

Newapp#43707

Columbia County Remodel Permit Application

\$97.75

38825

**For Office Use Only** Application # 1909-84 Date Received 9/25/19 By MG Permit # 987007  
Zoning Official LW Date 10-1-19 Flood Zone X Land Use Ag Zoning A-3  
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 7.C. Date 10-3-19  
Comments pool permit #38609 Front 30' Sides 25' Rear 25'  
☒ NOC ☒ Deed or PA ☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor will get one  
☐ F.W Comp. letter ☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid  
☒ Site Plan ☐ Env. Health Approval ☐ Sub-VF Form

Applicant (Who will sign/pickup the permit) John Hamm (ask who is picking up) Fax \_\_\_\_\_ Phone 904-509-8298  
Address 1031 Blanding Blvd Ste 403 Orange Park, FL 32065  
Owners Name Roberto Pena Phone 407-929-5841  
911 Address 804 NW Milo Terrace, Lake City, FL 32055  
Contractors Name A. John Hamm IV/ ScreenWorks, Inc. Phone 904-272-8604  
Address 1031 Blanding Blvd. Suite 403, Orange Park, FL 32065  
Contractor Email screenworks@bellsouth.net \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_  
Bonding Co. Name & Address \_\_\_\_\_  
Architect/Engineer Name & Address \_\_\_\_\_  
Mortgage Lenders Name & Address \_\_\_\_\_  
Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy  
Property ID Number 08-3S-16-02032-118 Estimated Construction Cost 10'000  
Subdivision Name Hills of Huntsville Lot 18 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
Driving Directions from a Major Road Lake Jeffery Road W, L Huntsville Church, L Milo Terr, 804 on R before Levi Gln

Construction of Pool Screen Enclosure \_\_\_\_\_ Commercial OR ☒ Residential  
Type of Structure (House; Mobile Home; Garage; Exxon) \_\_\_\_\_  
Use/Occupancy of the building now Residential Is this changing No  
If Yes, Explain, Proposed Use/Occupancy \_\_\_\_\_  
Is the building Fire Sprinkled? \_\_\_\_\_ If Yes, blueprints included \_\_\_\_\_ Or Explain 7079  
Entrance Changes (Ingress/Egress) \_\_\_\_\_ If Yes, Explain \_\_\_\_\_  
Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) \_\_\_\_\_

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2017 6th Edition and the 2014 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within **180** days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

ROBERTO L. PEÑA  
Print Owners Name

[Signature]  
Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

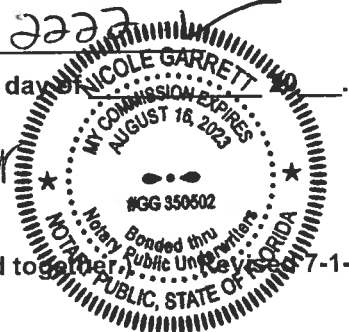
[Signature]  
Contractor's Signature

Contractor's License Number SCC056774  
Columbia County  
Competency Card Number 2222

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 11th day of September 2019  
Personally known [Signature] or Produced Identification [Signature]

[Signature]  
State of Florida Notary Signature (For the Contractor)

SEAL:





COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

### LICENSED QUALIFIER AUTHORIZATION

I, A. John Hamm (license holder name), licensed qualifier  
for Screenworks, Inc. (company name), do certify that  
the below referenced person(s) listed on this form is/are contracted/hired by me, the license  
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an  
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said  
person(s) is/are under my direct supervision and control and is/are authorized to purchase and  
sign permits; call for inspections and sign subcontractor verification forms on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>James Britton</u>	1.
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done  
under my license and fully responsible for compliance with all Florida Statutes, Codes, and  
Local Ordinances. I understand that the State and County Licensing Boards have the power and  
authority to discipline a license holder for violations committed by him/her, his/her agents,  
officers, or employees and that I have full responsibility for compliance with all statutes, codes  
and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are not  
officer(s), you must notify this department in writing of the  
authorization form, which will supersede all previous lists  
unauthorized persons to use your name and/or license n

A. J. Hamm  
Licensed Qualifiers Signature (Notarized) Li

NOTARY INFORMATION:  
STATE OF: Florida COUNTY OF: Clay

The above license holder, whose name is A. John  
personally appeared before me and is known by me or h  
(type of I.D.) on this 15

Notary Signature  
NOTARY'S SIGNATURE

Please Sign  
Application #1909-84  
To Pick up  
Permit





**Columbia County Property Appraiser**

Jeff Hampton

**2019 Preliminary Certified Values**

updated: 8/14/2019

Parcel: << **08-3S-16-02032-118** >>

Aerial Viewer Pictometry Google Maps

**Owner & Property Info**

Result: 1 of 1

Owner	<b>PENA ROBERTO L TRUSTEE OF THE PENA FAMILY REVOCABLE TRUST</b> 804 NW MILO TER LAKE CITY, FL 32055		
Site	804 MILO TER, LAKE CITY		
Description*	LOT 18 HILLS OF HUNTSVILLE. WD 1138- 2317, CT 1172-1931, WD 1185-791, QC 1367- 240,		
Area	5.01 AC	S/T/R	08-3S-16E
Use Code**	SINGLE FAM (000100)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

**Property & Assessment Values**

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$33,500	Mkt Land (1)	\$39,000
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (1)	\$208,408
XFOB (0)	\$0	XFOB (1)	\$6,671
Just	\$33,500	Just	\$254,079
Class	\$0	Class	\$0
Appraised	\$33,500	Appraised	\$254,079
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$33,500	Assessed	\$254,079
Exempt	\$0	Exempt	\$0
Total	county:\$33,500	Total	county:\$251,929
Taxable	city:\$33,500	Taxable	city:\$251,929
	other:\$33,500		other:\$251,929
	school:\$33,500		school:\$254,079

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/15/2018	\$100	<a href="#">1367/0240</a>	QC	V	U	11
11/18/2009	\$59,900	<a href="#">1185/0791</a>	WD	V	Q	01
4/22/2009	\$100	<a href="#">1172/1931</a>	CT	V	U	11
12/17/2007	\$1,235,000	<a href="#">1138/2317</a>	WD	V	U	02 (Multi-Parcel Sale) - <a href="#">show</a>

**▼ Building Characteristics**

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
<a href="#">Sketch</a>	1	SINGLE FAM (000100)	2018	2302	3373	\$208,408

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

**▼ Extra Features & Out Buildings (Codes)**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
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## SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME \_\_\_\_\_

### THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**Use website to confirm licenses:** <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/A/C</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/GAS</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: <b>904-272-8604</b>	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/SPRINKLER</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

## NOTICE OF COMMENCEMENT

Clerk's Office Stamp

Tax Parcel Identification Number:

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): LOT 18 HILLS OF HUNTSVILLE  
a) Street (job) Address: 804 NW Milo Terrace
2. General description of improvements: Screen Pool Enclosure
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: Roberto Pena- 804 NW Milo Terrace, Lake City, FL 32055  
b) Name and address of fee simple titleholder (if other than owner): \_\_\_\_\_  
c) Interest in property: Fee Simple
4. Contractor Information  
a) Name and address: A. John Hamm IV/ ScreenWorks, Inc. 1031 Blanding Blvd. Ste 403, Orange Park, FL 32065  
b) Telephone No.: 904-272-8604
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No.: \_\_\_\_\_
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: \_\_\_\_\_ OF \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. \_\_\_\_\_  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Roberto Pena

Printed Name and Signatory's Title/Office

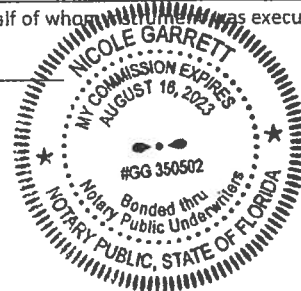
The foregoing instrument was acknowledged before me, a Florida Notary, this 11th day of September, 2019, by:  
Roberto Pena as owner for himself  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature

Nicole Garrett

Notary Stamp or Seal:





100'±

350'±

150'±

200'±

NEW  
Pool Enclosure

40'± Septic

65'±

W

N  
↑

NW MILO TER

Pena, Roberto  
804 NW Milo Ter  
Lake City, FL 32054  
08-35-16-02032-11  
Hills of Huntsville  
Lot 18



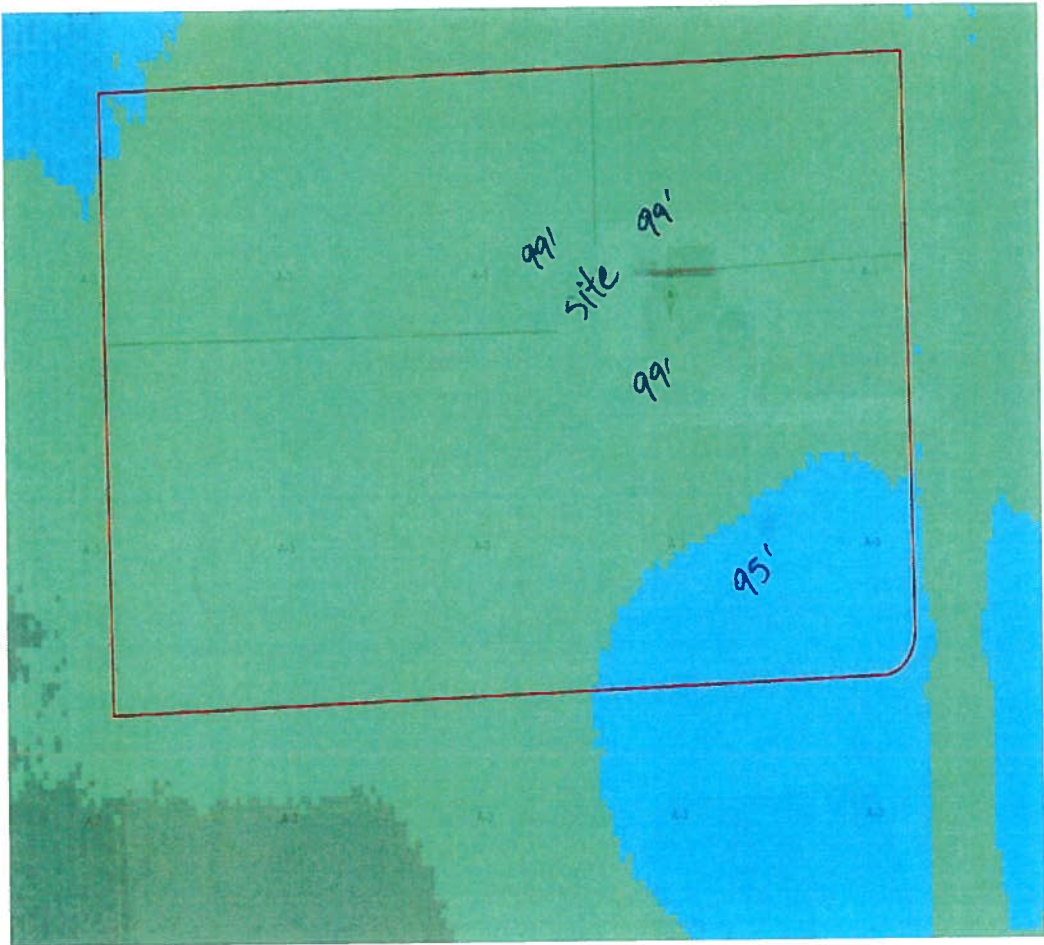
Legend

- 2018Aerials  
SRWMD Wetlands  
Parcels  
SectionTownshipAndRange  
2018 Flood Zones  
0.2 PCT ANNUAL CHANCE  
A  
AE  
AH  
Roads  
Roads  
others  
Dirt  
Interstate  
Main  
Other  
Paved  
Private  
DevZones1  
others  
A-1  
A-2  
A-3  
CG  
CHI  
CI  
CN  
CSV  
ESA-2  
I  
ILW  
MUD-1  
PRD  
PRRD  
RMF-1  
RMF-2  
RO  
RR  
RSF-1  
RSF-2  
RSF-3  
RSF/MH-1  
RSF/MH-2  
RSF/MH-3  
DEFAULT  
LidarElevations



# Columbia County, FLA - Building & Zoning Property Map

Printed: Tue Oct 01 2019 09:37:21 GMT-0400 (Eastern Daylight Time)



## Parcel Information

Parcel No: 08-3S-16-02032-118  
Owner: PENA ROBERTO L TRUSTEE OF TH  
Subdivision: HILLS OF HUNTSVILLE  
Lot:  
Acres: 5.06236029  
Deed Acres: 5.01 Ac  
District: District 3 Bucky Nash  
Future Land Uses: Agriculture - 3  
Flood Zones:  
Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.





ALUMINUM SCREEN DESIGN

Aluminum & Construction Engineering

**\*Plan Types:**

- ☐ Screen Room ☐ Sun Room ☐ Fill In  
☒ Pool Screen/Cage (Non-Removable Screen – Designed to withstand actual Wind Speed)  
☐ Car Port ☐ Patio Cover  
☐ Other: *Pena*

\* ☒ Standard ☐ Non Standard ☐ Revision ☐ Commercial ☐ \$75.00 Rush Fee

\*Project Address: *804 N.W. Milo terr.*

\*City: *Lake City 32055*

Date: *9-17-19*

\*Contractor Name: *A. John Hamm/ ScreenWorks, Inc.*

\*Address: *1031 Blanding Blvd. Suite 403*

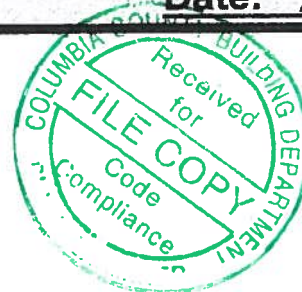
\*City: *Orange Park*

\*Zip Code: *32065*

\*Phone/Fax: *904-272-8604/ 904-272-7562*

\*Email: *screenworks@bellsouth.net*

\*Choose One: ☒ Mail ☐ Pick Up ☐ E-File ☐ Fed Ex/UPS\* *4* # of Copies  
☐ Single PDF  
☐ Each Page Separate



\*(For FedEx option go to [www.aluminumscreendesign.com](http://www.aluminumscreendesign.com) and provide FedEx/UPS account #)

\* Payment: ☐ Check ☒ Credit Card\*

\*(For Credit Card option go to [www.aluminumscreendesign.com](http://www.aluminumscreendesign.com) to pay by credit card)  
Engineering prepared by:



Engineer: Michael Thompson, MSc, P.E. (P.E. # 47509)

4401 Vineland Road- Suite A6 Orlando, FL 32811

Office: 407-734-1470 Cell: 407-721-2292

Project Manager Paul Thomas 386-479-9504 Fax: 888-923-8181

Email: [aluminumscreendesign@yahoo.com](mailto:aluminumscreendesign@yahoo.com)

Website: [www.aluminumscreendesign.com](http://www.aluminumscreendesign.com) CA#30930



ALUMINUM SCREEN DESIGN

Aluminum & Construction Engineering

\* Ultimate Wind Speed (mph): 120 Exposed Category: C Risk Category: 1

☐ Screen Room ☐ Sun Room ☐ Fill In  
☐ Insulated ☐ Pan Roof  
☐ Gutter ☐ Fascia ☐ Block Wall ☐ Conventional Wall ☐ 4<sup>th</sup> Wall  
Uprights X Top Plate X Chair Rail X  
Uprights X Top Plate X Chair Rail X  
Kick Plate \_\_\_\_\_

Pool Screen/Cage:

☐ Dome ☐ Gable ☒ Mansard/Hip ☐ Shed/Slope  
☒ Gutter ☐ Fascia ☐ Block Wall ☐ Conventional Wall  
Beams 2 X 10 Uprights 2 X 4 Purlin 2 X 2 Chair Rail 2 X 2  
Beams X Uprights X Purlin X Chair Rail X  
Kick Plate \_\_\_\_\_

☐ Patio Cover ☐ Car Port  
☐ Insulated ☐ Pan Roof  
☐ Gutter ☐ Fascia ☐ Block Wall ☐ Conventional Wall ☐ 4<sup>th</sup> Wall  
Beams X Post X

Concrete:

☐ Existing ☐ New: 4" Slab ☐ Pier ☐ Ribbon Footer X  
☐ Pavers ☐ 6" Thickened Edge

Other: \_\_\_\_\_

Note: In the event that there is a conflict with the design plans and general notes and design standard, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction between the plans and the general notes and design standard.

Engineer: Michael Thompson, MSc, P.E. (PE#47509)  
4401 Vineland Road Suite A6, Orlando, FL 32811  
(CA#30930)-Ph 407-734-1470/Fax 407-734-1790

## **General Notes & Design Standards**

### **(Non-Removable Pool Screen)**

The following are general design standards. More stringent design standards may be noted on the plans. In the event of a conflict in plans and/or design standard dimensions and/or member sizes, the contractor must utilize the more stringent dimensions and/or member sizes prior to ordering materials, fabrication and/or construction.

#### **Design Codes:**

Florida Building Code 2017 (6<sup>th</sup> Edition)  
Aluminum Design Manual 2015  
ASCE 7-10

#### **Design Loads:**

Pursuant to FBC Chapters 16 & 20  
Ultimate Wind: **-120 MPH** (FBC Table 2002.4)  
Risk Category: -See attach site specific plan sheet (FBC Table 1604.5)  
Exposure Category: -See attach site specific plan sheet (FBC 1609.4.3)

#### **Additional Load requirements:**

Structural members supporting screened enclosures are designed for wind in both of two orthogonal directions using the pressures given in Table 2002.4. Each primary member is also designed for a 300 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load. In addition to wind pressures, purlins is also be designed for a 200 pound load applied vertically downward along any 1 foot of any member, not occurring simultaneously with wind load.

#### **Design Basis:**

Allowable Stress Design (ASD) = Allowable Strength Design (ASD) divide by safety factor

#### **General Requirements:**

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use.

A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval.

The general contractor and each subcontractor shall review the approve construction plans in its entirety and verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

#### **Foundation and Earthwork:**

Applicable only when unsuitable soils are encountered.  
When unsuitable soils are encountered as specified bearing strata, notify owner's representative/engineer.  
Soil bearing capacity – 2,000 psf Minimum

Provide neat excavation for footing and place concrete immediately after excavation and inspection.

Pump water from footing excavation if greater than one inch.  
Compact all fill to 95% ASTM D698 density.

Unit soil weight = 105 pcf  
Internal angle of friction = 30 degrees

Coeff. Of friction between footing and soil = 0.5



**Structural Aluminum:**

Conform to latest edition of Florida Building Code and Aluminum Design Manual standard practice for aluminum design.

All aluminum shall be 6005-T5 (E= 10,000 ksi; Fy = 35 ksi) with a minimum wall thickness of 0.046"

Splicing prohibited without prior approval as to location and type.

Burning of holes in aluminum members is prohibited. Any member with burned holes must be replaced.

**Aluminum Protection:**

Shall be pursuant FBC 2003.8.4. Aluminum surfaces in contact with dissimilar materials, lime-mortar, concrete, or other masonry materials, shall be protected with powder coated or ESP paint or alkali-resistant coatings, such as heavy-bodied bituminous paint or water-white methacrylate lacquer.

**Screws:**

Aluminum self-tapping screws shall conform to ASME B18.6.4 specification.

Self-tapping screws shall meet the requirements of ADM J.5

Maximum fastener spacing shall not exceed  $(3+20t)$  where "t" is the member thickness in inches.

For roofing and siding connection, use minimum #12 screws for end and side laps spaced at 12" max for side lap and end lap fasteners shall be no more than 2" from the end of overlapping sheets.

For bottom plate and column base, secure with 1/4" tapcons a minimum embedment of 1 1/8" and 2 1/4" respectively into concrete footer.

**Bolts:**

Bolts and other fasteners shall be aluminum, stainless steel, hot-dip or electro-galvanized steel. Double cadmium plated steel bolts may also be used. Bolt holes diameter shall not exceed 1/16" larger than the bolt diameter and shall be spaced at a minimum of 2.5 times the bolt diameter with minimum edge distance of 1.5 times the bolt diameter.

Bolts shall meet the requirements of ADM J.3

**Chair Rails, Purlins & Wind Brace:**

Chair rails, purlins and wind brace shall conform with the below maximum span length. If the event contractor's specific site plan conflict with the below recommended length, the contractor shall utilize the more stringent dimensions and member sizes prior to ordering materials, fabrication and/or construction.

**Wind Speed = 120 MPH**

2 x 2 Chair Rail = 7'-0"	2 x 2 Purlins = 7'-0"	2 x 2 Wind Brace = 4'-3"	2 x 3 (0.125) Wind Brace = 9'-0"
2 x 3 Chair Rail = 8'-6"	2 x 3 Purlins = 8'-6"	2 x 3 Wind Brace = 6'-9"	2 x 4 Wind Brace = 9'-0"

**Concrete**

Conform to ACI 318, latest edition and ACI 301

Compressive Ultimate Strength (Minimum at 28 days) shall be 3000 psi

Exposed chamfer edges shall be 3/4"

**Reinforcing Steel:**

Conform to ACI 318 and 315, Latest edition

All reinforcement steel shall be ASTM A615 Grade 60.

Smooth dowels & ties shall be ASTM A185

Welded Wire Fabric shall be ASTM A185 or A82 (Flat sheet).

Deformed bar anchors shall be ASTM A496, Grade 70

Cover: Footing 3"

**Washer:**

Washers shall be used under bolt heads and under nuts.

#### Hole Alignment:

Poor matching holes must be rejected. Contractor shall prevent holes from drifting and distort the metal. All chips and foreign matter between contacting surfaces shall be removed before assembly.

#### Cables:

Contractor shall provide a minimum 1/8" diameter stainless steel cable tie down at side and rear walls of pool screen enclosure. Contractor shall secure cable to top of column located at each corner and where there is a difference in column height locations. In addition, cables shall be spaced to provide wall support not exceeding 227.5 ft<sup>2</sup> with bottom each end of cables secure to concrete slab with a minimum 3"ASTM A-36 steel clip with 2-1 1/2" x 1/4" tapcons or equal.

#### Beams & Uprights:

In the event of a conflict with the values in this table and the site specific plan, the contractor must utilize the more stringent dimensions and/or member sizes between the site specific plan and the below applicable span limitations prior to ordering materials, fabrication and/or construction.

<b>120 MPH</b>			
<b>PRIMARY ROOF MEMBERS-POOL CAGE ENCLOSURES</b>			
SIZE	Roof Span *Maximum Beam Spacing = 6'-0"	Roof Span *Maximum Beam Spacing = 6'-8"	Roof Span *Maximum Beam Spacing = 7'-2"
2 X 4	19'-0"	18'-0"	14'-3"
2 X 5	24'-6"	23'-3"	20'-3"
2 X 6	28'-6"	27'-1"	24'-3"
2 X 7	30'-3"	29'-3"	28'-0"
2 X 8	36'-9"	35'-9"	35'-6"
2 X 9	39'-0"	37'-11"	37'-6"
2 X 10	40'-0"	40'-0"	40'-0"

<b>Upright -Pool Cage Enclosures</b>				
Upright SIZE	120 MPH Height			
2 X 4	12'-0"			
2 X 5	14'-3"			
2 X 6	16'-0"			
2 X 7	17'-9"			
2 X 8	18'-9"			
2 X 9	19'-9"			

#### Knee Bracing:

Contractor shall provide knee bracing on 45 degree angle pursuant the attach detail sheet that specified size and length requirements. Knee bracing on upright above super gutter intersection shall be connected to upright no more than 6" above the super gutter. Knee brace size shall be a minimum of 2 x 2 for beam span of 15' max; 2 x 3 for 30' max; 2 x 4 for beam span greater than 30'.

#### Purlin:

Contractor is required to install purlins spaced to align with column spacing; however, spacing between purlins shall not exceed 7'-2".

#### Header Beam:

Contractor is required to install a minimum 2 x 7 header beam supported with 3 x 3 column space at 10 feet (max) with a 2' x 2' x 1'-6" concrete footer with 3#5 each way when screen enclosed is required to be attached super gutter at the interface of the insulated roof panel. Contractor is required to install insulated roof covering pursuant to the Florida product approval specification (30 psf).

#### Intermediate Girts:

Contractor is required to install intermediate chair rails/girts spaced at mid-span between the chair rails and top rail or 6'-0" max on center when column height exceeds 11 feet. Contractor is also required to install one additional intermediate chair rail/girt to be located 3 feet below the top rail when column height exceeds 14 feet.

#### Edge Distance:

Contractor is required to install uprights to provide a 2" minimum clearance from edge of slab and/or footer.