

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

REVISIONS
February 13, 2019
May 12, 2020



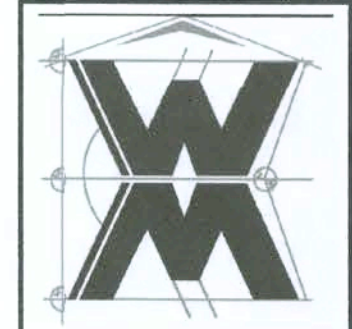
FRONT & REAR ELEVATIONS
SCALE: 1/4" = 1'-0"

TYPICAL WALL SECTION
SCALE: 1" = 1'-0"

MODEL 1840 (RIGHT-HAND) FOR:
LOT 18, WINGATE
Project Address: 218 SW Granite Court, Lake City, Florida 32024
GIBALTAR CONTRACTING, LLC.
LIC# 1259633 HIGH SPRINGS, FLORIDA



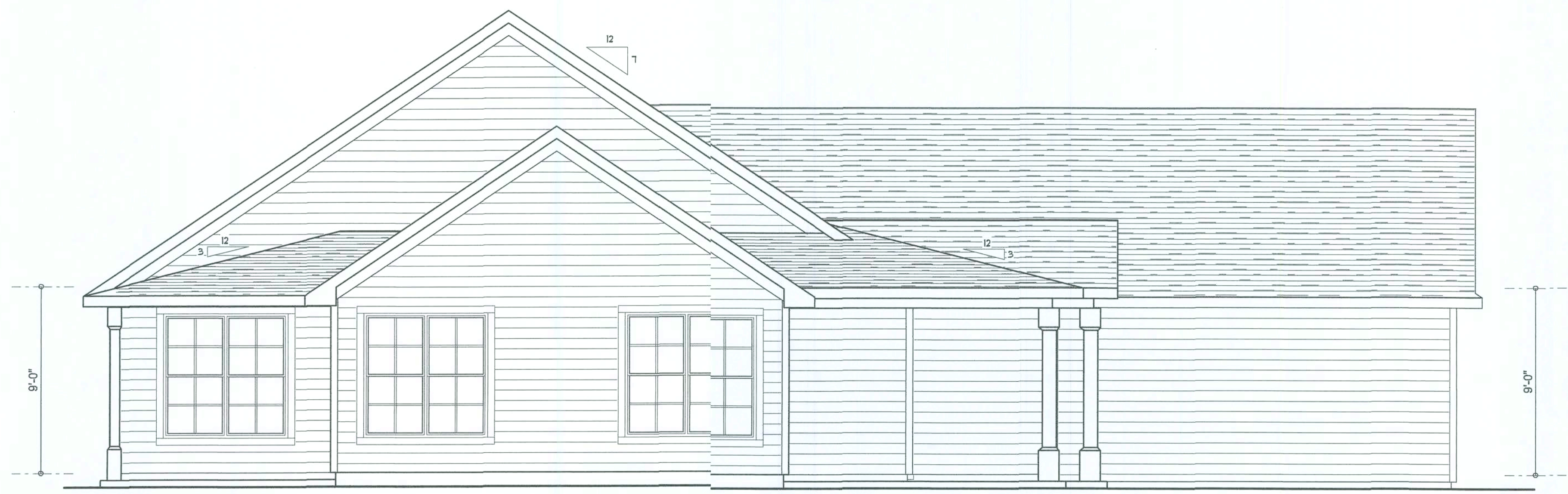
© WM DESIGN & ASSOCIATES, INC.
426 SW COMMERCE DR, STE 130
LAKE CITY, FL 32025
(386) 758-8406
wm@willmayers.net



JOB NUMBER
20200512

SHEET NUMBER
A.1
OF 4 SHEETS

Will C. Myers



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

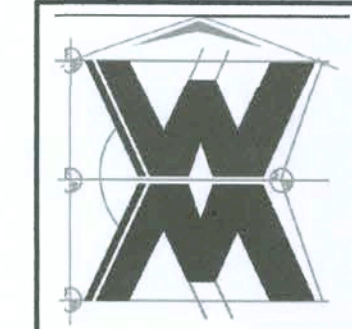
REVISIONS	
February 13, 2019	
May 12, 2020	



LEFT & RIGHT ELEVATIONS
SCALE: 1/4" = 1'-0"

MODEL 1610 (RIGHT HAND) FOR:
LOT 18, WINGATE
Project Address: 218 SW Granite Court, Lake City, Florida 32024
GIBALTAR CONTRACTING, LLC.
LIC# 1259633 HIGH SPRINGS, FLORIDA

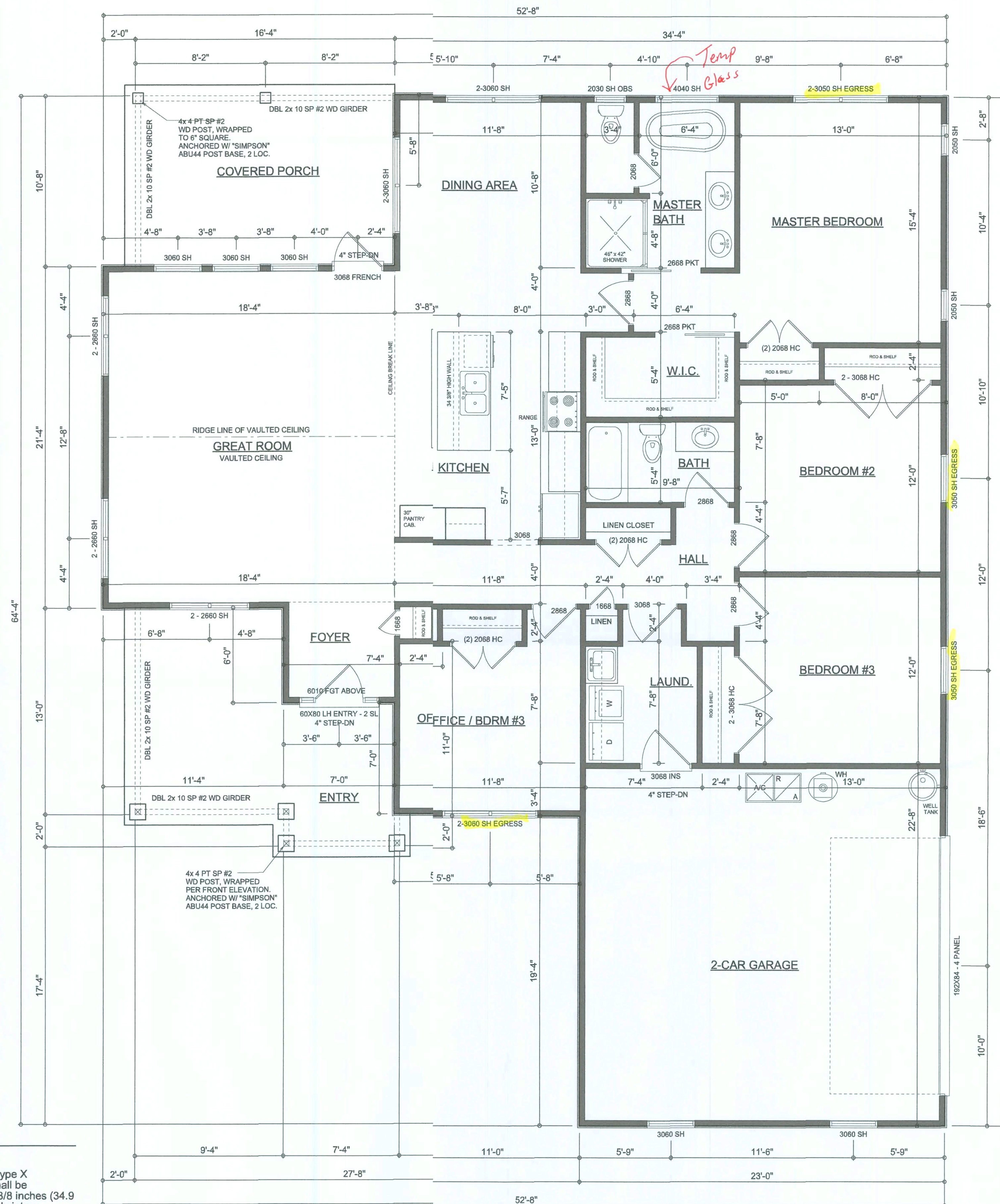
WILLIAMS DESIGN ASSOCIATES, INC.
42 SW COMMERCE DR, STE 130
LAKE CITY, FL 32025
(386) 758-8406
will@williams.net



JOB NUMBER
20200512

SHEET NUMBER
A.2
OF 4 SHEETS

Will C. Williams



FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL WALLS SHALL BE 9'-0" UNLESS OTHERWISE NOTED.

Garage fire separations shall comply with the following:

1. The private garage shall be separated from the dwelling unit and its attic area by means of a minimum 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors, or solid or honeycomb core steel doors not less than 13/8 inches (34.9 mm) thick, or doors in compliance with Section 715.3.3. Openings from private garage directly into a room used for sleeping purposes shall not be permitted.
2. Ducts in a private garage and ducts penetrating the walls or ceiling separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48 mm) sheet steel and shall have no openings into the garage.
3. A separation is not required between a Group R-3 and U carport provided the carport is entirely open on two or more sides and there are not enclosed areas above.
4. When installing an attic access and/or pull-down stair unit in the garage, devise shall have a minimum 20 min. fire rating.

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

AREA SUMMARY

LIVING AREA	1,910	S.F.
GARAGE AREA	513	S.F.
COVERED PORCH AREA	174	S.F.
ENTRY PORCH AREA	180	S.F.
TOTAL AREA	2,777	S.F.

Wm C. Myers

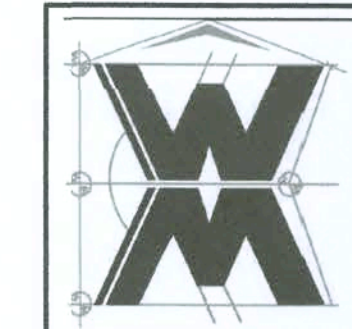
REVISIONS	DATE	BY	APP
February 13, 2019			
May 12, 2020			

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

DIMENSIONED FLOOR PLAN
SCALE: 1/4" = 1'-0"

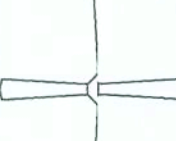
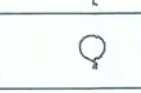
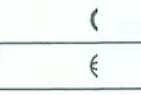
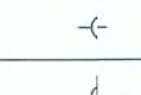
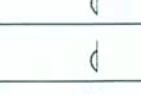
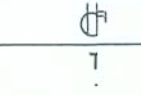
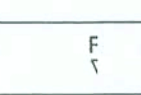
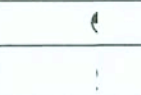
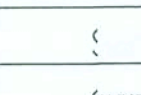
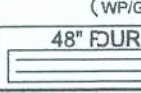
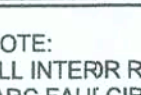
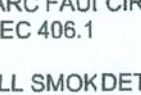
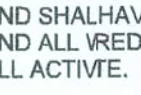

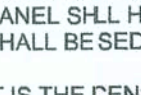
MODEL 1010 (RIGHT HAND) FOR:
LOT 18, WINGATE
Project Address: 218 SW Granite Court, Lake City, Florida 32024
GIBALTAR CONTRACTING, LLC.
LIC# 1259633 HIGH SPRINGS, FLORIDA

© WM DESIGN & ASSOCIATES, INC.
42 SW COMMERCE DR, STE 130
LAKE CITY, FL 32025
(386) 758-8406
wm@willymiers.net



JOB NUMBER
20200512

SHEET NUMBER
A.3
OF 4 SHEETS

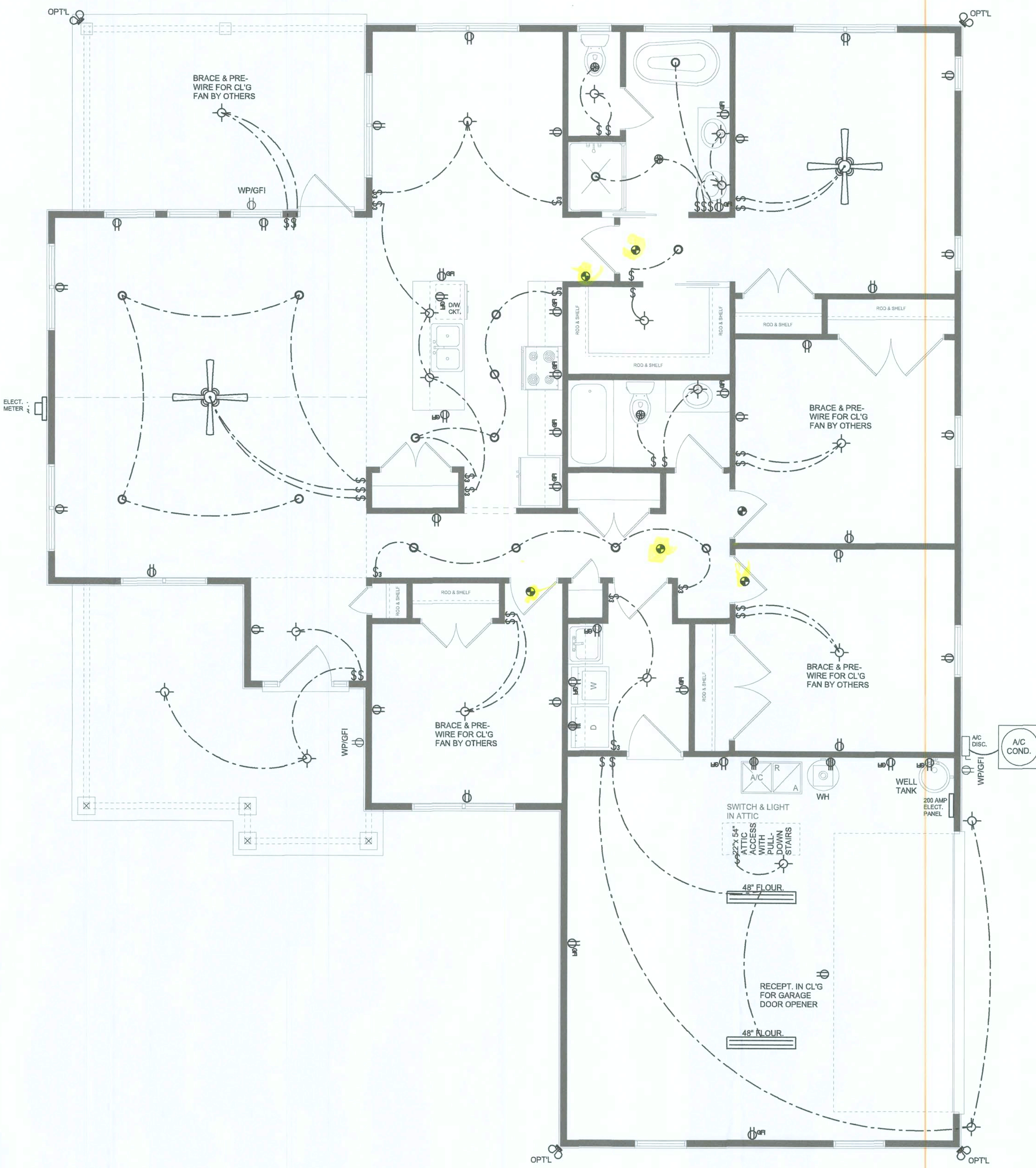
ELECTRICAL LEGEND	
	CEILING FAN (PRE-WIRE FOR LIGHT KIT)
	DOUBLE SECURITY LIGHT
	RECESSED CAN LIGHT
	BATH EXHAUST FAN
	LIGHT FIXTURE
	DUPLEX OUTLET (AFCI & TAMPER RESISTANT)
	220v OUTLET
	GFI DUPLEX OUTLET (PER NEC 406.8)
	TELEVISION JACK
	TELEPHONE JACK
	SMOKE / CARBON MONOXIDE DETECTOR (see note below)
	WALL SWITCH
	3 WAY WALL SWITCH
	WATER PROOF GFI OUTLET
	2 OR 4 TUB FLUORESCENT FIXTURE

NOTE:
ALL INTERIOR RECEPTACLES SHALL BE AFCI
(ARC FAULT CIRCUIT INTERRUPT) PER NEC 210.12 & TAMPER RESISTANT PER
NEC 406.1

ALL SMOKE DETECTORS BE A COMBO SMOKE & CARBON MONOXIDE DETECTOR
AND SHALL HAVE BATTERY BACKUP POWER
AND ALL WED TOGETHER SO IF ANY ONE UNIT IS ACTUATED THEY
ALL ACTIVATE.

THE ELECTRICAL SERVICE OVERCURRENT PROTECTION DEVICE SHALL BE
INSTALLED ON THE EXTERIOR OF STRUCTURES TO SERVE AS A DISCONNECT MEANS.
CONDUCTORS USED FROM THE EXTERIOR DISCONNECTING MEANS TO A PANEL OR SUB
PANEL SHALL HAVE FOUR-WIRE CONDUCTORS, OF WHICH ONE CONDUCTOR
SHALL BE USED AS AN EQUIPMENT GROUND.

IT IS THE DENSED ELECTRICAL CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL
WORK PERFORMED AND EQUIPMENT INSTALLED MEETS OR EXCEEDS THE NFPA70 2014 NATIONAL
ELECTRIC CODE AND ALL OTHER LOCAL CODES AND ORDINANCES.



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL DRAWINGS NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

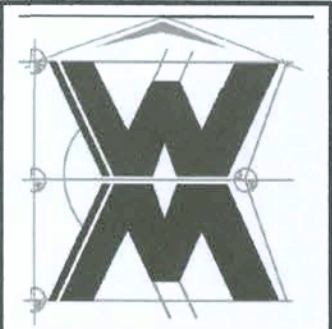
REVISIONS
February 13, 2019
May 12, 2020

SOFTPLAN
ARCHITECTURAL DESIGN SOFTWARE

ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

MODEL 1940 (RIGHT HAND) FOR:
LOT 18, WINGATE
Project Address: 218 SW Granite Court, Lake City, Florida 32024
GIBALTAR CONTRACTING, LLC.
LIC# 1259633 HIGH SPRINGS, FLORIDA

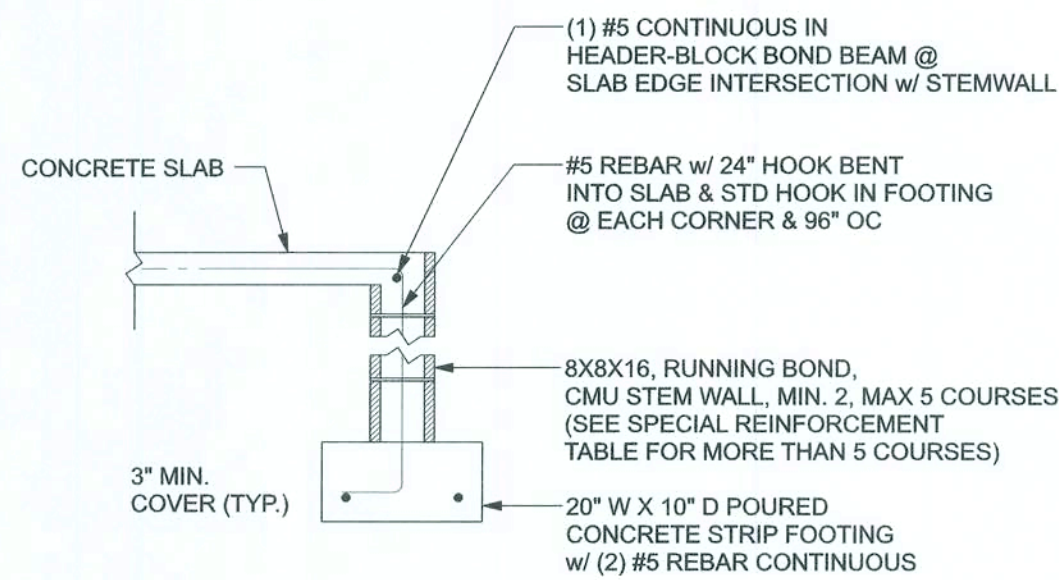
WM DESIGN &
ASSOCIATES, INC.
42 SW COMMERCE DR, STE 130
LAKE CITY, FL 32025
(386) 758-8406
wil@willymayers.net



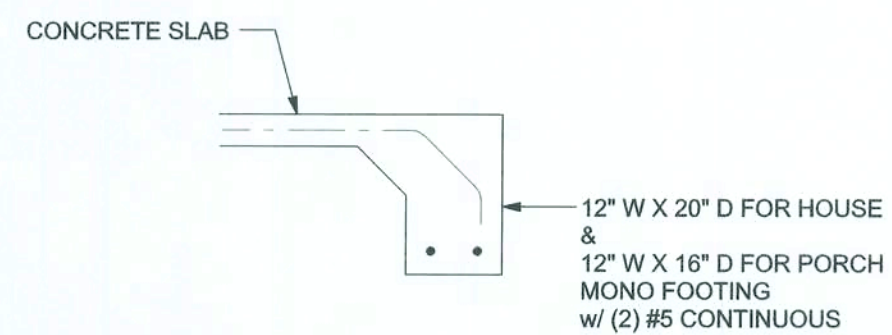
JOB NUMBER
20200512

SHEET NUMBER
A.4
OF 4 SHEETS

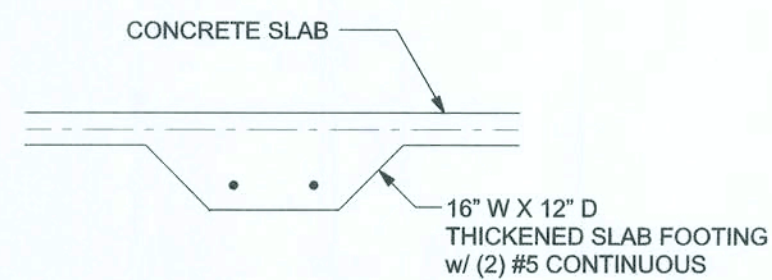
Willymayers



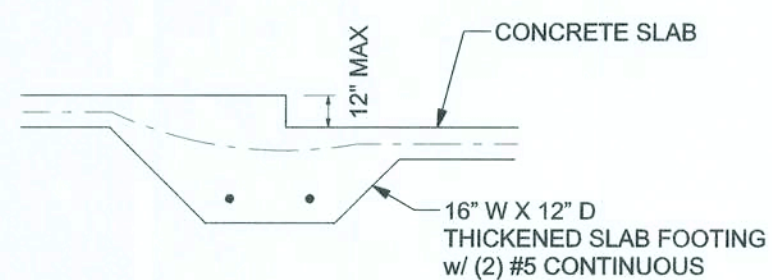
F1 S-2 OPTIONAL STEM WALL FOOTING
SCALE: 1/2" = 1'-0"



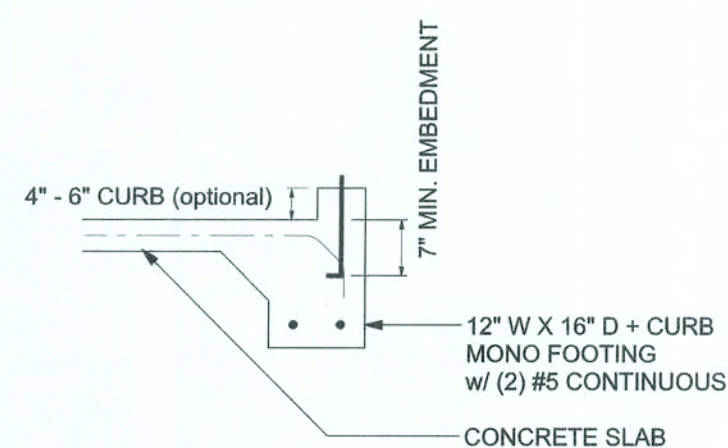
F1 S-2 MONOLITHIC FOOTING
SCALE: 1/2" = 1'-0"



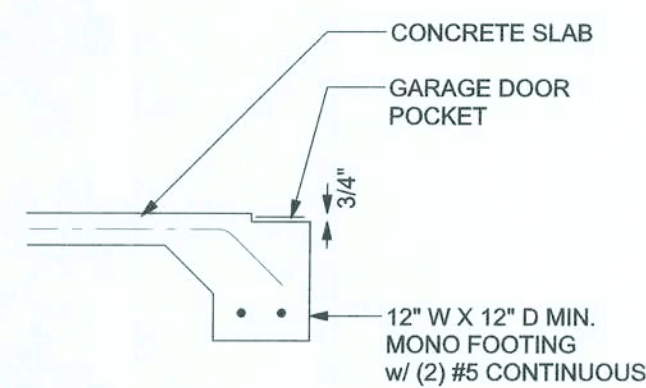
F2 S-2 INTERIOR BEARING FOOTING
SCALE: 1/2" = 1'-0"



F3 S-2 INTERIOR BEARING STEP FOOTING
SCALE: 1/2" = 1'-0"



F4 S-2 MONOLITHIC CURB FOOTING
SCALE: 1/2" = 1'-0"



F5 S-2 GARAGE DOOR POCKET FOOTING
SCALE: 1/2" = 1'-0"

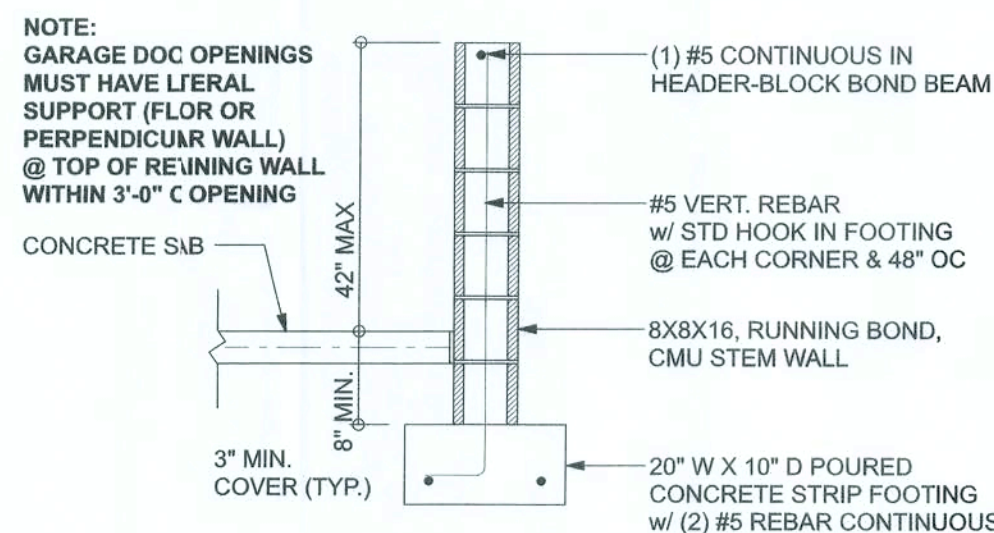
TALL ITEM WALL TABLE:
The tie assumes 60 ksi reinforcing bars with 6" hook in the footing and bent 24" into the reinforced slab at the top. The vertical steel is to be placed toward the tension side of the CMU all (away from the soil pressure, within 2" of the exterior side of the wall). If the wall is over 8' high, add Durowall ladder reinforcement at 16"OC vertically or a horizontal bond beam with 1#5 continuous at mid height. For higher parts of the wall 12" CMU may be used with reinforcement as shown in the table below.

STEM WALL HEIGHT (FE)	UNBALANCED BACKFILL HEIGHT	VERTICAL REINFORCEMENT FOR 8" CMU STEM WALL (INCHES O.C.)			VERTICAL REINFORCEMENT FOR 12" CMU STEM WALL (INCHES O.C.)		
		#5	#7	#8	#5	#7	#8
3	3.0	96	96	96	96	96	96
4	3.7	96	96	96	96	96	96
4	4.3	96	96	96	96	96	96
5	5.0	96	96	96	96	96	96
6	5.7	40	80	96	80	96	96
6	6.3	32	56	80	56	96	96
7	7.0	24	40	56	40	80	96
8	7.7	16	32	48	32	64	80
8	8.3	8	24	32	24	48	64
9	9.0	8	16	24	16	40	48

MASONRY NOTE:
MASONRY CONSTRUCTION AND MATERIALS FOR THIS PROJECT SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602). THE CONTRACTOR AND MASON MUST IMMEDIATELY, BEFORE PROCEEDING, NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN ACI 530.1-02 AND THESE DESIGN DRAWINGS. ANY EXCEPTIONS TO ACI 530.1-02 MUST BE APPROVED BY THE ENGINEER IN WRITING.

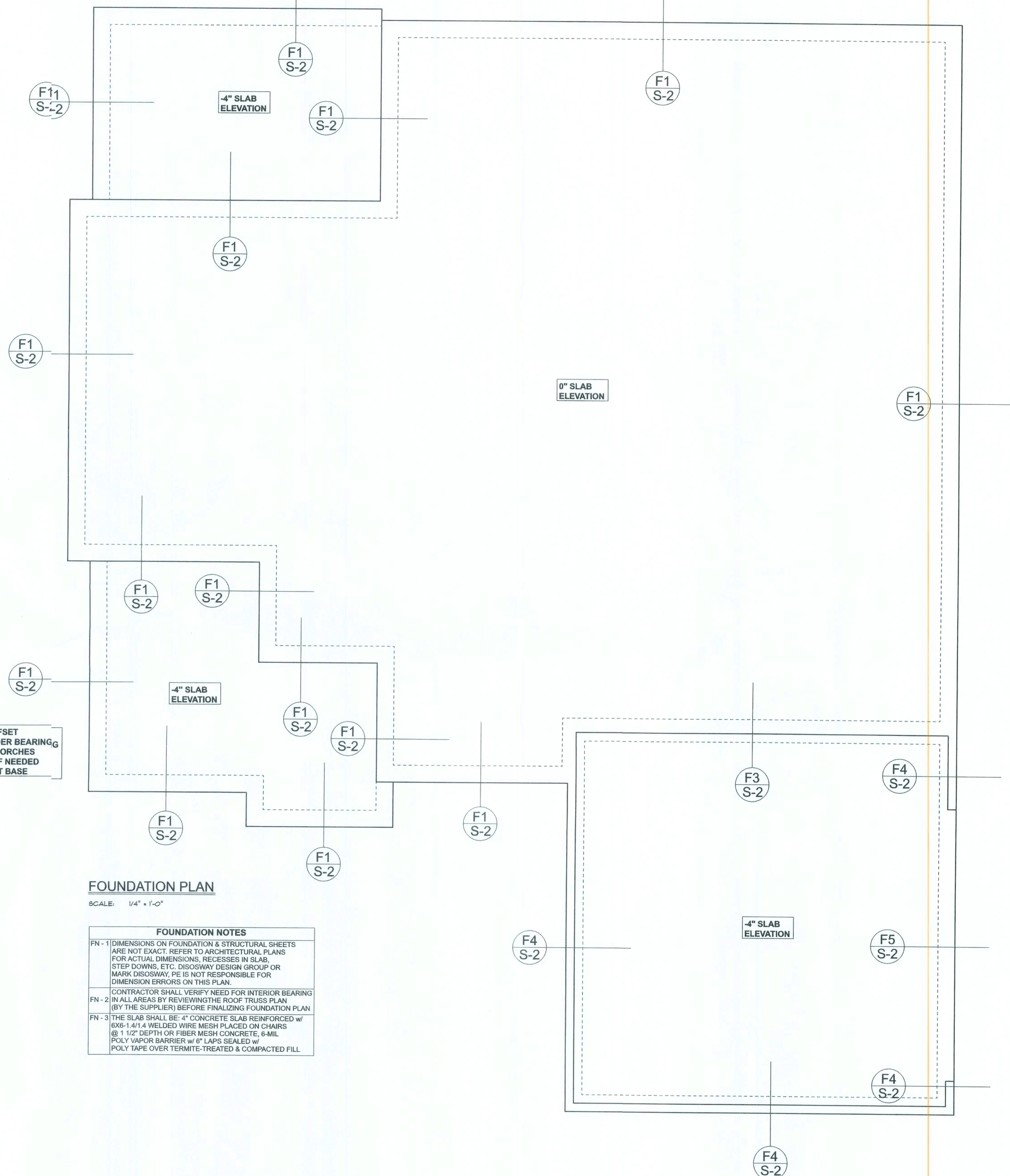
ACI 530.1-02 Section	Specific Requirements
1.4A Compressive strength	8" block bearing walls F'm = 1500 psi
2.1 Mortar	ASTM C 270, Type N, UNO
2.2 Grout	ASTM C 476, admixtures require approval
2.3 CMU standard	ASTM C 90-02, Normal weight, Hollow, medium surface finish, 8"x8"x16" running bond and 12"x12" or 16"x16" column block
2.3 Clay brick standard	ASTM C 216-02, Grade SW, Type FBS, 5.5"x2.75"x11.5"
2.4 Reinforcing bars, #3 - #11	ASTM 615, Grade 40, Fy = 40 ksi, Lap splices min 40 bar dia. (25" for #5)
2.4F Coating for corrosion protection	Anchors, sheet metal ties completely embedded in mortar or grout, ASTM A525, Class G60, 0.60 oz/lb or 304SS
2.4F Coating for corrosion protection	Joint reinforcement in walls exposed to moisture or water, ties, anchors, sheet metal ties not completely embedded in mortar or grout, ASTM A153, Class B2, 1.50 oz/lb or 304SS
3.3.E.2 Pipes, conduits, and accessories	Any not shown on the project drawings require engineering approval.
3.3.E.7 Movement joints	Contractor assumes responsibility for type and location of movement joints if not detailed on project drawings.

8" BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 12" BELOW UNDISTURBED SOIL OR ENGINEERED FILL
PEFBC 2014-RES. SECTION R403.1.4



F4 S-2 OPTIONAL STEM WALL CURB FOOTING
SCALE: 1/2" = 1'-0"

PORCH SLAB OFFSET
PAST POSTHEADER BEARING
TYPICAL @ ALL PORCHES
WIDEN FOOTER IF NEEDED
FOR PORCH POST BASE



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

1. DIMENSIONS ON FOUNDATION & STRUCTURAL SHEETS ARE NOT EXACT. REFER TO ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONS. RECESSES IN SLAB, STEP DOWNS, ETC. DISOWAY DESIGN GROUP OR MARK DISOWAY, P.E. IS NOT RESPONSIBLE FOR DIMENSION ERRORS ON THIS PLAN.
2. CONTRACTOR SHALL VERIFY NEED FOR INTERIOR BEARING IN ALL AREAS BY REVIEWING THE ROOF TRUSS PLAN (BY THE SUPPLIER) BEFORE FINALIZING FOUNDATION PLAN.
3. THE SLAB SHALL BE 4" CONCRETE SLAB REINFORCED W/ 6X6-14#4 WELDED WIRE MESH PLACED ON CHAIRS @ 1 1/2" DEPTH OR FIBER MESH CONCRETE, 6-MIL POLY VAPOR BARRIER w/ #1 LAPS SEALED w/ POLY TAPE OVER TERMITES-TREATED & COMPACTED FILL.

Gibraltar Contracting, LLC

1840 Model - Lot 18 Wingate

PROJECT ADDRESS:
218 SW Granite Court
Lake City, FL 32024

DIMENSIONS:
Stated dimensions supersede scaled dimensions. Refer all questions to Mark Disoway, P.E. for resolution. Do not proceed without clarification.

COPYRIGHTS AND PROPERTY RIGHTS:
Mark Disoway, P.E. hereby expressly reserves its common law copyrights and property right in these documents of service. This document is not to be reproduced, altered or copied in any form or manner without first the express written permission and consent of Mark Disoway.

CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with the 6th Edition Florida Building Code Residential (2017) to the best of my knowledge.

LIMITATION: This design is valid for one building, 1 specified location.

MARK DISOWAY P.E. 53915

THIS PDF HAS THE SIGNATURE
AND ELECTRONIC SEAL. PRINTED
COPIES ARE NOT CONSIDERED
SIGNED OR SEALED. YOU MUST
VERIFY SIGNATURE ON THIS PDF
YOU HAVE TO VERIFY.

Wednesday, May 13, 2020

Mark Disoway P.E.
16: SW Midtown Place
Suite 103
Lake City, Florida 32025
386.754.5419
disowaydesign@gmail.com

JOB NUMBER:
200512

S-2
OF 3 SHEETS

