

DATE12/18/2006

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT000025315

APPLICANTJEFF MARTIN

PHONE352.732.8600

ADDRESS1729NW 4TH AVENUE,STE 100

OCALAFL34475

OWNERLARRELL & LAURA THOMAS

PHONE

ADDRESS708SW BLUFF DRIVE

FT. WHITEFL32038

CONTRACTORCHARLES FAIRBANKS, JR.

PHONE352.732.8600

LOCATION OF PROPERTY

47-S TO HOLLINGSWORTH STREET,TR TO BLUFF DRIVE,TR FOLLOW TO HOUSE ADDRESS ON L.

TYPE DEVELOPMENT

SUNROOM ADDITION

ESTIMATED COST OF CONSTRUCTION

10000.00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT

STORIES

1

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONING

MAX. HEIGHT

35

Minimum Set Back Requirments:

STREET-FRONT

REAR

SIDE

NO. EX.D.U.

1

FLOOD ZONE

DEVELOPMENT PERMIT NO.

PARCEL ID

18-7S-16-04236-026

SUBDIVISION

CEDAR SPRING SHORES

LOT

13

BLOCK

PHASE

UNIT

2

TOTAL ACRES

CRC030504

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

06-1001E

BLK

JTH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS:

NOC ON FILE.

Check # or Cash

3216

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

Pool

date/app. by

date/app. by

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$

50.00

CERTIFICATION FEE \$

0.00

SURCHARGE FEE \$

0.00

MISC. FEES \$

0.00

ZONING CERT. FEE \$

50.00

FIRE FEE \$

0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$

25.00

CULVERT FEE \$

TOTAL FEE

125.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

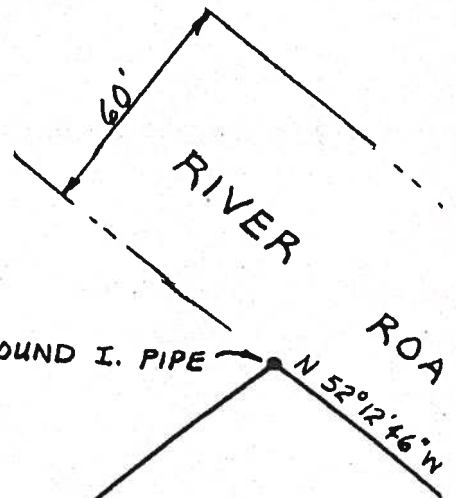
The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

LOCATION SURVEY

on

Lot #13, Cedar Springs Shores, Unit No. 2
Plat Book 4, Page 2, Columbia County, Florida

LARRELL & LAURA THOMAS
708 SW BLUFF DR.
FT. WHITE, FLORIDA 32038
386-497-2685
352-339-1870 mobile

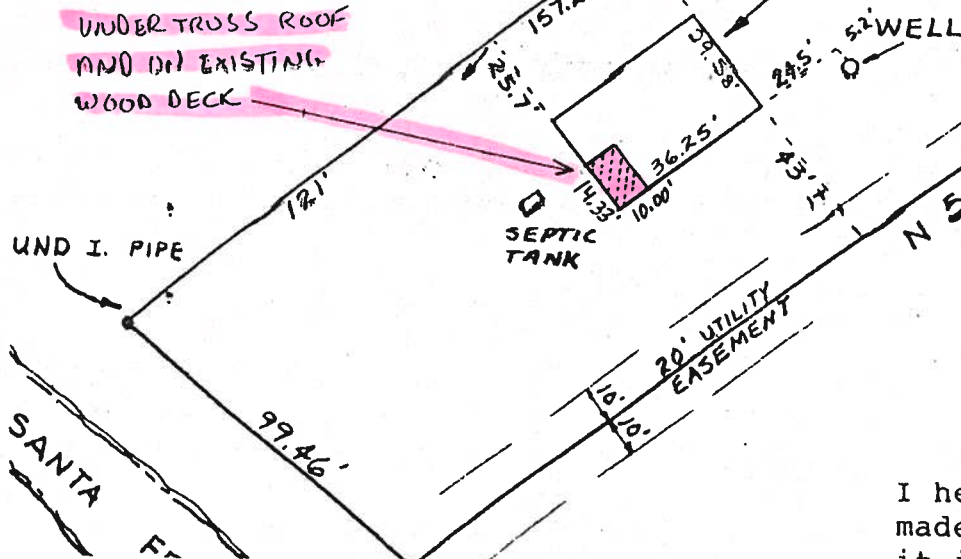


BOTTOM FLOOR ELEVATION OF STRUCTURE = 40.16'
100 YEAR FLOOD ELEVATION = 36.00'

LOT 12

FOUNDATION IN PLACE
FOR PROPOSED STRUCTURE
ON 7/30/88

PROPOSED SUN ROOM
UNDER TROSS ROOF
AND ON EXISTING
WOOD DECK



LOT 14

SURVEYOR'S CERTIFICATE

I hereby certify that the above survey was made under my direction and supervision and it is a true and correct representation of the same.

NOTE:

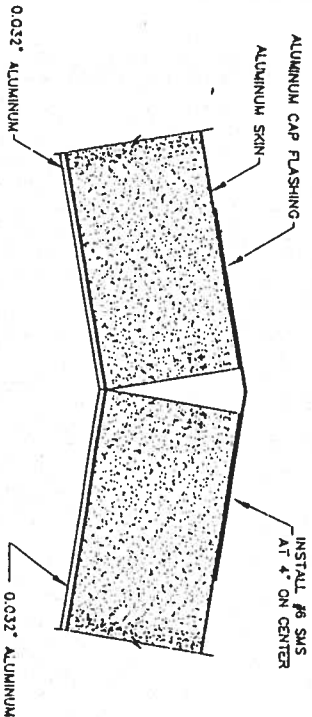
Bottom floor elevation of structure = 40.16'
100 year flood elevation = 36.00'

LARRELL THOMAS

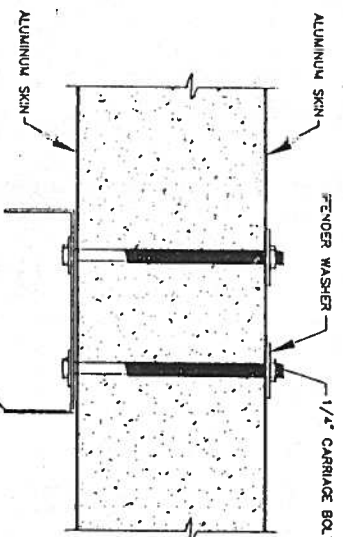
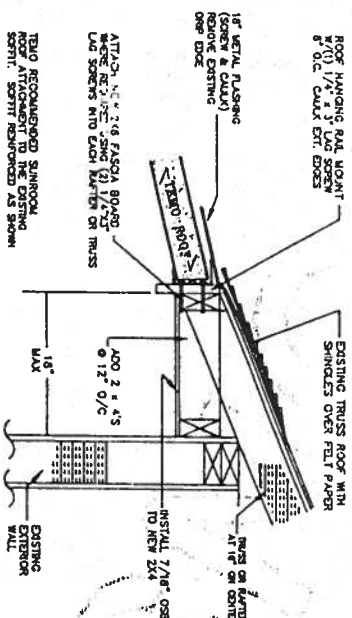
Keen Engineering & Surveying, Inc.

Route 2, Box 88
Live Oak, Florida 32060
(904) 362-4787

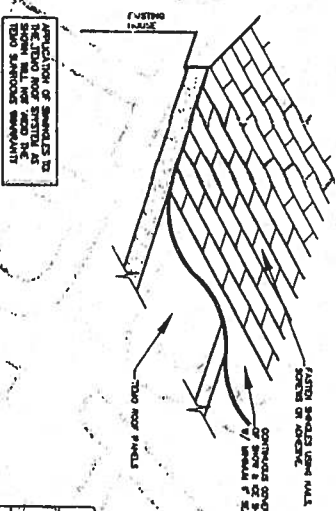
VOID IF SUBMITTED A
DECEMBER 31, 20



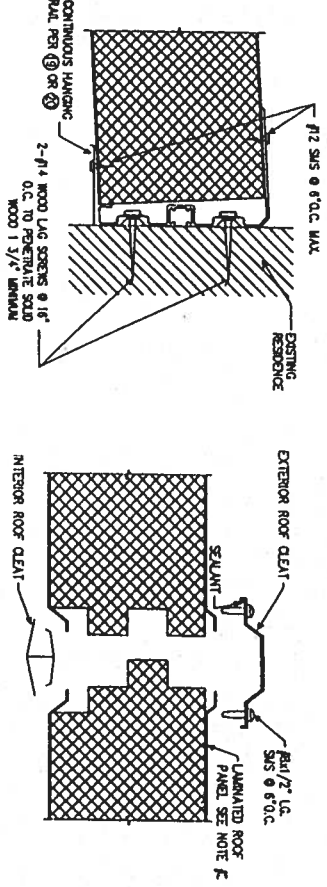
ROOF PANEL AT CATHEDRAL PEAK WITHOUT BEAM DETAIL



CEILING FAN MOUNTING DETAIL



REINFORCING AND ATTACHMENT DETAIL



ROOF PANEL/WALL ATTACHMENT

ROOF PANEL SPlice

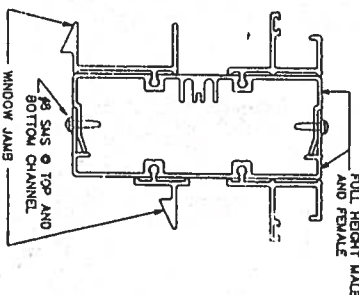
TABLE "C": MAXIMUM ROOF PANEL SPANS*

DESIGN LOAD	T-3-2-32	T-4-25-2-32	T-6-2-32
10-PSF LIVE LOAD	18'-4"	23'-3"	24'-0"
130 MPH WIND	13'-0"	15'-6"	18'-6"
30 PSF LIVE LOAD			
130 MPH WIND			

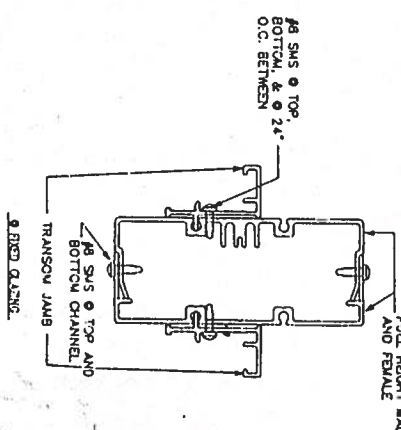
* MAXIMUM PANEL OVERHANG IS 1'-6" MINIMUM ROOF PANEL SLOPE IS 2%

1. THE ENCLOSING SYSTEM IS TO BE INSTALLED UNDER THE ROOF PANEL, SHOWN ON DRAWING NO. 41534 OR UNDER A CODE-APPROVED EXISTING ROOF.
2. DESIGN LOADS: SEE TABLE FOR DESIGN LOADS AS SPECIFIED PER THE 2004 FLORIDA BUILDING CODE AND THE 2004 FLORIDA RESIDENTIAL CODE.
3. FASTENERS: SCREWS SHALL BE #10S SHOWN AND SHALL BE STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL, OR 2024-T3 ALUMINUM.
4. ALL STRUCTURAL COMPONENTS OF THIS SUNROOM SYSTEM (EXCEPT SOLID PANELS) ARE OF ALLOY & TEMPER DESIGN-15 UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL EXTERIOR PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CAULKED.
6. OPENINGS IN THE WALL ARE TO BE COVERED WITH A WIND BREAK MADE OF TEMPERED GLASS WITH A MINIMUM THICKNESS OF 1/2" AND THAT COMPLETES WITH THE CODE.
7. WHERE THE ROOF PANEL SPAN IS PARALLEL TO THE EXISTING WALL OR THE RESIDENCE, THE ADJACENT OF THE EXISTING WALL SUPPORT STRUCTURE (STUDS, JOISTS, BEAMS, ETC.) SHALL BE REINFORCED TO SUPPORT THE ADDITIONAL LOADS FROM THE SUNROOM SYSTEM. THE REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OR THE DESIGNER'S APPROVAL.
8. THE BEARING STUDS/WALLS HAVE BEEN DESIGNED FOR LOAD COMBINATIONS REQUIRED BY THE 2004 FLORIDA BUILDING CODE.
9. ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER CODE.
10. EXPANSION ANCHORS SHALL BE "MIL BULK-901" IF ANCHORS, "TRI-FAST ZWAC NALUM", TAPCON FASTENERS OR EQUIVALENT. THE 1/4" ANCHORS SHALL HAVE A MINIMUM TENSION VALUE IN CONCRETE OF 563 POUNDS. WOOD LAGS SHALL BE 1/4" BY 3" GALVANIZED OR BOLTS.
11. ALL EXISTING WOOD SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.49.
12. SEE TABLES (A) AND (B) ON SHEET ATTACHED FOR DESIGN WIND LOADS.
13. ASPHALT SHINGLES OR LOG WEIGHT TILE SHINGLES NOT EXCEEDING 7 POUNDS PER SQUARE FOOT MAY BE INSTALLED ON THE ROOF PANELS.
14. ALL OPERATING GLAZING PRODUCTS SUPPLIED BY TEMO, INC. INCLUDE TEMPERED HPF-2000 GLASS THAT COMPLIES WITH CHAPTER 24 OF THE BUILDING CODE.

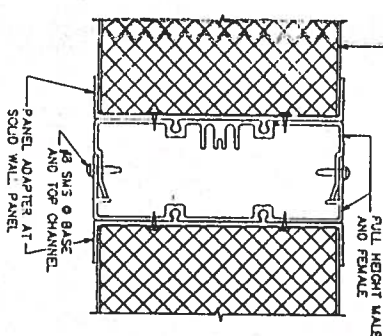
Robert A. Wall, P.E.
SIGNED AND SEALED
ON 05/15/08



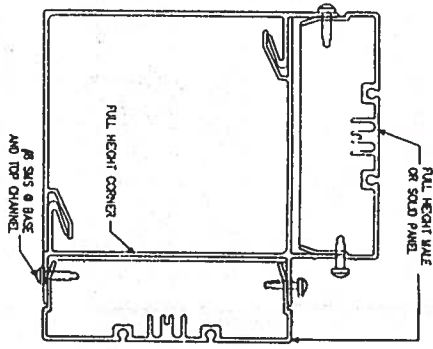
9.5" SLIDING WINDOW



9.5" FIXED GLAZING

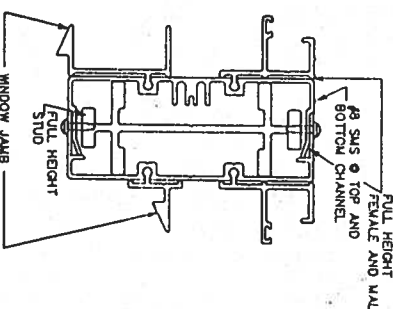


A

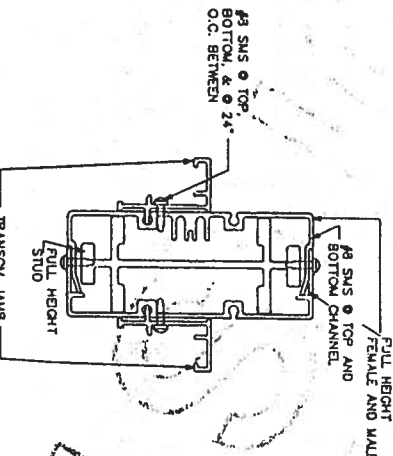


CORNER

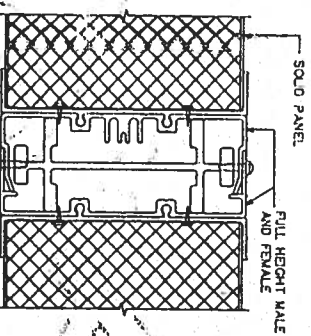
D



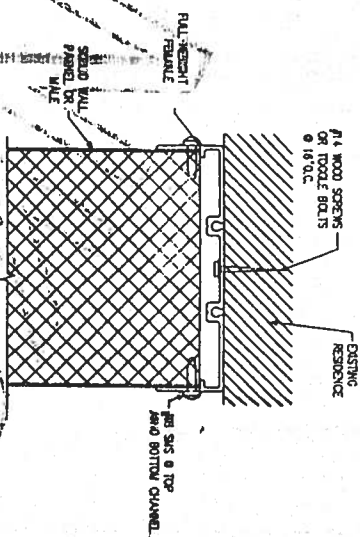
9.5" SLIDING WINDOW



9.5" FIXED GLAZING

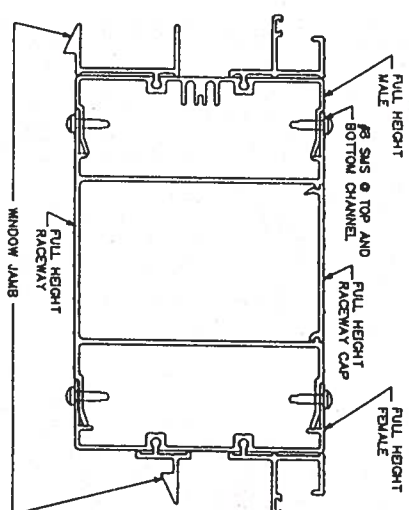


9.5" SOLID WALL PANEL

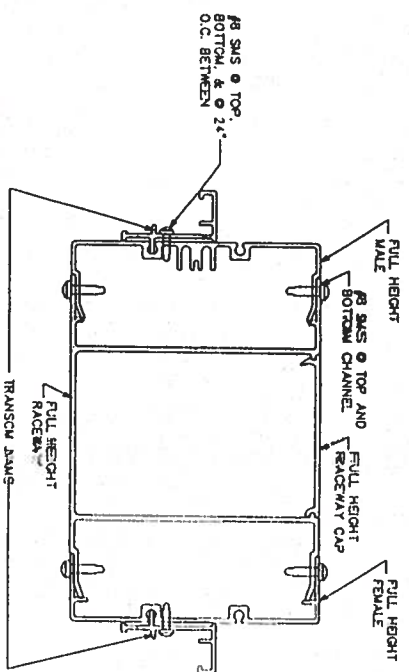


CONNECTION TO HOUSE

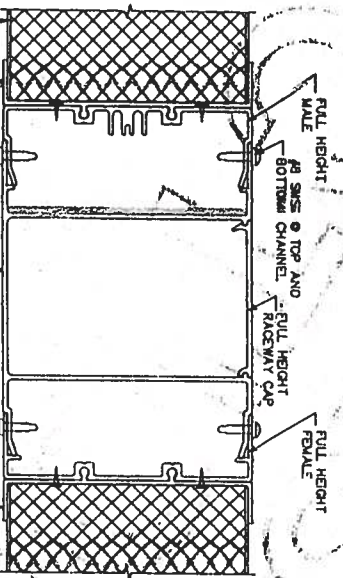
E



9.5" SLIDING WINDOW



9.5" SLIDING WINDOW



9.5" SOLID WALL PANEL

MALE/FEMALE MULLIONS

\\temo\atm\1117-2008\ITEM03-NON-THERMAL

Robert E. Walz
 SIGNED AND SEALED
 ON 03/13/08

#12x4" SMS W/3/4" O.D. ALUMINUM WASHER
& NEOPRENE INSERT SPACED @ 6" O.C.

2-#8 TEK SCREWS
EACH SIDE OF MULLION
130 MPH WIND SPEEDS

CONTINUOUS PANEL GUTTER
W/#8 SMS @ 12" O.C. TOP &
BOTTOM TO ROOF PANEL

BASE/WALL CAP

TOP EXPANDER SHALL
BEAR FIRMLY ON MULLION
SECTION PRIOR TO INSTAL-
LATION OF FASTENERS
1/4" EXPANSION ANCHORS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.

BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION

BASE/WALL CAP SPICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION

PIERS OR FOOTINGS
PER LOCAL CODE.

1" MIN. @ 1/4" Ø
ANCHORS

1 1/2"
MIN.
3 1/2"
MIN.

18" TYPICAL LOWER SECTION

4'-4" MINIMUM OPENING

UPPER TRANSOM

HEIGHT VARIES SEE CALCULATIONS ON DRAWING NO. 4TES5

1/4" x 3' LONG LAG BOLTS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION
PIERS WITH RE DOWNES
PER LOCAL CODE.

BEARING WALL SECTION ON
TEMPO APPROVED DECK PANELS

3/4" x 3' LONG LAG BOLTS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW WOOD
DECK IN GOOD CONDITION
ALUM. FLASHING
PIERS WITH RE DOWNES
PER LOCAL CODE.

BEARING WALL SECTION
ON WOOD DECK

1/4" EXPANSION ANCHORS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION
PIERS OR FOOTINGS
PER LOCAL CODE.

BEARING WALL SECTION
ON CONCRETE SLAB

4TEM04
1 OF 5
SIGNED AND SEALED
ON 05/15/06
[Signature]

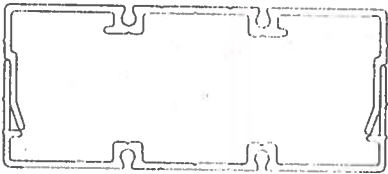
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Wind Calculations for Standard Mullions

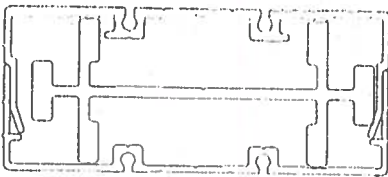
Wind Speed (80,90,100,110,120,130,140,150)
Exposure (B,C,D)
Calculated Wind Pressure

130
b
27

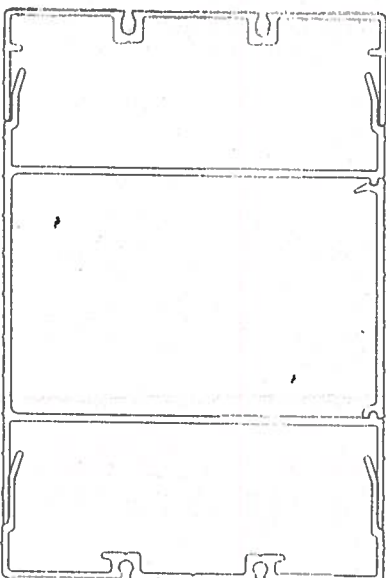
Male-Female Mullion



Male-Stud-Female Mullion



Male-Raceway-Female Mullion



Maximum Mullion Height (ft) 8
Centroid (in) 1.8282
Moment of Inertia (in⁴) 1.3283
Section Modulus (in³) 0.7266
Calculated Moment (lb*in) 12960
Allowable Fb (psi) 21000
Calculated fb 17837

Section OK

Maximum Mullion Height (ft) 11
Centroid (in) 1.8264
Moment of Inertia (in⁴) 2.4763
Section Modulus (in³) 1.3558
Calculated Moment (lb*in) 24502.5
Allowable Fb (psi) 21000
Calculated fb 18072

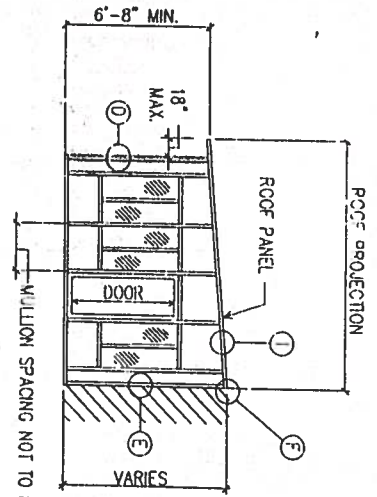
Section OK

Maximum Mullion Height (ft) 14
Centroid (in) 1.8502
Moment of Inertia (in⁴) 3.7152
Section Modulus (in³) 2.0080
Calculated Moment (lb*in) 39690
Allowable Fb (psi) 21000
Calculated fb 19766

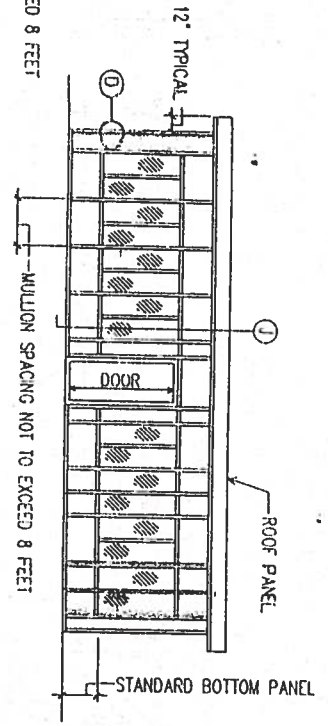
Section OK

\\temo\cd\p-e-coe\11417-2006\4ITEM052006130MIF-WIND

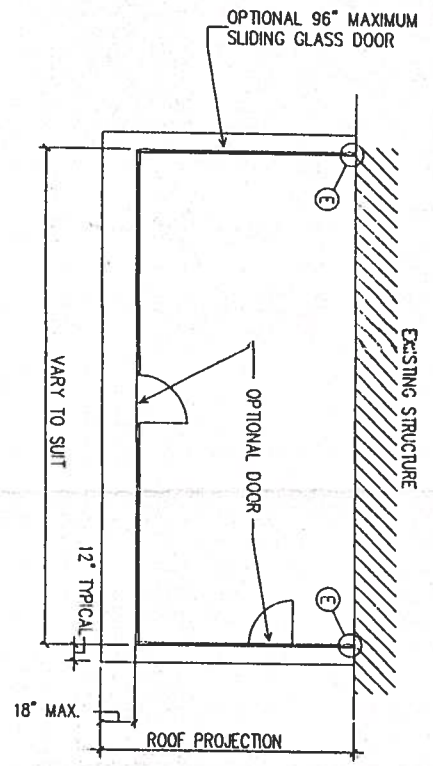
Robert A. Wall, PE
SEAL AND SIGN
ON 03/15/06



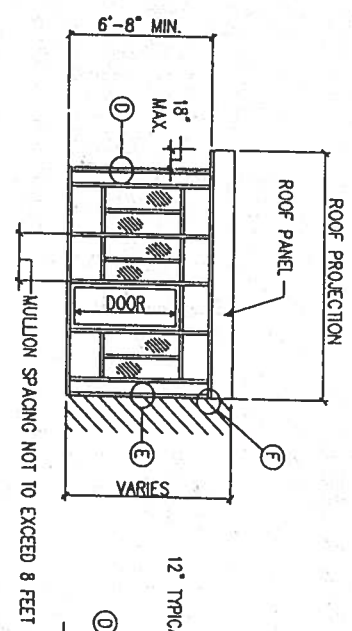
PATIO COVER END WALL ELEVATION



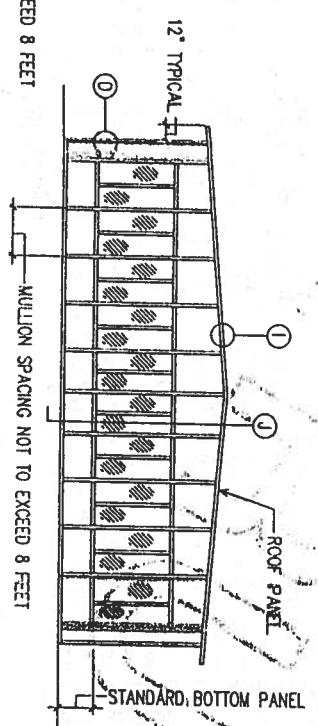
PATIO COVER FRONT WALL ELEVATION



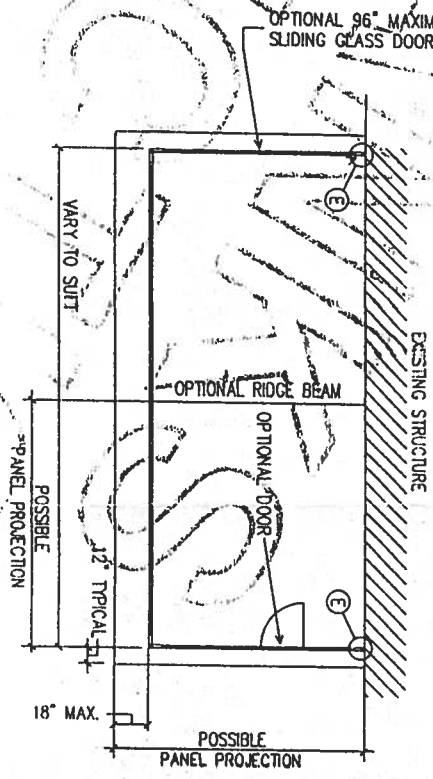
TYPICAL STUDIO ROOF PATIO COVER PLAN



PATIO COVER END WALL ELEVATION



PATIO COVER FRONT WALL ELEVATION



TYPICAL CABLE ROOF PATIO COVER PLAN

NOTE:
ALL SECTIONS & DETAILS REFERENCED
HERE ARE SHOWN ON SHEET 4TEM04.

\\temo\p\proj\11417-2008\4TEM012008

Robert A. Walz
ROBERT A. WALZ
20400 HALL ROAD
CLINTON TWP., MI
L12552/PF-004546
DATE: MAY 13, 2008
SIGNED AND SEALED
ON 05/13/2008

FLOOR PLAN
ELEVATIONS &
ROOF PLAN

Temo Inc.

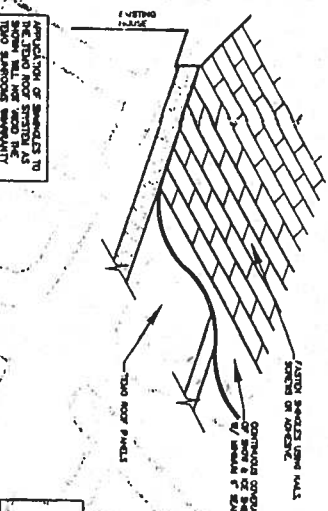
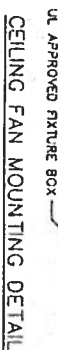
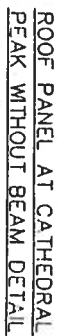
20400 HALL ROAD • CLINTON TOWNSHIP • MICHIGAN 48038
586-286-0410 1-800-344-8368 FAX 586-226-1703

WHERE REQUIRED THESE PLANS HAVE BEEN
SIGNED AND SEALED BY A PROFESSIONAL
ENGINEER. ONLY AN ORIGINAL SIGNATURE
WITH A RED WET SEAL OR AN EMBOSSED
SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.

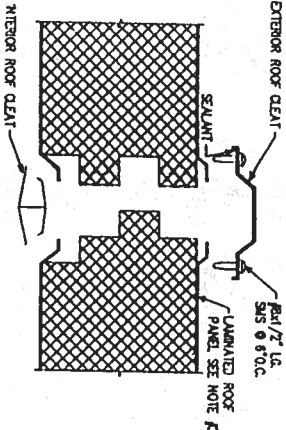
TEMO, INC. MAINTAINS THE REPORTS
LISTED ACROSS THE TOP OF THE
COVER SHEET. PLEASE REFER TO
THE NOTES ON PAGE 41252 FOR
ANY ADDITIONAL INFORMATION
CONCERNING THESE REPORTS.

VOID IF SUBMITTED AT
DECEMBER 31, 20

4TEM01
OF 3



SHINGLES TO ROOF PANEL
ATTACHMENT DETAIL



ROOF PANEL SPlice

* MAXIMUM PANEL OVERHANG IS 1'-6"
MINIMUM ROOF PANEL SLOPE IS 2%

SEARCHED AND SERIALIZED
ON 05/15/06

MALE / FEMALE MILLIONS

9. OTHER QUANTITIES

SOLID WALL PANEL

CORNER

9. SLICING WINDOW

9. FIXED CHARGES

9. SOLID WALL PAPER

1

FEMALE/WALL STUD/MALE

- WINDOW JAMB -

TRANSCM

9 SOLD WALL PANEL

CONNECTION • HOUSE

MALE/RACEWAY/FEMALE MILLIONS

\\\\temocad\\e-root\\11x17-2008\\4TEM03--NON THERMAL

SEARCHED AND SEIZED
ON 05/15/06

DATE MAY 15, 2008
ROBERT A WALL PE
20400 HALL ROAD
CLINTON TWP, MI
LICENSE#PE-000455
DNC NO.
ITEM03

3.625" SUNROOM SYSTEM WALL DETAILS

Temo Inc.

20400 HALL ROAD • CLINTON TOWNSHIP • MICHIGAN 48038
586-286-0410 1-800-344-8366 FAX 586-226-1703

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VOID IF SUBMITTED AFTER
DECEMBER 31, 2001

#12x4" SMS W/3/4" O.D. ALUMINUM WASHER
& NEOPRENE INSERT SPACED @ 6" O.C.

1

2-#8 TEK SCREWS
EACH SIDE OF MULLION
130 MPH WIND SPEEDS

CONTINUOUS PANEL GUTTER
W/#8 SMS @ 12" O.C. TOP &
BOTTOM TO ROOF PANEL

BASE/WALL CAP

TOP EXPANDER SHALL
BEAR FIRMLY ON MULLION
SECTION PRIOR TO INSTAL-
LATION OF FASTENERS

1/4" EXPANSION ANCHORS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
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BETWEEN EACH MULLION.

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TO MULLION

BASE/WALL CAP SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION

PIERS OR FOOTINGS
PER LOCAL CODE.

1" MIN. @ 1/4" Ø
ANCHORS

BEARING WALL SECTION

1

1/4" x 3" LONG LAG BOLTS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION
PIERS WITH THE DOWNS
PER LOCAL CODE

BEARING WALL SECTION ON
TENO HER APPROVED DECK PANELS

11

1/4" x 3" LONG LAG BOLTS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW WOOD
DECK IN GOOD CONDITION
ALUM. FLASHING
PIERS WITH THE DOWNS
PER LOCAL CODE

BEARING WALL SECTION
ON WOOD DECK

12

1/4" EXPANSION ANCHORS
@ 130 MPH WIND SPEEDS
LOCATE 1-ANCHOR 2 1/4" EACH
SIDE OF MULLION AND AT 16" O.C.
BETWEEN EACH MULLION.
BASE/WALL CAP
SAME AS BEARING EXPANDER
TO MULLION
BASE/WALL CAP SPLICE
TO BE 8" MINIMUM
FROM VERTICAL MULLION
EXIST. OR NEW CONCRETE
SLAB IN GOOD CONDITION
PIERS OR FOOTINGS
PER LOCAL CODE

BEARING WALL SECTION
ON CONCRETE SLAB

13

SPREAD AND SEAL
ON 05/15/06

4TEM04
1 of 5

3.625" SUNROOM
CROSS SECTION AND
ATTACHMENT DETAILS

Temo Inc.
20100 HALL ROAD • CLINTON TOWNSHIP • HIGHLAND 47038
586-286-0410 1-800-344-8368 FAX 586-226-1703

WHERE REQUIRED THESE PLANS HAVE BEEN
SIGNED AND SEALED BY A PROFESSIONAL
ENGINEER. ONLY AN ORIGINAL SIGNATURE
WITH A RED WET STAMP OR AN EMBOSSED
SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.

TENO, INC. MAINTAINS THE REPORTS
LISTED ACROSS THE TOP OF THE
COVER SHEET. PLEASE REFER TO
THE NOTES ON PAGE 41ES2 FOR
ANY ADDITIONAL INFORMATION
CONCERNING THESE REPORTS.

VOID IF SUBMITTED AFTER
DECEMBER 31, 20

Wind Calculations for Standard Mullions

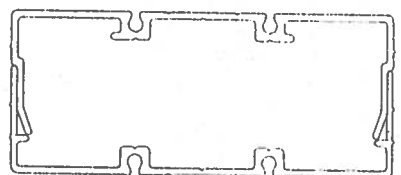
Wind Speed (80,90,100,110,120,130,140,150)
Exposure (B,C,D)
Calculated Wind Pressure

130

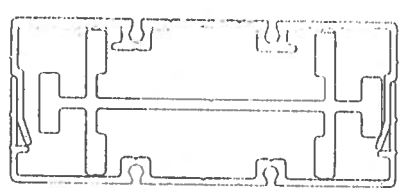
b

27

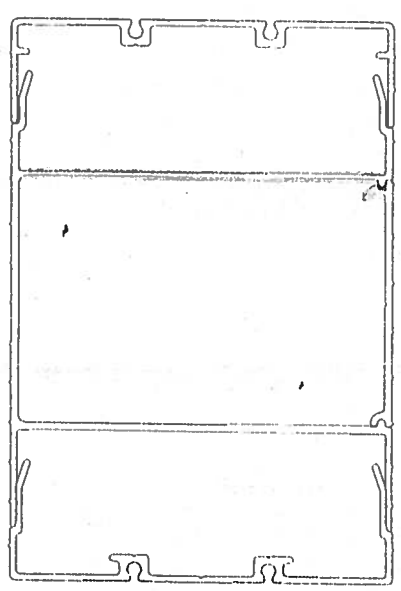
Male-Female Mullion



Male-Stud-Female Mullion



Male-Raceway-Female Mullion



Maximum Mullion Height (ft)

8

Centroid (in) 1.8282
Moment of Inertia (in^4) 1.3283
Section Modulus (in^3) 0.7266
Calculated Moment (lb*in) 12960
Allowable Fb (psi) 21000
Calculated fb 17837

Section OK

Maximum Mullion Height (ft)

11

Centroid (in) 1.8264
Moment of Inertia (in^4) 2.4763
Section Modulus (in^3) 1.3558
Calculated Moment (lb*in) 24502.5
Allowable Fb (psi) 21000
Calculated fb 18072

Section OK

Maximum Mullion Height (ft)

14

Centroid (in) 1.8502
Moment of Inertia (in^4) 3.7152
Section Modulus (in^3) 2.0080
Calculated Moment (lb*in) 39690
Allowable Fb (psi) 21000
Calculated fb 19766

Section OK

Handwritten signature
SEAL AND SIGNED
ON 03/15/08

\\\\temoed\p-rsod\11x17-2006\4TBD\032006130MPLHMMO

DATE 12/18/2006

Columbia County Building Permit

PERMIT
000025315

This Permit Expires One Year From the Date of Issue

APPLICANT JEFF MARTIN PHONE 352.732.8600
ADDRESS 1729 NW 4TH AVENUE,STE 100 Ocala FL 34475
OWNER LARRELL & LAURA THOMAS PHONE
ADDRESS 708 SW BLUFF DRIVE FT. WHITE FL 32038
CONTRACTOR CHARLES FAIRBANKS, JR. PHONE 352.732.8600
LOCATION OF PROPERTY 47-S TO HOLLINGSWORTH STREET,TR TO BLUFF DRIVE,TR FOLLOW TO
HOUSE ADDRESS ON L.

TYPE DEVELOPMENT SUNROOM ADDITION ESTIMATED COST OF CONSTRUCTION 10000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES 1
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT REAR SIDE
NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 18-7S-16-04236-026 SUBDIVISION CEDAR SPRING SHORES
LOT 13 BLOCK PHASE UNIT 2 TOTAL ACRES

CRC030504
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-1001E BLK JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.
Check # or Cash 3216

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 50.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 125.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0610-46 Date Received 10/16 By JW Permit # 25315
 Application Approved by - Zoning Official BLK Date 20.10.06 Plans Examiner OK JTH Date 10-20-06
 Flood Zone AE Development Permit N/A Zoning ESA-2 Land Use Plan Map Category ESA
 Comments EN. NEWITE VICE PLAN Existing wood deck above slab elevated
No addition say it being added

Applicants Name FAIRBANKS CONSTRUCTION - JEFF MARLIN Phone 352-732-8600
 Address 1720 NW 4AVE. SUITE 100 OCALA FLORIDA 34475
 Owners Name LARREL A LAURA THOMAS Phone 386-497-2685
 911 Address 708 SW BLUFF DRIVE FORT WHITE FLORIDA 32038
 Contractors Name FAIRBANKS CONSTRUCTION Phone 352-732-8600 EXT. 218
 Address 1720 NW 4AVE SUITE 100 OCALA FLORIDA 34475
 Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address N/A
 Mortgage Lenders Name & Address _____
LOT 13 UNIT 2 CEDAR SPRING SHORES ORB 638-069, 640-134
 Property ID Number 18-75-16-04236-026 HX Estimated Cost of Construction 19,500.00
 Subdivision Name CEDAR SPRING SHORES Lot 13 Block _____ Unit 2 Phase _____
 Driving Directions US 41 SOUTH TO CR 47 TAKE CR 47 SOUTH THRU FT. WHITE TO
HOLLINGS WORTH ST. TURN RIGHT, FOLLOW TO SW BLUFF DRIVE TURN RIGHT, FOLLOW
TO HOUSE ADDRESS ON LEFT.
 Type of Construction SUNROOM ON EXISTING WOOD DECK Number of Existing Dwellings on Property 1
 Total Acreage 1.466 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 292 Side 43 Side 40 Rear 110
 Total Building Height N/A Number of Stories 02 Heated Floor Area 143.3 Roof Pitch N/A EXISTING
143.3 SQ. FT

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (including Contractor) _____

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 12 day of OCT. 20 06.

Personally known X or Produced Identification _____

Contractor Signature CHARLES FAIRBANKS CONSTRUCTION
 Contractors License Number CRC050304
 Competency Card Number _____

NOTARY STAMP/SEAL

Wendy W. Thomas
Notary Signature



WENDY W. THOMAS
MY COMMISSION # DD 448709
EXPIRES: July 10, 2009
Bonded Thru Budget Notary Services

JW advised Jeff 10.20.06

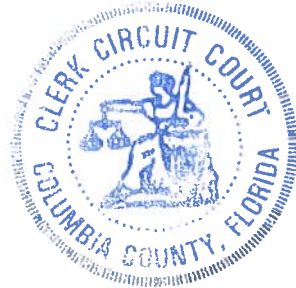
Document Prepared By:

Fairbanks Construction
1720 NW 4th Ave. STE 100
Ocala, FL 34475

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By Sharon Seagle
Deputy Clerk

Date 10-16-06



NOTICE OF COMMENCEMENT

PERMIT # _____

Tax Folio/Parcel ID 18-73-16-04236-026

State: FLORIDA

County: COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in the notice of commencement.

1. Description of property (legal description of property, lot, block and street address if available):
PA#: 18-73-16-04236-026 LOT: 13 Block: _____ Unit: 2
Subdivision: LOT 13 UNIT 2 CBOAR SPRING 68 SHARES. ORB 638-069, 640-134
2. General description of improvement: INSTALL SUN ROOM ON EXISTING DECK UNDER EXISTING TRUSS ROOF.
 - a. Owner Name: LARRELL THOMAS
 - Owner Address: 708 SW BLUFF DRIVE FT. WHITE FLORIDA 32038
 - b. Interest in property: Simple
 - c. Name and address of fee simple title holder (if other than owner): _____
3. Contractor: (Qualifier name & address) _____
Fairbanks Construction Charles G. Fairbanks Jr. 1720 NW 4th Ave., Ocala FL 34475
4. Surety: Name and address: _____ Amount of bond \$ N/A
5. Lender: (name & address) N/A
6. Persons within the State of Florida designated by Owner as provided by section 713.13 (1)(a)7, Florida Statutes: Inst: 2006024516 Date: 10/16/2006 Time: 12:00
J. F. DC, P. DeWitt Cason, Columbia County B: 1099 P: 101
7. In addition to himself, Owner designates the following provided in Section 713.13(1)(b), Florida Statutes: (name & address) N/A
8. Expiration Date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____



STATE OF FLORIDA
COUNTY OF Columbia

Larrell Thomas
Signature of owner

The foregoing instrument was acknowledged before me this 19th day of September, 2006
by Larrell Thomas who is personally known to me or who has produced
a drivers license as identification.

Reory With
Notary Public

@ CAM112M01	S	CamaUSA Appraisal System	Columbia	County
12/18/2006 10:13		Legal Description Maintenance	39784	Land 001
Year T Property		Sel		AG 000
2007 R 18-7S-16-04236-026			120090	Bldg 001
				Xfea 000
HX		THOMAS LARRELL & LAURA	159874	TOTAL B*

1	LOT 13 UNIT 2 CEDAR SPRING	SHORES. ORB 638-069,, 640-134,,	2
3			4
5			6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 9/12/1997 TERR

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More

Application
"LOST"

25315



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 06-1001E
DATE PAID: 11-14-06
FEE PAID: 210.00
RECEIPT #: 5061114019

SSO 319603287 ✓
S/B/C 11/17/06

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: LARRELL THOMAS

Jeff Martin - office - 800-743-8601

AGENT: FAIRBANKS CONSTRUCTION

EXT-218
TELEPHONE: 352-732-8600

MAILING ADDRESS: 1720 NW 4th AVE SUITE 100 OCALA FLORIDA 34475

Mr. Thomas cell. 352-279446

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES.

PROPERTY INFORMATION

LOT: 13 BLOCK: NA SUBDIVISION: CEDAR SPRING SHORES 42 PLATTED: 5/2/78

PROPERTY ID #: 18-7S-16-04236-026 HX ZONING: A-1 I/M OR EQUIVALENT: (Y (N))

PROPERTY SIZE: .96 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: 85 ^{NA} FT

PROPERTY ADDRESS: 708 SW BLUFF DRIVE FT. WHITE, FLORIDA 32038

DIRECTIONS TO PROPERTY: US 41 SOUTH TO CR 47 - GO SOUTH ON CR 47 THRU

FT. WHITE TO HOLLINGSWORTH ST. T/R, FOLLOW TO BLUFF DR. T/R, FOLLOW TO
HOUSE ADDRESS ON LEFT.

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sq Ft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
---------	-----------------------	-----------------	---------------------	--

1	<u>SFR</u>	<u>3</u>	<u>2112</u> ^{HEATED}	<u>2 RESIDENCE</u>
2	<u>SUN ROOM</u>	<u>0</u>	<u>130</u> ^{NON-HEATED}	<u>0 RESIDENCE</u>
3				
4	<u>TOTAL</u>	<u>3</u>	<u>2242</u>	

ORIGINAL

ATTACHED

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: [Signature]

DATE: NOV. 08 2006

ENTERED
11/15/06

RECEIVED
11/15/06

Columbia County Property Appraiser

DB Last Updated: 10/4/2006

2006 Proposed Values

Parcel: 18-7S-16-04236-026 HX

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	THOMAS LARRELL & LAURA
Site Address	BLUFF
Mailing Address	708 SW BLUFF DR FT WHITE, FL 32038
Description	LOT 13 UNIT 2 CEDAR SPRING SHORES. ORB 638-069, 640-134,

Use Desc. (code)	SINGLE FAM (000100)
Neighborhood	18716.01
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	0.000 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$39,784.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$103,383.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$143,167.00

Just Value	\$143,167.00
Class Value	\$0.00
Assessed Value	\$103,441.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$78,441.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/17/1987	640/134	WD	V	U		\$30,000.00
6/1/1981	470/217	WD	I	Q		\$28,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR PILING (000300)	1988	Vinyl Side (31)	2112	3846	\$103,383.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	99.460 FF - (.000AC)	1.00/1.00/1.00/1.00	\$400.00	\$39,784.00

Columbia County Property Appraiser

DB Last Updated: 10/4/2006

1 of 1

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the file://C:\DOCUME~1\OPS5~1\FAILOCALS~1\Temp\GJG92QD0.htm

10/12/06

18-7S-16-04236-026

LOT 13 UNIT 2 CEDAR SPRING
SHORES. ORB 638-069, 640-134,

THOMAS LARRELL & LAURA
708 SW BLUFF DR
FT WHITE, FL 32038

18-7S-16-04236-026

Columbia County 2006 R
CARD 001 of 001
BY JEFF

PRINTED 10/03/2006 15:48
APPR 6/06/2001 JSHC

BUSE 000300 SFR PILING		AE? Y	2112 HTD AREA	104.731 INDEX	18716.01 CEDAR SPR	PUSE 000100 SINGLE FAMILY
MOD 1 SFR	BATH	2.00	2667 EFF AREA	49.224 E-RATE	100.000 INDX	STR 18- 7S- 16
EXW 31 VINYL SID	FIXT		131280 RCN		1988 AYB	MKT AREA 02
% 0000000000	BDRM	3	78.75 %GOOD	103,383 B BLDG VAL	1988 EYB	(PUD1
RSTR 03 GABLE/HIP	RMS					AC
RCVR 03 COMP SHNGL	UNTS					NTCD
% N/A	C-W%					APPR CD
INTW 05 DRYWALL	HGHT					CNDO
% N/A	PMTR					SUBD
FLOR 14 CARPET	STYS	2.0				BLK
10% 08 SHT VINYL	ECON					LOT
HTTP 04 AIR DUCTED	FUNC					MAP# 33-B
A/C 03 CENTRAL	SPCD					HX
QUAL 03 AVERAGE	DEPR 52					TXDT 003
FNDN N/A	N/A					
SIZE 03 RECTANGLE	N/A					
CEIL N/A	N/A					
ARCH N/A	N/A					
FRME 01 NONE	N/A					
KTCH N/A	N/A					
WNDO N/A	N/A					
CLAS N/A	N/A					
OCC N/A	N/A					
COND N/A	%					
SUB A-AREA % E-AREA	SUB VALUE					
FSP93 450 55 248	9615					
BAS93 1056 100 1056	40934					
FOP93 144 30 43	1667					
UOP93 60 20 12	465					
FUS93 1056 100 1056	40934					
UCP93 936 20 187	7249					
UST93 144 45 65	2519					
TOTAL 3846 2667 103383						
-----EXTRA FEATURES-----						
AE BN CODE	DESC	LEN	WID	HGHT	QTY QL	YR ADJ
LAND	DESC	ZONE	ROAD	{UD1 {UD3 FRONT DEPTH	FIELD CK:	
AE CODE	TOPO	UTIL	{UD2 {UD4 BACK DT	ADJUSTMENTS		
Y 000100 SFR	A-1	0002		1.00 1.00 1.00 1.00	99.460 FF	400.000
		0002 0003				400.00
SALE - OWNS ADJACENT PROPERTY						
2006						

1720 N.W. 4th Avenue
Suite 100
Gainesville, FL 34475
Phone (352) 732-8600
Toll Free (800) 743-8601
Fax (352) 732-0069

Fairbanks CONSTRUCTION

A Division of Fairbanks Contracting and Remodeling, Inc.
#CRC050304 - HC0002524

Alfred
TEMO CONTRACT

Sold To: Harrell & Laura Thomas Phone: 386-497-2685 Date: 9-19-06
Address: 708 SW Bluff Dr Email: _____
City: Fort White State: FL Zip: 32038 Approx Start Date: 9-11 weeks Approx Finish Date: 13-15 weeks
(from final measurements)

The undersigned Seller hereby sells and the undersigned BUYERS hereby purchase. If one or more of them, jointly and severally, the below described goods and services for the price and upon the terms and conditions set forth herein.

NOTE: ITEMS NOT MARKED ON CONTRACT ARE NOT INCLUDED

- Included
1. Permit ☒ Obtain all necessary permits
 2. Foundation ☐ Flat Concrete Slab 4" thick - Cap Existing - Projection _____ Width _____
☐ Raised Concrete Slab - Projection _____ Width _____
☐ Footings for Existing Concrete Slab - All sides _____ Total Linear Feet _____
☐ Wood Deck- Projection _____ Width _____ Vinyl Skirting on Deck _____
 3. Wall System ☒ Total All Walls: 34 LF
☐ Thermally Broken ☒ Non-Thermally Broken
☒ HPG 2000 Glass ☐ E-Zone Insulated Glass
COLOR ☒ White ☐ Sandstone ☐ Bronze
 4. Transom Glass ☒ Standard: Top: 6" _____ 10" _____ Bottom 12" ☒
(Min Height = 90") Custom (as much as possible): Top: _____ Bottom _____
 5. Doors ☐ Prime Entry Door Qty _____ RH _____ LH _____
Patio Door Qty _____ 5' _____ 6' _____
 6. Roof System ☐ Style: Studio _____ Cathedral _____ Build Dormer _____
Projection: _____ Width _____
Attachment: Fascia _____ Wall _____ Cut Existing Overhang _____
3" Composite _____ (up to 14' span) 4-1/2" Composite _____ (14-17' span)
 7. Options ☒ Standard Electric package (as per Local Building Code)
A/C: Install Owner's _____ Mini Split _____ With Heat _____
Additional - Specify _____

NOTE: NO FINISH WORK ON ADJOINING WALLS OF PRESENT STRUCTURE UNLESS SPECIFIED IN WRITING IN THIS AGREEMENT

NOTICE TO OWNER

- A. Do not sign this home improvement contract in blank.
B. You are entitled to a copy of the contract at the time you sign. Keep to protect your legal rights.
C. This home improvement contract may contain a mortgage or otherwise create a lien on your property that could be foreclosed on if you do not pay. Be sure you understand all provisions of the contract before you sign.

ACCEPTANCE - The prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Agent: George Watkins Date: 9-19-06 Buyer: [Signature] Date: 9-19-06
Co-Buyer: [Signature] Date: 9-19-06

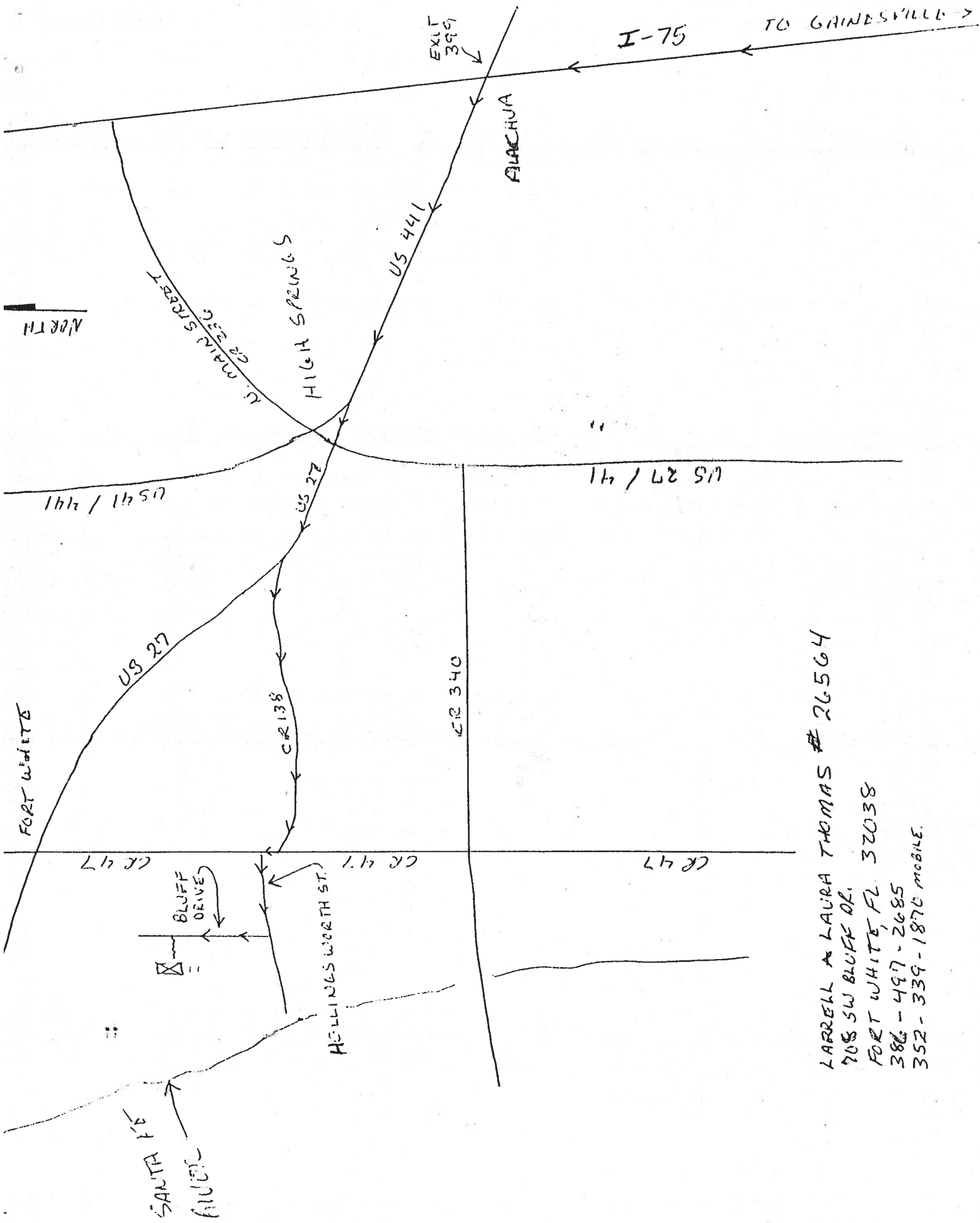
BUYER ACKNOWLEDGES RECEIPT OF THIS CONTRACT IMMEDIATELY UPON THE EXECUTION HEREOF.

PROVISIONS OF AGREEMENT: The provisions on the reverse side of this document are expressly incorporated into this Agreement. Init [Signature]

NO VERBAL AGREEMENTS WILL BE HONORED. ITEMS ORDERED MUST BE ON CONTRACT.

HOMEOWNER ASSOCIATION APPROVAL IS THE RESPONSIBILITY OF THE CUSTOMER, IF REQUIRED.

This is a legally binding contract. If not fully understood seek competent advice



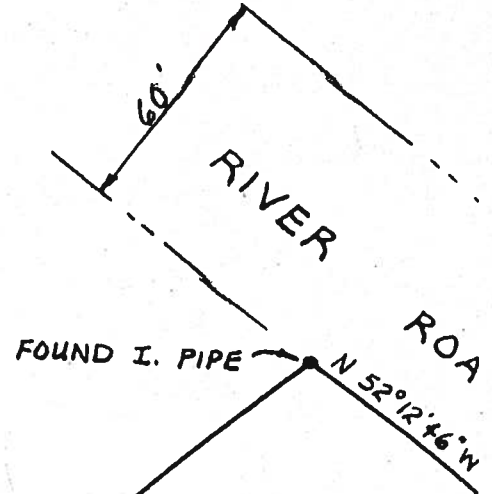
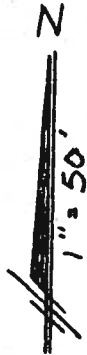
LARRELL & LAURA THOMAS # 26564
 708 SW BLUFF DR.
 FORT WHITE, FL 32038
 386-497-2685
 352-339-1870 mobile.

LOCATION SURVEY

on

Lot #13, Cedar Springs Shores, Unit No. 2
Plat Book 4, Page 2, Columbia County, Florida

LARRELL & LAURA THOMAS
708 SW BLUFF DR.
FT. WHITE, FLORIDA 32038
386-497-2685
352-339-1870 mobile

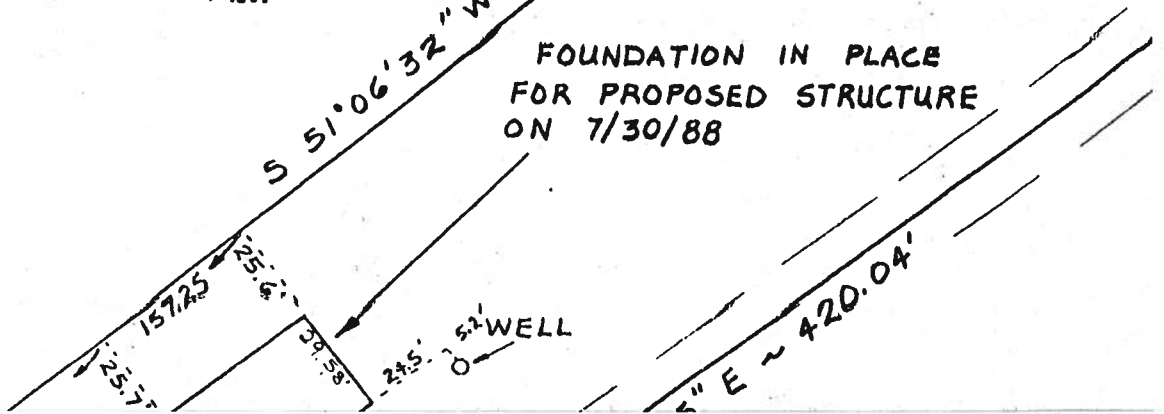


BOTTOM FLOOR ELEVATION OF STRUCTURE = 46.16'
100 YEAR FLOOD ELEVATION = 36.00'

LOT 12

FOUNDATION IN PLACE
FOR PROPOSED STRUCTURE
ON 7/30/88

PROPOSED SUN ROOM
UNDER TRUSS ROOF
AND ON EXISTING
WOOD DECK



4'

PRODUCT APPROVAL SPECIFICATION SHEET

required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval for the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)	X
EXTERIOR DOORS				
SLIDING	MAGNITE INTERNATIONAL	WOODENGE STEEL HINGED DOOR UNIT	4904.3	
FIXED	SIMPSON WINDOWS	5500 STORMBREAKER VINYL WINDOW	5247.1	
SECTIONAL/ROLL UP				
OTHER				
WINDOWS				
SINGLE/DOUBLE HUNG	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5798.1	
HORIZONTAL SLIDER	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5820.1	
CASEMENT	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5796.1	
FIXED	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5797.1	
MULLION	REGENCY PLUS INC.	PTD 1393 1 RPLUS0024 MULLION	ndp	
SKYLIGHTS				
OTHER				
PANEL WALL				
SLIDING	CRANE PERFORMANCE SYSTEMS	TMT61P	2495.34	
SOFFITS				
STOREFRONTS				
GLASS BLOCK				
OTHER	TEMO INC.	2", 3", 3.625" WALL PANELS	3521.1	
ROOFING PRODUCTS				
ASPHALT SHINGLES				
NON-STRUCT METAL				
ROOFING TILES				
SINGLE PLY ROOF				
OTHER	TEMO INC.	3", 4.25", 6" ROOF PANELS	3857.1	
STRUCT COMPONENTS				
WOOD CONNECTORS				
WOOD ANCHORS				
TRUSS PLATES				
INSULATION FORMS				
LINTELS				
OTHERS				
NEW EXTERIOR ENVELOPE PRODUCTS				

products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

PARTS LEGEND

[FEMALE
 [VERTICAL
 [CHANNEL
 [MALE
 [CORNER

INSTALLERS LAYOUT SKETCH

VERIFY ALL FILL MEASUREMENTS BEFORE CUTTING

NOTICE:

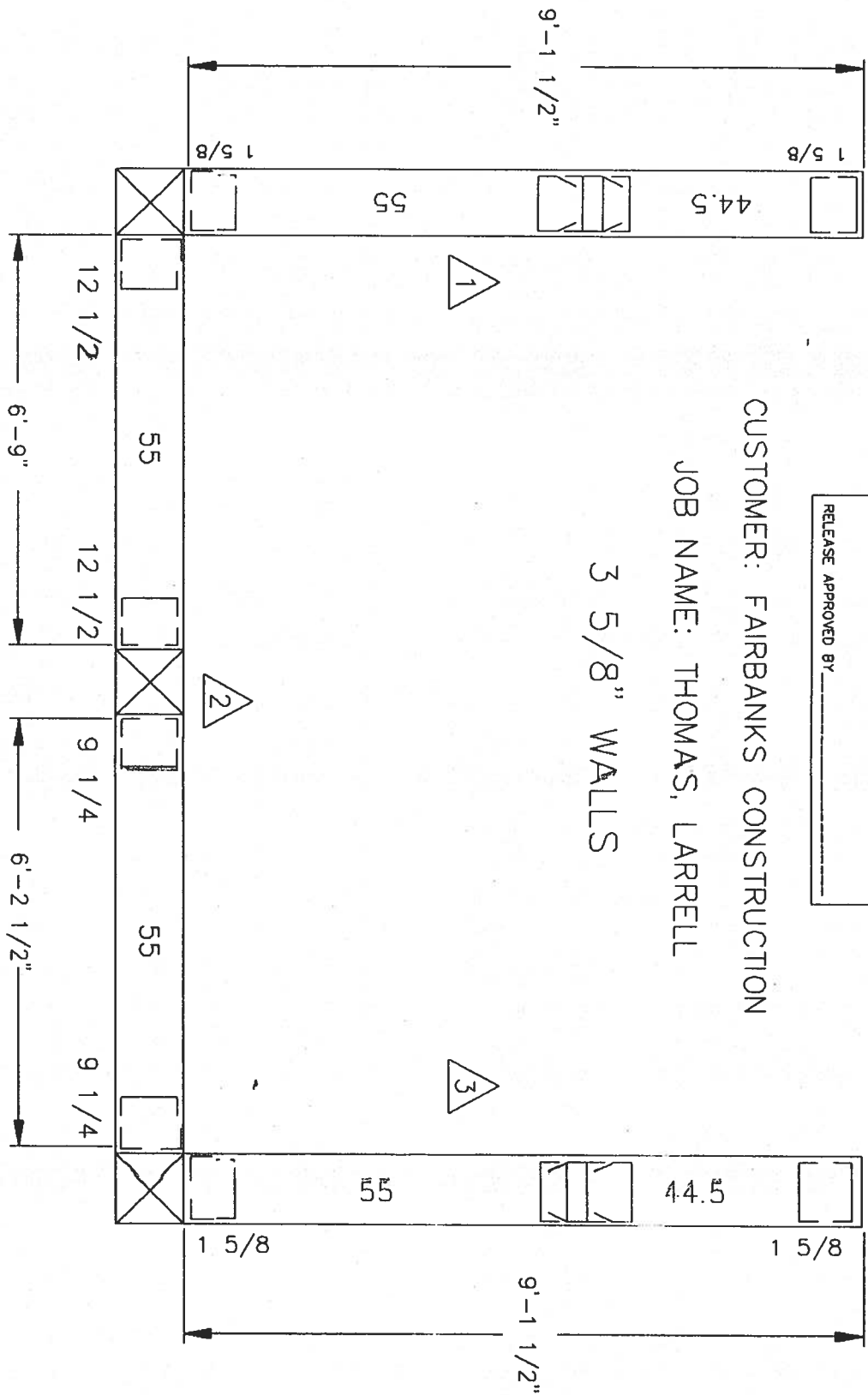
THIS JOB HAS NOT BEEN CONFIRMED.
PLEASE FAX AN APPROVAL WHEN READY TO ORDER.

RELEASE APPROVED BY _____

CUSTOMER: FAIRBANKS CONSTRUCTION

JOB NAME: THOMAS, LARRELL

3 5/8" WALLS

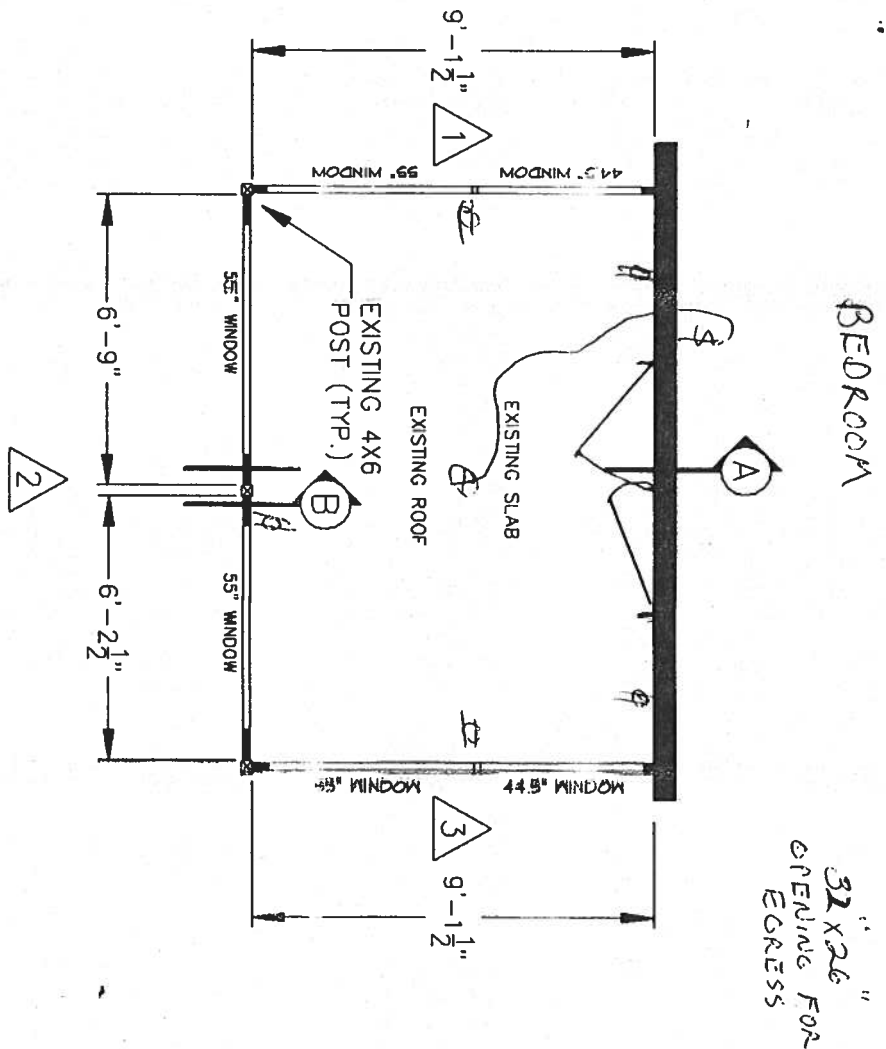


NOT TO SCALE

06W14937 10/06/06 FAIRBANK
DETAILED BY: DAVID CENTORBI

UL 585L
ICC LEGACY REPORT PFC-5176
FLORIDA PRODUCT APPROVAL 5505
ICC EVALUATION REPORT ESR-1403
FLORIDA PRODUCT APPROVAL 6391
FLORIDA PRODUCT APPROVAL 3857-R1

LEGEND:	
\$	LIGHT SWITCH
⊕	LIGHT
⊕	RECEPTACLE
⊕	FAN



FRAME COLOR: WHITE
 FACIA/TRIM: N/A
 INTERIOR KP: WHITE
 EXTERIOR KP: WHITE
 SKIN TYPE: TEMKOR

NOTE: ENCLOSURE NOT TO BE USED
 AS A PERMANENT LIVING AREA

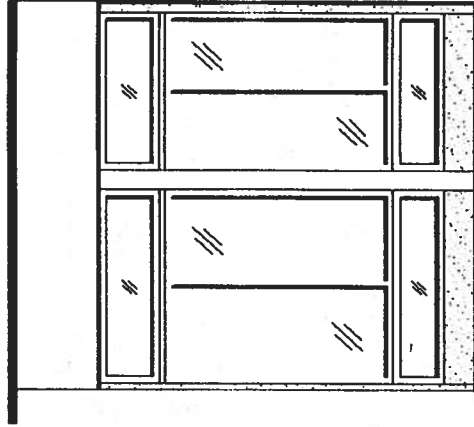
FLOOR PLAN

NOTE:
 THE SIDE WALL ATTACHMENT
 TO HOUSE IS A NON-LOAD
 BEARING CONNECTION.
 PROPERLY CAULK BOTH SIDES
 OF ALUMINUM EXTRUSION
 AT THIS CONNECTION.

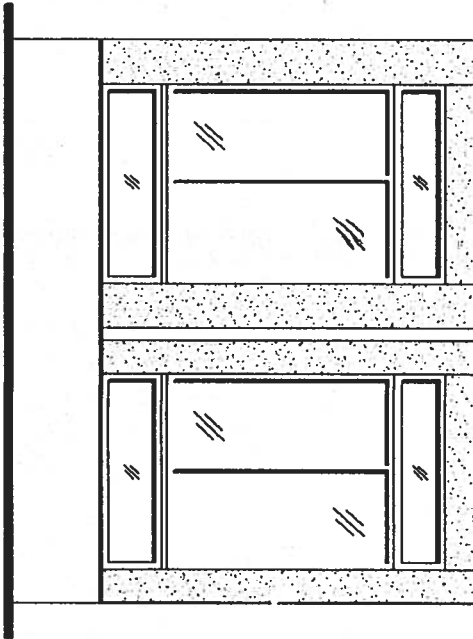
DEALER: FAIRBANK		06W14937	PH. ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 286-5409	ROBERT A. WALZ, PE 20400 HALL RD CLINTON TWP, MI 48038 (877) 218-8366 X287 LIC # PE-0040456
THOMAS, LARRELL					
708 SW BLUFF DR FT WHITE, FL 32038					
DRAWN BY: DAVID CENTORBI		DATE: 10/06/06	SCALE: NONE		

ELEVATIONS

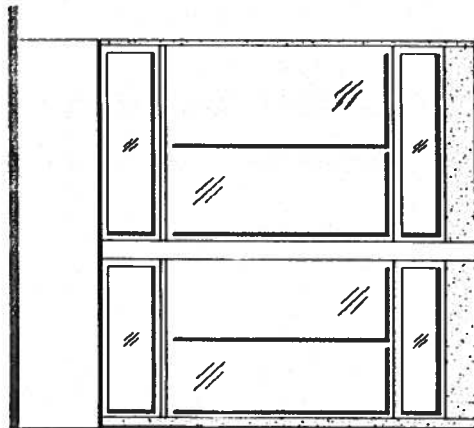
SHOWN WITH FACTORY GLASS TRANSOMS



1



2



3

ALL TEMO STRUCTURES ARE
DESIGNED IN ACCORDANCE
WITH CHAPTER 16 OF THE
2004 FLORIDA BUILDING CODE.
NOTE: ALL OPERATING GLAZING
PRODUCTS SUPPLIED BY TEMO
SUNROOMS INCLUDE TEMPERED
HPC-2000 GLASS THAT CONFORMS
WITH CHAPTER 24 OF THE CODE

DEALER: FAIRBANK 06W14937 PH. ()

THOMAS, LARRELL

708 SW BLUFF DR
FT WHITE, FL 32038

DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: NONE

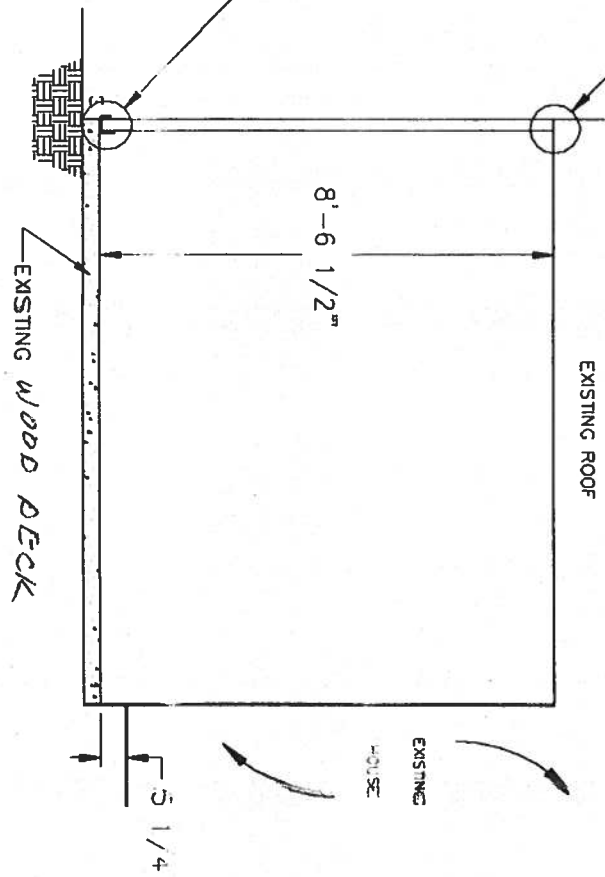
TEMO SUNROOMS, INC.

20400 HALL RD
CLINTON TWP, MI 48038
PHONE: (586) 286-0410
FAX: (586) 286-5409

ROBERT A. WALZ, PE
20400 HALL RD
CLINTON TWP, MI 48038
(877) 218-8366 X287
LIC # PE-0040456

SEE ATTACHMENT DETAIL 'B'

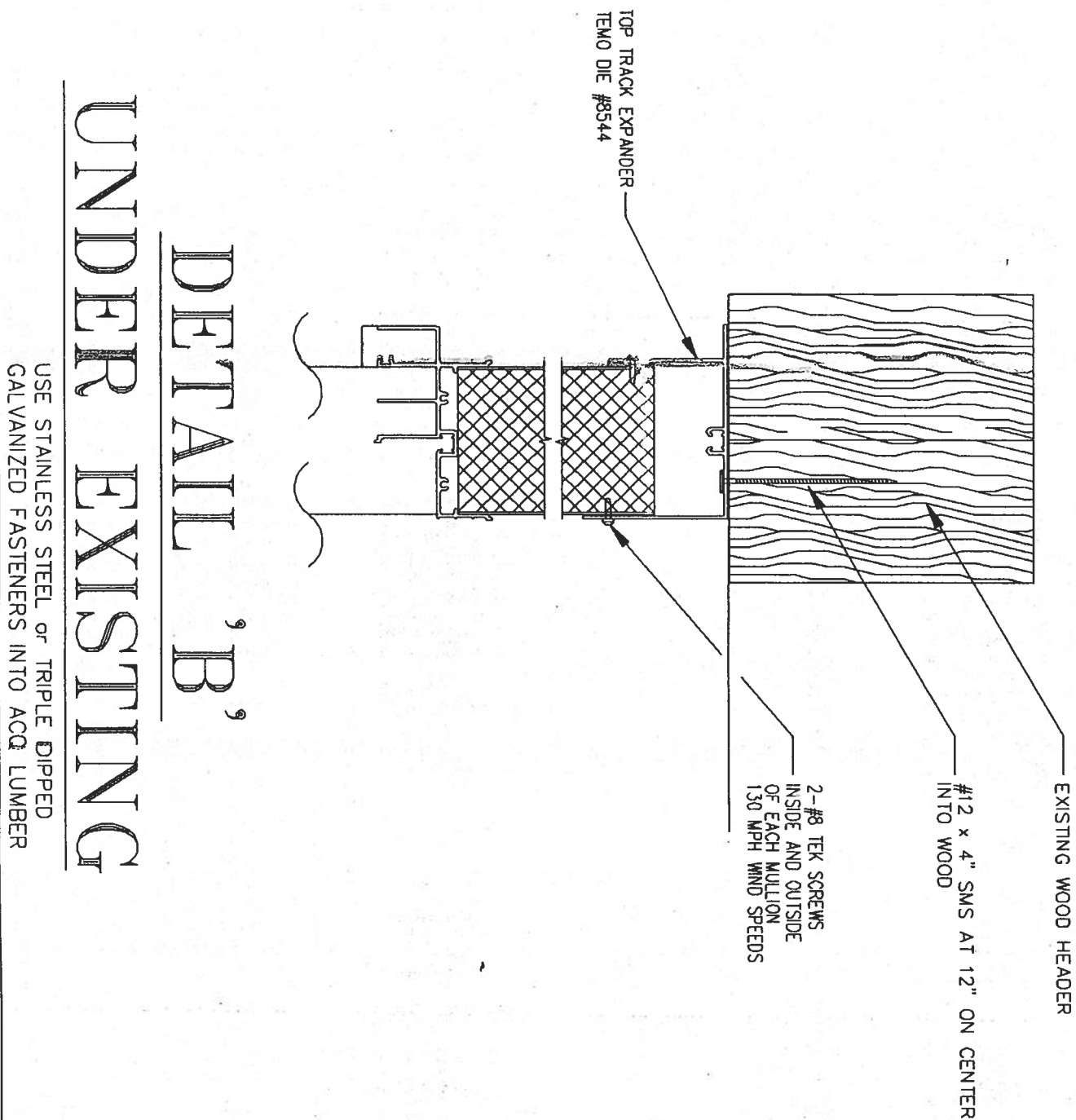
4TEM04
FIG. J



SECTION 'A'

USE STAINLESS STEEL or TRIPLE DIPPED
GALVANIZED FASTENERS INTO ACO LUMBER

DEALER: FAIRBANK 06W14937 PH. ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 286-5409	ROBERT A. WALZ, PE 20400 HALL RD CLINTON TWP, MI 48038 (877) 218-8366 X287 LIC # PE-0040456
THOMAS, LARRELL 708 SW BLUFF DR FT WHITE, FL 32038		
DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: NONE		



DETAIL 'B' UNDER EXISTING

USE STAINLESS STEEL or TRIPLE DIPPED GALVANIZED FASTENERS INTO ACQ LUMBER

DEALER: FAIRBANK 06W14937 PH: ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 286-5409	ROBERT A. WALSH, PE
THOMAS, LARRELL 708 SW BLUFF DR FT WHITE, FL 32038		20400 HALL RD CLINTON TWP, MI 48038 (877) 218-8366 X287
DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: 1/4"=1'		LIC # PE-0040

1720 N.W. 4th Avenue
Suite 100
Ocala, FL 34475
Phone (352) 732-8600
Toll Free (800)743-8601
Fax (352)732-0069

Fairbanks CONSTRUCTION

A Division of Fairbanks Contracting and Remodeling, Inc.
#CRC050304 - IIC0002524

10/25/04
TEMO CONTRACT

Sold To: Harrell/Laura Thomas Phone: 386-497-2685 Date: 9-19-06
Address: 708 SW Bluff Dr Email: _____
City: Fort White State: FL Zip: 32038 Approx Start Date: 9-11 weeks Approx Finish Date: 13-15 weeks
(from final measurements)

The undersigned Seller hereby sells and the undersigned BUYERS hereby purchase. If one or more of them, jointly and severally, the below described goods and services for the price and upon the terms and conditions set forth herein.

NOTE: ITEMS NOT MARKED ON CONTRACT ARE NOT INCLUDED

- | | Included | |
|--|-------------------------------------|--|
| 1. Permit | ☒ | Obtain all necessary permits |
| 2. Foundation | ☐ | Flat Concrete Slab 4" thick - Cap Existing - Projection _____ Width _____ |
| | ☐ | Raised Concrete Slab - Projection _____ Width _____ |
| | ☐ | Footings for Existing Concrete Slab - All sides _____ Total Linear Feet _____ |
| | ☐ | Wood Deck- Projection _____ Width _____ Vinyl Skirting on Deck _____ |
| 3. Wall System | ☒ | Total All Walls: <u>34</u> LF |
| | ☐ | Thermally Broken ☒ Non-Thermally Broken |
| | ☒ | HPG 2000 Glass ☐ E-Zone Insulated Glass |
| | | COLOR ☒ White ☐ Sandstone ☐ Bronze |
| 4. Transom Glass
(Min Height = 90") | ☒ | Standard: Top: 6" _____ 10" ☒ Bottom 12" ☒ |
| | | Custom (as much as possible): Top: _____ Bottom _____ |
| 5. Doors | ☐ | Prime Entry Door Qty _____ RH _____ LH _____ |
| | | Patio Door Qty _____ 5' _____ 6' _____ |
| 6. Roof System | ☐ | Style: Studio _____ Cathedral _____ Build Dormer _____ |
| | | Projection: _____ Width _____ |
| | | Attachment: Fascia _____ Wall _____ Cut Existing Overhang _____ |
| | | 3" Composite _____ (up to 14' span) 4-1/2" Composite _____ (14-17' span) |
| 7. Options | ☒ | Standard Electric package (as per Local Building Code) |
| | | A/C: Install Owner's _____ Mini Split _____ With Heat _____ |
| | | Additional - Specify _____ |

NOTE: NO FINISH WORK ON ADJOINING WALLS OF PRESENT STRUCTURE UNLESS SPECIFIED IN WRITING IN THIS AGREEMENT

NOTICE TO OWNER

- A. Do not sign this home improvement contract in blank.
B. You are entitled to a copy of the contract at the time you sign. Keep to protect your legal rights.
C. This home improvement contract may contain a mortgage or otherwise create a lien on your property that could be foreclosed on if you do not pay. Be sure you understand all provisions of the contract before you sign.

ACCEPTANCE - The prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Agent: George Watkins Date: 9-19-06 Buyer: [Signature] Date: 9-19-06
Co-Buyer: [Signature] Date: 9-19-06

BUYER ACKNOWLEDGES RECEIPT OF THIS CONTRACT IMMEDIATELY UPON THE EXECUTION HEREOF.

PROVISIONS OF AGREEMENT: The provisions on the reverse side of this document are expressly incorporated into this Agreement. Init _____

NO VERBAL AGREEMENTS WILL BE HONORED. ITEMS ORDERED MUST BE ON CONTRACT.
HOMEOWNER ASSOCIATION APPROVAL IS THE RESPONSIBILITY OF THE CUSTOMER, IF REQUIRED.

This is a legally binding contract. If not fully understood seek competent advice.

PRODUCT APPROVAL SPECIFICATION SHEET

required by Florida Statute 553.942 and Florida Administrative Code 9B-72, please provide the information and approval for the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)	X
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SLIDING	SIMONTON WINDOWS	5500 STORMBREAKER VINYL	5247.1	
SECTIONAL/ROLL UP				
OTHER				
WINDOWS				
SINGLE/DOUBLE HUNG	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5798.1	
HORIZONTAL SLIDER	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5820.1	
CASEMENT	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5796.1	
FIXED	REGENCY PLUS INC.	TECH 2000 CUSTOM VINYL WINDOW	5797.1	
MULLION	REGENCY PLUS INC.	PR10 1349 1 PLUS 50024 MULLION	ADP	
SKYLIGHTS				
OTHER				
PANEL WALL				
SLIDING	CRANE PERFORMANCE	TMT61P	2495.34	
SOFFITS				
STOREFRONTS				
GLASS BLOCK				
OTHER	TEMO INC.	2", 3", 3.625" WALL PANELS	3521.1	
ROOFING PRODUCTS				
ASPHALT SHINGLES				
NON-STRUCT METAL				
ROOFING TILES				
SINGLE PLY ROOF				
OTHER	TEMO INC.	3", 4.25", 6" ROOF PANELS	3857.1	
STRUCT COMPONENTS				
WOOD CONNECTORS				
WOOD ANCHORS				
TRUSS PLATES				
INSULATION FORMS				
LINTELS				
OTHERS				
NEW EXTERIOR				
ENVELOPE PRODUCTS				

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PARTS LEGEND
 [FEMALE
 [MALE
 [VERTICAL CHANNEL
 [CORNER

INSTALLERS LAYOUT SKETCH

VERIFY ALL FILL MEASUREMENTS BEFORE CUTTING

NOTICE:

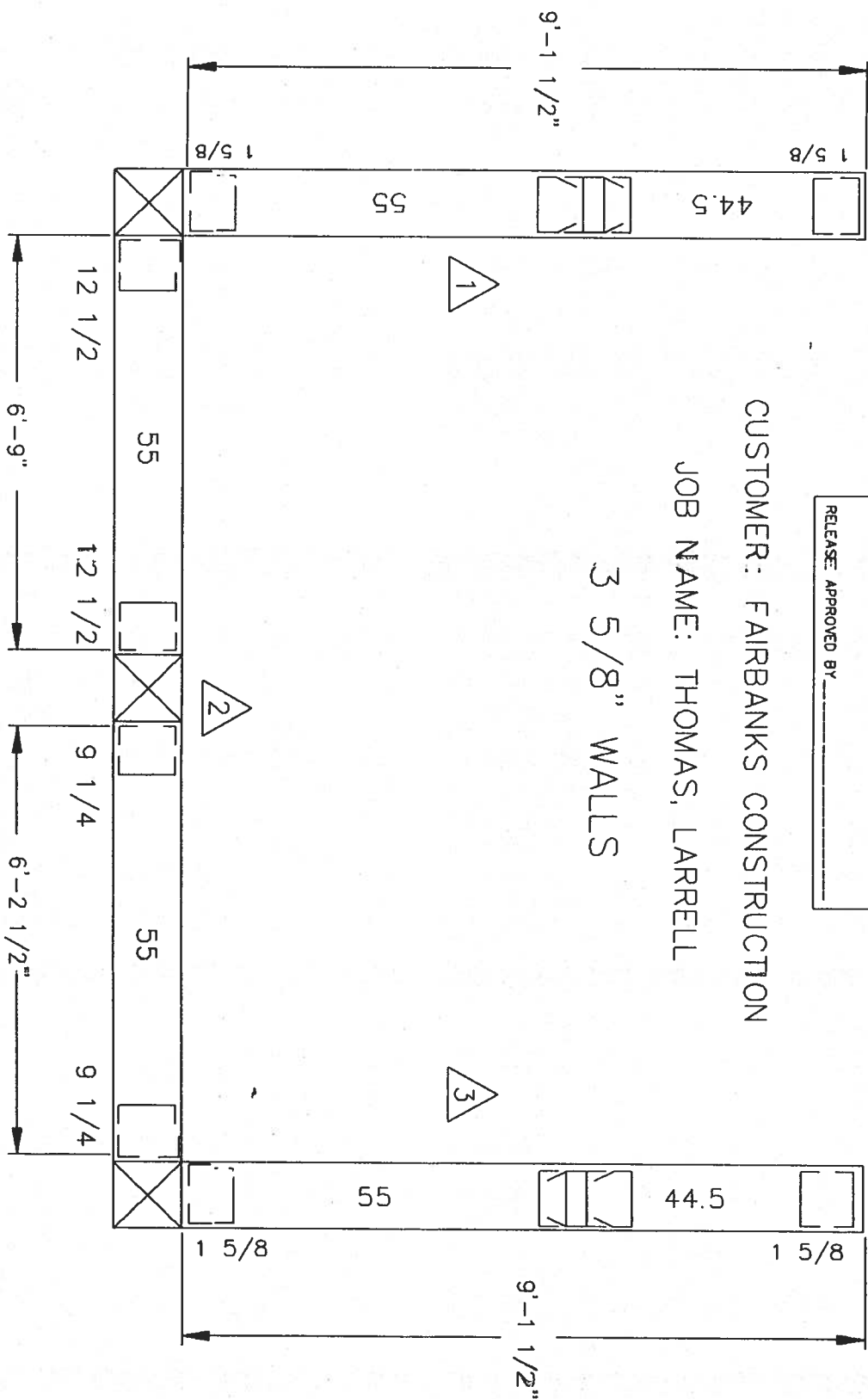
THIS JOB HAS NOT BEEN CONFIRMED.
 PLEASE FAX AN APPROVAL WHEN READY TO ORDER.

RELEASE APPROVED BY _____

CUSTOMER: FAIRBANKS CONSTRUCTION

JOB NAME: THOMAS, LARRELL

3 5/8" WALLS



NOT TO SCALE

06W14937 10/06/06 FAIRBANK
 DETAILED BY: DAVID CENTORBI

UL 585L
 ICC LEGACY REPORT PFC-5176
 FLORIDA PRODUCT APPROVAL 5505
 ICC EVALUATION REPORT ESR-1403
 FLORIDA PRODUCT APPROVAL 6391
 FLORIDA PRODUCT APPROVAL 3857-R1

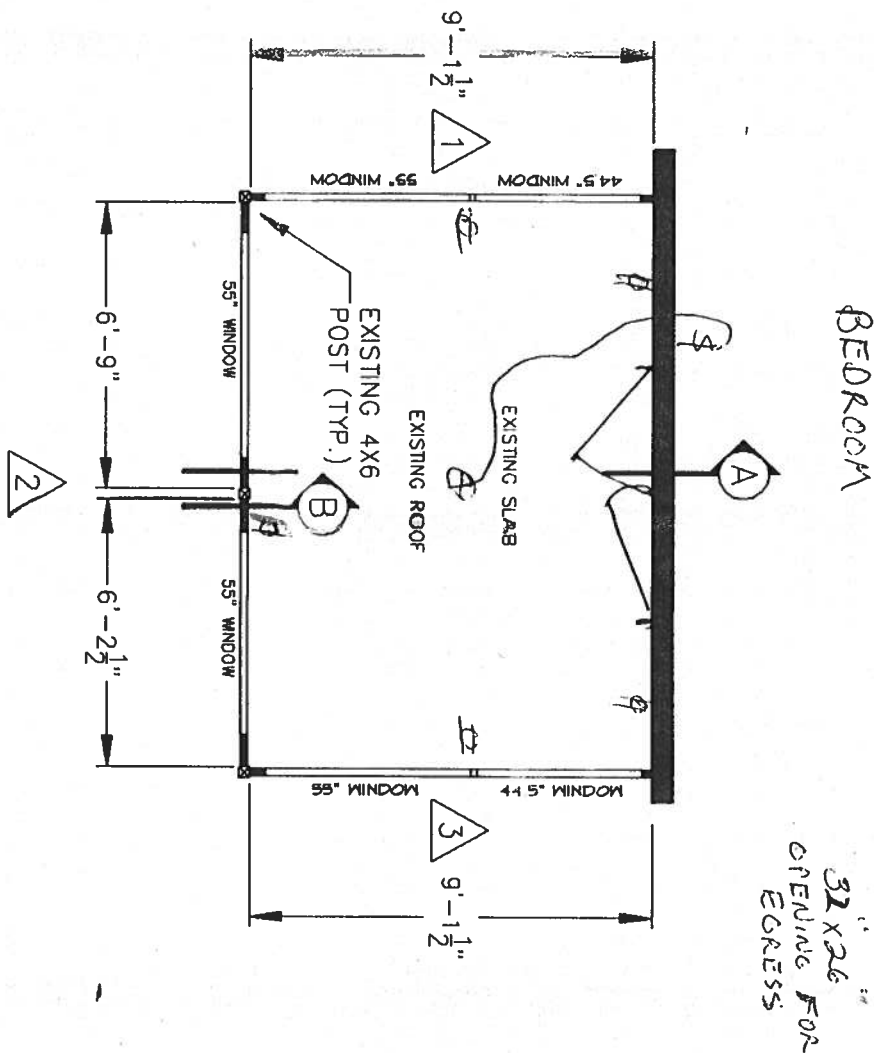
LEGEND:

\$ LIGHT SWITCH

⊕ LIGHT

⊕ RECEPTACLE

⊕ FAN



FRAME COLOR: WHITE
 FACIA/TRIM: N/A
 INTERIOR KP: WHITE
 EXTERIOR KP: WHITE
 SKIN TYPE: TEMKOR

NOTE: ENCLOSURE NOT TO BE USED
 AS A PERMANENT LIVING AREA

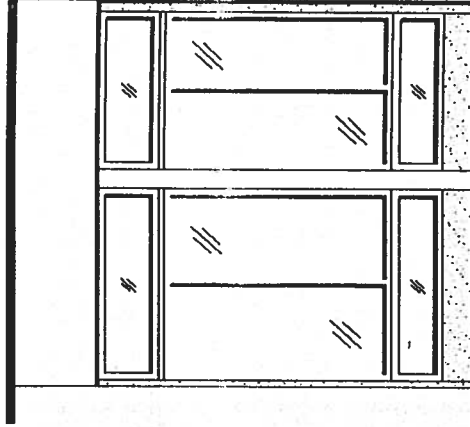
FLOOR PLAN

NOTE:
 THE SIDE WALL ATTACHMENT
 TO HOUSE IS A NON-LOAD
 BEARING CONNECTION.
 PROPERLY CAULK BOTH SIDES
 OF ALUMINUM EXTRUSION
 AT THIS CONNECTION.

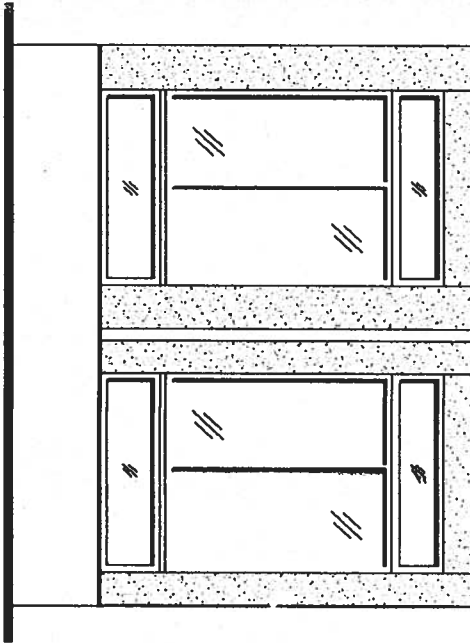
DEALER: FAIRBANK 06W14937 PH. ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 286-5409	ROBERT A. WALZ, PE 20400 HALL RD CLINTON TWP, MI 48038 (877) 218-8366 X287 LIC #PE-0040456
THOMAS, LARRELL 708 SW BLUFF DR FT WHITE, FL 32038		
DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: NONE		

ELEVATIONS

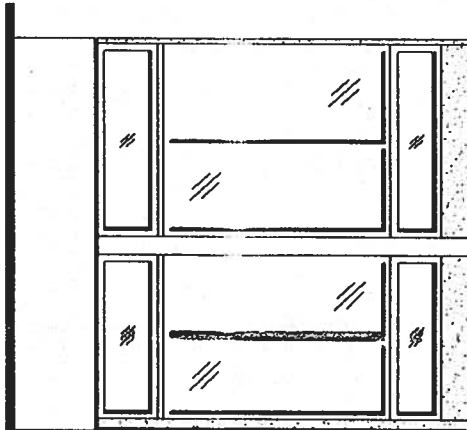
SHOWN WITH FACTORY GLASS TRANSOMS



1



2



3

ALL TEMO STRUCTURES ARE
DESIGNED IN ACCORDANCE
WITH CHAPTER 16 OF THE
2004 FLORIDA BUILDING CODE.
NOTE: ALL OPERATING GLAZING
PRODUCTS SUPPLIED BY TEMO
SUNROOMS INCLUDE TEMPERED
HPC-200G GLASS THAT CONFORMS
WITH CHAPTER 24 OF THE CODE

DEALER: FAIRBANK 06W14937 PH. ()

THOMAS, LARRELL

708 SW BLUFF DR
FT WHITE, FL 32038

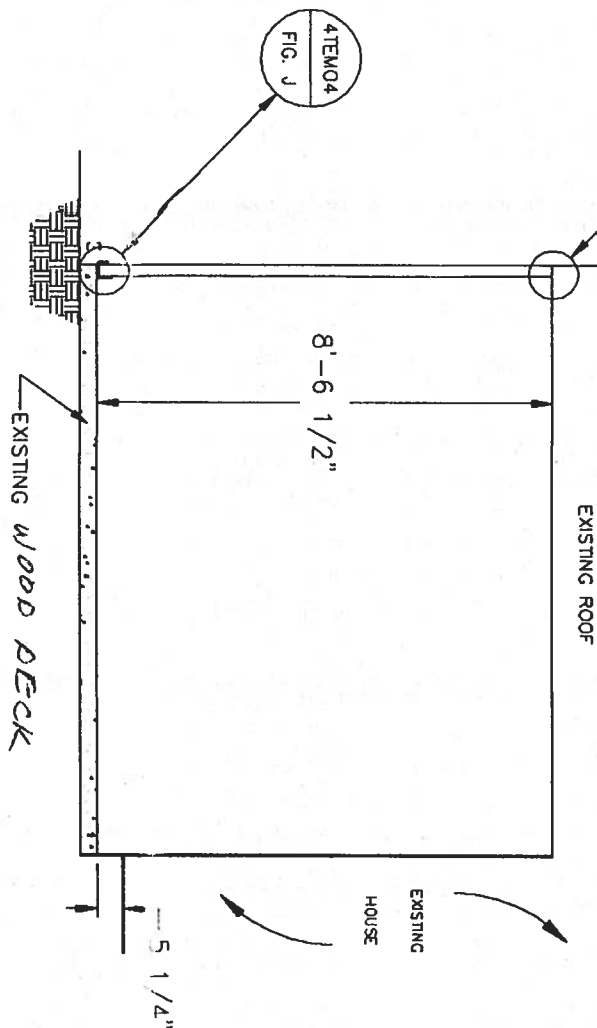
DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: NONE

TEMO SUNROOMS, INC.

20400 HALL RD
CLINTON TWP, MI 48038
PHONE: (586) 286-0410
FAX: (586) 286-5409

ROBERT A. WALZ, PE
20400 HALL RD
CLINTON TWP, MI 48038
(877) 218-8366 X287
LIC # PE-0040456

SEE ATTACHMENT DETAIL 'B'



SECTION 'A'

USE STAINLESS STEEL or TRIPLE DIPPED
GALVANIZED FASTENERS INTO ACQ LUMBER

DEALER: FAIRBANK 06W14937 PH. ()

THOMAS, LARRELL

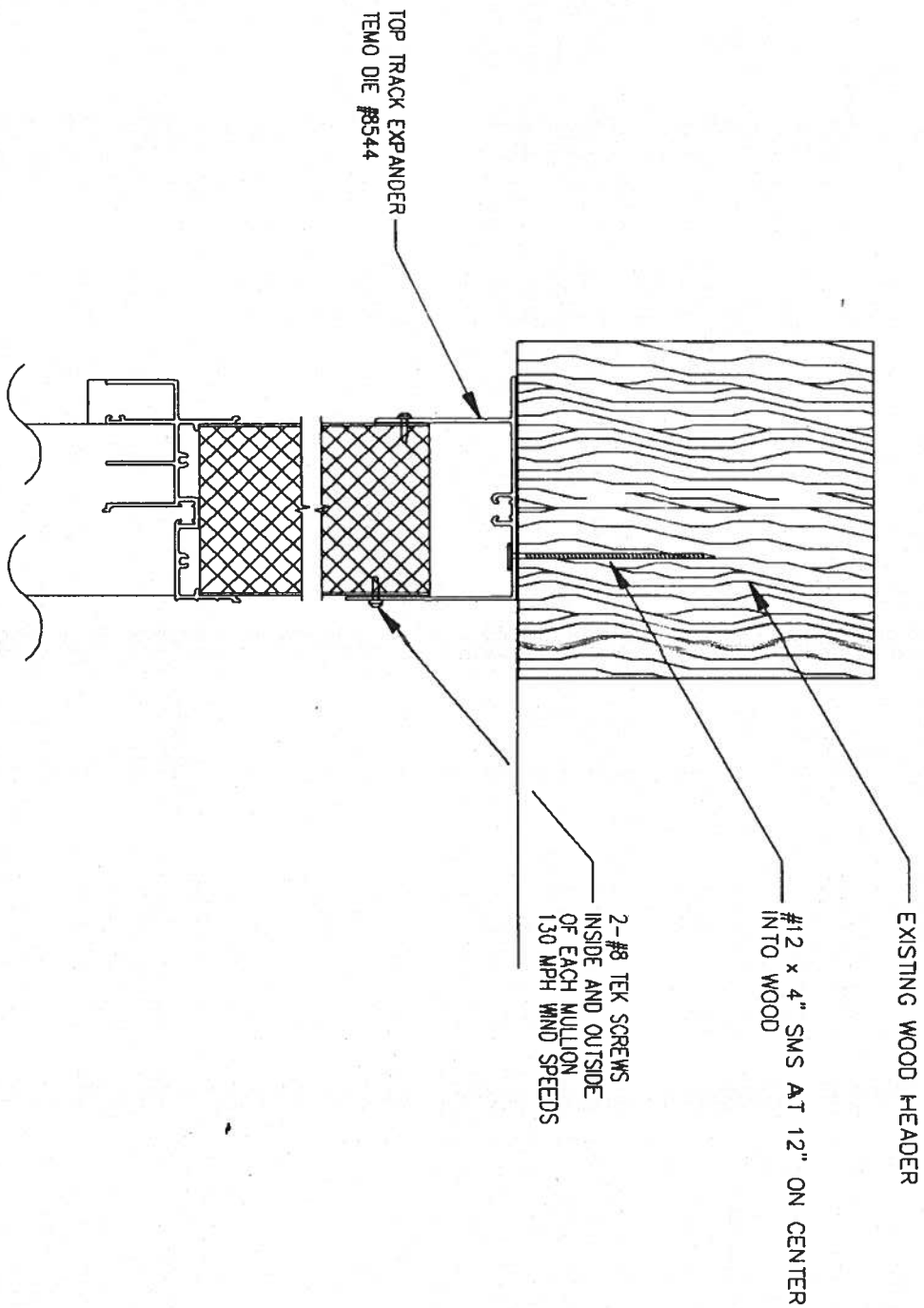
708 SW BLUFF DR
FT WHITE, FL 32038

DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: NONE

TEMO SUNROOMS, INC.

20400 HALL RD
CLINTON TWP, MI 48038
PHONE: (586) 286-0410
FAX: (586) 286-5409

ROBERT A. WALZ, PE
20400 HALL RD
CLINTON TWP, MI 48038
(877) 218-8366 X287
LIC # PE-0040456



DETAIL 'B' UNDER EXISTING

USE STAINLESS STEEL or TRIPLE DIPPED GALVANIZED FASTENERS INTO ACO LUMBER

DEALER: FAIRBANK 06W14937 PH. ()	TEMO SUNROOMS, INC.	ROBERT A. WALZ, PE
THOMAS, LARRELL 708 SW BLUFF DR FT WHITE, FL 32038	20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 286-5409	20400 HALL RD CLINTON TWP, MI 48038 (877) 218-8366 X287 LIC # PE-0040456
DRAWN BY: DAVID CENTORBI DATE: 10/06/06 SCALE: 1/4"=1'		