

DATE 08/29/2005

Columbia County Building Permit

PERMIT

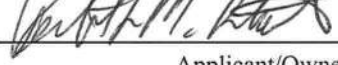
This Permit Expires One Year From the Date of Issue

000023548

APPLICANT ROBERT MCINTOSH PHONE 754-8678
ADDRESS 289 NW CORINTH DR LAKE CITY FL 32055
OWNER ANTHONY & TRACY FRANZESE PHONE 752-9256
ADDRESS 488 SW ANDREW CIRCLE LAKE CITY FL 32025
CONTRACTOR MICHAEL DELAHOZ PHONE 754-8678
LOCATION OF PROPERTY 100, R 245, L SE ANDREWS RD, .5 MILES ON THE LEFT
RED MAILBOX

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 4001.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 12.00 STORIES 1
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 14-4S-17-08353-009 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 2.00

 SCC056689 
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X05-0242 BK N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 2528

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by date/app. by
Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 25.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$.00 ZONING CERT. FEE \$ FIRE FEE \$ WASTE FEE \$
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 25.00

INSPECTORS OFFICE  CLERKS OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0508-99 Date Received 8/26/05 By GT Permit # 23548
Application Approved by - Zoning Official BLK Date 26.08.05 Plans Examiner OK JH Date 8-26-05
Flood Zone N/A Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments _____

Applicants Name Robert McIntosh Phone 386-754-8678
Address 289 NW Corinth Dr Lake City, Fla 32055
Owners Name Anthony W & Tracy L Franzese Phone 386-752-9256
911 Address 488 SE Andrews Cir Lake City FL 32025
Contractors Name Michael A. Delahoz Phone 386-754-8678
Address 289 NW Corinth Dr, Lake City FL 32055
Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address Gordon Shepardon 1025 S. Semoran Blvd Winter Park FL
Mortgage Lenders Name & Address N/A
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 14-48-17-08353-009 Estimated Cost of Construction \$ 3,360.00
Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
Driving Directions SE CR-245 Left on SE Andrews Rd, Right on SE Andrews, 1/2 mile on left, Red mail box
Type of Construction Pool Enclosure Number of Existing Dwellings on Property 1
Total Acreage 2.000 Lot Size _____ Do you need a - Culvert Permit or Culvert Walver or Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 75' Side 100+ Side 100+ Rear 55+
Total Building Height 12' Number of Stories 1 Heated Floor Area _____ Roof Pitch 3-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Robert McIntosh
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
this 15th day of August 2005.
Personally known ☒ or Produced Identification _____

Michael A. Delahoz
Contractor Signature
Contractors License Number SCC056689
Competency Card Number _____
NOTARY STAMP/SEAL  Nadean G.S. McIntosh
Commission # DD371494
Expires November 14, 2008
Banded Troy Pain - Insurance, Inc. 800-385-7019
Nadean G.S. McIntosh
Notary Signature

NOTICE OF COMMENCEMENT
FD 716-01

RANGE PAGE 008

Return etc. (optional self-addressed stamped envelope)

Name: Advantage Pools 757 SW SR 247

Address: SUITE 101 Lake City, FL 32025

Title (optional) Proposed by:

Name: Advantage Pools 757-SW SR 247

Address: SUITE 101 Lake City, FL 32025

Proposing Applicant's Factual Identification

(Inst: 2005011953 Date: 05/23/2005 Time: 14:08

FILED DC, P. DeWitt Cason, Columbia County B:1046 P:2125

SPACE ABOVE THIS LINE FOR RECORDING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE OF COMMENCEMENT

Permit No. _____

Tax Folio No. _____

State of Florida _____

County of Columbia }

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) 14-45-17-08353-009
488 SE Andrews Dr.General description of improvements Swimming Pools & ScreenOwner's Name ANTHONY W. FRANZESEAddress 488 SE ANDREWS DRIVE, LAKE CITY, FL 32025

Owner's interest in site of the improvements _____

Fee Simple Title holder (if other than owner) _____

Address _____

Phone: _____

Fax: _____

Contractor Advantage Pools 757 SW SR 247 SUITE 101Address Lake City, FL 32025Phone: 386-758-7522Fax: 386-758-6932

Surety _____

Phone: _____

Fax: _____

Address _____

Amount of bond \$ _____

Lender's Name _____

Address _____

Phone: _____

Fax: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)(v), Florida Statutes.

Name _____

Address _____

Phone: _____

Fax: _____

In addition to himself, owner designates Ray Gussie
of Advantage PoolsPhone: 386-7522Fax: 386-6932

to receive a copy of the Lessor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

Anthony W. Franzese
Signature of OwnerANTHONY W. FRANZESE
Printed Name of OwnerAMY P. BAKER
Notary Public, State of Florida
My comm. expires Feb. 04, 2006
No. DD 088989

I have relied upon the following identification of the Affiant

Anthony W. Franzese

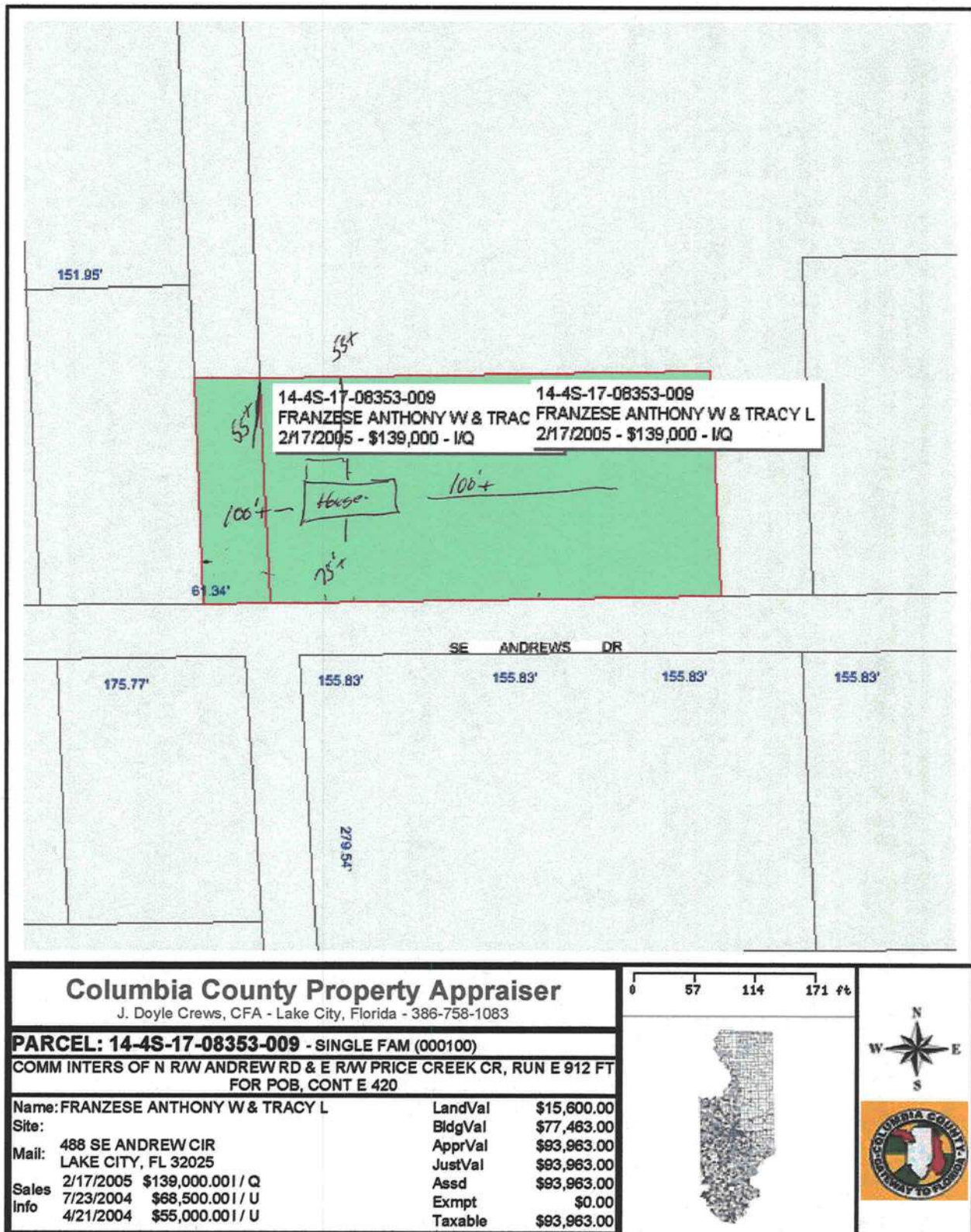
Signature of and acknowledged before me this _____ day of _____, 2005

Notary Signature

Printed Name

Amy P. Baker
Amy P. Baker

Notice of Commencement.max

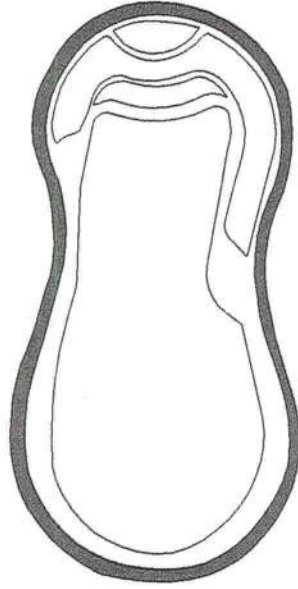




Property line

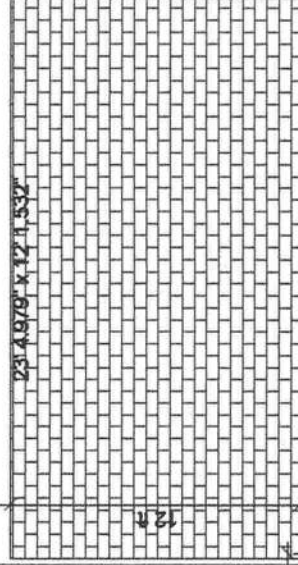
SS + ←

31' 0" x 21' 0"



14 ft.

existing carport



23' 10 7/8" x 12' 11 5/8"

4' 3"

53' 6" x 13' 8 3/8"

100' + →

100' + →

Property line

Job Specifications	
Pool Area	0
Pool Perimeter	0
Shallow Depth	0
Deep Depth	0
Spa Area	0
Spa Perimeter	0
Face Tile	0
Coping	0
Deck Area	0
Deck Perimeter	0
Patio Area	0
Patio Perimeter	0
Pool to Equip	0
Spa to Equip	0

Advantage Pools
757 SW SR 247 Suite 101
Lake City FL 32025
Phone: 386-758-7522
Fax: 386-758-6932
Designed by:
Ray Lussier
Accepted by:

**Columbia County Property
Appraiser**

DB Last Updated: 8/3/2005

Parcel: 14-4S-17-08353-009

2005 Proposed Values[Tax Record](#)[Property Card](#)[Interactive GIS Map](#)[Print](#)**Owner & Property Info**

Search Result: 1 of 1

Owner's Name	FRANZESE ANTHONY W & TRACY L
Site Address	
Mailing Address	488 SE ANDREW CIR LAKE CITY, FL 32025
Brief Legal	COMM INTERS OF N R/W ANDREW RD & E R/W PRICE CREEK CR, RUN E 912 FT FOR POB, CONT E 420

Use Desc. (code)	SINGLE FAM (000100)
Neighborhood	14417.01
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	2.000 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$15,600.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$77,463.00
XFOB Value	cnt: (2)	\$900.00
Total Appraised Value		\$93,963.00

Just Value	\$93,963.00
Class Value	\$0.00
Assessed Value	\$93,963.00
Exempt Value	\$0.00
Total Taxable Value	\$93,963.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/17/2005	1038/1130	WD	I	Q		\$139,000.00
7/23/2004	1022/1635	WD	I	U	01	\$68,500.00
4/21/2004	1014/561	WD	I	U	01	\$55,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1976	Conc Block (15)	1631	2535	\$77,463.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	0	\$500.00	1.000	16 x 24 x 0	(.00)
0070	CARPORT UF	0	\$400.00	1.000	11 x 32 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	2.000 AC	1.00/1.00/1.00/1.00	\$7,800.00	\$15,600.00

Columbia County Property Appraiser

DB Last Updated: 8/3/2005

1 of 1

FLILINE INC.

A civil engineering firm
1025 South Semoran Boulevard
Suite 1093
Winter Park FL 32792
(407) 679-7500
Fax (407) 679-9188

Authorization Letter to use Aluminum Design Manual Master-file

Authorization for: Florida Pool Enclosures Inc.
289 Northwest Corinth Drive
Lake City, FL 32055

Building Official,

Due to our manual revisions that will not be completed by June 1, 2005, we are extending authorization to the above referenced contractor to continue using the current manual thru September 30, 2005.

If this authorization is to be revoked prior to the ending date indicated we will notify you in writing via mail or facsimile. Any indication of the alteration of this document will void the authorization. Gordon H. Shepardson's, the engineer of record, signature and raised seal is required on this letter to validate the authorization. Thank you for your cooperation.

Signed:



Date: MAY 25 2005

Gordon H. Shepardson, P.E. 19333

FLILINE INC.

A civil engineering firm
1025 South Semoran Boulevard
Suite 1093
Winter Park FL 32792
(407) 679-7500
Fax (407) 679-9188

Aluminum Engineering Index Sheet

This index sheet specifies the master-file pages that can apply for the appropriate type of structure. Typical and Detail sheets and tables indicated are suggested for the type of structure, but do not need to apply in total. The appropriate typical and detail sheets and tables shall be marked as they apply. The listed pages are the only pages that need to be attached per type of structure. Index sheets should be attached with our engineering pages for issuance of a permit. Any signs of alteration shall void this index sheet. Unauthorized typical and detail sheets or span tables cannot be used in conjunction with our engineering designs.

CONTRACTOR:	JOB REFERENCE: 14-45-17-08353-009
Company Name: Florida Pool Enclosures	Owner Name: Anthony W & Tracy L. Franzese
Address: 289 Northwest Corinth Dr. Lake City, FL 32055	Address: 188 SE Andrew Cir Lake City FL 32025
Phone number: 386-754-8675	Legal Description: Comm Inters of R/W Andrew Rd + E R/W Price Creek Ct Run E 912' for POB Cont E 420
Member ID Number:	

Dome Screen enclosure	Mansard Screen enclosure	Splice gable & No splice gable Screen enclosure	Flat Screen enclosure	Composite roof with Screen enclosure	Pan roof with Screen enclosure
1.1.1	1.1.2	1.1.3	1.1.4	2.2.1	3.2.1
1.2.1	1.2.1	1.2.1	1.2.1	2.2.2	3.2.2
1.2.2	1.2.2	1.2.2	1.2.2	2.2.3	3.2.3
1.2.3	1.2.3	1.2.3	1.2.3	1.2.10	1.2.10
1.2.4	1.2.4	1.2.4	1.2.4	1.2.11	1.2.11
1.2.5	1.2.5	1.2.5	1.2.5		
1.2.6	1.2.6	1.2.6	1.2.6		
1.2.7	1.2.7	1.2.7	1.2.7		
1.2.10	1.2.9	1.2.8	1.2.10		
1.2.11	1.2.10	1.2.10	1.2.11		
	1.2.11	1.2.11			
Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables	Exposure B tables
100mph/1.3.2.100B	100mph/1.3.2.100B	100mph/1.3.2.100B	100mph/1.3.2.100B	2.3.1	3.3.1
110mph/1.3.2.110B	110mph/1.3.2.110B	110mph/1.3.2.110B	110mph/1.3.2.110B		
120mph/1.3.2.120B	120mph/1.3.2.120B	120mph/1.3.2.120B	120mph/1.3.2.120B		
130mph/1.3.2.130B	130mph/1.3.2.130B	130mph/1.3.2.130B	130mph/1.3.2.130B		
140mph/1.3.2.140B	140mph/1.3.2.140B	140mph/1.3.2.140B	140mph/1.3.2.140B		
150mph/1.3.2.150B	150mph/1.3.2.150B	150mph/1.3.2.150B	150mph/1.3.2.150B		
Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables	Exposure C tables
100mph/1.3.2.100C	100mph/1.3.2.100C	100mph/1.3.2.100C	100mph/1.3.2.100C	2.3.1	3.3.1
110mph/1.3.2.110C	110mph/1.3.2.110C	110mph/1.3.2.110C	110mph/1.3.2.110C		
120mph/1.3.2.120C	120mph/1.3.2.120C	120mph/1.3.2.120C	120mph/1.3.2.120C		
130mph/1.3.2.130C	130mph/1.3.2.130C	130mph/1.3.2.130C	130mph/1.3.2.130C		
140mph/1.3.2.140C	140mph/1.3.2.140C	140mph/1.3.2.140C	140mph/1.3.2.140C		
150mph/1.3.2.150C	150mph/1.3.2.150C	150mph/1.3.2.150C	150mph/1.3.2.150C		

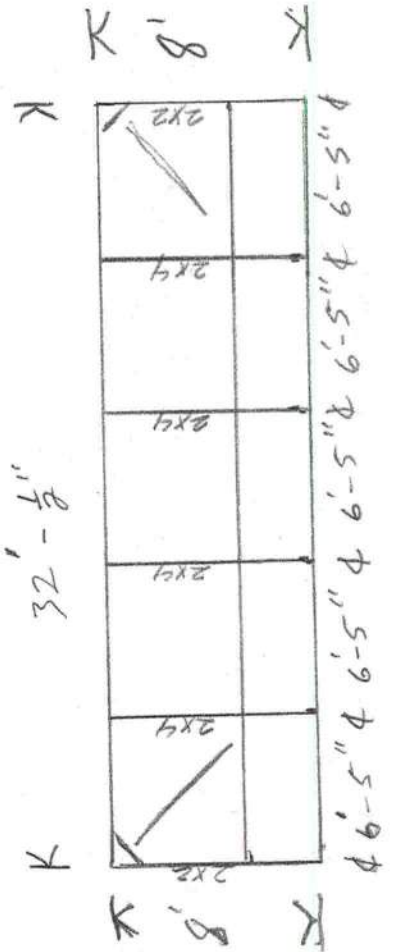
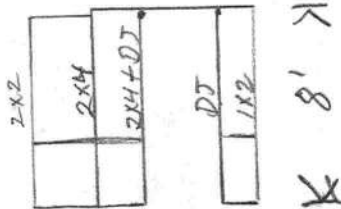
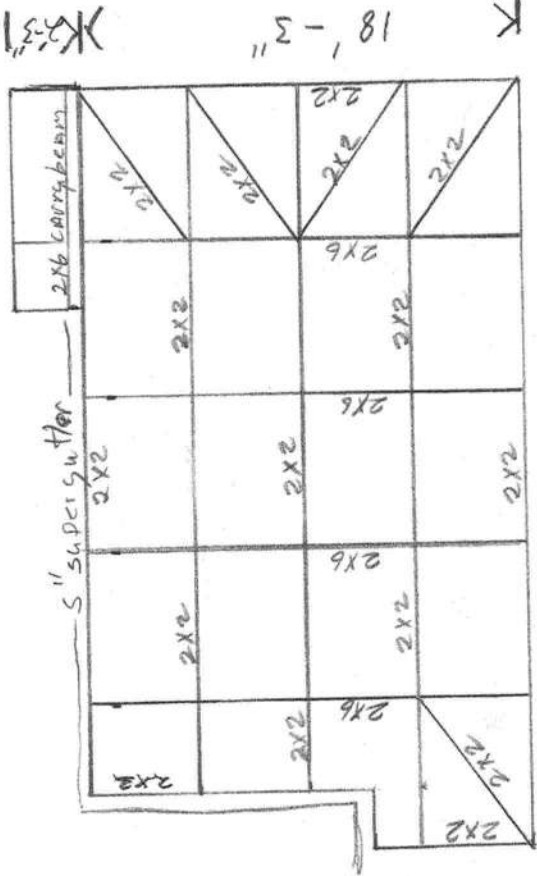
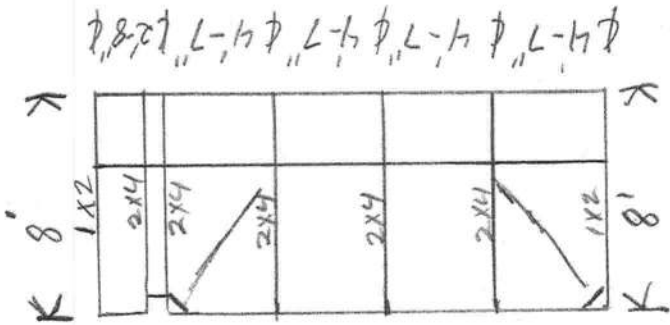
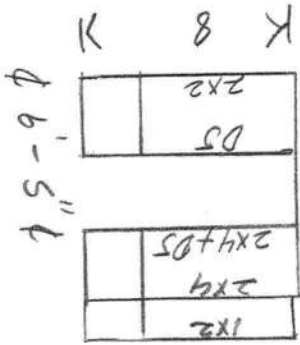
Date: MAY 22 2005

Gordon H. Shephardson, P.E. 19333



1084

Hip Gable

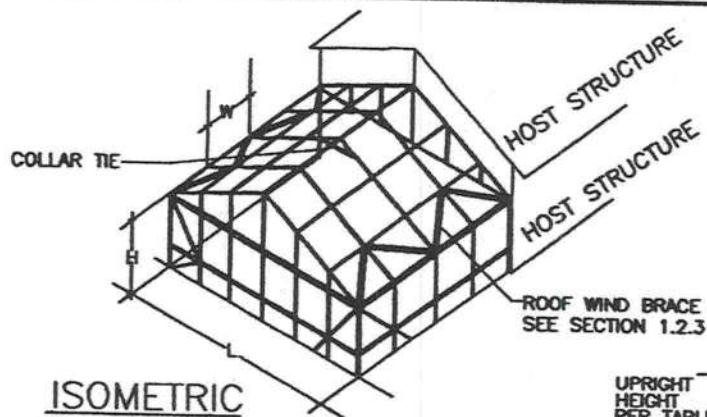


4'-7" 4'-7" 4'-7" 4'-7"

SECTION 1.1.3

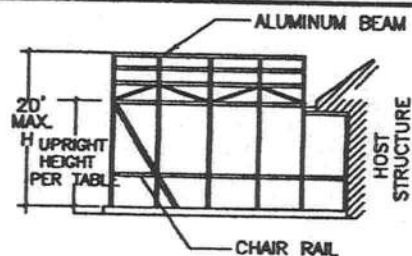
SPLICE
GABLE

SCREEN ENCLOSURES

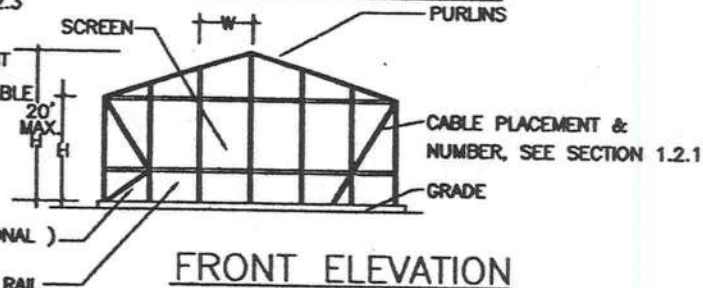
REVISIONS
02/15/05

NOTE:
SPLICE (USE
COLLAR TIE.)

K - BRACING (OPTIONAL)
SEE SECTION 1.2.2



SIDE ELEVATION



FRONT ELEVATION

TYPICAL SPLICE AND NO SPLICE GABLE ROOF

APPLIES

(STANDARDS)

- 1) DESIGN CONFORMS TO THE FLORIDA BUILDING CODE 2001 AS AMENDED AND ASCE 7-98 FOR WIND LOAD ON THE ATTACHED TABLES.
- 2) ALL SCREEN ENCLOSURES GREATER THAN 20'-0" MAX. HEIGHT OR GREATER THAN 40'-0" PROJECTION FROM THE HOST STRUCTURE (REGARDLESS OF DIRECTION OF BEAM SPAN) OR WITH A BEAM SPAN GREATER THAN 40'-0", WILL REQUIRE SITE SPECIFIC SIGNED AND SEALED ENGINEERING PLANS AND SIGNED AND SEALED LAYOUT DRAWINGS.
- 3) STRUCTURAL DETAIL DRAWING SHALL RELATE TO 6063-T6, 6061-T5, OR 6061-T6 ALUMINUM EXTRUSIONS WITH AN ACTUAL WALL THICKNESS OF NOT LESS THAN 0.040.
- 4) ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER - WHITE METHACRYLATE LACQUER.
- 5) ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR HEAVY-BODIED BITUMINOUS PAINT, OR THE WOOD OR ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH HIGH QUALITY CAULKING COMPOUND.
- 6) ALL FASTENERS WILL BE 24" C - C MAX. UNLESS OTHERWISE NOTED. SCREWS SHALL BE COATED WEATHER SEALED.
- 7) NO OPEN AREA BETWEEN ALUMINUM SHALL EXCEED 56 S.F.
- 8) ALL SCREEN ENCLOSURE DOORS SHALL BE SELF LATCHING AND CLOSING AND MAY BE LOCATED INTO ANY SCREEN PANEL OPENING.
- 9) DISTANCE BETWEEN PURLINS SHALL NOT EXCEED 84 INCHES CENTER TO CENTER.
- 10) ALL PURLINS AND CHAIR RAILS WILL BE ATTACHED WITH MIN. OF 3 SCREWS INTO SCREW BOSS EACH SIDE. SEE SECTION 1.2.3 FOR PURLIN AND CHAIR RAIL SCHEDULE.
- 11) ENCLOSURE MUST BE GROUNDED AND BONDED IN ACCORDANCE WITH N.E.C.
- 12) NO UNAPPROVED APPENDICES OR ACCESSORIES MAY BE ATTACHED TO ANY ALUMINUM MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- 13) WHEN 6061-T5 OR 6061-T6 ALUMINUM ALLOY IS USED IN A STRUCTURE FOR UPRIGHTS, BEAMS, KNEE BRACES, WIND BRACES, AND K-BRACES, 6063-T6 ALUMINUM ALLOY MAY BE USED FOR PURLINS, CHAIR RAILS, TOP PLATES, AND BOTTOM PLATES.
- 14) THIS IS AN OPEN ALUMINUM FRAMED STRUCTURE WITH SCREEN (MAX. MESH OF 20/20) ROOF AND WALLS. IT HAS AN IMPORTANCE FACTOR (Iw) OF 0.77. DESIGN LOADS ARE BASED ON TABLE 2002.4 OF 2001 FLORIDA BUILDING CODE FOR A MEAN HEIGHT UP TO 30 FT.

APPLIES

THIS PAGE CAN ONLY BE USED
IF THE CONTRACTOR IS
AUTHORIZED TO USE THE
MASTER FILE MANUAL OR IF
THE PAGE HAS AN ORIGINAL
SIGNATURE AND SEAL

FLILINE INC.
1025 S. SEMORAN BLVD.
SUITE 1093
WINTER PARK FL 32792
TEL (407) 679-7500
FAX (407) 679-9188
E-MAIL

FEB 15 2005

GORDON H. SHEPARDSON P.E.
FLORIDA P.E. 19338

SECTION 1.2.1

DETAILS

SCREEN ENCLOSURES

REVISIONS
02/15/05FRONT WALL--1/8" STAINLESS STEEL CABLE

2 CABLE FOR EVERY 200 SQ. FT.

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.

SIDE WALL--1/8" STAINLESS STEEL CABLEUP TO 200 SQ. FT. OF WALL: NO CABLE NEEDED
OVER 200 SQ. FT.: 1 CABLE PER EVERY 200 SQ. FT.

NOTE: ALL WALLS OVER 15" HIGH MUST HAVE 1/2 OR MORE OF THE CABLES AT THE TOP OF THE WALL ABOVE THE TOP CHAIR RAIL.

HOMEOWNER MAINTENANCE RESPONSIBILITY:
CABLE MUST REMAIN TIGHT AT ALL TIMES. CABLE SHOULD BE TIGHTENED PERIODICALLY TO REMOVE SLACK. TO AVOID DAMAGE CONTACT A QUALIFIED SERVICE COMPANY.CABLE CORNER
PLATE 1/8" ALUM.
W/ 8 # 10 TEKSCABLE BRACING CAN BE USED
IN PLACE OF K-BRACINGTENSIONING
EYEBOLTMIN 2 DRIVE PINS OR
2 - 11/4" x 1/4" TAPCONTOP FASTENER 1 1/2" BELOW
TOP OF CONCRETE, NO
NO FASTENING TO PAVERS

CONC. DECK

TOP CHAIR RAIL WHEN
PANEL EXCEED 56 S.F.

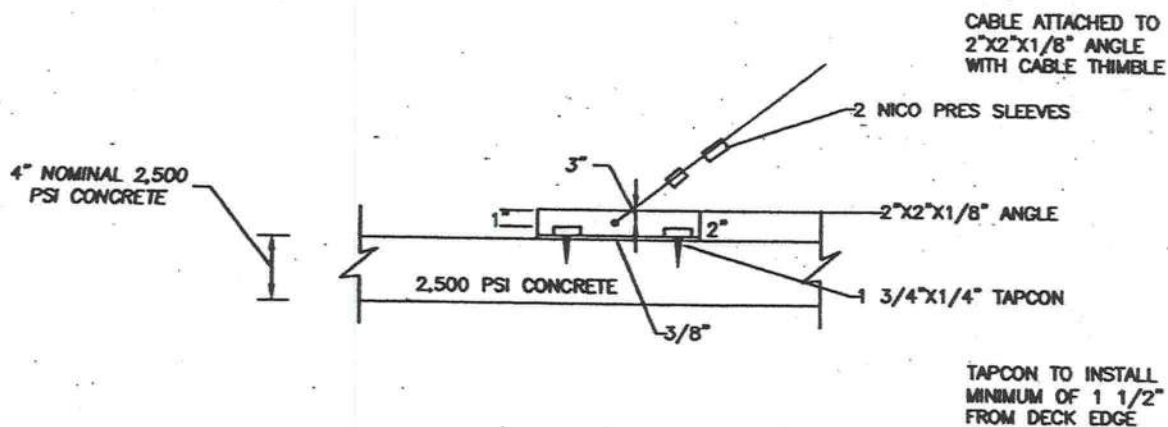
2ND CABLE SET

1ST CABLE SET

3RD CABLE SET

SCREEN CABLE BRACING DIAGRAMCABLE SCHEDULE FOR SCREEN ENCLOSURE

APPLIES

CABLE BRACE MOUNTED ON TOP OF CONCRETE DECK

APPLIES

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SIGNATURE AND SEALFLILINE INC.
1025 S. SEMORAN BLVD.
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WINTER PARK FL. 32792
TEL (407) 679-7500
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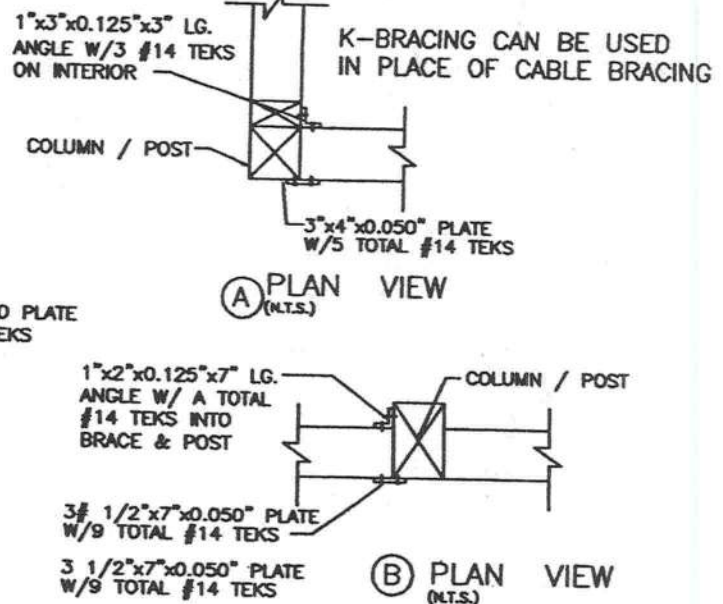
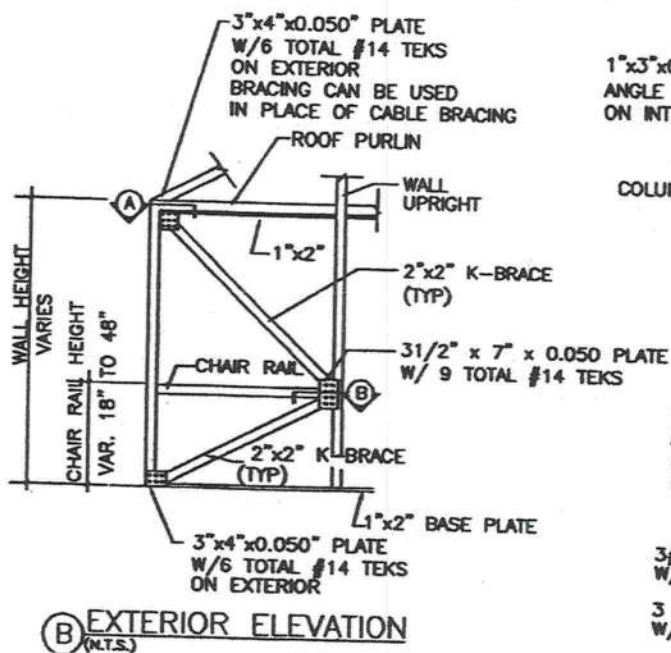
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SECTION 1.2.2

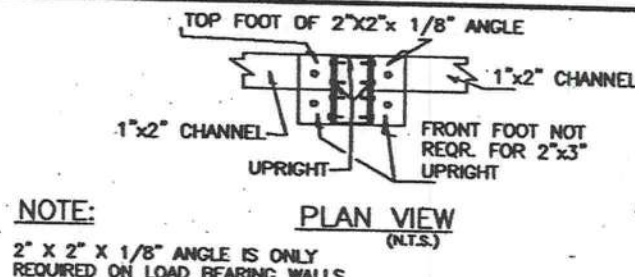
DETAILS

SCREEN ENCLOSURES

REVISIONS
02/15/05

K-BRACING DETAIL

APPLIES



NOTE:

USED WITH ALL
SCREEN TYPES

NOTE:

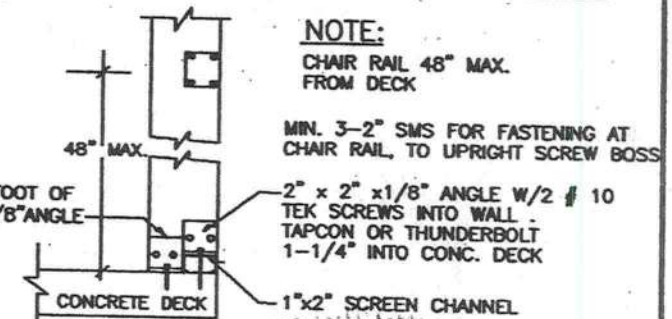
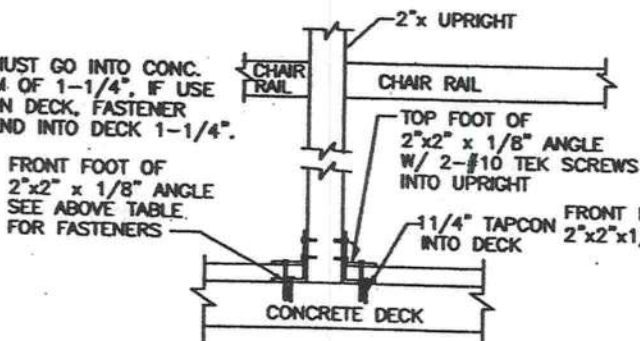
2X2 ANGLE ONLY ON
LOAD BEARING WALL

FRONT FOOT TABLE							
UPRIGHT SIZES	x4	x5	x6	x7	x8	x9	x10
1/4" TAPCON EACH SIDE	1	2	2	3	3	4	4
#10 TEK SCREWS EACH SIDE	2	4	4	6	6	8	8
HIGHLIGHT ONE							

SELECT LOADBEARING UPRIGHT SIZES

NOTE:

TAPCON MUST GO INTO CONC. A MINIMUM OF 1-1/4". IF USE PAVERS ON DECK, FASTENER WILL EXTEND INTO DECK 1-1/4".



TYPICAL DECK PLATE & POST CONNECTION

APPLIES

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SECTION 1.2.3

DETAILS

SCREEN ENCLOSURES

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BEAM OVERLAP
OR GUSSET PLATE
FOR CONNECTOR
SCHEDULE SEE SECTION 1.2.4

1'-2"x .040" STRAP AT EACH
UPRIGHT & MIDWAY BETWEEN
UPRIGHTS, W/1 # 10 TEK
AT EACH END

HOST
STRUCTURE

2" SMS @ 2'-0" O.C.

4' MAX.

2" H CHANNEL
W/ 6 # 10 TEKS

2x2
HOLLOW

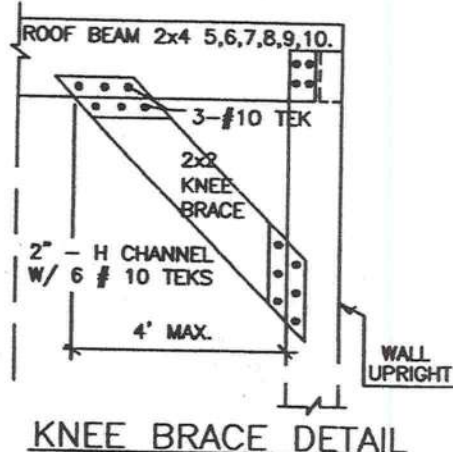
CENTER
SCREWS

4' MAX.

4' MAX.

2"x2" ANGLE
W/6 #10 TEKS
EACH SIDE

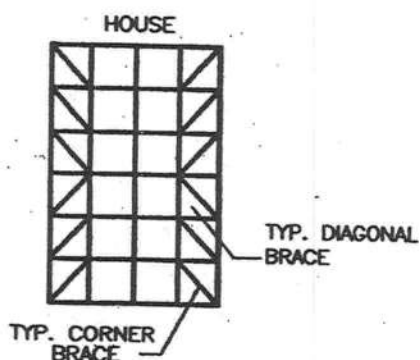
5" OR 7" SUPER
GUTTER



KNEE BRACE DETAIL

STRUCTURAL GUTTER & KNEE BRACE DETAIL

APPLIES



TYP. DIAGONAL
BRACE

TYP. CORNER
BRACE

ROOF WIND BRACE, PURLIN & CHAIR RAIL SIZING

ROOF BEAM	PURLIN	WIND BRACE	WALL UPRIGHT	CHAIR RAIL
2x7 OR LESS	2x2	2x2	2x7 OR LESS	2x2
2x8	2x3	2x3	2x8	2x3
2x9	2x3	2x3	2x9	2x3
2x10	2x4	2x4	2x10	2x4

NOTE: WIND BRACING SHALL NOT BE REQUIRED WHERE BEAMS AND PURLINS ARE
LATERALLY SUPPORTED BY CONNECTION TO HOST STRUCTURE.

NOTE: WIND BRACING ATTACHMENT TO BE WITH GUSSET PLATE, H CHANNEL OR
RECEIVING CHANNEL. NO TOE NAILING IS ALLOWED

PLAN VIEW

(N.T.S.)

ROOF WIND BRACING, PURLIN & CHAIR RAIL DETAIL

APPLIES

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SECTION 1.2.4

DETAILS

SCREEN ENCLOSURES

REVISIONS
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		BEAMS						
		2x4	2x5	2x6	2x7	2x8	2x9	
UPRIGHT	2x4	8	10	10	14	X	X	X
	2x5	10	10	14	16	16	X	X
	2x6	10	14	16	16	18	18	X
	2x7	14	16	16	18	18	20	X
	2x8	16	16	18	18	20	22	22
	2x9	16	18	18	20	22	22	24
	2x10	18	18	20	22	22	24	24

#10 TEK SCREWS EACH SIDE OF BEAM
X- NO CONNECTION ALLOWED

NOTE:

SCREW PATTERN-1"
CLEARANCE ON ALL 4 SIDES
OF THE GUSSET PLATE OR
BEAM OVERLAP.
SCREWS ARE TO BE EQUALLY
SPACED FROM TOP TO BOTTOM
AND SIDE-TO-SIDE. SCREWS
MUST BE WEATHER SEALED.

NOTE:

GUSSET PLATE THICKNESS WILL
BE EQUAL TO OR LARGER THAN
LARGEST BEAM OR UPRIGHT USED.

		BEAMS						
		2x4	2x5	2x6	2x7	2x8	2x9	2x10
UPRIGHT	2x4	4	4	6	8	X	X	X
	2x5	4	4	8	8	10	X	X
	2x6	6	8	8	10	12	12	X
	2x7	8	8	10	12	12	14	X
	2x8	8	10	12	12	14	14	14
	2x9	10	12	12	14	14	16	16
	2x10	10	12	14	14	14	16	18

#14 TEK SCREWS EACH SIDE OF BEAM
X- NO CONNECTION ALLOWED

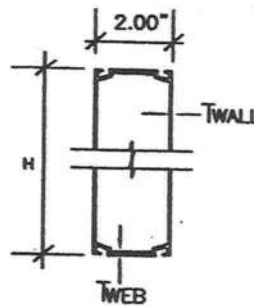
HOMEOWNER MAINTENANCE RESPONSIBILITY:
FASTENERS SHOULD BE CHECKED PERIODICALLY FOR DETERIORATION.
IF DETERIORATION IS DETECTED CONTACT A QUALIFIED SERVICE COMPANY.

BEAM OVERLAP OR GUSSET PLATE CONNECTION

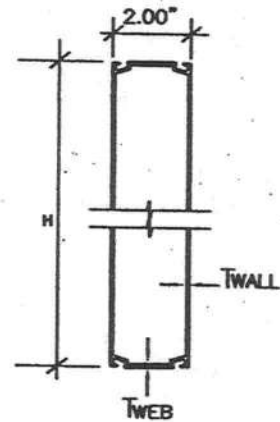
APPLIES

ALUMINUM			
PHYSICAL PROPERTIES			
2xH	TWALL	TWEB	SECTION MODULUS (IN ³)
2x4	0.046	0.100	0.935
2x5	0.050	0.116	1.380
2x6	0.050	0.120	1.920
2x7	0.055	0.220	2.375
2x8	0.072	0.224	4.080
2x9	0.082	0.306	5.910
2x10	0.092	0.389	8.531

HOLLOW BEAM TABLE



SNAP EXTRUSION

SELF MATING
BEAM

ALUMINUM PHYSICAL PROPERTIES

APPLIES

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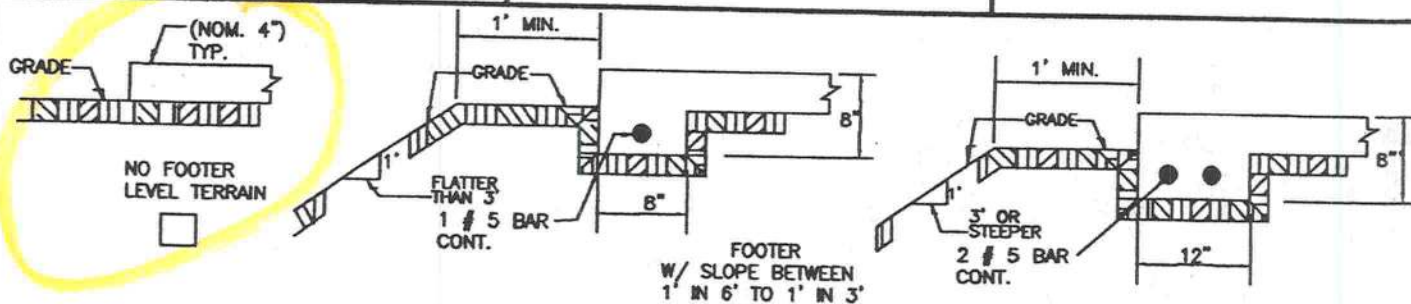
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SECTION 1.2.10

DETAILS

SCREEN ENCLOSURES

REVISIONS
02/15/05

RIBBON FOOTER—WHERE FOOTER IS NOT CONNECTED TO DECK:

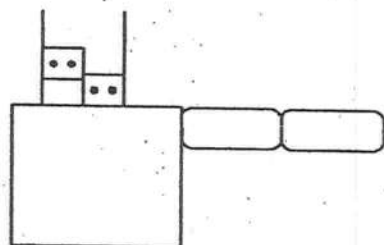
- ☐ USE 8"x8" CONCRETE RIBBON FOOTER W/ 1#5 REBAR CONTINUOUS TO SUPPORT UP TO 2" X 6" UPRIGHT
- ☐ USE 8"x 12" CONCRETE RIBBON FOOTER W/ 2 # 5 REBARS CONTINUOUS TO SUPPORT UPRIGHTS LARGER THAN 2" X 6"

- 1) FOOTER SHALL BEAR ON ROCK, CLEAN SAND, OR STRUCTURALLY SOUND SOIL (>1500 PSI) THAT SHALL BE COMPACTED TO PROVIDE OPTIMUM BEARING CAPACITY TO PREVENT SETTLING.
- 2) CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 2,500 PSI W/ FIBER MESH OR 6x6-10x10 W W MESH.
- 3) 3 - #3 BARS IS EQUIVALENT TO 1 #5 BARS.

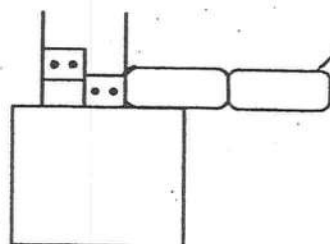
FOOTER WHEN SLOPE 1' IN 3' OR STEEPER OR WHEN DECK EXTENDS 33' OR MORE PERPENDICULAR TO THE SUPPORTING STRUCTURE.

TYPICAL SCREEN DECK FOOTER DETAIL

APPLIES



ALTERNATE 1



ALTERNATE 2

PAVERS SHOULD BE INSTALLED AFTER COMPLETION OF SCREEN ENCLOSURES

NOTE:

SEE TYPICAL SCREEN DECK FOOTER DETAIL FOR FOOTER DETAILS AND SIZING.

RIBBON FOOTERS FOR BRICK PAVERS

APPLIES

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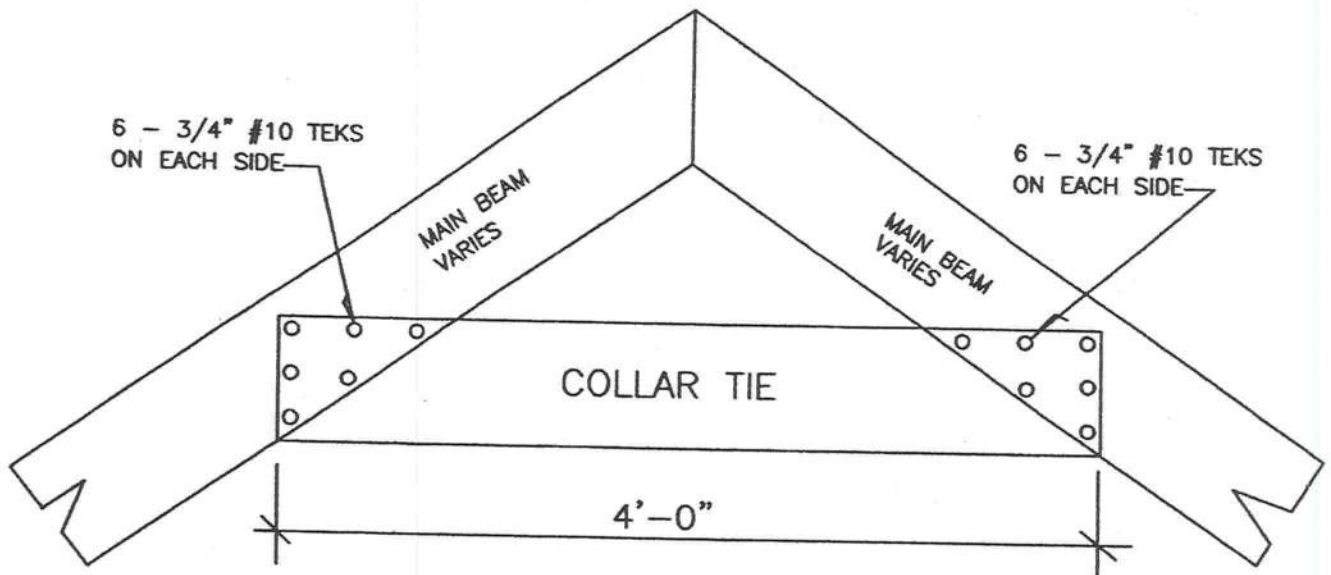
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SECTION 1.2.8

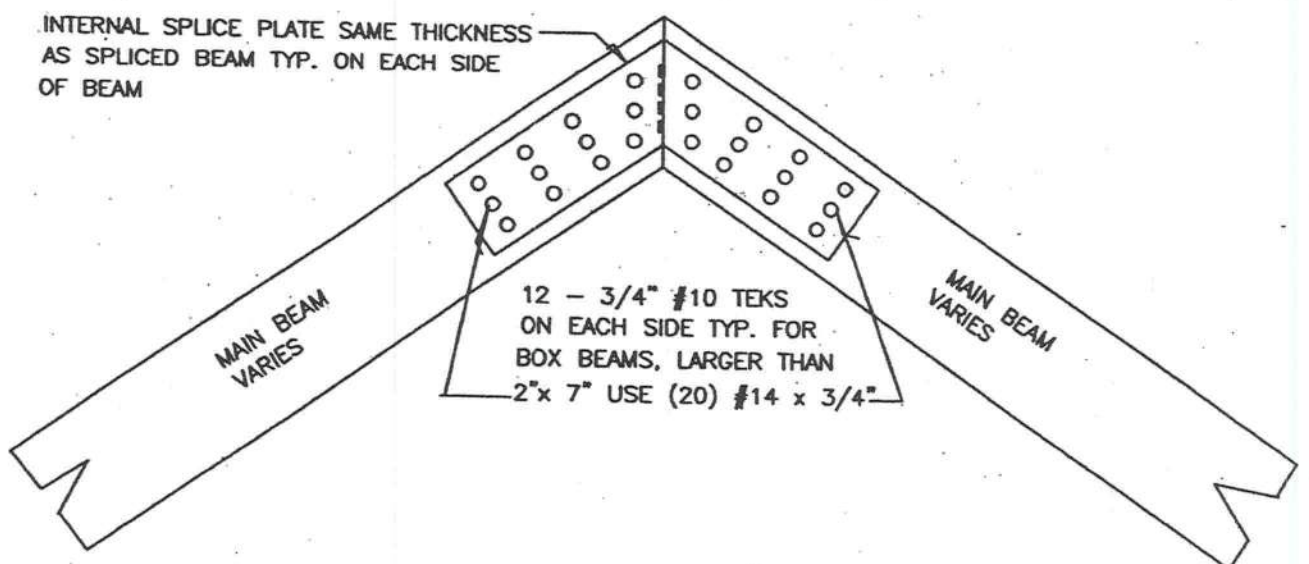
DETAILS

SCREEN ENCLOSURES

REVISIONS
02/15/05

TYPICAL SPLICE GABLE COLLAR TIE

APPLIES



TYPICAL SPLICE GABLE SPLICE PLATE

APPLIES

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BEAM SPAN AND UPRIGHT HEIGHT TABLES

SECTION 1.3.2.120 B	SPAN TABLES	SCREEN ENCLOSURES	6063-T6 ALLOY 6061-T5 ALLOY 6061-T6 ALLOY 120MPH EXPOSURE B
ALUMINUM ALLOY : 6063-T6, 6061-T5, & 6061-T6 WIND ZONE: 120MPH EXPOSURE B			
ALL ROOF STYLES			
MAX. SPANS FOR ROOF BEAMS FOR SCREEN ROOF/POOL ENCLOSURES UP TO 150 MPH WIND LOAD ALL WIND SPEEDS PRESSURE 10 PSF		MAX. SPANS FOR WALL UPRIGHTS FOR SCREEN ROOF/POOL ENCLOSURES	
ROOF BEAM SPANS		WALL UPRIGHT HEIGHTS	
Interpolation between spans is permitted.		Interpolation between spans is permitted.	
ROOF SPACING (number of feet)		UPRIGHT SPACING (number of feet)	
SPANS		HEIGHTS	
	4' 5' 6' 7' 8' 9'		4' 5' 6' 7' 8' 9'
2 X 4 - 0 KNEES	16'0 14'10 14'0 13'3 12'9 12'3	2 X 4 - 0 KNEES	14'4 13'4 12'6 11'11 10'10 10'2
2 X 4 - 1 KNEE	20'0 18'10 18'0 17'3 16'9 16'3	2 X 4 - 1 KNEE	18'4 17'4 16'6 15'11 14'10 10'2
2 X 4 - 2 KNEES	24'0 22'10 22'0 21'3 20'9 20'3		
2 X 5 - 0 KNEES	19'6 18'2 17'2 16'3 15'7 15'0	2 X 5 - 0 KNEES	17'8 16'4 15'5 14'0 13'4 12'7
2 X 5 - 1 KNEE	23'6 22'2 21'2 20'3 19'7 19'0	2 X 5 - 1 KNEE	21'8 20'4 19'5 18'0 17'4 16'7
2 X 5 - 2 KNEES	27'6 26'2 25'2 24'3 23'7 23'0		
2 X 6 - 0 KNEES	23'2 21'6 20'4 19'4 18'2 17'0	2 X 6 - 0 KNEES	20'11 19'5 17'6 16'6 15'5 14'6
2 X 6 - 1 KNEE	27'2 25'6 24'4 23'4 22'2 21'0	2 X 6 - 1 KNEE	24'11 23'5 21'6 20'6 19'5 18'6
2 X 6 - 2 KNEES	31'2 29'6 28'4 27'4 26'2 25'0		
2 X 7 - 0 KNEES	26'2 24'4 22'9 21'9 20'0 19'1	2 X 7 - 0 KNEES	23'7 21'6 20'0 18'5 17'5 16'7
2 X 7 - 1 KNEE	30'2 28'4 26'9 25'9 24'0 23'1	2 X 7 - 1 KNEE	27'7 25'6 24'0 22'5 21'5 20'7
2 X 7 - 2 KNEES	34'2 32'4 30'9 29'9 28'0 27'1		
2 X 8 - 0 KNEES	32'6 30'4 28'7 27'2 25'10 24'3	2 X 8 - 0 KNEES	29'7 27'6 25'4 23'10 22'4 21'3
2 X 8 - 1 KNEE	36'6 34'4 32'7 31'2 29'10 28'3	2 X 8 - 1 KNEE	33'7 31'6 29'4 27'10 26'4 25'3
2 X 8 - 2 KNEES	40'6 38'4 36'7 35'2 33'10 32'3		
2 X 9 - 0 KNEES	35'9 33'4 31'5 29'11 28'1 26'6	2 X 9 - 0 KNEES	31'0 30'2 29'7 25'8 24'0 22'10
2 X 9 - 1 KNEE	39'9 37'4 35'5 33'11 32'1 30'6	2 X 9 - 1 KNEE	35'0 34'2 33'7 29'8 28'0 26'10
2 X 9 - 2 KNEES	43'9 41'4 39'5 37'11 36'1 34'6		
2 X 10 - 0 KNEES	44'4 41'4 39'1 37'3 35'8 34'4	2 X 10 - 0 KNEES	37'5 36'1 34'0 32'3 30'8 29'7
2 X 10 - 1 KNEE	48'4 45'4 43'1 41'3 39'8 38'4	2 X 10 - 1 KNEE	41'5 40'1 38'0 36'3 34'8 33'7
2 X 10 - 2 KNEES	52'4 49'4 47'1 45'3 43'8 42'4		
Interpolation between spans is permitted.		Interpolation between spans is permitted.	
NOTE 1: Roof spans using knee braces are figured for knee braces of 4ft on the horizontal. The difference in the knee brace length of less than or greater than 4ft on the horizontal will be deducted from or added to the the span.		NOTE 3: Spans and heights using knee braces are used only for dome, flat, and no splice gable roof styles.	
NOTE 2: Wall spans using knee braces are figured for knee braces of 4ft on the vertical. The difference in the knee brace length of less than or greater than 4ft on the vertical will be deducted from or added to the span.		NOTE 4: When using spans or heights in bold bordered areas - site specific sealed engineering and layout drawings are required when enclosure is 40ft or greater in distance from next structure (regardless of which direction beams span) and/or upright height is 20ft or greater.	
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