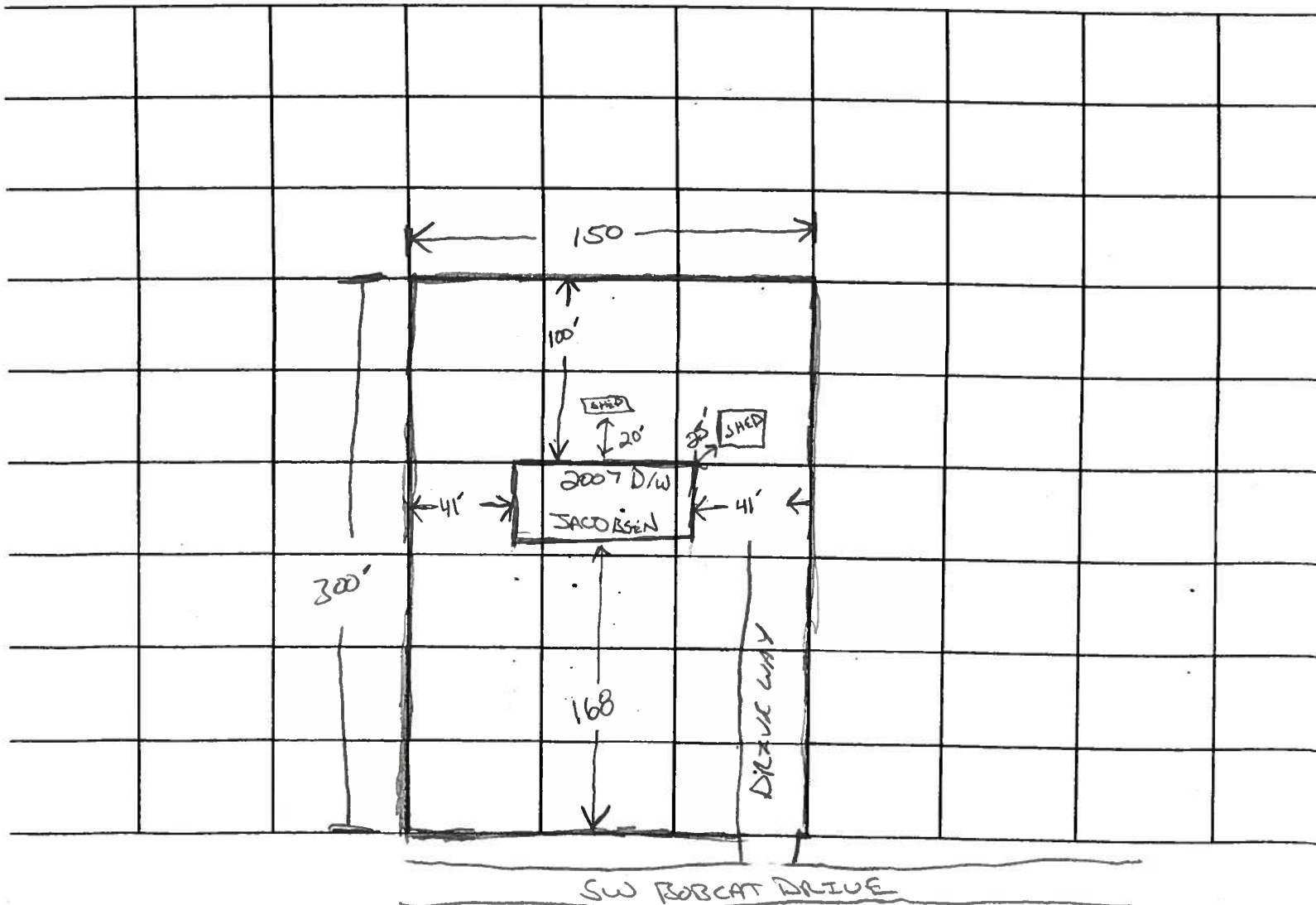
Robert Sheppard

Date 11-11-06

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



LETTER OF AUTHORIZATION

Date: 11.13.06

Columbia County Building Department
P.O. Box 1529
Lake City, FL 32056

I Robert Sheppard, License No. TH0000 833 do hereby

Authorize Charles S. Brewington, Jr. to pull and sign permits on my
(chuck)
behalf.

Sincerely,

Robert Sheppard

Sworn to and subscribed before me this _____ day of _____, 2006

Notary Public: _____

My commission expires: _____

Personally Known _____

Produced Valid Identification: _____

@ CAM112M01 . . . S CamaUSA Appraisal System
 11/09/2006 15:31 Legal Description Maintenance
 Year T Property Sel
 2007 R 30-7S-17-10068-031

	Columbia	County
14360	Land	002
	AG	000
4214	Bldg	001 *
1760	Xfea	003 *
20334	TOTAL	B

HX BREWINGTON C S JR & GEORGINA L

1	LOT 31 SASSAFRAS ACRES S/D.	ORB 632-639,,	2
3			4
5			6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 12/10/1996 TERR

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More

COLUMBIA COUNTY
OFF
OF
ALLEN

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 30-7S-17-10068-031

Building permit No. 000025285

Permit Holder MELVIN SHEPPARD

Owner of Building CHARLES BREWINGTON

Location: 1565 SW BOBCAT DRIVE

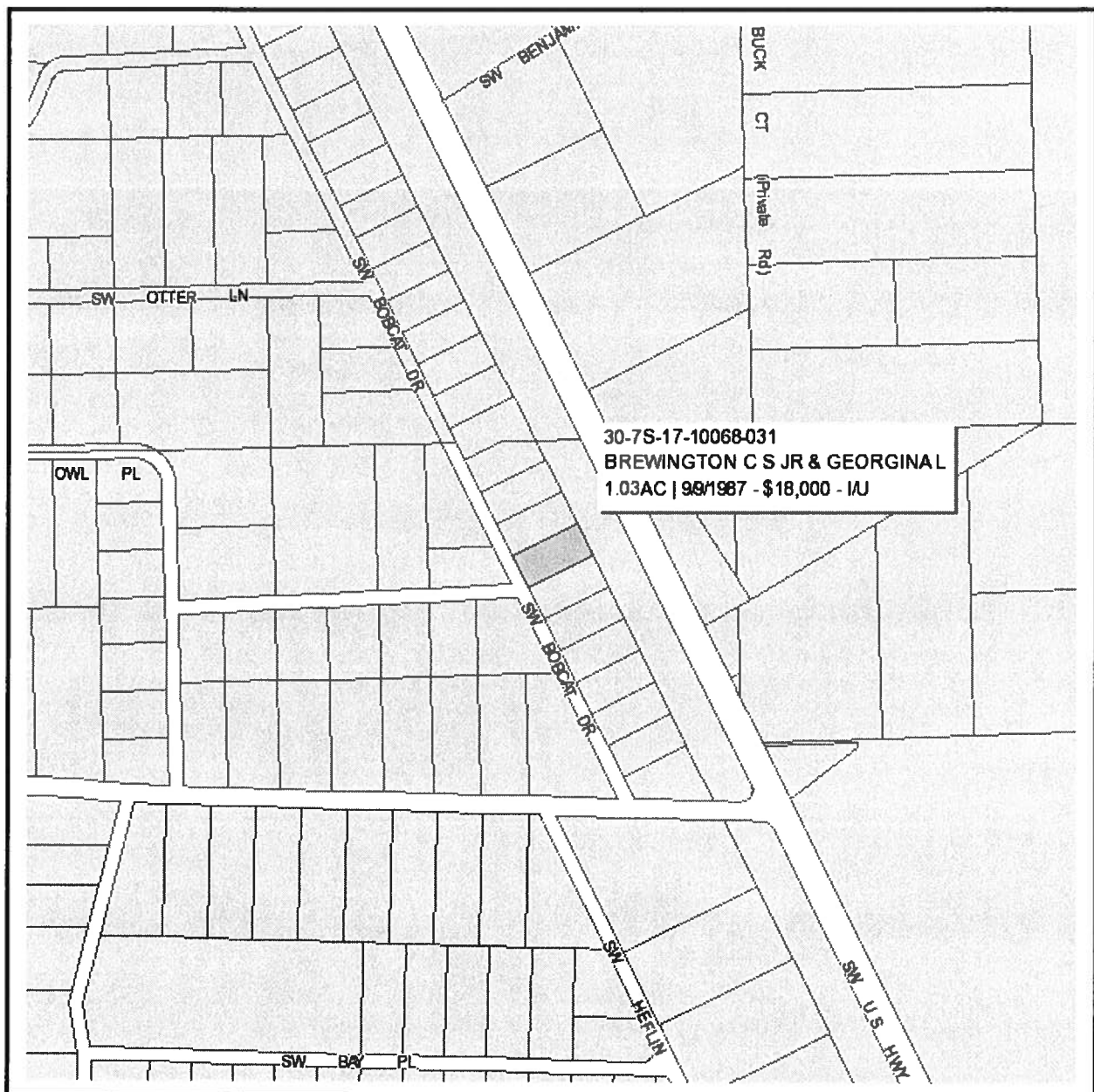
Date: 01/08/2007



Tracy Ann By

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



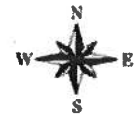
Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 30-7S-17-10068-031 HX - MOBILE HOM (000200)

Name: BREWINGTON C S JR & GEORGINA L	LandVal	\$14,360.00
Site:	BldgVal	\$4,198.00
Mail: P O BOX 2371	ApprVal	\$20,318.00
HIGH SPRINGS, FL 32643	JustVal	\$20,318.00
Sales Info 9/9/1987 \$18,000.00 I / U	Assd	\$13,848.00
	Exmpt	\$13,848.00
	Taxable	\$0.00

0 0.05 0.1 0.15 mi



This information, GIS Map Updated: 10/4/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



STATE OF FLORIDA
DEPARTMENT OF HEALTH

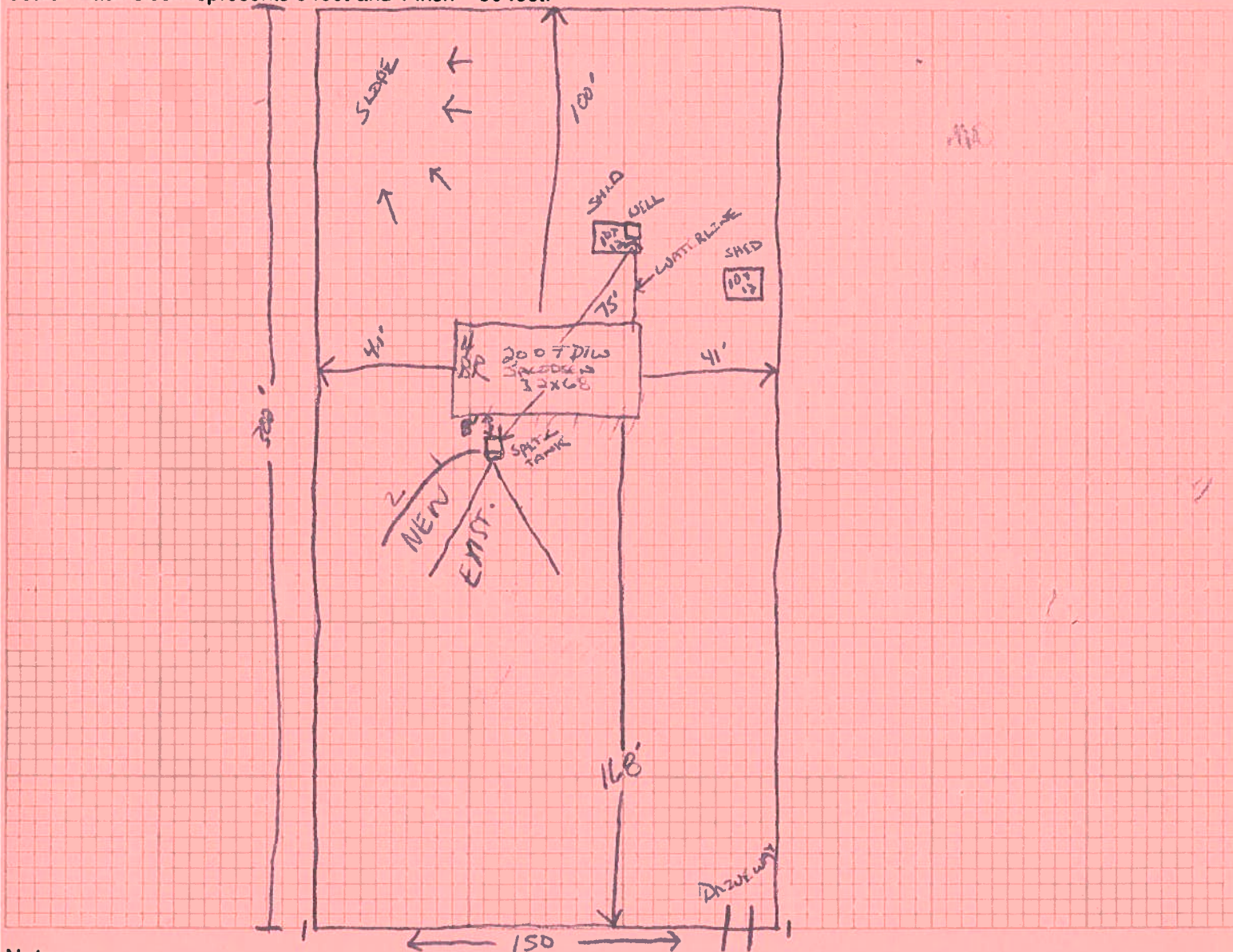
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

06-1019N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

Site Plan submitted by: X B8 Dman

Signature

Owner

Plan Approved

Not Approved

Date

Title

11-27-06

By

Sally G. Gaddy ESII

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT