

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 7-1-15)

Zoning Official _____ Building Official _____

AP# _____ Date Received _____ By _____ Permit # _____

Flood Zone _____ Development Permit _____ Zoning _____ Land Use Plan Map Category _____

Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

- ☐ Recorded Deed or ☐ Property Appraiser PO ☐ Site Plan ☐ EH # _____ ☐ Well letter OR
☒ Existing well ☐ Land Owner Affidavit ☐ Installer Authorization ☐ FW Comp. letter ☐ App Fee Paid
☐ DOT Approval ☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ 911 App
☐ Ellisville Water Sys ☐ Assessment _____ ☐ Out County ☐ In County ☐ Sub VF Form

Property ID # 04-3S-17-04838-010 Subdivision _____ Lot# _____

- New Mobile Home _____ Used Mobile Home ☒ MH Size 76x28 Year 1999
- Applicant Tara Laney Phone # 386-365-9899
- Address 1077 NE Cheshire Ln. Lake City FL 32055
- Name of Property Owner Tara Laney Phone# 386-365-9899
- 911 Address 1077 NE Cheshire Ln Lake City FL 32055
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home Tara Laney + Randy Smith ^{+ Chris Rybarczyk} Phone # 386-365-9899
- Address 1077 NE Cheshire Ln Lake City FL 32055
- Relationship to Property Owner _____
- Current Number of Dwellings on Property 0
- Lot Size _____ Total Acreage .51
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home yes - old home hasn't been on property
- Driving Directions to the Property Head E on 94th St toward in 5-6 years
101st DR Turn left on CR49, turn right onto us highway 90
turn left onto CR37, merge onto I-10 toward Jacksonville take us 44
exit 303 turn left onto us hwy 44 turn right onto NE Hunt Ln turn
right onto us hwy 44 turn right onto cheshire
- Name of Licensed Dealer/Installer Dale Houston Phone # Dale Houston
- Installers Address 136 SW Barrs Gln Lake City FL 386-364-1340
- License Number IH1025142 Installation Decal # 31255

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

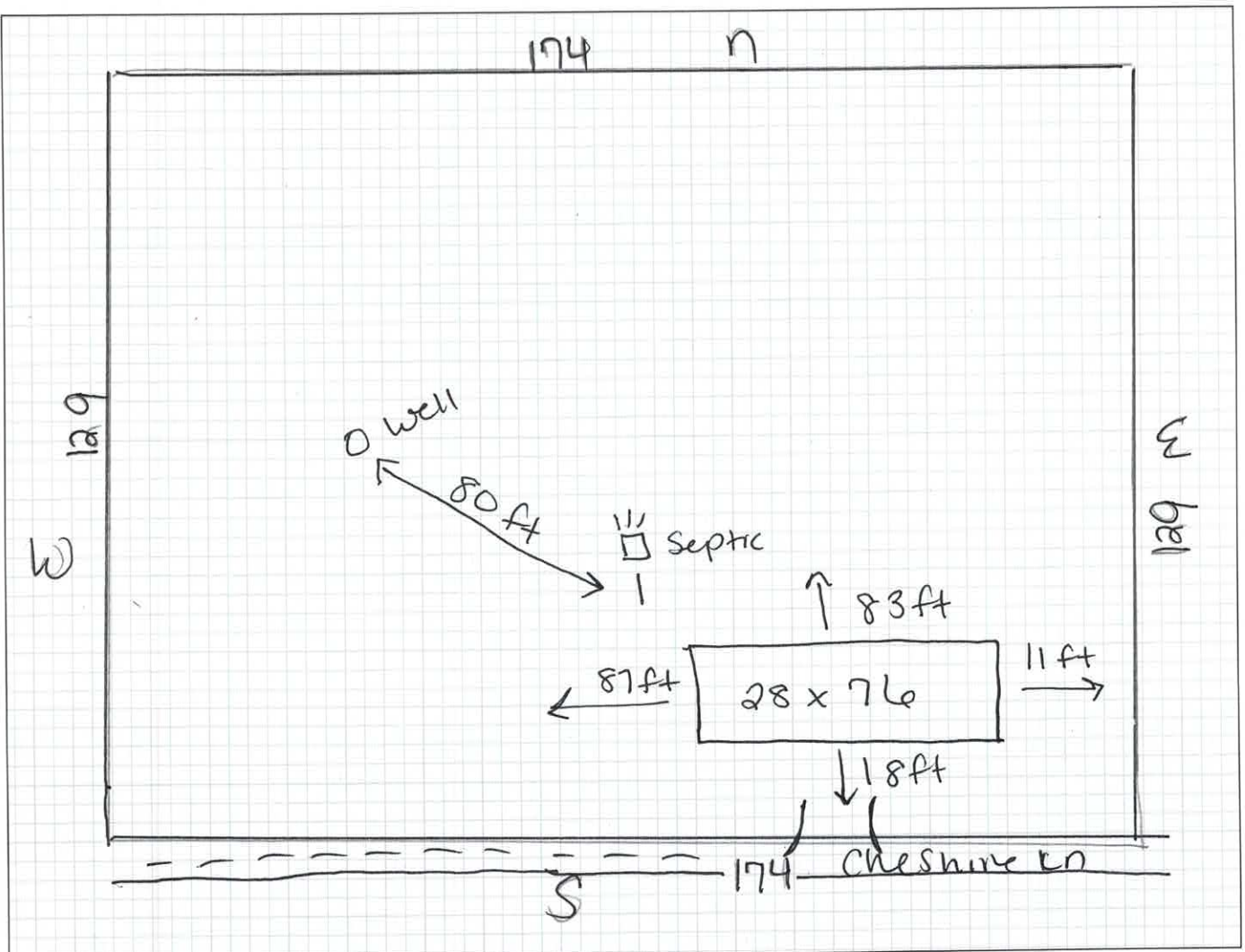
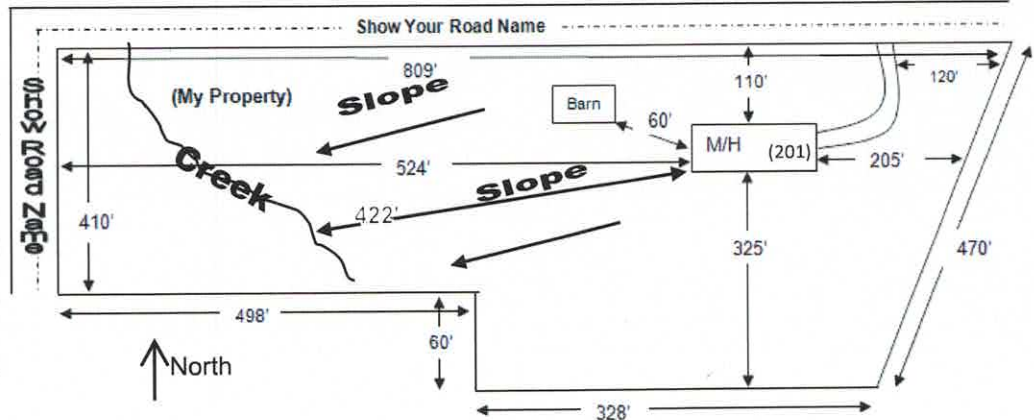
ELECTRICAL	Print Name <u>Dale Williams</u> License #: <u>EC 13007092</u> Qualifier Form Attached <input type="checkbox"/>	Signature <u>Dale Williams</u> Phone #: _____
MECHANICAL/ A/C _____	Print Name <u>Ronald Bonds</u> License #: <u>CAC 1817658</u> Qualifier Form Attached <input type="checkbox"/>	Signature <u>Ronald E Bonds Sr</u> Phone #: _____

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

Revised 7/1/15

This site plan can be copied and used with the 911 Addressing Dept. application forms.



ID NUMBER DH1015586 DATE 6/3/80

CODE ENFORCEMENT DEPARTMENT
COLUMBIA COUNTY, FLORIDA
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM _____

OWNERS NAME Tara Laney PHONE _____ CELL _____

INSTALLER Dale Houston PHONE _____ CELL _____

INSTALLERS ADDRESS 1126 E Howard St Line Oak FL 32060

MOBILE HOME INFORMATION

MAKE Fleetwood Carriage Man YEAR 1999 SIZE 76 x 28

COLOR _____ SERIAL No. GAFW75A68723C001 / GAFW75B68723C021

WIND ZONE II SMOKE DETECTOR yes

INTERIOR:

FLOORS Good

DOORS Good

WALLS Good

CABINETS Good

ELECTRICAL (FIXTURES/OUTLETS) Good

EXTERIOR:

WALLS / SIDING Good

WINDOWS Good

DOORS Good

INSTALLER: APPROVED ☒ NOT APPROVED _____

INSTALLER OR INSPECTOR'S PRINTED NAME Robert Corbett Corbetts Mobile Home

Installer/Inspector Signature Robert Corbett License No. DH10153861 Date 6/3/20

NOTES: _____

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.

ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-758-1008 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.

Code Enforcement Approval Signature Robert Corbett Date 6/3/20



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Dale Houston, give this authority for the job address show below
Installer License Holder Name

only, 1077 NE Cheshire Ln, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Tamara Wainwright	<i>Tamara Wainwright</i>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Dale Houston

License Holders Signature (Notarized)

TH 1025142

License Number

6/3/20

Date

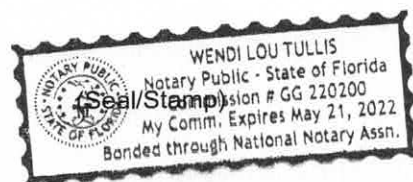
NOTARY INFORMATION:

STATE OF: Florida

COUNTY OF: Sumner

The above license holder, whose name is Dale Houston, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 3rd day of June, 20 20.

Wendi Lou Tullis
NOTARY'S SIGNATURE





COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS AGENT AUTHORIZATION

I, Dale Houston, give this authority and I do certify that the below
Installers Name

referenced person(s) listed on this form is/are under my direct supervision and control and
is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Agents Company Name
Tamara Wamungu	<i>Tamara Wamungu</i>	Corbetts mobile home center

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

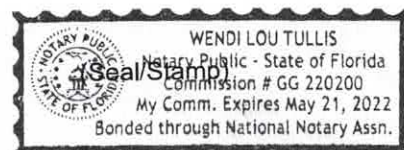
Dale Houston TH1025142 6/3/20
License Holders Signature (Notarized) License Number Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Suwanee

The above license holder, whose name is Dale Houston,
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 3rd day of June, 2020.

Wendi Lou Tullis
NOTARY'S SIGNATURE

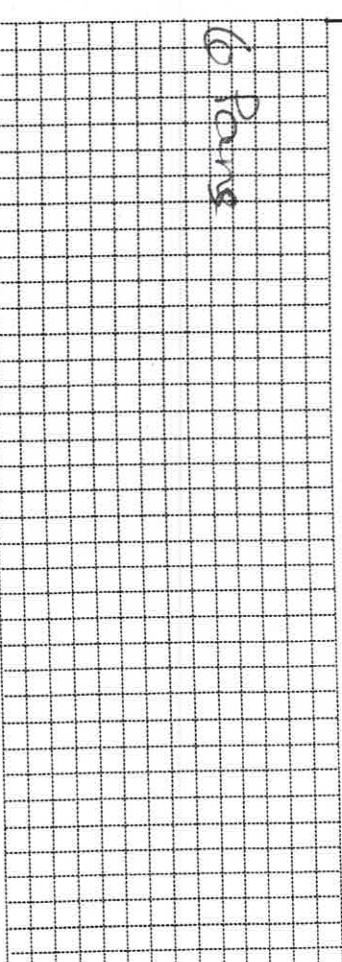
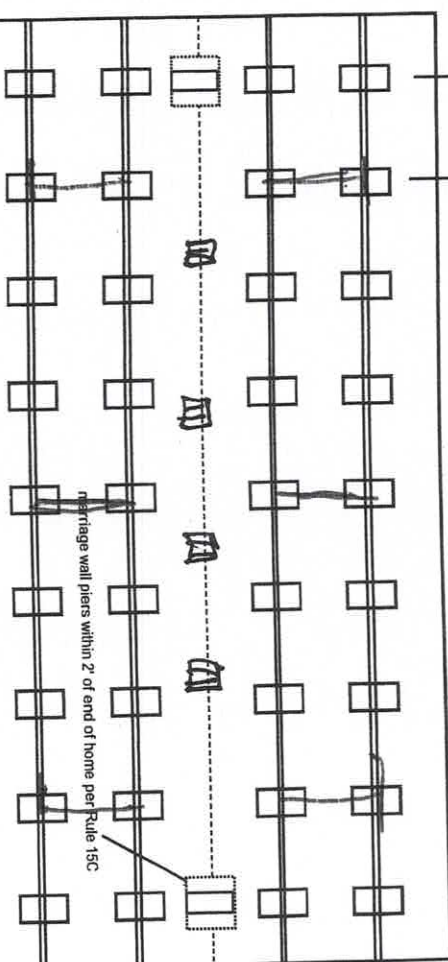
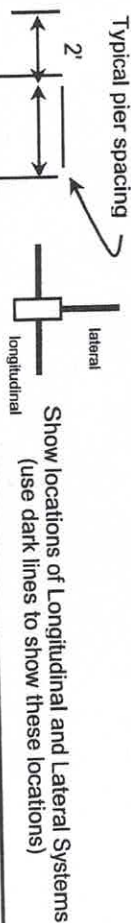


Mobile Home Permit Worksheet

Installer: Dale Houston License # IH 1035142
 Address of home being installed 1077 NE Chesbur Lane
Lake City FL 32055
 Manufacturer Tra-Mat Length x width 76' x 28'

NOTE: If home is a single wide fill out one half of the blocking plan
 If home is a triple or quad wide sketch in remainder of home
 I understand Lateral Arm Systems cannot be used on any home (new or used)
 where the sidewall ties exceed 5 ft 4 in.

Installer's initials DH



Application Number: Rybarczuk

Date: 6/11/20

New Home ☒ Used Home ☐
 Home installed to the Manufacturer's Installation Manual
 Home is installed in accordance with Rule 15-C
 Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
 Double wide ☒ Installation Decal # 3/255
 Triple/Quad ☐ Serial # 68723

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 24x24x1
 Perimeter pier pad size 16x16x1
 Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc yes

OTHER TIES

Longitudinal Stabilizing Device (LSD)
 Manufacturer _____
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer _____

Sidewall _____
 Longitudinal _____
 Marriage wall _____
 Shearwall _____

Number 28

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is 279 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

PH Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Dele Huster

Date Tested 6/11/20

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15

Site Preparation

Debris and organic material removed NCS
Water drainage: Natural Swale ☒ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: 3/8 lag Length: 5" Spacing: 16" OC
Walls: Type Fastener: 8 screw Length: 3" Spacing: 24" OC
Roof: Type Fastener: 3/8 lag Length: 5" Spacing: 16" OC
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials PH

Type gasket Feam
Pg. 8

Installed:
Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 21
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No _____
Dryer vent installed outside of skirting. Yes ☒ N/A ☒
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Dele Huster Date _____

Prepared by:
Branden L. Strickland, Esq.
Strickland Law Firm, P.L.
10680 83rd Place
Live Oak, FL 32060

The preparer of this instrument has preformed no
Title examination nor has the preparer issued any
title insurance or opinion regarding the names, title,
addresses, tax identification number and legal description
furnished by parties to this transaction

QUIT CLAIM DEED

THIS QUIT-CLAIM DEED, Executed this 21st day of November, 2006 by
Patricia Anne Lucas, A Single Person, First party, to Tara Nell Weed, whose post office
address is: 107 NE Cheshire Lane, Lake City, FL 32055

Second party:


WITNESSETH, That the said first party, for and in consideration of the sum of \$10.00, in
hand paid by the said second party, the receipt whereof is hereby acknowledged, does
hereby remise, release and quit-claim unto the said second party forever, all the right,
title, interest, claim and demand which the said first party has in and to the following
described lot, piece or parcel of land, situate, lying and being in the County of Columbia,
State of Florida, to wit:

See Exhibit "A" attached hereto and by this reference made a part thereof.

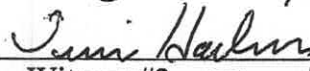
TO HAVE AND TO HOLD the same together with all and singular the appurtenances
thereunto belonging or in anywise appertaining, and all the estate, right, title, interest,
lien, equity and claim whatsoever of the said first party, either in law or equity, to the
only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the
day and year first above written.

Signed, sealed and delivered in presence of:


Witness #1 Cheryl Beaty


Patricia Anne Lucas


Witness #2 Tim Harber

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in
the State aforesaid and in the County aforesaid to take acknowledgments, personally
appeared Patricia Anne Lucas, A Single Person, to me known to be the persons described
in and who executed the foregoing instrument and he acknowledged before me that he

THIS QUIT-CLAIM DEED, Executed this 21st day of November, 2006 by Patricia Anne Lucas, A Single Person, First party, to Tara Nell Weed, whose post office address is: 107 NE Cheshire Lane, Lake City, FL 32055
Second party:

WITNESSETH, That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Columbia, State of Florida, to wit:

See Exhibit "A" attached hereto and by this reference made a part thereof.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

Cheryl Beaty
Witness #1 Cheryl Beaty

Patricia Anne Lucas
Patricia Anne Lucas

Tim Harber
Witness #2 Tim Harber

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Patricia Anne Lucas, A Single Person, to me known to be the persons described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 21st day of November, 2006.

(NOTARY SEAL)



Notary Public
NOTARY PUBLIC
SEAL

ATS 16118A

Exhibit "A"

Commence at the Northwest corner of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 4, Township 3 South, Range 17 East, Columbia County, Florida and run thence S $02^{\circ}03'37''$ E, along the West line of said SE $\frac{1}{4}$ of NW $\frac{1}{4}$ 851.00 feet; thence continue S $02^{\circ}03'37''$ E, still along said West line 450.93 feet more or less to a point on the North Right-Of-Way line of Cheshire Road; thence N $87^{\circ}56'59''$ E, along said North Right-Of-Way line, 223.56 feet; thence N $02^{\circ}02'03''$ W, 79.03 feet to the Point of Beginning; thence N $03^{\circ}54'04''$ W, 128.00 feet; thence S $87^{\circ}57'57''$ W, 173.04 feet; thence S $03^{\circ}52'53''$ E, 128.00 feet; thence N $87^{\circ}57'57''$ E, 173.08 feet to Point of Beginning.

TOGETHER WITH:

An easement for Ingress and Egress lying 30 feet to the left as measured perpendicular to the following described line; commence at the Northwest corner of the SE $\frac{1}{4}$ of the NW $\frac{1}{4}$ of Section 4, Township 3 South, Range 17 East, Columbia County, Florida and run thence S $02^{\circ}03'37''$ E, along the West line of said SE $\frac{1}{4}$ of NW $\frac{1}{4}$ 851.00 feet; thence continue S $02^{\circ}03'37''$ E, still along said West line, 450.93 feet more or less to a point on the North Right-Of-Way line of Cheshire Road; thence N $87^{\circ}56'59''$ E, along said North Right-Of-Way line, 223.56 feet to the Point of Beginning; thence N $02^{\circ}02'03''$ W, 79.03 feet to the point of termination of said line.

Paul

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Wirt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **6/3/2020 6:53:26 PM**
Address: **1077 NE CHESHIRE Ln**
City: **LAKE CITY**
State: **FL**
Zip Code **32055**

Parcel ID **04838-010**

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com