

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE(S) PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
5. IF SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE, FOUNDATIONS ARE DESIGNED FOR A 2500 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
6. THE OWNER WILL PROVIDE CONTRACTOR WITH A SOIL'S INVESTIGATION REPORT AND ANALYSIS. ALL REQUIREMENTS FOR THE SITE PREPARATION AND SOIL COMPACTION SPECIFIED IN THE SOILS REPORT SHALL BE FOLLOWED UNLESS ADDITIONAL MORE STRINGENT REQUIREMENTS ARE SPECIFIED. NOTIFY ARCHITECT IF FOUNDATION CONDITIONS ENCOUNTERED DIFFER FROM SOILS EXPLORATION INFORMATION MADE AVAILABLE TO THE CONTRACTOR.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION.
8. THE REINFORCED CONCRETE SLAB SHALL BE SET OVER A VAPOR BARRIER IN COMPLIANCE WITH ASTM E 1745 CLASS A REQUIREMENTS ON WELL COMPACTED TERMITE TREATED SOIL.
9. THE GENERAL CONTRACTOR SHALL SUBMIT ALL NECESSARY DRAWINGS TO THE CITY FOR PERMITTING AND TO THE PROFESSIONAL OF RECORD, IF REQUIRED, FOR REVIEW.
10. SUBSTITUTIONS OF ITEMS BY THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS WHICH THEY BELIEVE TO BE EQUAL OR BETTER SHALL BE APPROVED BY THE OWNER AND / OR THE ARCHITECT. SAID ITEMS WHEN REQUIRING APPROVAL BY A BUILDING OFFICIAL ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT.
11. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND, IF THE OWNER WILL NOT BE PROVIDING ARCHITECTURAL OR CONSTRUCTION INSPECTION SERVICES, THE OWNER AND GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP AND FINAL MATERIAL SELECTION OF ALL FINISHES, FIXTURES, HARDWARE, TRIMS, ETC.
12. ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TRUE AND LEVEL WITH NO VISIBLE SEAMS OR IMPERFECTIONS. FUR OUT AS REQUIRED AND CONSTRUCT WALLS AS SHOWN ON DRAWINGS.
13. ALL GLAZED WINDOWS AND DOORS SHALL COMPLY WITH THE ENERGY CODE AND THE LATEST WIND LOAD REQUIREMENTS. FIELD MEASURE AND SUBMIT SHOP DRAWINGS AND CODE COMPLIANCE CUT SHEETS FROM THE MANUFACTURER FOR PERMITTING AND REVIEW (INCLUDING HARDWARE) REFER TO STRUCTURAL ENGINEER DRAWINGS.
14. THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATIONS. LACK OF DETAILS NOT REQUESTED SHALL NOT EXCUSE IMPROPER INSTALLATION.
15. ALL SURFACES TO RECEIVE PAINTING, SHALL BE PROPERLY PREPARED AND EACH COAT SHALL BE ALLOWED TO DRY PRIOR TO APPLICATION OF THE NEXT COAT. THE COLORS, PAINT MANUFACTURER, AND NUMBER OF COATS SHALL BE SPECIFIED BY THE OWNER.
16. THERE SHALL BE NO EXPOSED CONDUIT OR J-BOXES UNLESS ELECTRICAL DRAWINGS SPECIFICALLY CALL OUT FOR THESE ITEMS TO BE SURFACE MOUNTED.
17. WHERE WOOD IS REQUIRED TO BE FIRE-TREATED AND IS IN DIRECT CONTACT WITH MASONRY OR CONCRETE, OR IN USE IN CONJUNCTION W/ ROOF FRAMING, THE WOOD SHALL BE PRESSURE - TREATED.
18. TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH CHAPTERS 553 ANS 633, FLORIDA STATUTES.
19. MIN. 6 MIL VAPOR BARRIER OVER WELL COMPACTED TERMITE TREATED SOIL.
20. ALL WALL THICKNESS SHOWN AS NOMINAL.
21. ALL INTERIOR COMPONENTS DOORS CASEWORK, CABINETRY, MILLWORK, FIXTURES, APPLIANCES AND MATERIAL FINISHES ARE TO BE SELECTED BY OWNER.

DESIGN DATA

WIND LOADS

1. BASIC WIND SPEED - 140 MPH. (@ 3 SEC. GUST.)
2. RISK CATEGORY II
3. WIND EXPOSURE - CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT ±0.18
5. COMPONENT/CLADDING DESIGN WIND PRESSURE +32.7/ -25.6 (FOR DOORS, WINDOWS, & TRANSOMS) U.N.O. (INTERNAL PRESSURE COEFFICIENT +/- 0.18 INCLUDED)

APPLICABLE CODES: INCLUDING ALL REVISIONS

- FLORIDA BUILDING CODE 2023
- FLORIDA BUILDING CODE RESIDENTIAL 2023
- ELECTRICAL CODE , NEC 2020
- FLORIDA BUILDING CODE, MECHANICAL 2023.
- FLORIDA BUILDING CODE, PLUMBING 2023
- FIRE CODE, NFPA 70
- LIFE SAFETY CODE = NFPA 101
- ACCESSIBILITY CODE = FLORIDA BUILDING CODE, BUILDING 2023
- ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2023

METHOD OF DESIGN:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2023 FBC-RESIDENTIAL.

BUILDING OCCUPANCY CLASSIFICATION:

- ☐ GROUP A - ASSEMBLY

☐ GROUP B - BUSINESS

☐ GROUP D - DAY CARE CENTER

☐ GROUP E - EDUCATIONAL

☐ GROUP F - FACTORY INDUSTRIAL
- ☐ GROUP H - HAZARDOUS

☐ GROUP I - INSTITUTIONAL

☐ GROUP M - MERCANTILE

☒ GROUP R - RESIDENTIAL

☐ GROUP S - STORAGE

BUILDING CONSTRUCTION TYPE:

- ☐ TYPE I
- ☐ TYPE IV
- ☐ TYPE II
- ☒ TYPE V
- ☐ TYPE III

1. DESIGN LIVE LOADS (MINIMUM)

- A) FLOORS - 40 PSF
- B) BALCONIES - 40 PSF
- C) DECKS - 40 PSF
- D) STAIRS - 40 PSF
- E) ROOFS - 20 PSF

DRAWING INDEX

CVR COVER SHEET
AS-1 ARCHITECTURAL SITE PLAN

STRUCTURAL

S-1 FOUNDATION PLAN
S-2 SECTIONS AND DETAILS

ARCHITECTURAL

A-1 FLOOR PLAN
A-2 ELEVATIONS: FRONT AND REAR
A-3 ELEVATIONS: LEFT AND RIGHT
D-1 DETAILS
R-1 FRAMING PLAN, NOTES AND DETAILS

ELECTRICAL

E-1 ELECTRICAL PLAN, RISER DIAGRAM AND NOTES

SEALED ATTIC - ICYNENE INSULATION

ENERGY CALCULATIONS BY OTHERS

PRODUCT APPROVAL NUMBERS BY OTHERS (U.N.O.)

DESIGN PROFESSIONAL OF RECORD:
ROLAND ABOUCHACRA, AIA
6336 GREENGATE DR.
ORLANDO, FL 32822
EMAIL: Rolanda@aboouchacra.com
ROLAND ABOUCHACRA, AIA
FLORIDA AR# 93723

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CUSTOM RESIDENCE

421 SE ALFRED MARKHAM ST.
LAKE CITY, FLA. 32025

REVISIONS

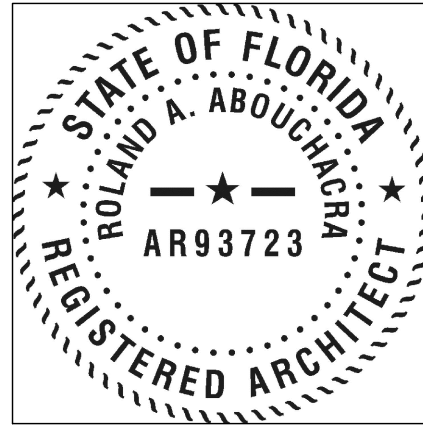
COVER SHEET

DATE
6-14-2024

SHEET NO.

CVR

SEAL



LANDS OF
ROGER LINCOLN ELLZEY
TAX PARCEL NO.
34-4S-17-08971-001
NOT A PART

N 89°25'27"E
404.53(F)

LANDS OF
ROGER L. ELLZEY
TAX PARCEL NO.
34-4S-17-08993-000
NOT A PART

4" C&L NO.
ID

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ORB 1241, PAGE 691

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DESCRIPTION: (AS PER O.R. BOOK 1241, PAGE 691)
COMMENCE AT THE SOUTHEAST CORNER OF THE NE 1/4 OF NW 1/4, SECTION 34,
TOWNSHIP 4 SOUTH, RANGE 17 EAST, AND RUN THENCE NORTH 7°30' EAST,
ALONG THE EAST LINE OF SAID NE 1/4 OF NW 1/4, 24.2 FEET TO THE NORTH LINE
OF STATE ROAD NO. S-133, FOR A POINT OF BEGINNING; THENCE SOUTH
88°58' WEST ALONG SAID NORTH LINE OF STATE ROAD NO. S-133, 330.0 FEET;
THENCE NORTH 7°30' EAST, PARALLEL TO SAID EAST LINE OF NE 1/4 OF NW
1/4, 660.0 FEET; THENCE NORTH 88°58' EAST, PARALLEL TO STATE ROAD NO.
S-133, 330.0 FEET; THENCE SOUTH 7°30' WEST, ALONG SAID EAST LINE OF NE
1/4 OF NW 1/4 660.0 FEET TO THE POINT OF BEGINNING.

AND ALSO,

DESCRIPTION: (AS PER ORB 1240, PAGE 1100)
A PART OF THE N.W. 1/4 OF SECTION 34, TOWNSHIP 4 SOUTH, RANGE 17
EAST AND ALSO BEING A PART OF LANDS DESCRIBED IN OFFICIAL RECORDS
BOOK 768, PAGE 862 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY,
FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE
AT THE SOUTHEAST CORNER OF THE N.E. 1/4 OF SAID N.W. 1/4 AND RUN
N.7°30'00"E, ALONG THE EAST LINE THEREOF, 24.20 FEET TO A
POINT ON THE NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 133B (AN 80
FOOT PUBLIC RIGHT-OF-WAY); THENCE S.88°58'00"W, ALONG SAID
NORTH RIGHT-OF-WAY LINE, 330.00 FEET FOR A POINT OF BEGINNING;
THENCE CONTINUE S.88°58'00"W, ALONG SAID NORTH RIGHT-OF-WAY
LINE, 75.00 FEET; THENCE N.7°30'00"E, 812.53 FEET TO A POINT
ON THE SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK
318, PAGE 88 OF SAID COLUMBIA COUNTY, FLORIDA; THENCE N.89°25'-
21"E, ALONG THE SOUTH LINE THEREOF, 404.53 FEET TO THE SOUTHEAST
CORNER OF LANDS DESCRIBED IN SAID O.R. BOOK 318, PAGE 88; SAID
POINT ALSO BEING THE NORTHEAST CORNER OF LANDS DESCRIBED IN SAID
O.R. BOOK 768, PAGE 862; THENCE S.7°30'00"W, 149.72 FEET TO THE
NORTHEAST CORNER OF LANDS DESCRIBED IN O.R. BOOK 756, PAGE 1461 OF
SAID COLUMBIA COUNTY, FLORIDA; THENCE S.88°58'00"W, ALONG THE
NORTH LINE THEREOF, 330.00 FEET TO THE NORTHWEST CORNER OF LANDS
DESCRIBED IN SAID O.R. BOOK 756, PAGE 1461; THENCE S.7°30'00"W,
ALONG THE WEST LINE THEREOF, 660.00 FEET TO THE POINT OF BEGIN-

COLUMBIA COUNTY, FLORIDA.
CONTAINING 2.50 ACRES, MORE OR LESS.

N 07°30'00"E
812.53(F)

N 07°30'E, 660.0(F)
S 07°30'00"W, 660.23(F)
S 07°28'17"W, 660.23(F)
S 07°28'17"E, 660.23(F)
S 07°30'00"E, 660.00(F)

LANDS OF
PEARL J. ELLZEY
TAX PARCEL NO.
34-4S-17-09001-000
NOT A PART

LANDS OF
STEVEN D. BEHRENEWALD
TAX PARCEL NO.
34-4S-17-08966-000
NOT A PART

CONTAINING
2.50 ACRES ±

4" C&L NO.
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SITE PLAN
SCALE: 1"=40'-0"

CUSTOM RESIDENCE

421 SE ALFRED MARKHAM ST.
LAKE CITY, FLA. 32025

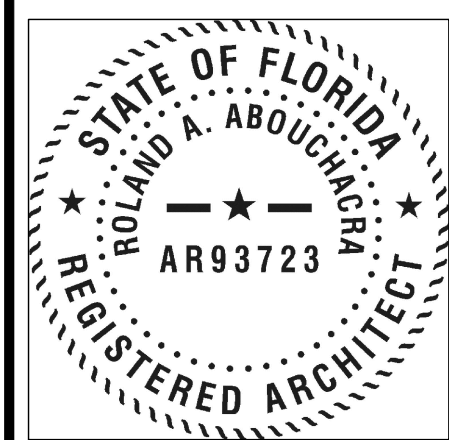
REVISIONS

ARCHITECTURAL
SITE PLAN
1"=40'

DATE
6-14-2024

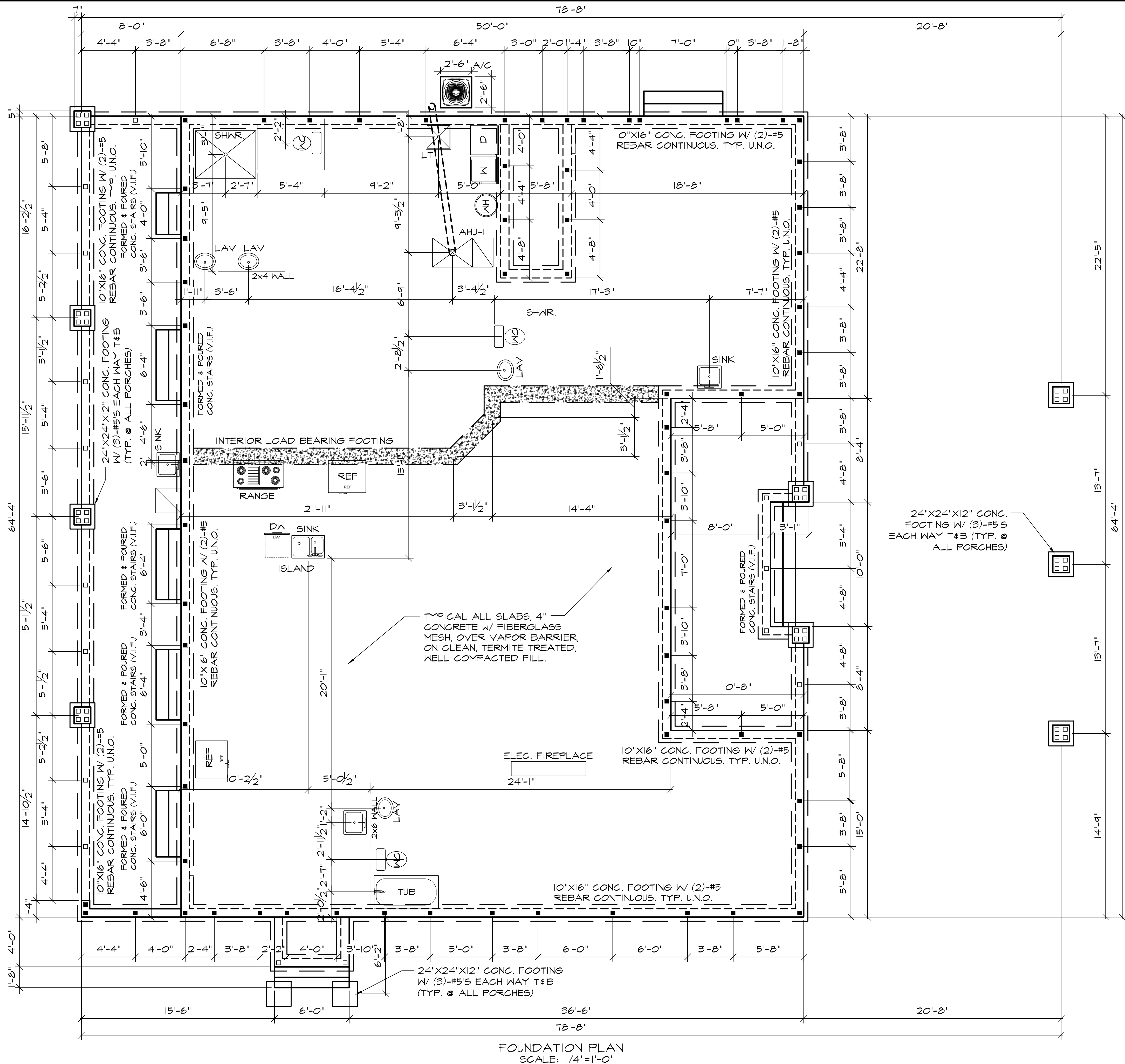
SHEET NO.
AS-1

SEAL



DESIGN PROFESSIONAL OF RECORD:
ROLAND ABOUCHACRA, AIA
6336 GREENGATE DR.
ORLANDO, FL 32822
EMAIL: rolandabouchacra@gmail.com
ROLAND ABOUCHACRA, AIA
FLORIDA AR# 93723

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THOSE DRAWINGS AND SPECIFICATIONS
SHALL CONSTITUTE PRIMA FACIE
EVIDENCE OF THE ACCEPTANCE OF
THESE RESTRICTIONS.



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

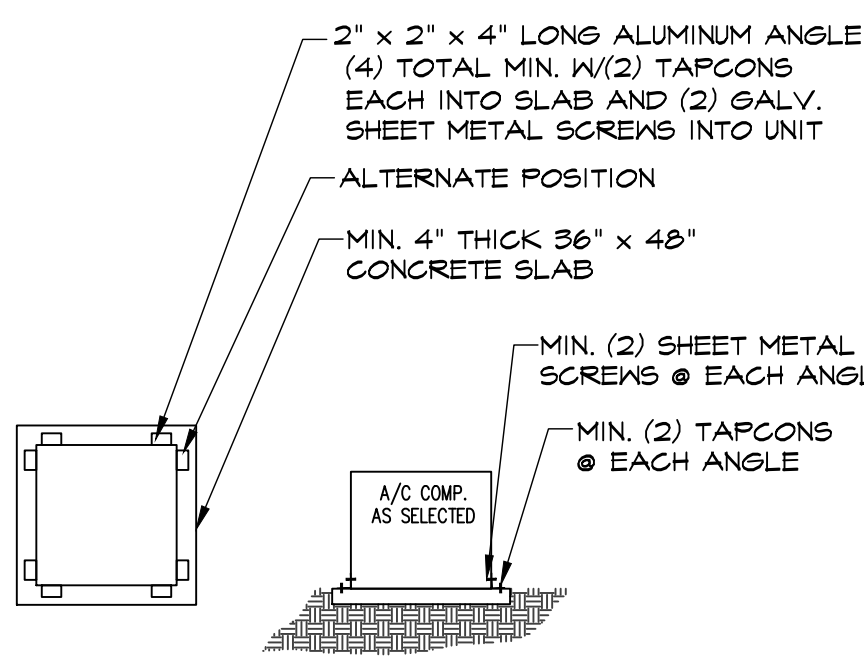
GENERAL FOUNDATION NOTES:

1. ALL FOOTINGS ARE DESIGNED BASED UPON THE MINIMUM SOIL BEARING CAPACITY BEING 2500 P.S.F. ANY LESSER AMOUNT SHALL BE THE OWNERS RESPONSIBILITY. SOIL TEST ARE RECOMMENDED TO BE OBTAINED BY OWNER OR CONTRACTOR BEFORE STARTING CONSTRUCTION. IF THE RESULT OF THE SOIL TEST SHOW THE SOIL BEARING TO BE LESS THAN 2500 P.S.F/ THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
2. ALL SOIL UNDER SLAB AND FOOTINGS SHALL BE TREATED FOR RADON.
3. ALL CONC. SLAB SHALL HAVE A COMPRESSIVE STRAIGHT OF NOT LESS THEN 2500 P.S.I. @ 28 DAYS. REINFORCE FOOTING WITH #5 BARS AS INDICATED. ALL BARS SHALL BE DEFORMED, AND SHALL CONFORM TO ASST. DESIGNATION ASOS, AND BE CLEAN AND FREE FROM RUST AND SCALE. SPLICES SHALL OVERLAP AT LEAST 25".
4. CONCRETE FOOTING SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THEN 2500 P.O.E. @ 28 DAYS. REINFORCE FOOTING WITH #5 BARS AS INDICATED. ALL BARS SHALL BE DEFORMED, AND SHALL CONFORM TO ASST. DESIGNATION ASOS, AND BE CLEAN AND FREE FROM RUST AND SCALE. SPLICES SHALL OVERLAP AT LEAST 25".
5. FOR CONCRETE BLOCK WALLS PROVIDE CONCRETE FILLED CELLS WITH #5 BAR VERTICALLY CONTINUOUS FROM FOOTING TO TIE BEAM AT ALL CORNERS AND WHERE OTHERWISE NOTED AS PER FOUNDATION PLAN.
6. CONCRETE (GROUT) FOR LINTELS AND FILLED CELLS SHALL HAVE A MIN. COMPRESSIVE STRENGTH 3000 PSI AT 28 DAYS.
7. SEE FOUNDATION PLAN FOR FILLED CELL LOCATIONS.
8. MORTAR SHALL BE TYPE S. REINFORCING STEEL SHALL BE MIN. OF GRADE 40.
9. ALL EXTERIOR WALLS TO BE CMU UNO.

STRUCTURAL NOTES:

MAX. FILLED CELLS SPACING:

- DENOTES #5~ ROD IN FILLED CELL FTG. UP TO LINTEL BLOCK ON TOP OF WALL.
- § USE 6'-0" HORIZ. SPACING - 9'-4" CEILING MAX.



DETAIL

3/8"=1'-0"

NOTE: 1" O x 2" LONG MIN. DYNABOLTS MAY BE USED TO ANCHOR UNIT DIRECTLY TO CONCRETE SLAB.

MAX FOOTING LOADS		
"A"	24'X24\" W/ (3) #5 EACH WAY	8000 LBS
"B"	28'X28\" W/ (3) #5 EACH WAY	10888 LBS
"C"	30'X30\" W/ (3) #5 EACH WAY	12500 LBS
"D"	36'X36\" W/ (4) #5 EACH WAY	18000 LBS
"E"	42'X42\" W/ (4) #5 EACH WAY	24500 LBS
"F"	48'X48\" W/ (5) #5 EACH WAY	32000 LBS
"G"	60'X60\" W/ (6) #5 EACH WAY	50000 LBS
"H"	72'X72\" W/ (7) #5 EACH WAY	72000 LBS

COLUMN PAD DETAIL (SIZES T.B.D.)
SCALE: N.T.S.

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ROLAND ABOUCHACRA, AIA
FLORIDA AR# 93723

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421 SE ALFRED MARKHAM ST.
LAKE CITY, FLA. 32025

REVISIONS

FOUNDATION PLAN 1/4"=1'-0"

DATE
6-14-2024

SHEET NO.
S-1

SEAL

STATE OF FLORIDA
ROLAND A. ABOUCHACRA
REGISTERED ARCHITECT
AR93723

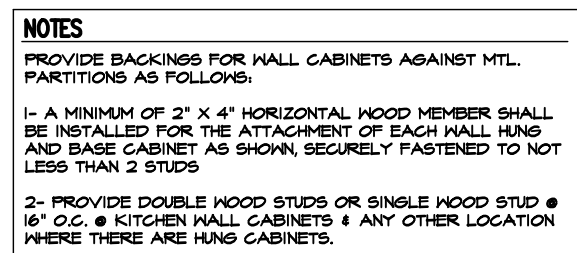


Diagram illustrating the connection between the roof truss, fascia, soffit, and block wall.

Labels and Callouts:

- ROOF TRUSS
- 2" X 2" VERTICAL BLOCKING ATTACHED TO FACE OF EACH TRUSS W/ (2) 12D NAILS AND EXTENDS DOWN TO SOFFIT LOCATION
- 4" TO 8" FASCIA - INSTALL BEHIND EAVE DROP
- SECURE SOFFIT TO BOTTOM OF FASCIA W/ 7/8" STAPLE - SECURE FASCIA W/ (1) 3/4" TRIM NAIL 16" O.C.
- 2" X 2" CONTINUOUS BATTEN ATTACHED TO VERTICAL 2" X 2" BLOCKING WITH (1) 12D NAIL
- SEE ELEVATION
- SECURE PANEL TO 2" X 2" BLOCKING W/ 7/8" STAPLE OR #8X1" SCREWS 8" O.C.
- INSTALL CONTINUOUS F-CHANNEL TO FACE OF BLOCK W/ CONTINUOUS 1" X 2" WOOD BLOCKING W/ 1-5/8" MASONRY FASTENERS 12" O.C.
- SOFFIT PANEL
- BLOCK WALL

29 GA. METAL ROOF ON 30# ROOFING FELT

SIMPSON "META20" TRUSS STRAP

7/16" C.D.X. PLYWOOD OR 15/32" OSB (2-M-W-RATING) W/ H CLIPS OVER PRE-ENGINEERING WOOD TRUSSES @ 24" O.C.

ALUMINUM DRIP EDGE

PRE-ENGINEERED TRUSS

SEE ELEVATION

CEILING SHALL BE 5/8" DRYWALL OR 1/2" CEILING GRADE DRYWALL W/ INSULATION - **R-20 ICYNENE INSULATION IN ATTIC**

NOTE: LINTELS TO BE PRE-CAST PER "LINTEL LOAD CHART"

NOTE: INTERIOR WALL FINISH SHALL BE 1/2" DRYWALL OVER INSULATION BOARD & 1"x2" P.T. FURRING STRIPS @ 16" O.C.

8" MASONRY WALL W/ #5 REBAR IN FILLED CELLS

NOTE: IF DOWN CELLS ARE SPACED GREATER THAN 8'-0" O.C. (TYP), DBL COURSE KNOCKOUT BEAM IS REQUIRED

4" CONCRETE SLAB IS REINFORCED W/ 6X6-10/10 W.W.F. OR FIBERMESH OVER A 6 MIL. VAPOR BARRIER ON TERMITES POISONED & COMPACTED SOIL.

SINGLE COURSE OF KNOCK-OUT BLOCK POURED & REINFORCED W/ (1) #5 REBAR CONTINUOUS; PLACE (1) #5 L-BAR W/ 24" LEGS AT ALL CORNERS

PAINTED PARGE COAT

#5 REBAR IN FILLED CELLS - LAP 25" MIN.

APPROX. GRADE

12" (MIN)

STEMWALL NOTE: STEMWALL HEIGHT TO BE DETERMINED PER THE OWNER & CONTRACTOR TO FIT THE SITE - MAX 4 EXPOSED COURSES IN HEIGHT - IF MORE THAN 4 COURSES ARE REQUIRED, CONTACT ARCHITECT PRIOR TO FOUNDATION POUR.

SEE FOUNDATION PLAN FOR FOOTING SIZE

6" 12" 16"

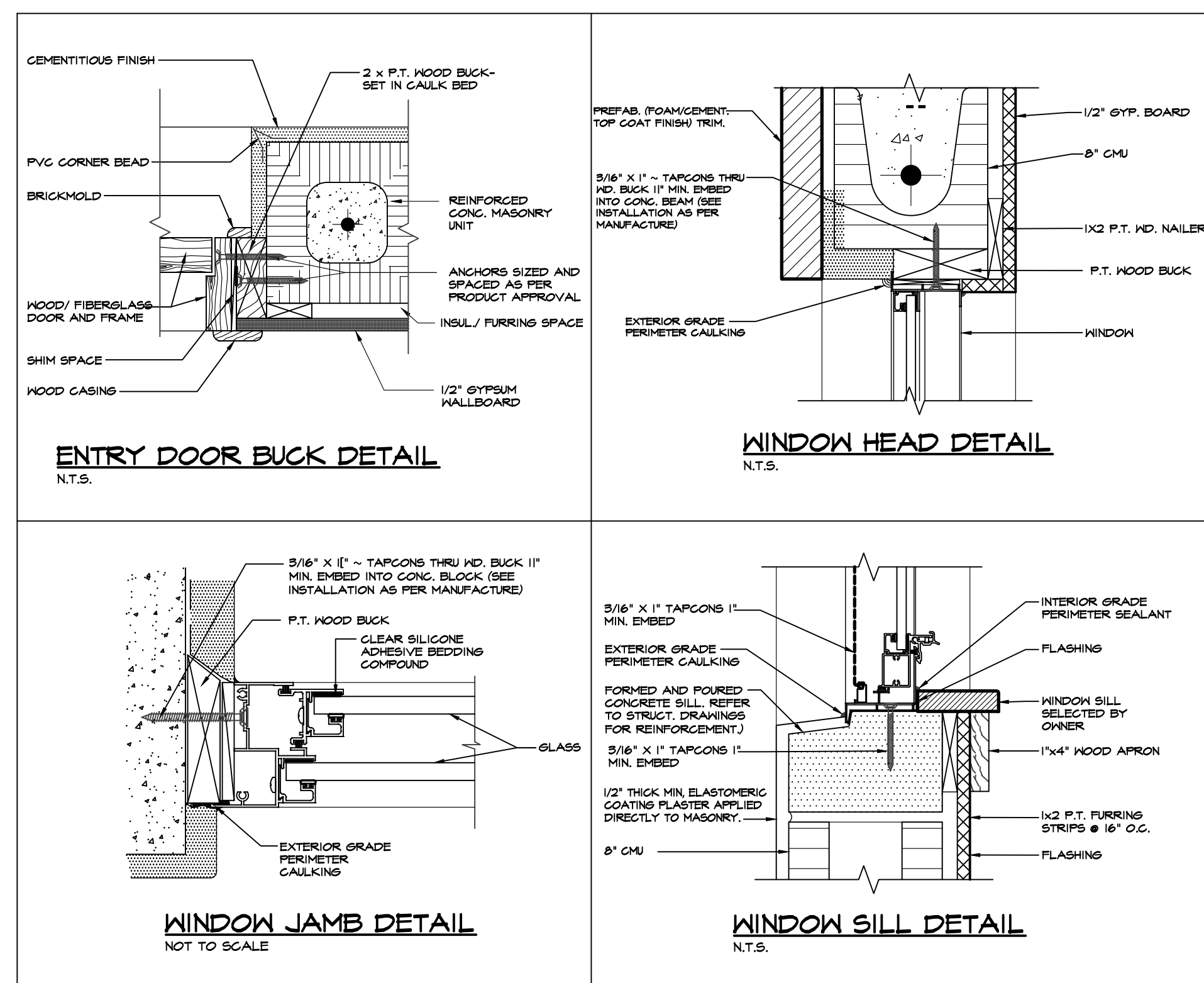
USE A 18" DEEP X 16" WIDE THICKENED SLAB EDGE POURED MONOLITHIC WITH FLOOR SLAB & REINFORCED W/ (3)-#5 REBAR X CONTINUOUS

MONOLITHIC FOOTING OPTION

1
S-2

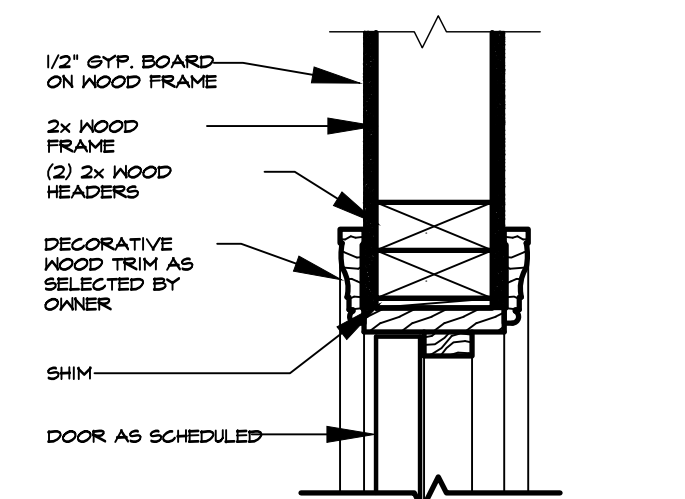
TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"

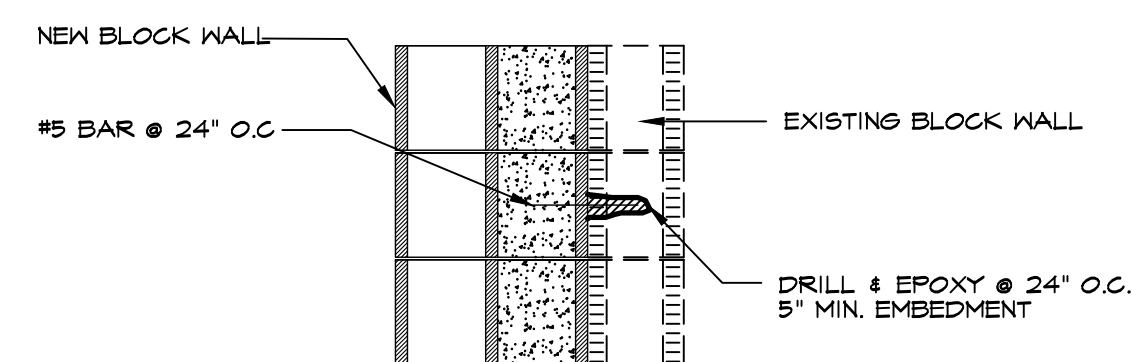


WINDOW JAMB DETAIL
NOT TO SCALE

WINDOW SILL DETAIL
NTS



PLAN VIEW DETAIL



SECTION DETAIL

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REVISIONS

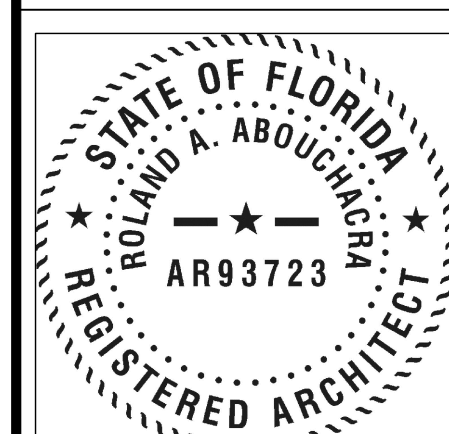
SECTIONS &
DETAILS
SCALE AS NOTED

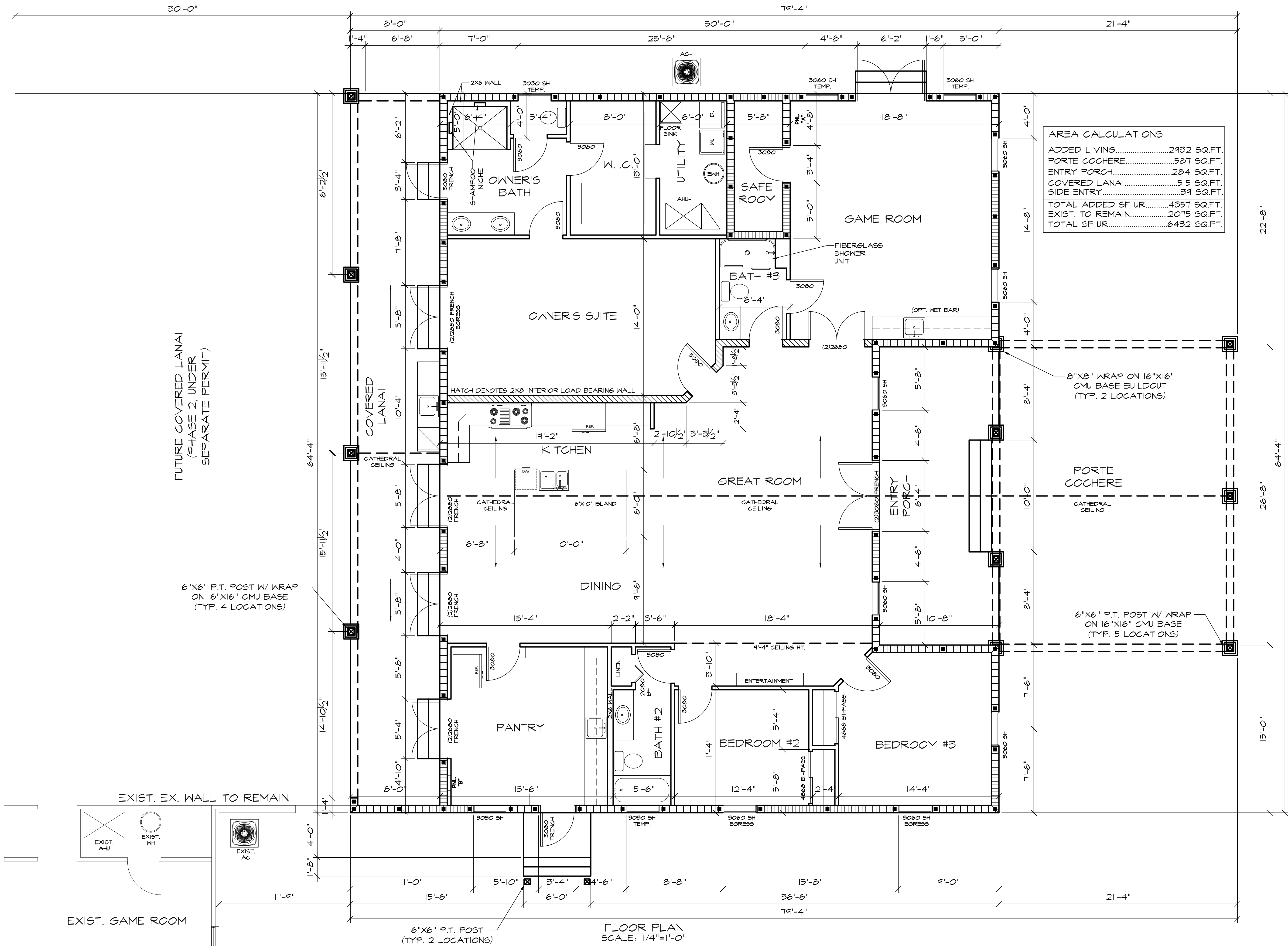
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FLOOR PLAN
1/4"=1'-0"

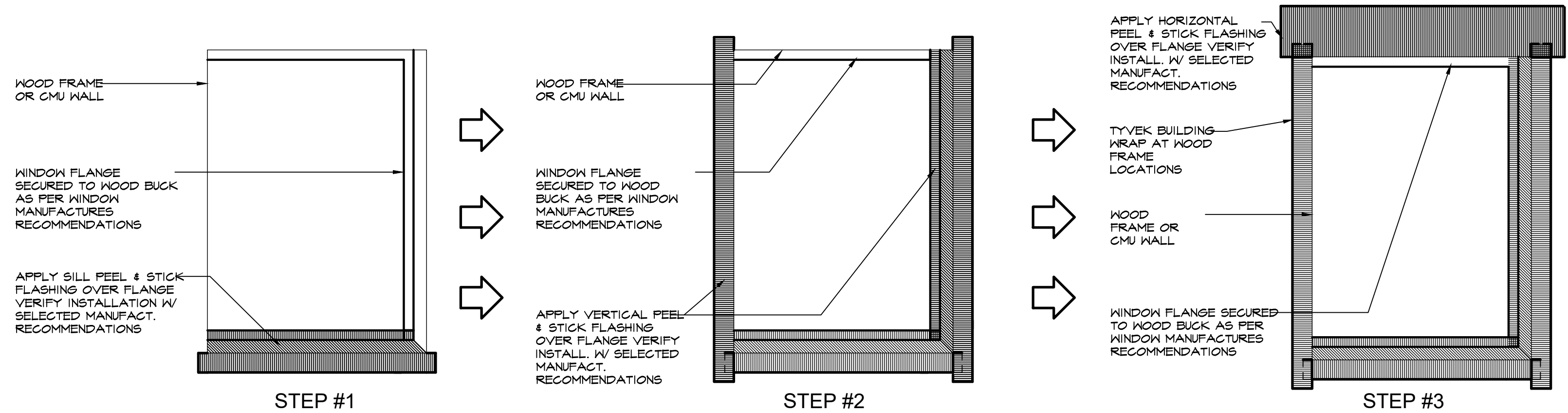
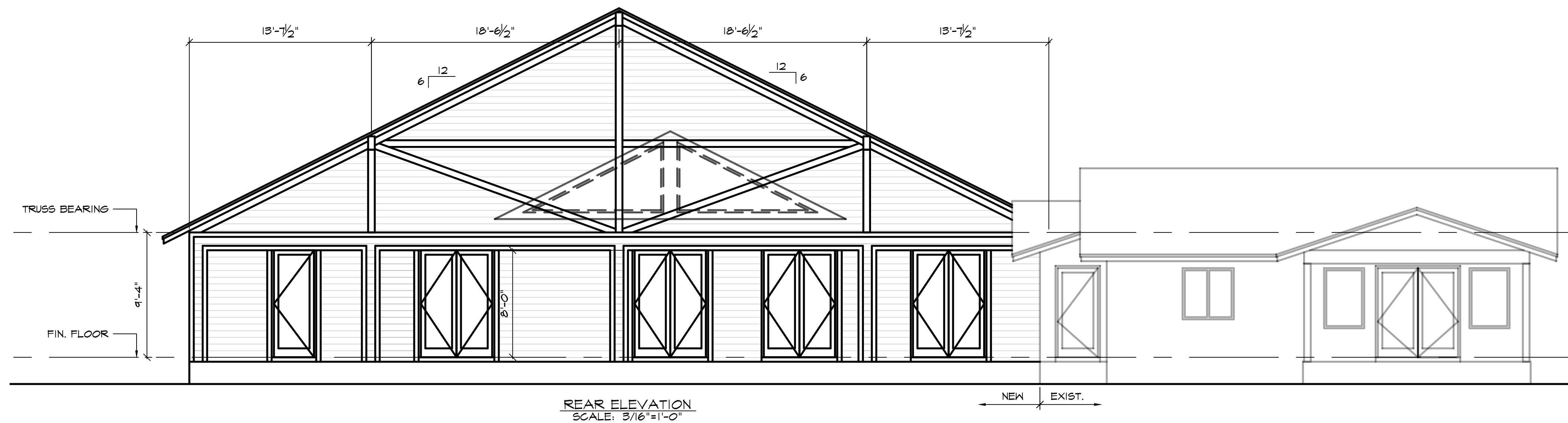
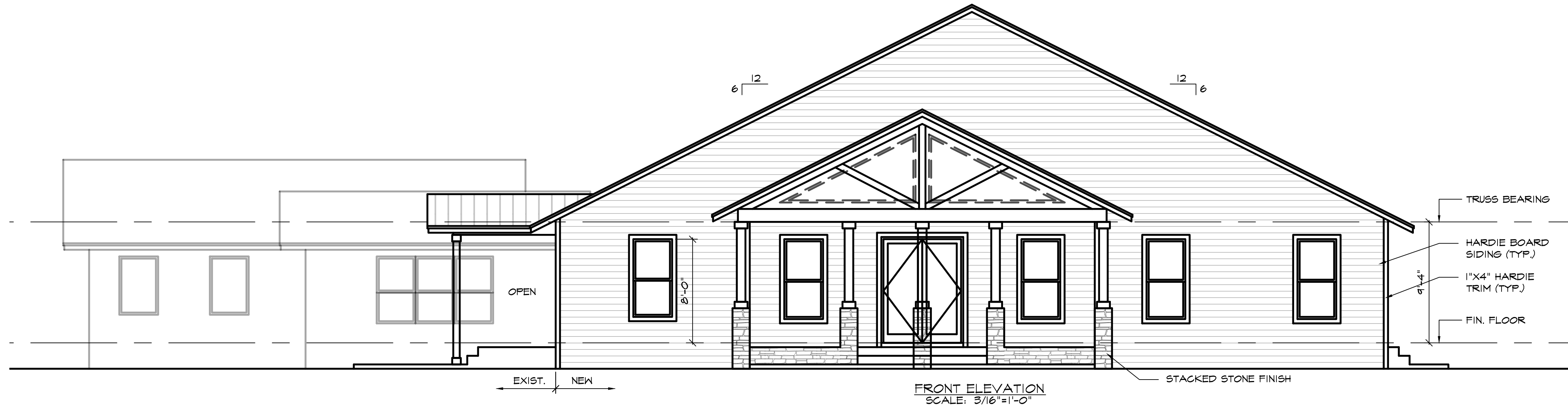
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AR93723
REGISTERED ARCHITECT



NOTE:

CONTRACTOR TO FLASH AND SEAL ALL WINDOW AND DOOR OPENINGS PER THE MANUFACTURER'S RECOMMENDATION AND SHALL PROVIDE A COMPLETE WATER TIGHT SEAL.

FLASHING NOTES:

PROVIDE CORROSION-RESISTIVE FLASHING IN THE EXTERIOR WALL ENVELOPE TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. AT THE TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING CONTINUOUS LAP OF NOT LESS THAN 1/8 INCH OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.

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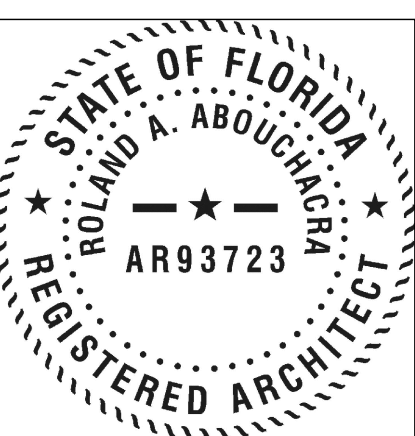
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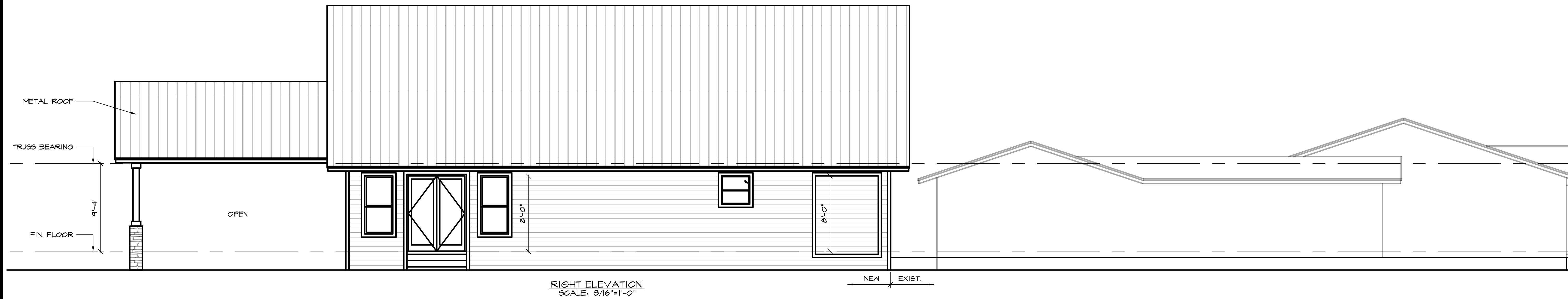
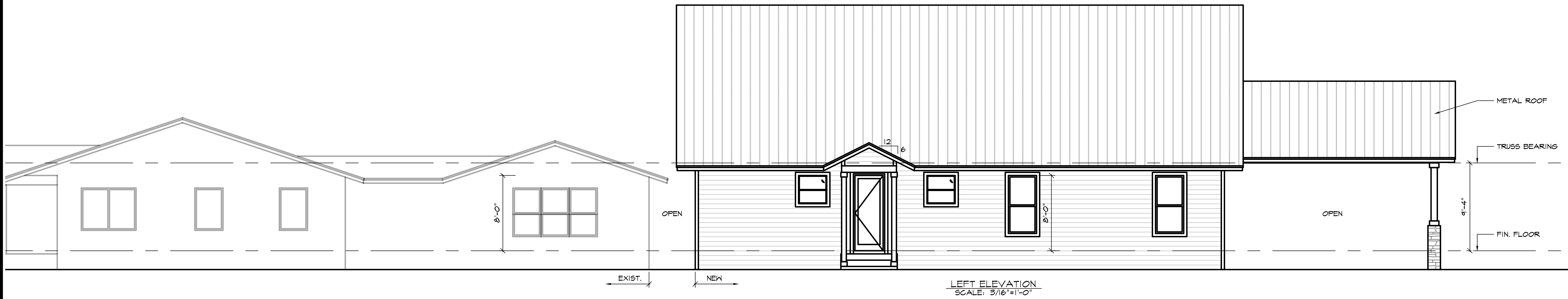
FRONT & REAR
ELEVATIONS
3/16"=1'-0"

DATE 6-14-2024

SHEET NO.
A-2

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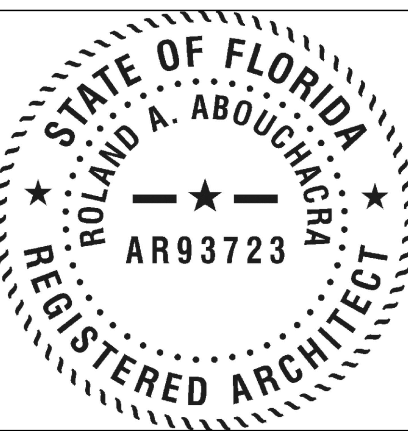
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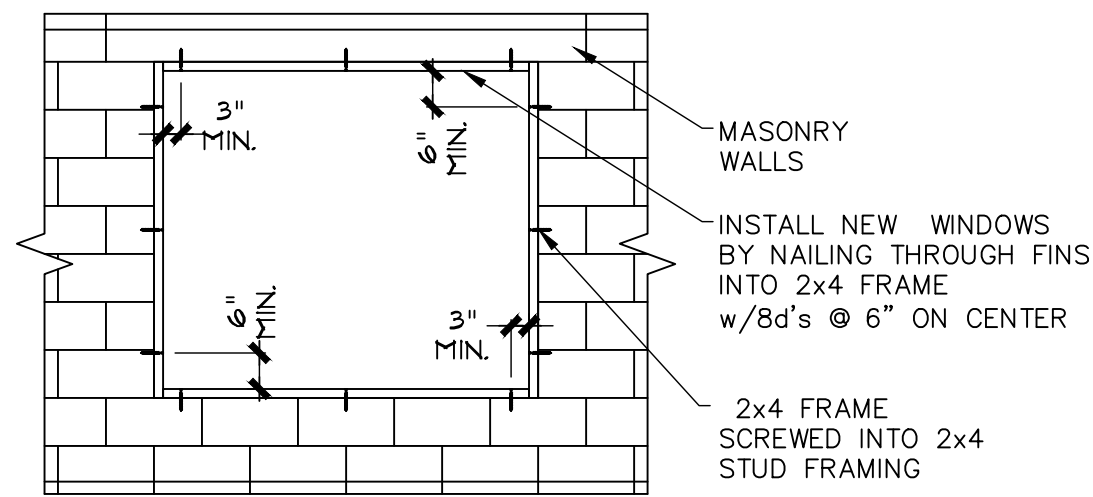
LEFT & RIGHT
ELEVATIONS
3/16"=1'-0"

DATE
6-14-2024

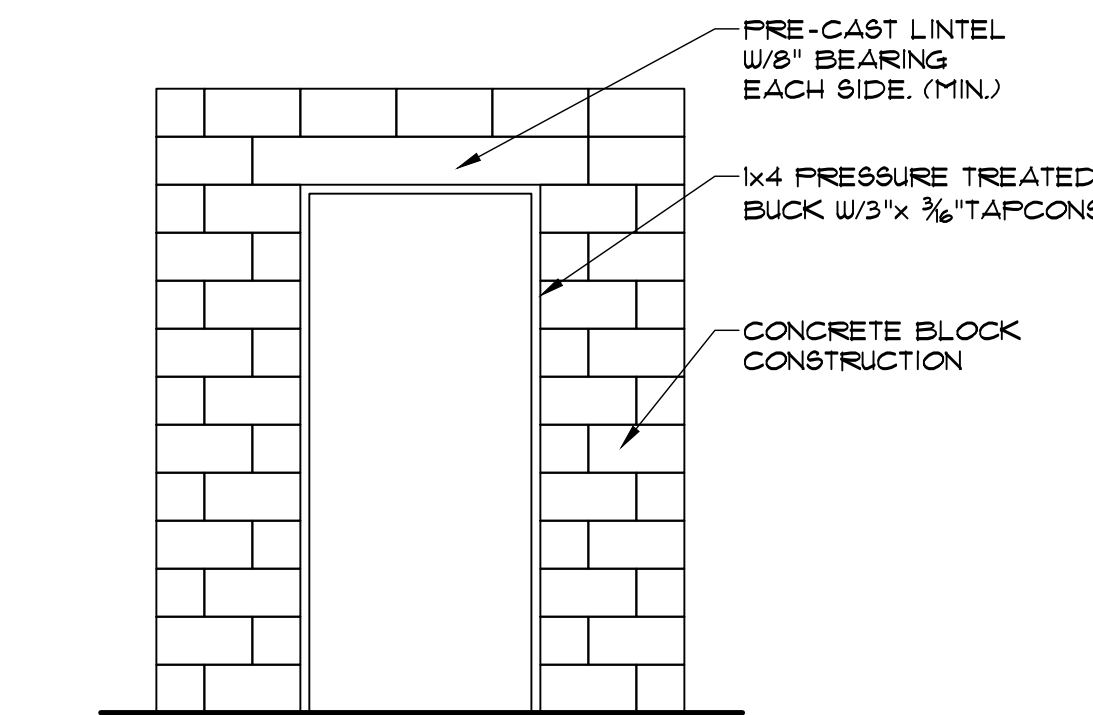
SHEET NO.
A-3

SEAL



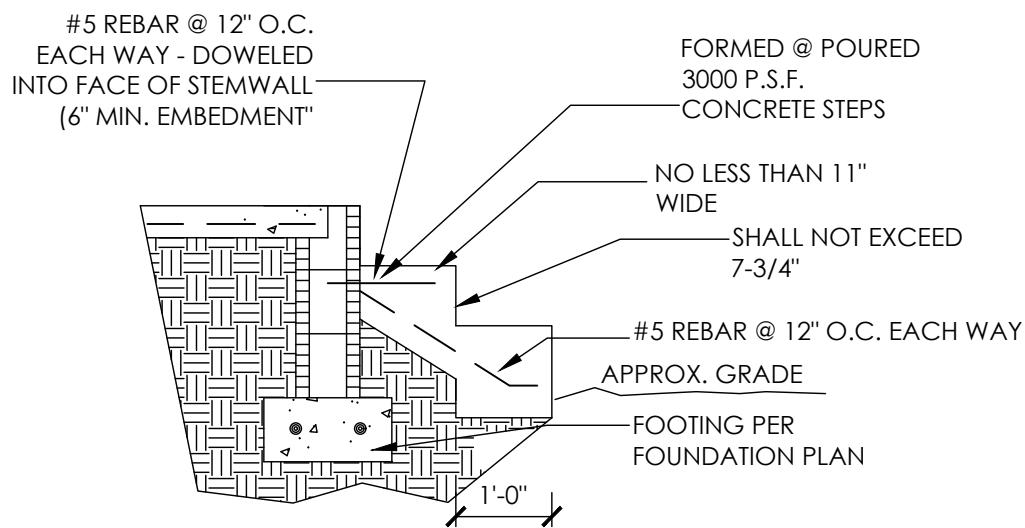


WINDOW BUCK DET.
NOT TO SCALE



NOTE:
1.) (6) 3"x 3/8" TAPCON SCREWS @ EACH SIDE AND (2) @ TOP.
2.) WHERE OPEN IS 54" WIDE (4) TAPCON SCREWS @ TOP
3.) 6'-8" DOORS VERTICAL SPACING @ 14" O.C.
4.) 8'-0" DOORS VERTICAL SPACING @ 11" O.C.

DOOR JAMB DETAIL
NOT TO SCALE



TYP. CONCRETE STAIR RISER
SCALE: 1/2" = 1'-0"

TREADS & RISERS:

THE HEIGHT OF RISERS SHALL NOT EXCEED 7 3/4 INCHES, AND TREADS SHALL BE NO LESS THAN 11 INCHES WIDE.

HANDRAILS:

STAIRWAYS HAVING FOUR OR MORE RISERS ABOVE A FLOOR OR FINISHED GROUND LEVEL, SHALL BE EQUIPPED WITH HANDRAILS LOCATED NOT LESS THAN 34 INCHES NOR MORE THAN 38 INCHES ABOVE THE LEADING EDGE OF A TREAD.

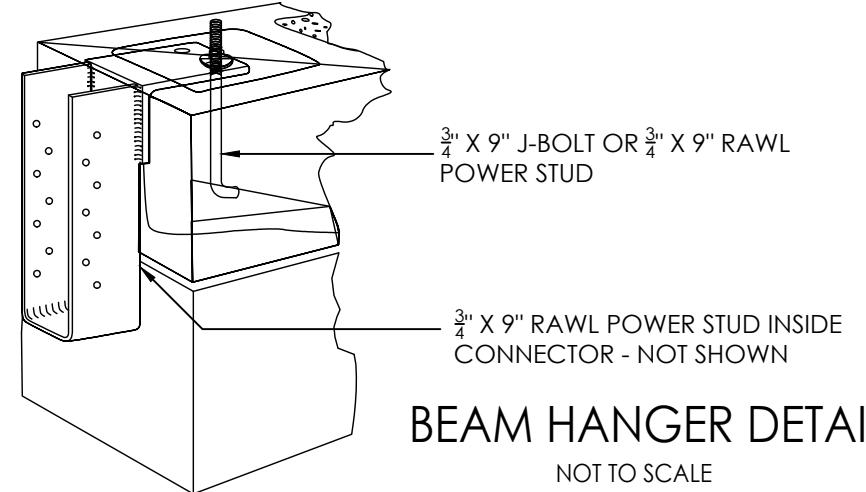
GUARDRAILS:

ALL UNENCLOSED FLOOR & ROOF OPENINGS, OPEN & GLAZED SIDES OF LANDINGS, STAIRS, RAMPS, BALCONIES AND PORCHES WHICH ARE MORE THAN 30 INCHES ABOVE FINISHED GROUND LEVEL OR A FLOOR BELOW SHALL BE PROTECTED BY A GUARDRAIL.

OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4-INCH DIAMETER SPHERE CAN NOT PASS THROUGH ANY OPENING. A BOTTOM RAIL OR CURB SHALL BE PROVIDED THAT WILL REJECT THE PASSAGE OF 2-INCH DIAMETER SPHERE.

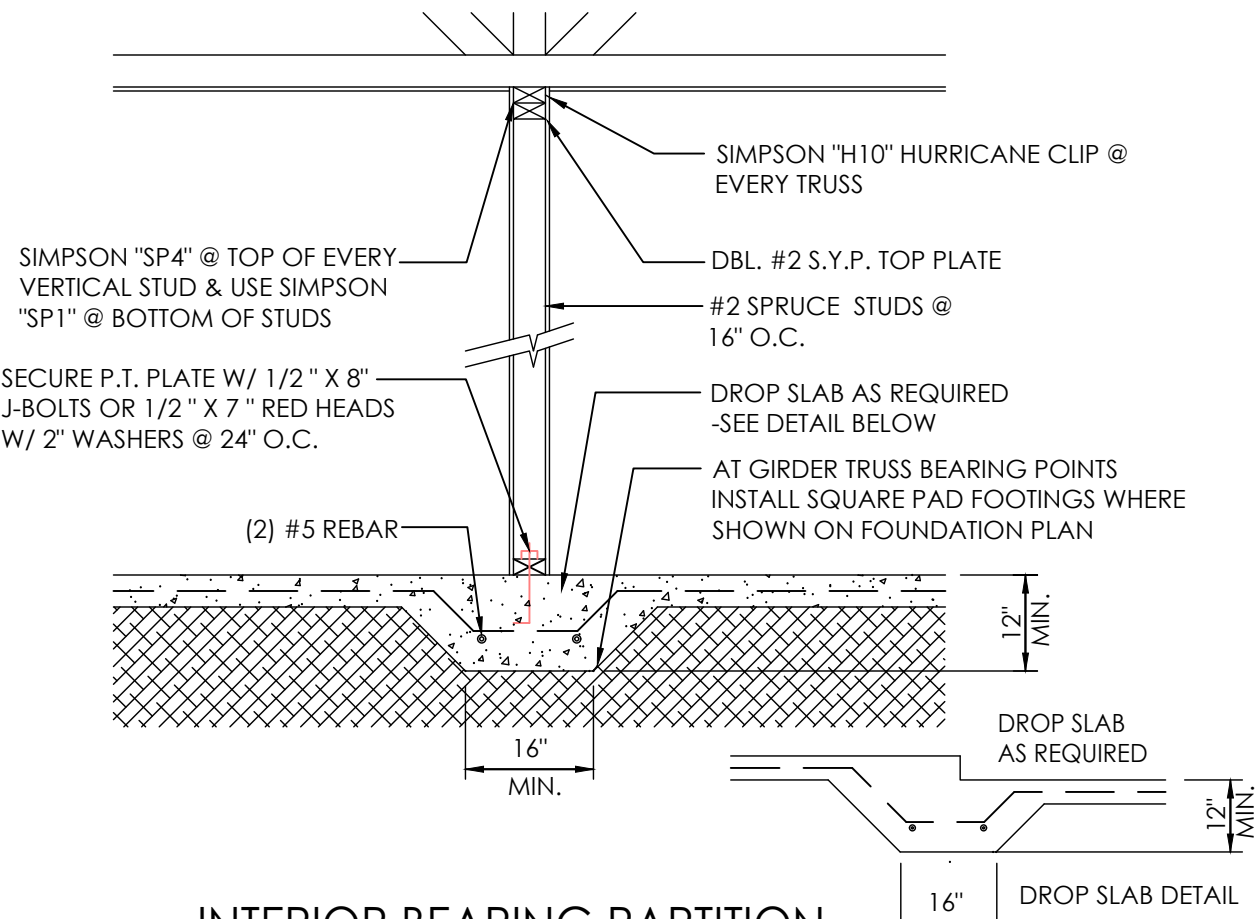
GUARDRAILS FOR DWELLINGS, WITHIN INDIVIDUAL DWELLING UNITS OR GUEST ROOMS, AND IN RESIDENTIAL CARE/ASSISTED LIVING OCCUPANCIES SHALL BE A MINIMUM OF 36 INCHES HIGH.

PRODUCT CODE	DIMENSIONS		DESIGN LOADS (LBS.)			UPLIFT
	H	W	NORMAL	MAX.		
SIMPSON® MBHA3.56/11.25"	11 1/4"	3 5/8"	5330	5330	3145	

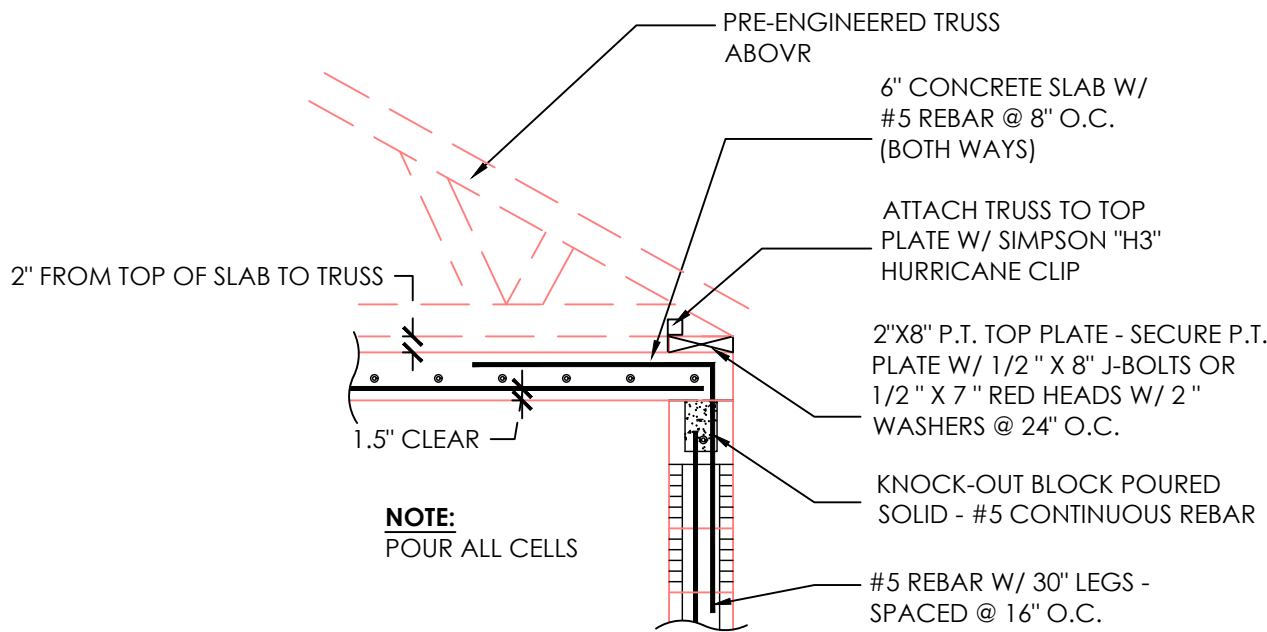


BEAM HANGER DETAIL
NOT TO SCALE

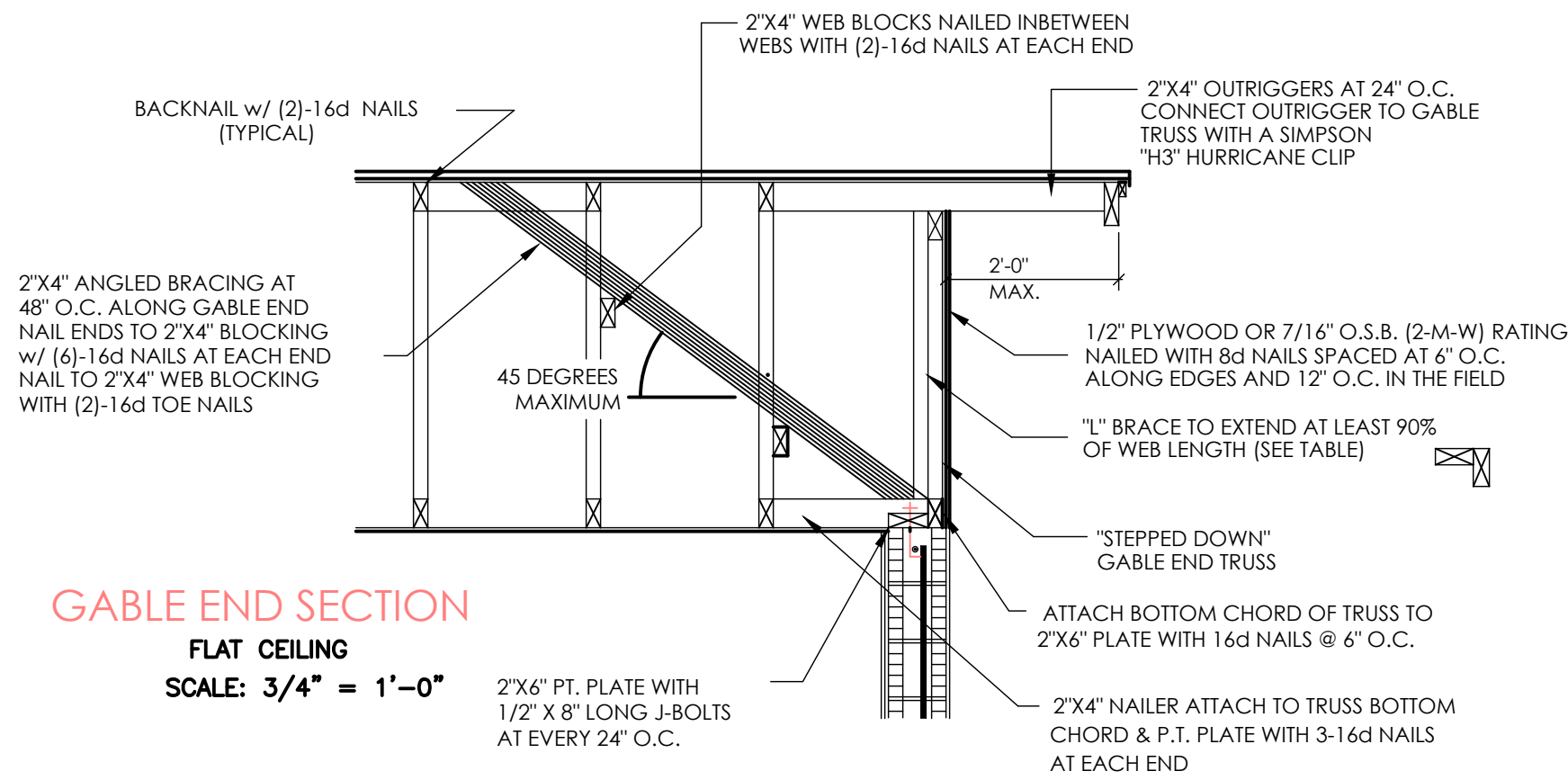
GIRDER TRUSS ANCHORING:
AT ROOF, USE SIMPSON® HTS20 TWIST STRAP FOR UPLIFTS OF 1,450# & LESS USE HTS20 STRAPS AT UPLIFTS FROM 1,451# UP TO 2,900# & AT UPLIFTS FROM 2,901# UP TO 4,100# USE (20 SIMPSON® MSTA36 STRAPS @ CONCRETE SLAB, ANCHOR POST W/ SIMPSON® LT1208 TENSION TIE FOR UPLIFTS OF 1,750# & LESS, USE SIMPSON® HT4" TENSION TIE @ UPLIFTS FROM 1,751# UP TO 3,480# & AT UPLIFTS FROM 3,481# UP TO 5,250 USE SIMPSON® HTS TENSION TIE. INSTALL A SUPPORT POST UNDER GIRDER PER POST SUPPORT TABLE



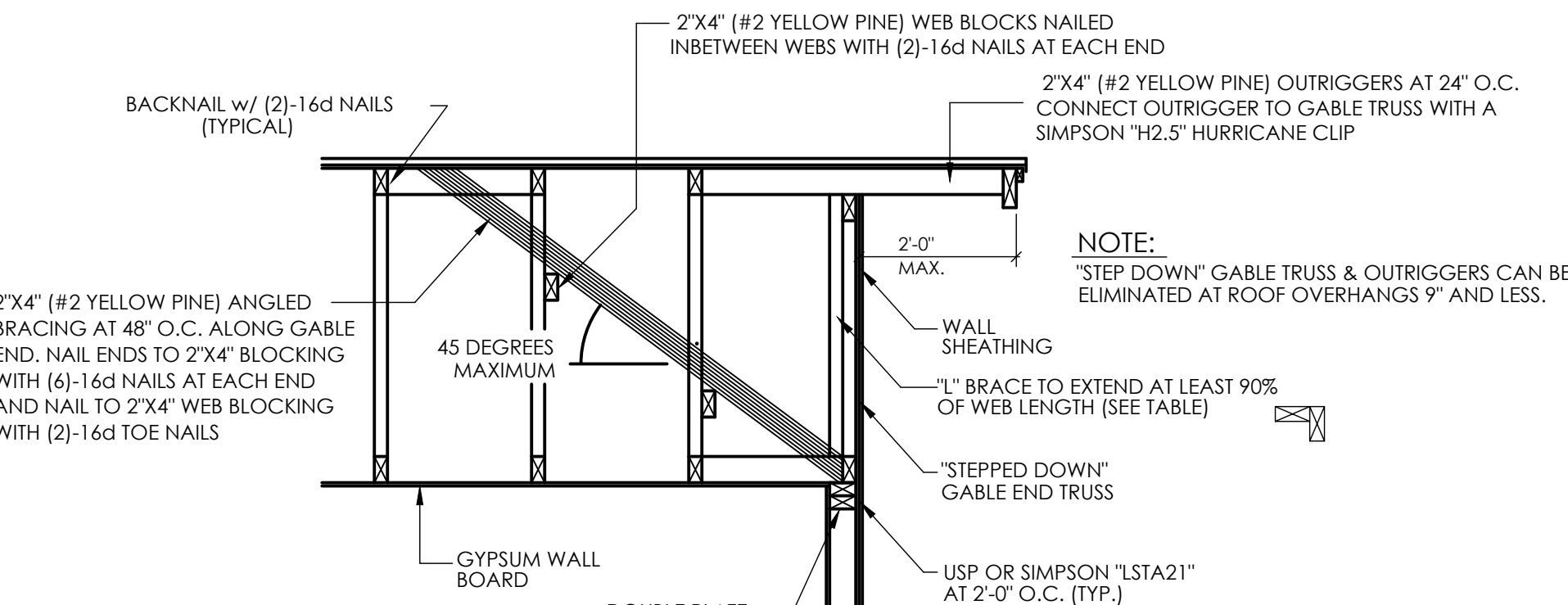
INTERIOR BEARING PARTITION
SCALE: 1/2" = 1'-0"



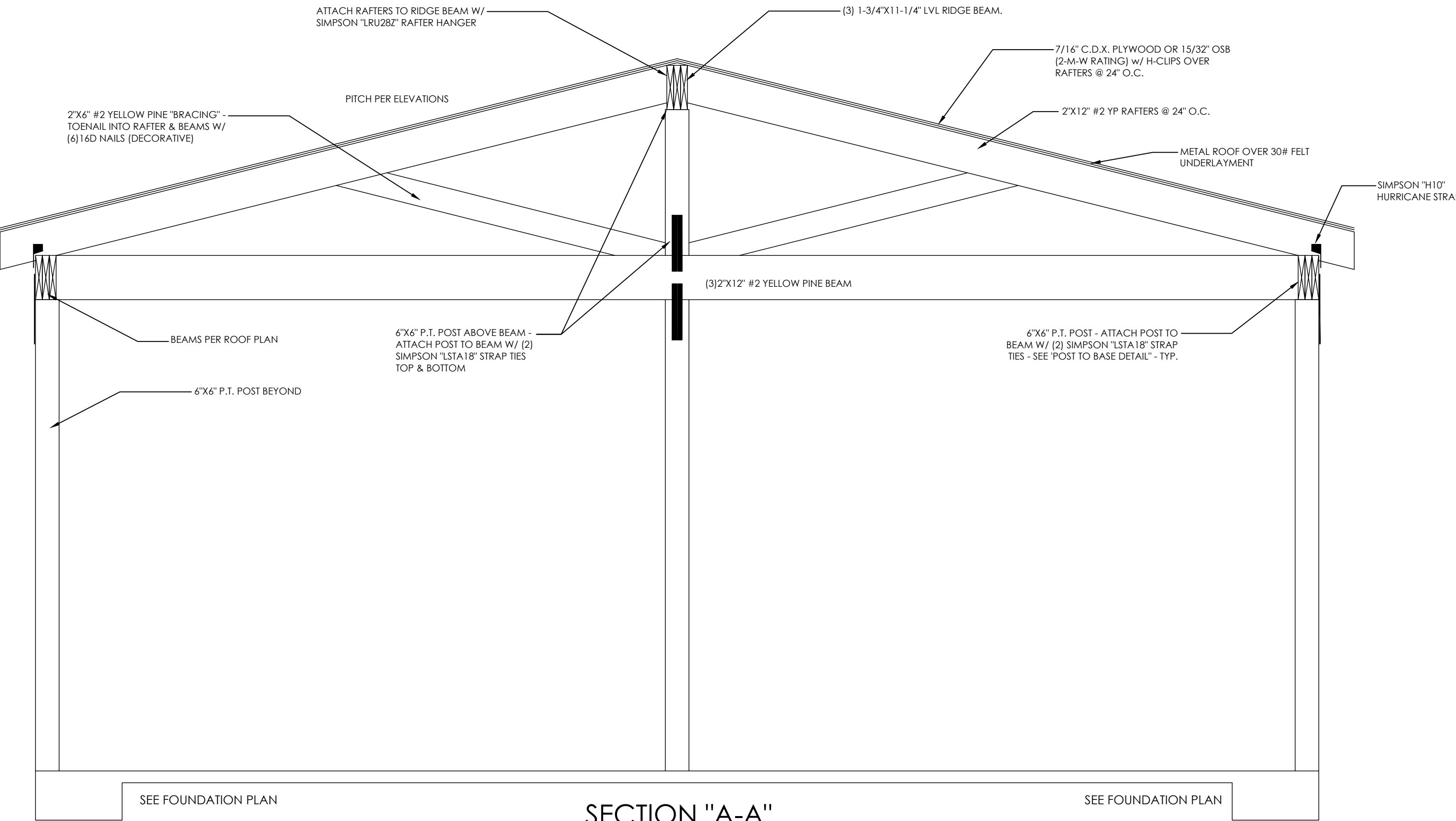
SAFE ROOM WALL DETAIL
SCALE: 1/2" = 1'-0"



GABLE END SECTION
FLAT CEILING
SCALE: 3/4" = 1'-0"



GABLE END DETAIL
SCALE: 1/2" = 1'-0"
(FLAT CLG.)



SECTION "A-A"
SCALE: NONE

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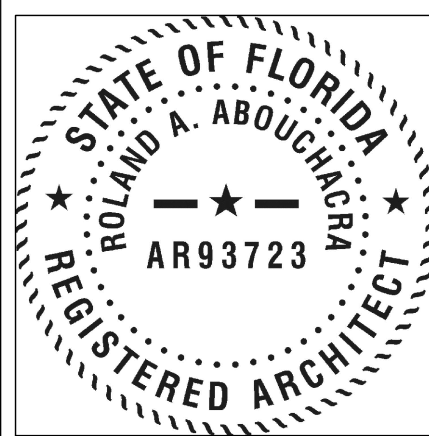
REVISIONS

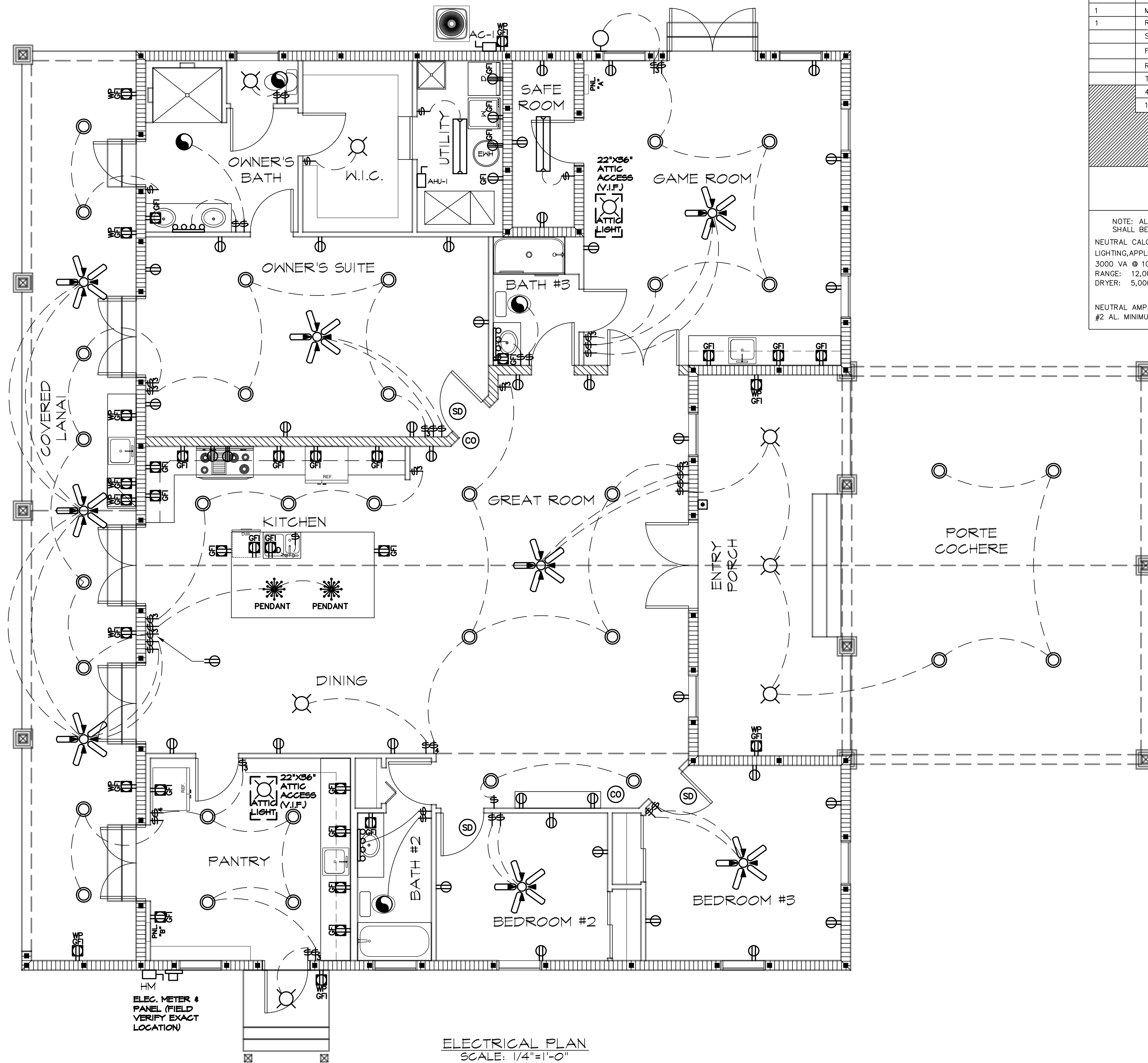
DETAILS
SCALE AS NOTED

DATE
6-14-2024

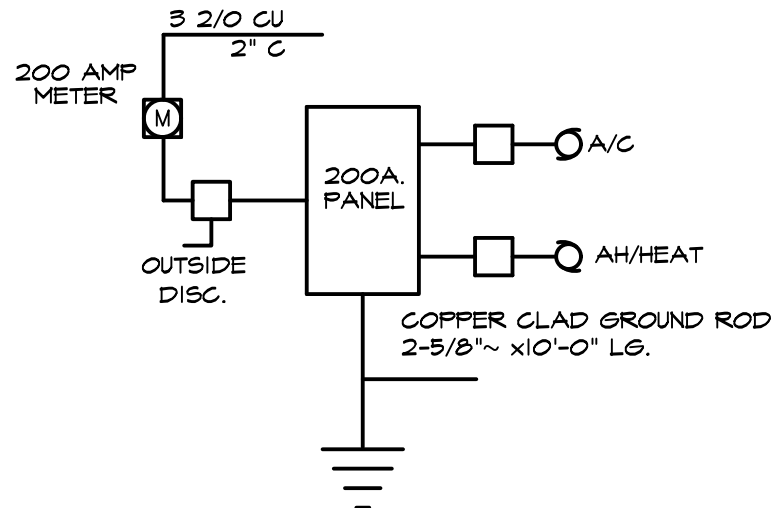
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LOAD CALCULATIONS : ONE FAMILY DWELLING w/HEAT PUMP (NEC CODE # D2)		
2065	SQ.FT.GENERAL LIGHTING x 3 VA. PER SQ.FT.	6,195
2	20 AMP APPLIANCE CIRCUIT AT 1500 VA/EACH	3,000
1	LAUNDRY CIRCUIT AT	1,500
1	RANGE AT NAME PLATE RATING OR COOKTOP/OVEN	12,000
1	WATER HEATER	4,500
1	DISHWASHER	1,200
1	CLOTHES DRYER	5,000
1	DISPOSAL	500
1	MICROWAVE	1,500
1	REF.	1,200
SUB-TOTAL OF GENERAL LOAD		36,595
FIRST 10 KVA OF GENERAL LOAD AT 100%		10,000
REMAINDER OF GENERAL LOAD AT 40% 26,595 VA.x 0.4		10,638
TOTAL NET GENERAL LOAD		20,638
4 TON HEAT PUMP # 128 AMP x 240VA.		6,720
10KW ELECTRIC HEAT AT 65%		6,500
NET GENERAL LOAD		20,638
NET TOTAL HEAT		13,220
TOTAL		33,858
FUTURE GROWTH		3,366
CALCULATED LOAD FOR SERVICE 37,224 VA/ 240 V = 155 AMP 200 AMP SERVICE REQUIRED		
NOTE: ALL BREAKERS SERVING HABITABLE RECEPTACLES SHALL BE ARC-FAULT TYPE PER NEC 210-12 REQUIREMENTS.		
NEUTRAL CALCULATION: LIGHTING,APPLIANCES,LAUNDRY LOADS 19,295 3000 VA @ 100%, REMAINDER @ 35%= 5703 NET LOAD 8,703 RANGE: 12,000 @ 70% 8,400 VA DRYER: 5,000 @ 70% 3500 VA TOTAL 20,603 VA		
NEUTRAL AMPACITY: 20,603 / 240 = 86 AMP #2 AL. MINIMUM NEUTRAL CONDUCTOR		



ELECTRICAL RISER DIAGRAM

ELECTRICAL NOTES

1. ALL SMOKE DETECTORS TO BE HARD-WIRED & EQUIPPED W/ A MONITORED BATTERY BACK-UP AND BE WIRED IN SUCH A MANNER THAT ACTUATION OF ONE ALARM WILL ACTUATE ALL ALARMS.
2. BATH FANS TO TERMINATE THROUGH SOFFIT 3' MIN. FROM OPENING OR THROUGH RIDGE VENT.
3. SPARK ARRESTOR TYPE CIRCUIT BEAKERS TO BE USED ARC-FAULT CIRCUIT INTERRUPTERS TO BE INSTALLED IN ALL BEDROOM CIRCUITS, PER ARTICLE 210-126 NEC NFPA TO 1999 ED.
4. WALL PHONE HEIGHT TO BE 48" A.F.F. TO CENTER OF JUNCTION BOX.
5. ALL EXTERIOR WP/GFI OUTLETS ARE TO BE RECESSED
6. ALL TV WIRING TO BE RG-6 U.N.O.
- 7.ALL BEDROOM CIRCUITS TO BE PROTECTED PER N.E.C. 2020

KEYNOTES

LIGHTING/EXHAUST FANS

- WALL MOUNT MULTI-LIGHT FIXTURE. (SIZE AS SHOWN)
- WALL MOUNT LIGHT FIXTURE
- VAPOR PROOF RECESSED LIGHT FIXTURE - U.L. APPROVED
- CEILING MOUNT LIGHT FIXTURE
- CAN LIGHT FIXTURE
- MINI CAN LIGHT FIXTURE
- EYEBALL, RECESSED.
- FLUORESCENT LIGHT FIXTURE 1X4, SURFACE MOUNT.
- UNDER CABINET LIGHTING
- CEILING MOUNT CHANDELIER
- FLOOD LIGHTS, WALL MOUNT
- EXHAUST FAN - 50 CFM MIN VENTED TO OUTSIDE AIR
- EXHAUST FAN- 50 CFM MIN. W/HEAT LAMP
- FAN, SINGLE SWITCH
- FAN, DOUBLE SWITCH W/LIGHT KIT

SWITCHES

- SWITCH, SINGLE POLE.
- 3-WAY SWITCH.
- 4-WAY SWITCH.

OUTLETS

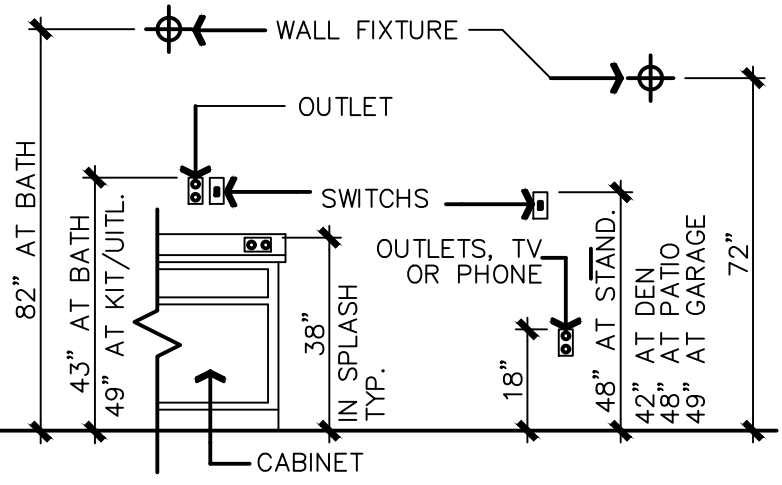
- 110 V CONV DUPLEX OUTLET
- 110 V CONV DUPLEX OUTLET HALF HOT/HALF SWITCH
- 220V 220V OUTLET
- 220V 220V WITH A/C DISCONNECT
- GFI GROUND FAULT INTERRUPTED DUPLEX OUTLET
- GFI WP WEATHERPROOF GROUND FAULT INTERRUPTED DUPLEX OUTLET
- JUNCTION BOX

GENERAL ELECTRICAL

- CHIMES
- PUSHBUTTON
- SMOKE DETECTOR HARD WIRE INTO ELECTRICAL, W/BATTERY BACKUP, DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREA.
- CARBON MONOXIDE DETECTOR
- TELEPHONE JACK
- TELEVISION JACK
- THERMOSTAT

TRANS. TRANSFORMER FOR CHIMES

TYPICAL INSTALLATION HEIGHTS



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REVISIONS

ELECTRICAL PLAN & NOTES
1/4"=1'-0"

DATE 6-14-2024

SHEET NO. E-1

SEAL

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REGISTERED ARCHITECT