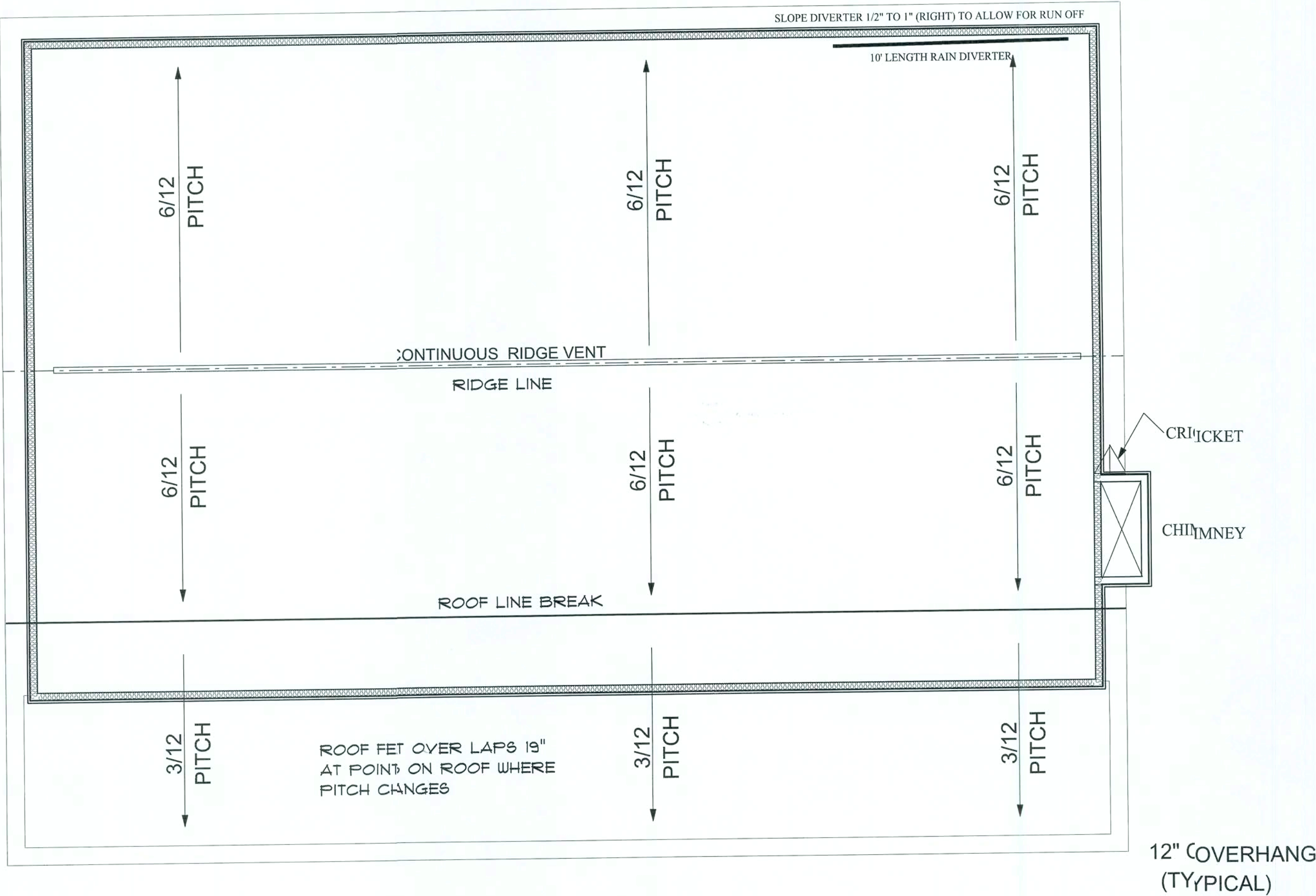


ALL ROOFS WITH PITCHES BETWEEN 4/12 AND 2/12 ARE REQUIRED TO HAVE A MIN. OF (2) LAYERS OF FELT PAPER PER FLORIDA BUILDING CODE SECTION 1507.3.8.1

ROOF PITCHES ABOVE 4/12 ARE REQUIRED TO HAVE A MIN. OF (1) LAYER OF FELT PAPER PER FLORIDA BUILDING CODE SECTION 1507.3.8.2

10' LENGTH RAIN DIVERTER
PLACED ON ROOF OVER
6/0 PATIO DOOR AREA



ROOF LAYOUT PLAN

GROUND FLOOR:	1288
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1288

PORCH:	276
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1564

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ROOF LAYOUT PLAN
CONSTRUCTION
PLANS

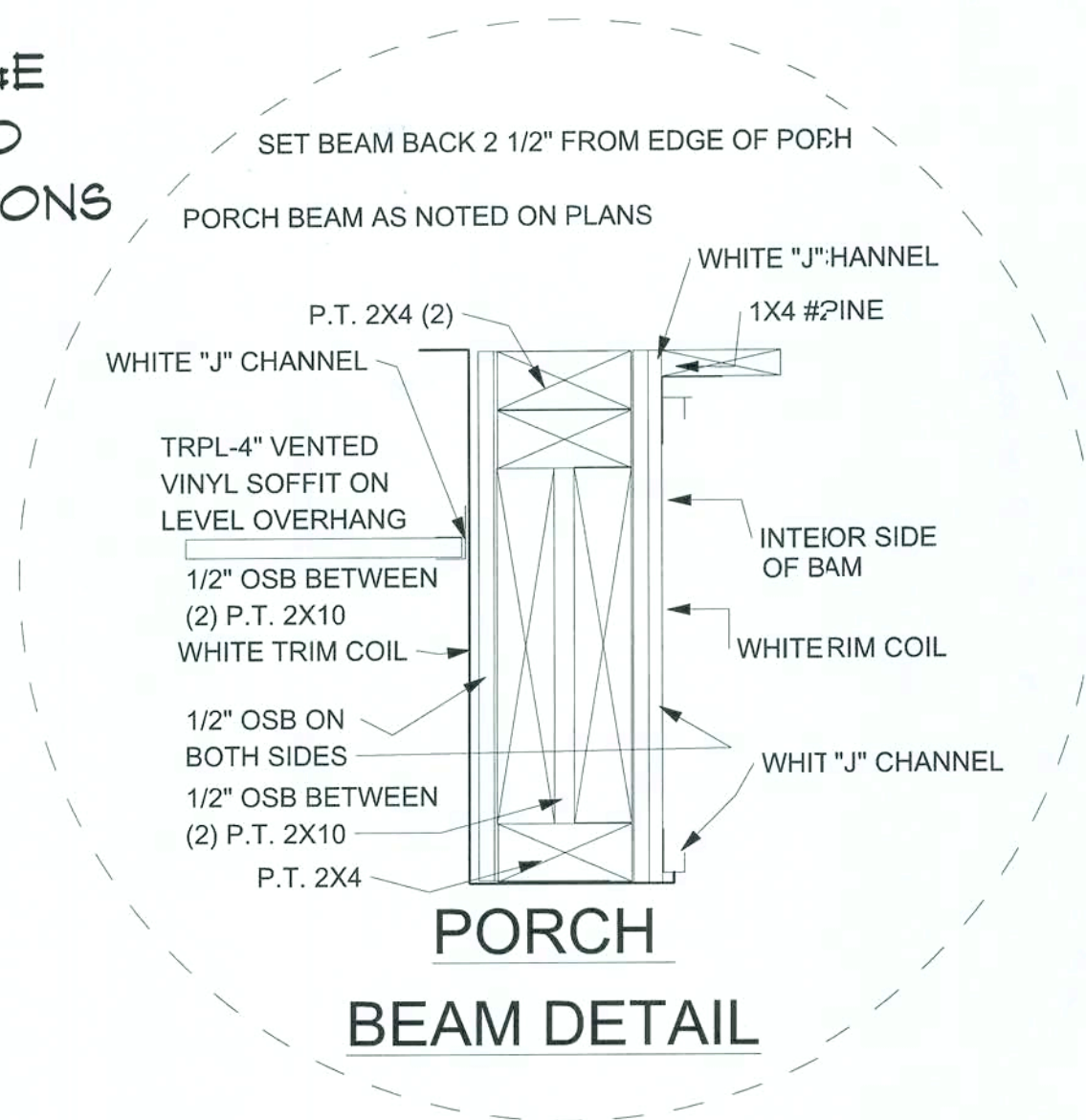
SCALE: 1/4" = 1'-0"

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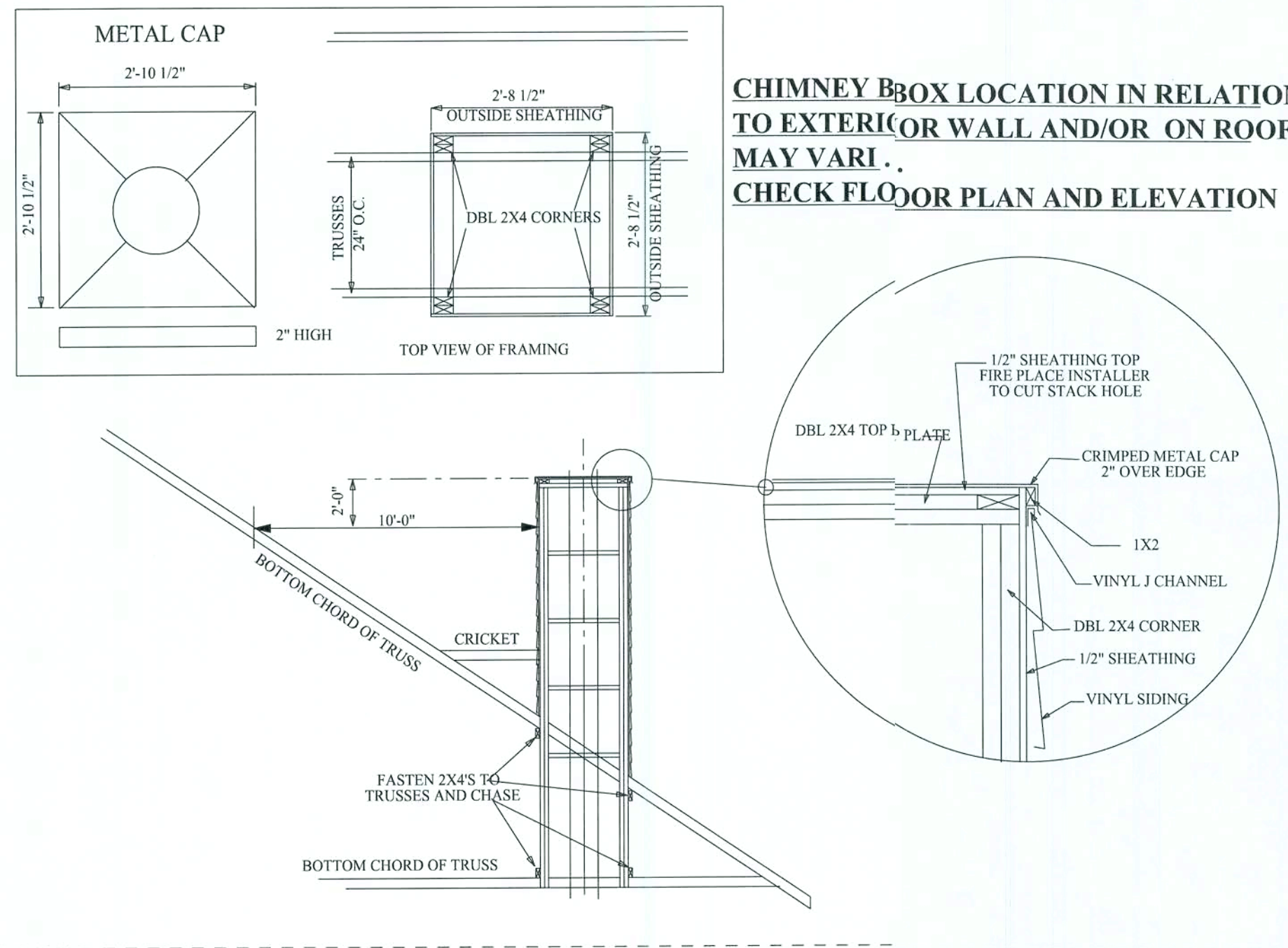
1	9/5/08	JLB	ADDED PANTRY TO KITCHEN
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION



BEAM SUBJECT TO CHANGE
ACCORDING TO REQUIRED
ENGINEERING SPECIFICATIONS



TYPICAL CHIMNEY FRAMING DETAIL



**DETAIL SHOWN IS GENERAL.
CHANGES MAY APPLY ACCORDING
TO ENGINEERING SPECIFICATIONS**

CHIMNEY SHOWN ON FLOOR PLAN IS WIDER THAN
EXAMPLE SHOWN IN DETAIL ABOVE
ADJUST SIZE ACCORDING TO DIMENSIONS SHOWN
ON FLOOR PLAN OF THIS CONSTRUCTION SET

Pennyworth Homes

Got Land? Let's Build!
PennyworthHomes.com FL-CRC068472

EXHIBIT "A"

PLAN: FARMVIEW

CUSTOMER NAME:
MR. JEFFERY TAYLOR

HEATED LIVING AREA

GROUND FLOOR: 1288

SECOND FLOOR: N/A

OTHER: N/A

TOTAL HEATED: 1288

**NON-HEATED
LIVING AREA**

PORCH: 276

GARAGE: N/A

OTHER: N/A

TOTAL U/R 1564

**IMPORTANT-PLEASE READ
BELOW CAREFULLY**

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CONSTRUCTION
DETAIL SHEET

CONSTRUCTION
PLANS

NOT TO SCALE

1	9/5/08	JLB	ADDED PANTRY TO KITCHEN	DRAWN BY:	PLAN DATE:	PAGE
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION	BAA	October 16, 2008	9
				JOB # 08-04-0049		OF 9

GROUND FLOOR:	1288
SECOND FLOOR:	N/A
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TOTAL HEATED:	1288

PORCH:	276
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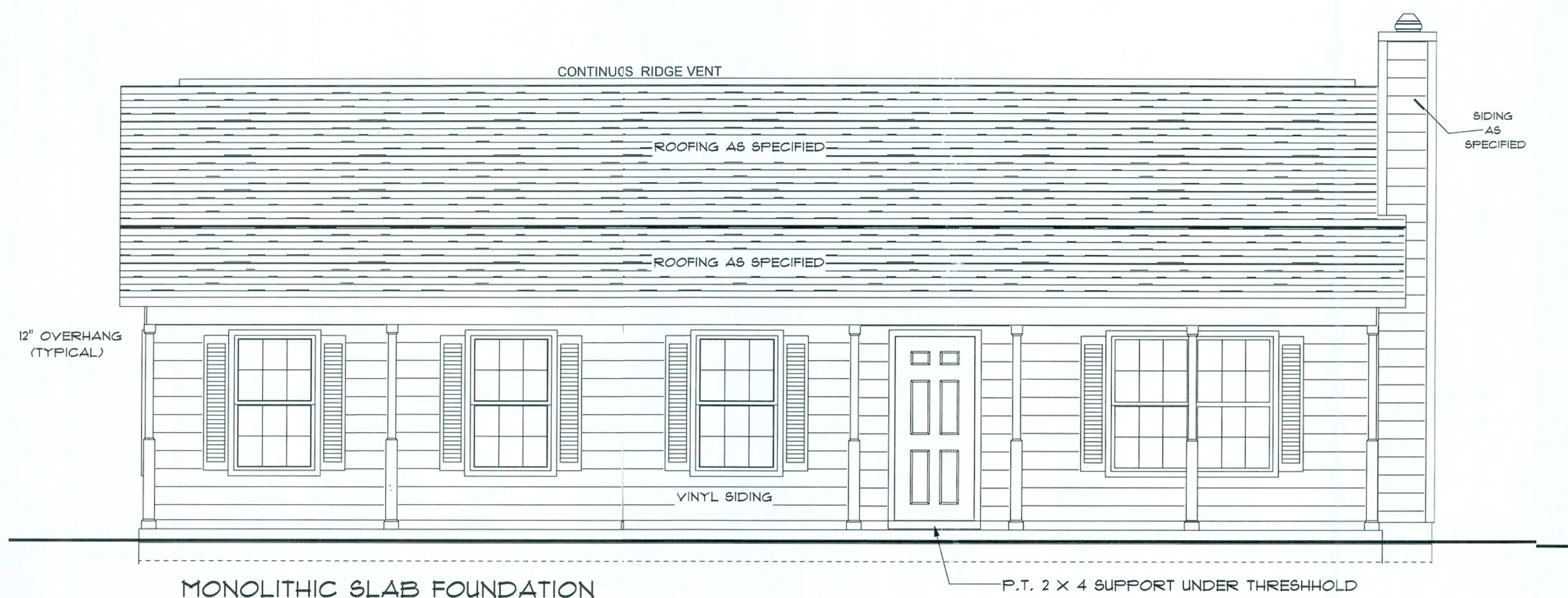
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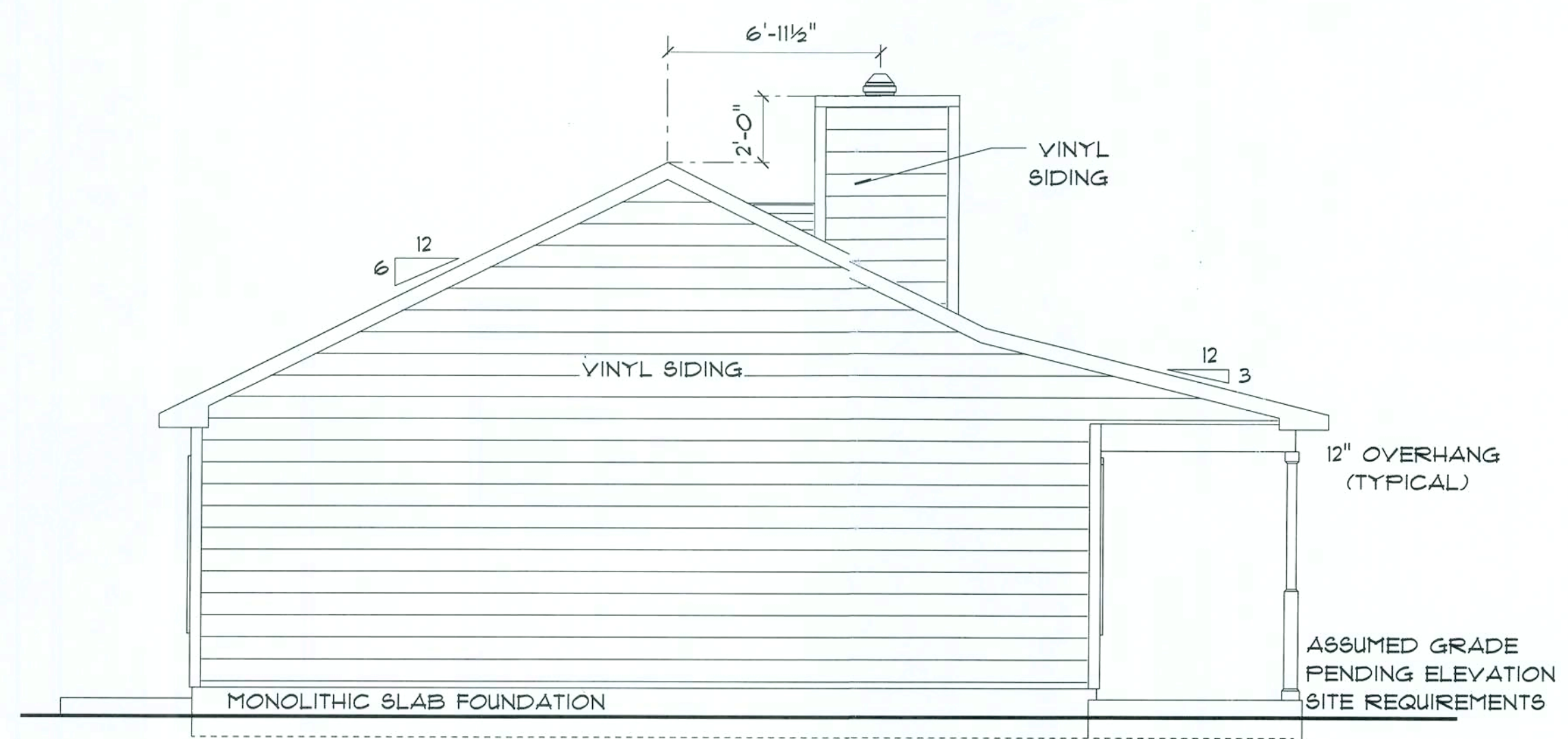
SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:	DATE:	DATE:	DATE:
BUYER/OWNER:			October 16, 2008
BUYER/OWNER:			
PENNYWORTH HOMES:			
			AGENT OF P.W.H. HOMES
			CORPORATE OFFICE

NOTE:
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FRONT ELEVATION

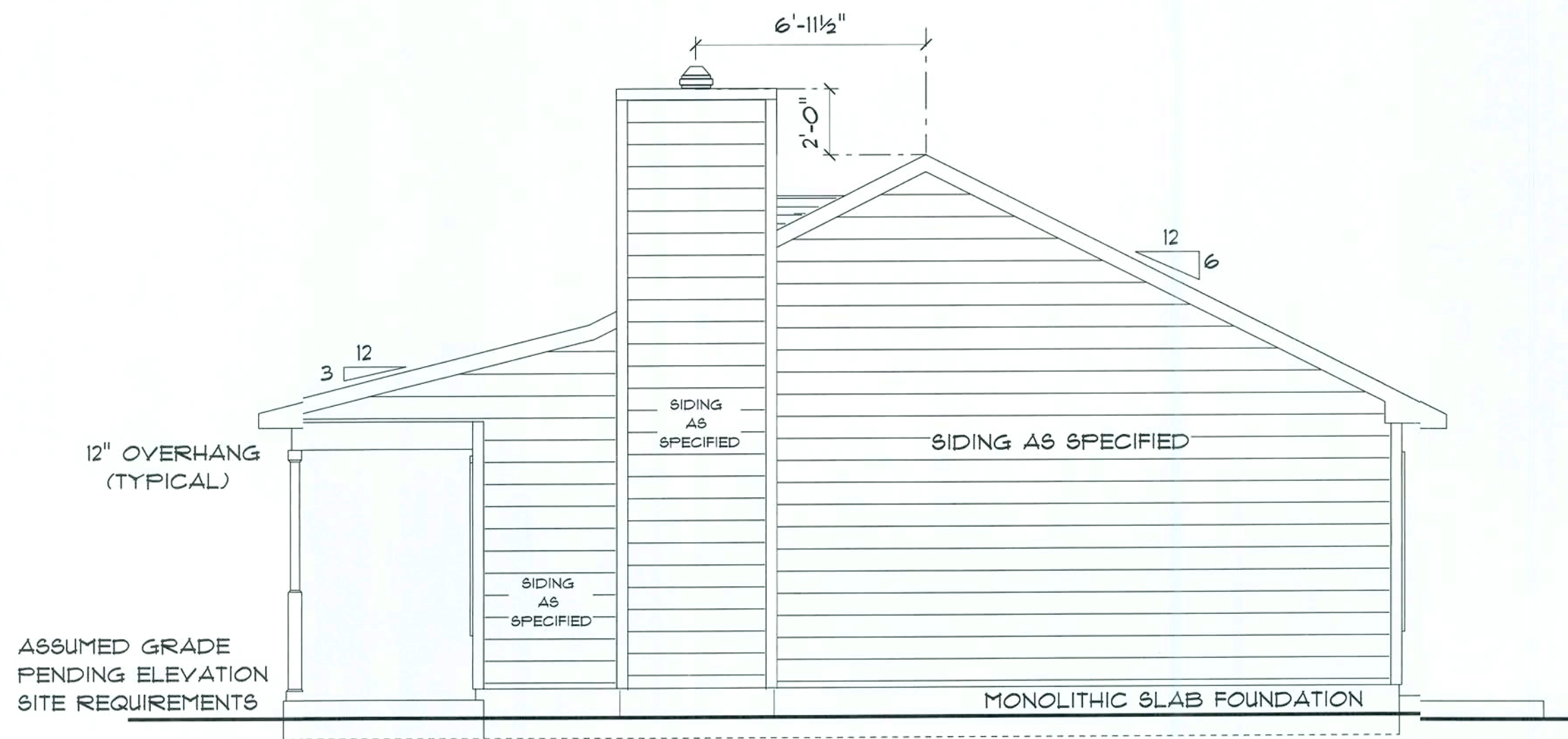


LEFT ELEVATION

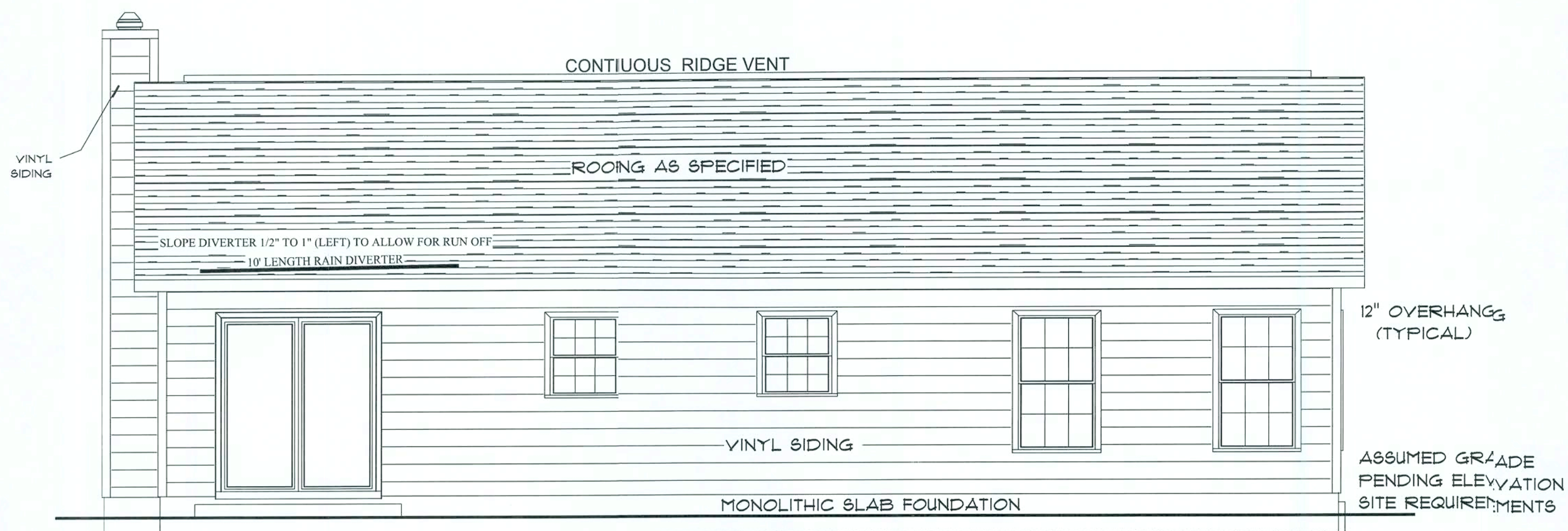


SCALE: 1/4" = 1'-0"

1	9/5/08	JLB	ADDED PANTRY TO KITCHEN
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION



RIGHT ELEVATION



REAR ELEVATION

SCALE: 1/4" = 1'-0"

GROUND FLOOR:	1288
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1288

PORCH:	276
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1564

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SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:	DATE:	DATE:	DATE:
BUYER/OWNER:			
BUYER/OWNER:			
PENNYWORTH HOMES:			
AGENT OF P.W.H. HOMES			
CORPORATE OFFICE			

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1	9/5/08	JLB	ADDED PANTRY TO KITCHEN
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION

PRODUCT CODE	R.O. SIZE	COUNT
WINDOW SCHEDULE SILVER LINE 2900 SERIES		
2830 COL.	R.O. 32-1/2" X 36-1/2"	1
2830 OBS COL	R.O. 32-1/2" X 36-1/2"	1
3052 COL	R.O. 36-1/2" X 62-1/2"	5
3052 TWIN COL.	R.O. 72-1/2" X 62-1/2"	1
6ft sliding glass door	R.O. 74" X 82-1/2"	1

PRODUCT CODE	R.O. SIZE	COUNT
EXT. DOOR SCHEDULE SMOOTH FIBERGLASS INFINITY		
13-0 6PNL COL	R.O. 38" X 82-1/2"	1

PRODUCT CODE	R.O. SIZE	COUNT
INT. DOOR SCHEDULE		
2068 R	R.O. 26" X 82-1/2"	1
2068 L	R.O. 26" X 82-1/2"	1
2468 L	R.O. 30" X 82-1/2"	1
2668 L	R.O. 32" X 82-1/2"	1
2668 R	R.O. 32" X 82-1/2"	5
2868 L	R.O. 34" X 82-1/2"	1
2868 R	R.O. 34" X 82-1/2"	1
5-0 DBF	R.O. 62" X 82-1/2"	2
6-0 DBF	R.O. 74" X 82-1/2"	1

NOTE:
ALL WINDOWS TO
BE VINYL

NOTE:
ALL INTERIOR DOORS
TO HAVE 82-1/2" R.O.
HEIGHT FROM FINISHED
FLOOR.

NOTE: BUILDER IS TO CONFIRM
ROUGH OPENINGS BEFORE FRAMING.

TRUSS DESIGNER TO
ALLOW FOR HVAC
CLOSET SPACE
*SEE FLOOR PLAN

NOTE: FORM A RECESS IN
THE SLAB FOR SLIDING
GLASS DOOR (1X6)

Pennyworth Homes

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EXHIBIT "A"

PLAN: FARMVIEW

CUSTOMER NAME:
MR. JEFFERY TAYLOR

HEATED LIVING AREA

GROUND FLOOR: 1288
SECOND FLOOR: N/A
OTHER: N/A
TOTAL HEATED: 1288

NON-HEATED
LIVING AREA

PORCH: 276
GARAGE: N/A
OTHER: N/A
TOTAL U/R 1564

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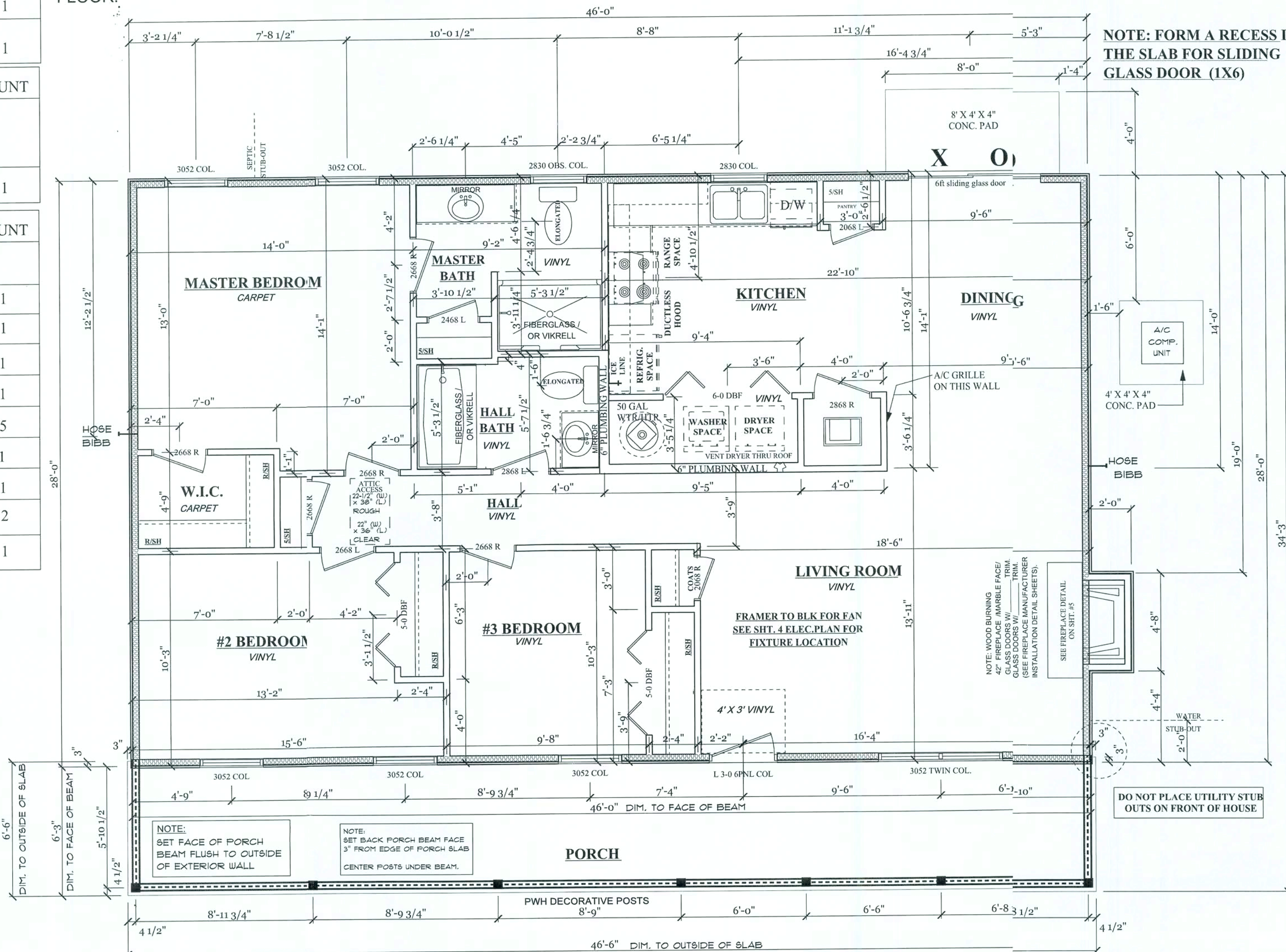
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SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER:	DATE:	DATE:	DATE:
		October 16, 2008	
BUYER/OWNER:			
PENNYWORTH HOMES:			
AGENT OF PWH HOMES			
CORPORATE OFFICE			

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REVIEW. THE BUYER SHALL BE NOTIFIED
OF THESE MODIFICATIONS TO THE PLAN
VIA CHANGE ORDER.

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FLOOR PLAN
8' CEILINGS
THROUGHOUT HOUSE

UTILITY STUB OUT LOCATIONS TO BE
DETERMINED BY SITE REQUIREMENTS

NOTE:
DUE TO THE CLOSE PROXIMITY
OF A/C GRILL TO THE FIREPLACE,
SMOKE MAY BE DRAWN OUT OF
FIREPLACE WHEN AIR HANDLER
UNIT IS OPERATING.

BUYERS SIGNATURE:

SCALE: 1/4" = 1'-0"

1	9/5/08g	JLB	ADDED PANTRY TO KITCHEN
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION

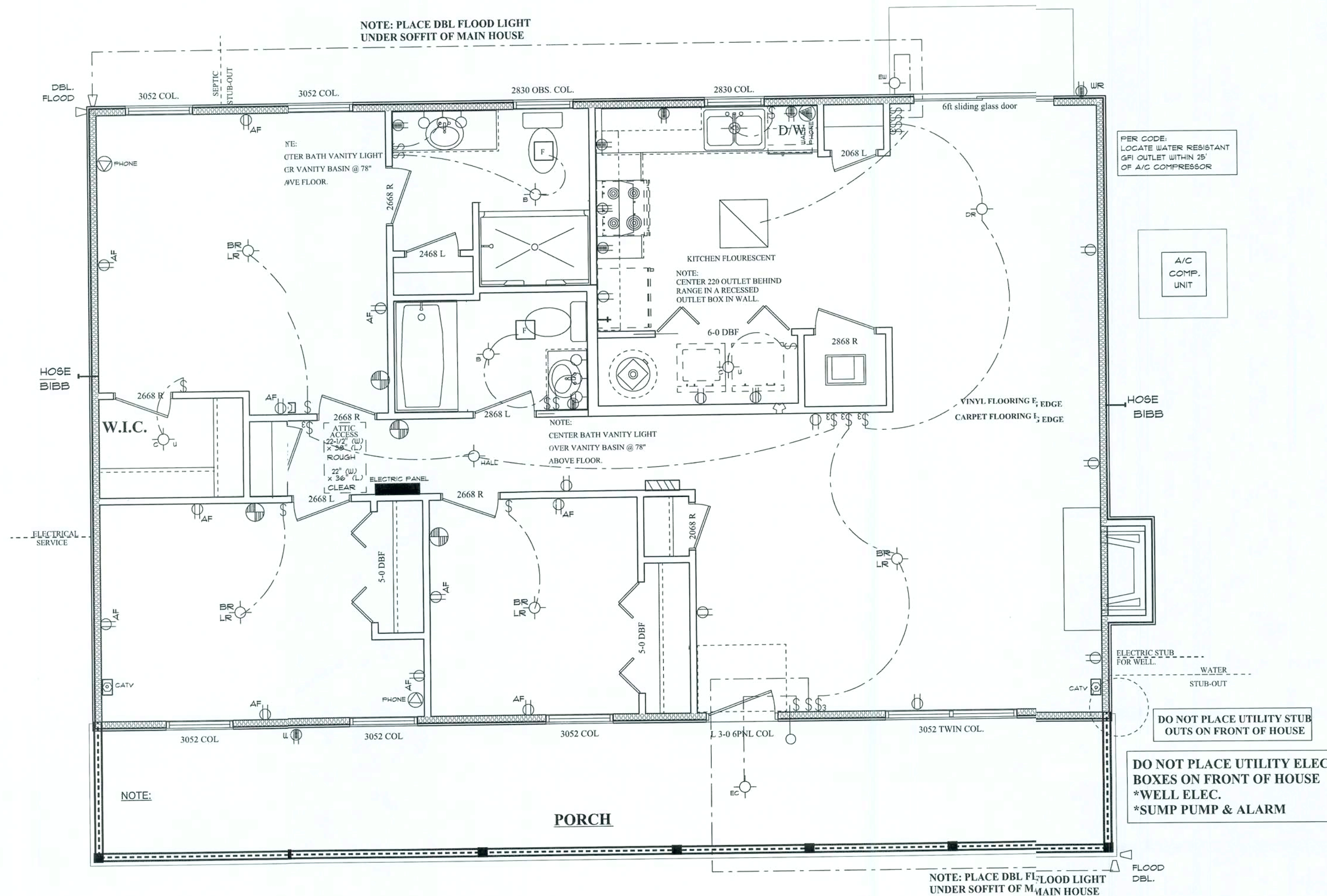
DE
FLOO

HOS
BIB

---ELECTRI
SERVIC

NOTES:
ELECTRICAL/HVAC FIXTURES SHOWN ON THIS DRAWING
ARE LOCATED IN ACCORDANCE WITH PENNYWORTH
HOMES SPECIFICATIONS. DO NOT RELOCATE ANY
FIXTURE WITHOUT PRIOR APPROVAL FROM THE
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**ATTENTION FRAMER ;
BLOCK FOR FAN IN ALL BEDROOMS
AND DESIGNATED AREAS**

1	9/5/08	JLB	ADDED PANTRY TO KITCHEN
REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION

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BAA	October 16, 2008	4
JOB # 08-04-0049		OF

PLAN: FARMVIEW

CUSTOMER NAME:
MR. JEFFERY TAYLOR

HEATED LIVING AREA

GROUND FLOOR:	1288
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1288

NON-HEATED
LIVING AREA

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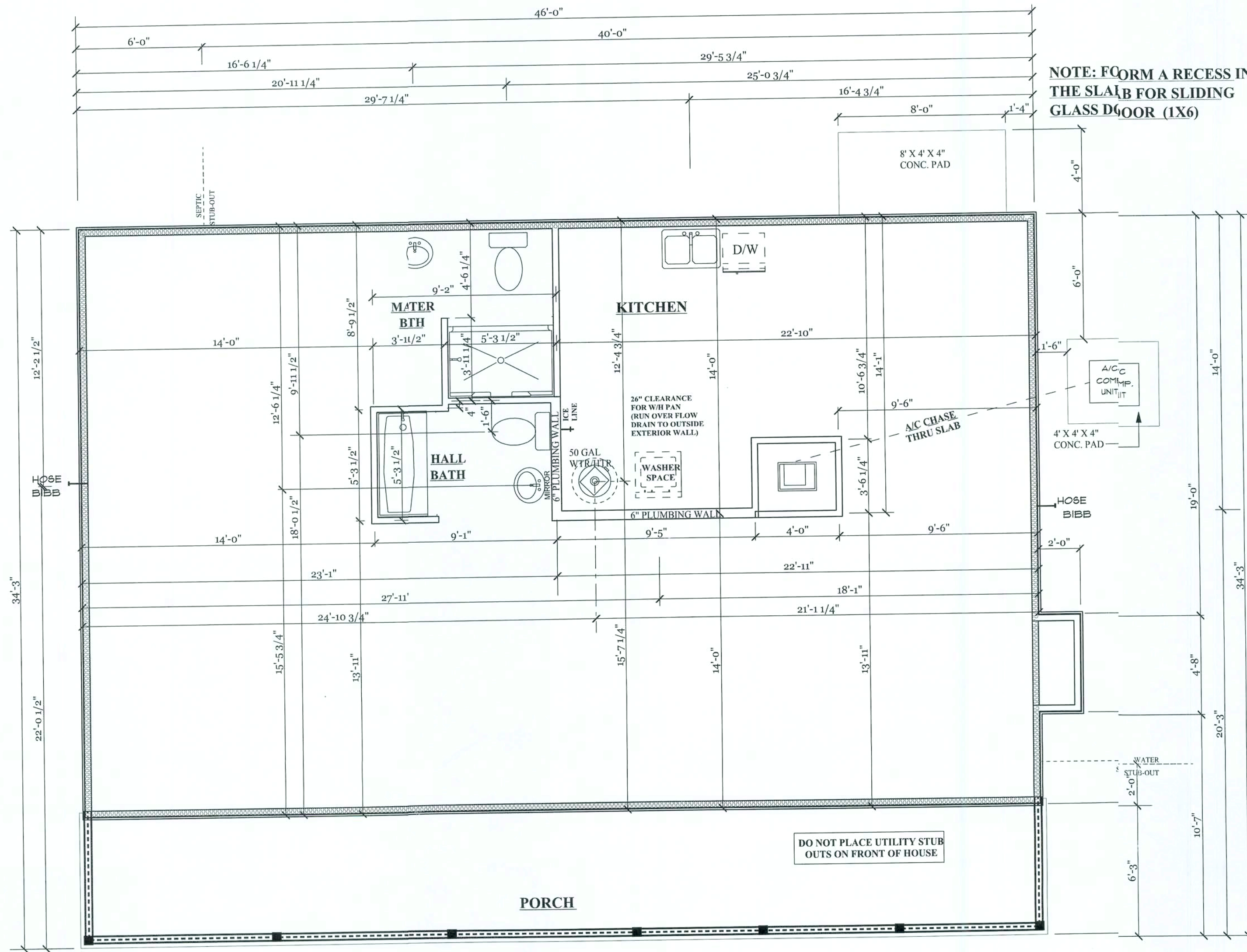
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PLUMBING PLAN

CONSTRUCTION
PLANS

SCALE: 1/4" = 1'-0"

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JOB # 08-04-0049		OF 9



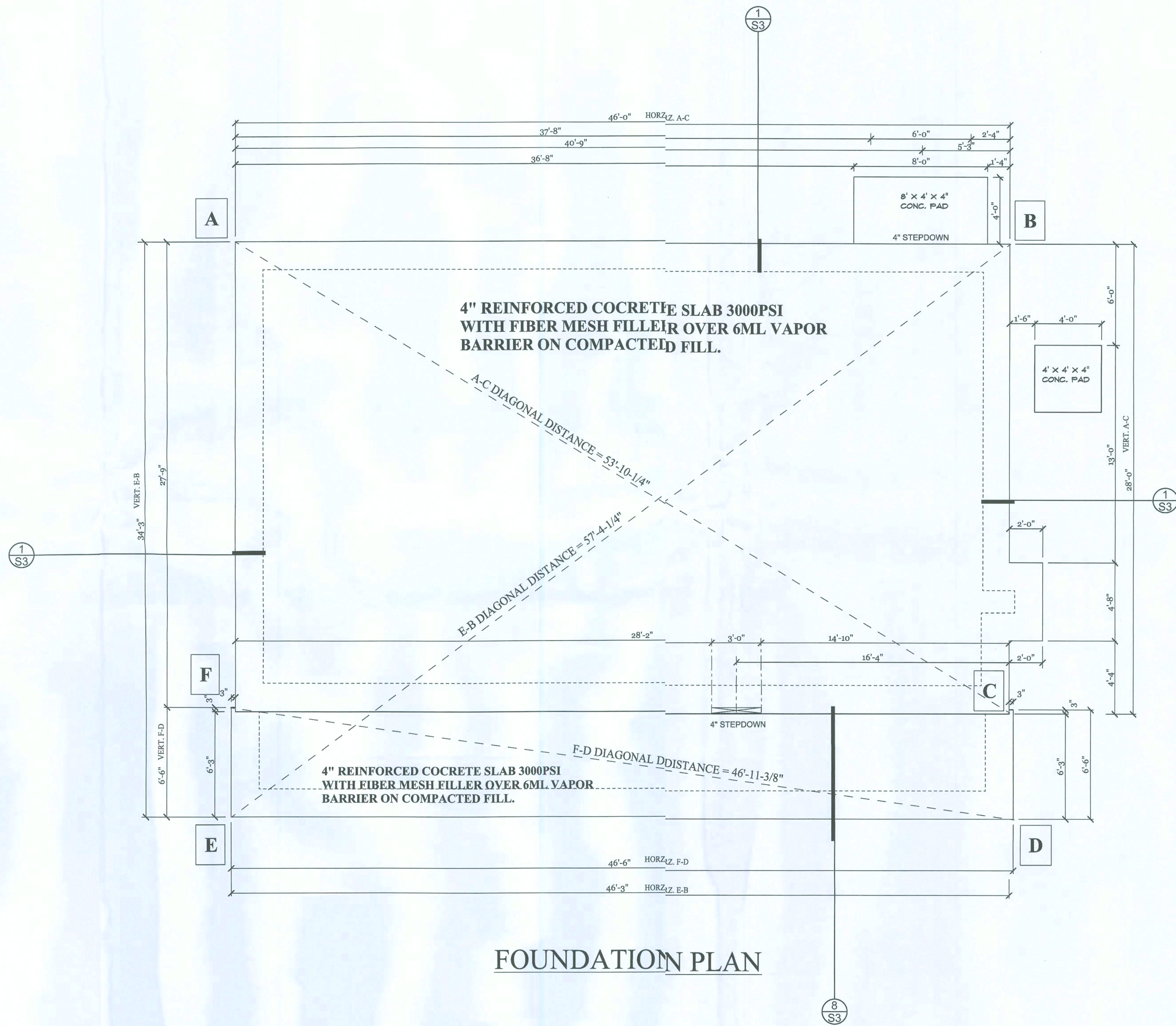
PLUMBING PLAN

UTILITY STUB OUT LOCATIONS TO BE
DETERMINED BY SITE REQUIREMENTS

NOTE:
PLUMBER TO DETERMINE
LOCATION OF PLUMBING FIXTURE
DRAIN LOCATIONS ACCORDING
TO MODEL REQUIREMENTS BY
MANUFACTURE SPECIFICATIONS

1	9/5/08	JLB	ADDED PANTRY TO KITCHEN
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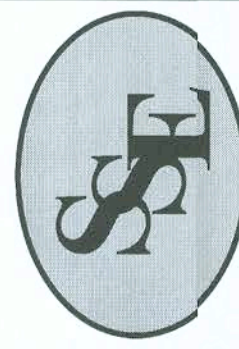
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THOMAS E. BEITELMAN
LICENSE #51870

TEB
2/10/08

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William E. Douglas P.E., President

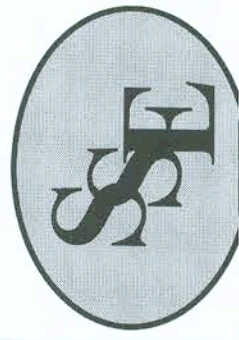
2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Pennyworth Homes - Taylor Residence - 7999 S.W. 242, Lake City

TITLE: Structural Details and Wind Load **SCALE:** Varies **CLIENT:** Pennyworth Homes, Inc.

Revision By:	Date:	Description:

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No.	08S-092		



Sound Structures Engineering, Inc.

Structural Engineering
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7167 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Pennynorth Homes - Taylor Residence - 7999 S.W. 242, Lake City

TITLE: Structural Details and Wind Load SCALE: Varies CLIENT: Pennynorth Homes, Inc.

Revision By: Date: Description:

File Name: 08S-092.cdr

Designed: TEB

Drawn: TEB

Checked: TEB

Date: 9/10/08

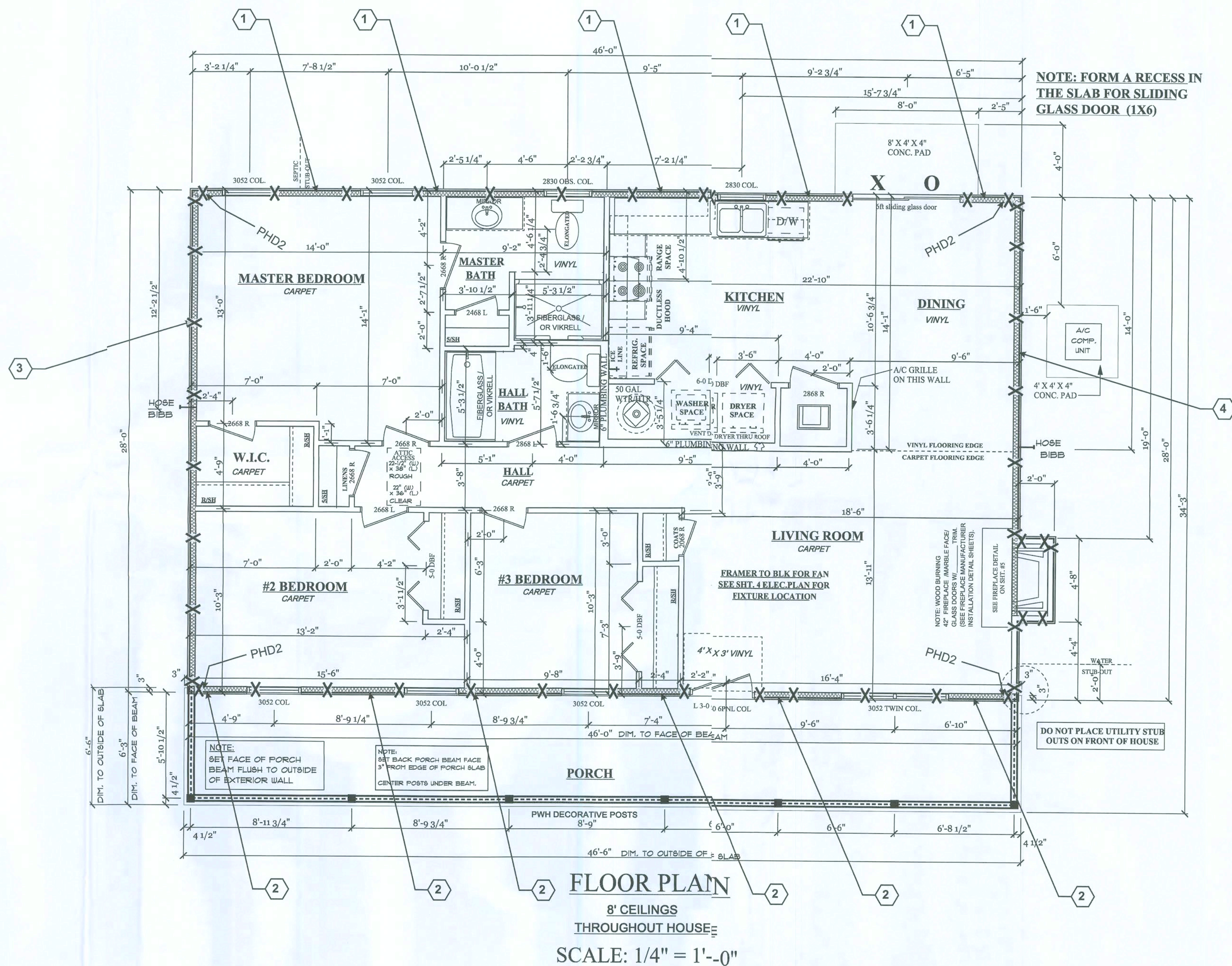
Sheet S3 of 4

No. 08S-092

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11/01/08

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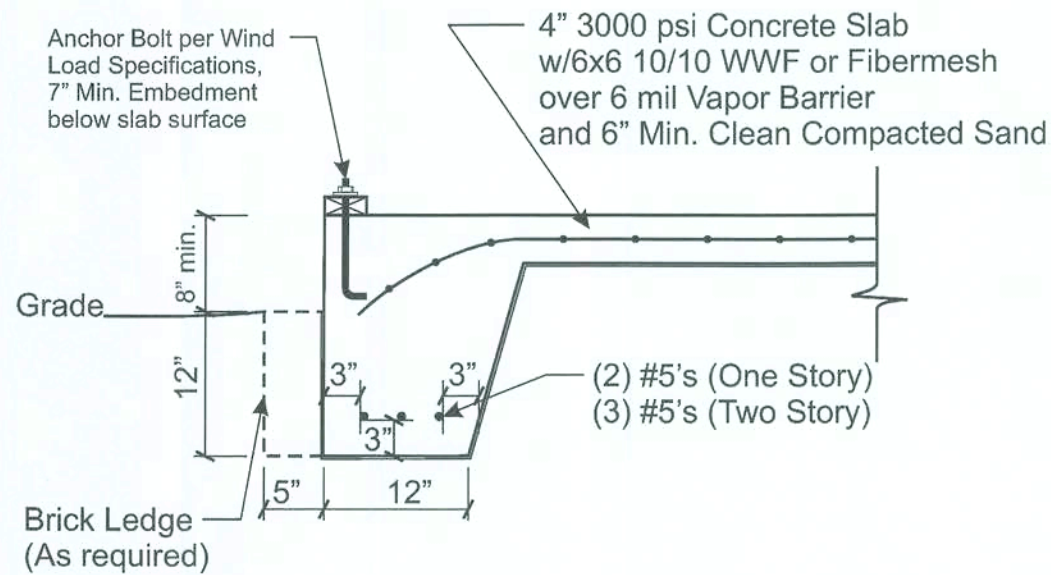
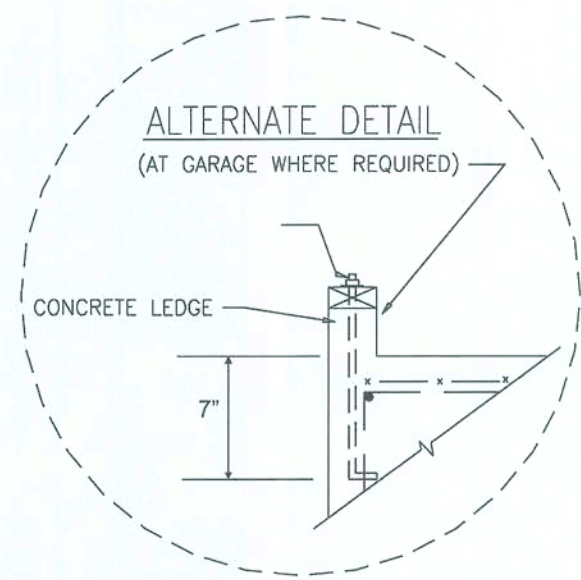
Shear-Wall Identification Number
See Sheet S4 for specifications

X Approximate location of 1/2" x 10" Anchor Bolts

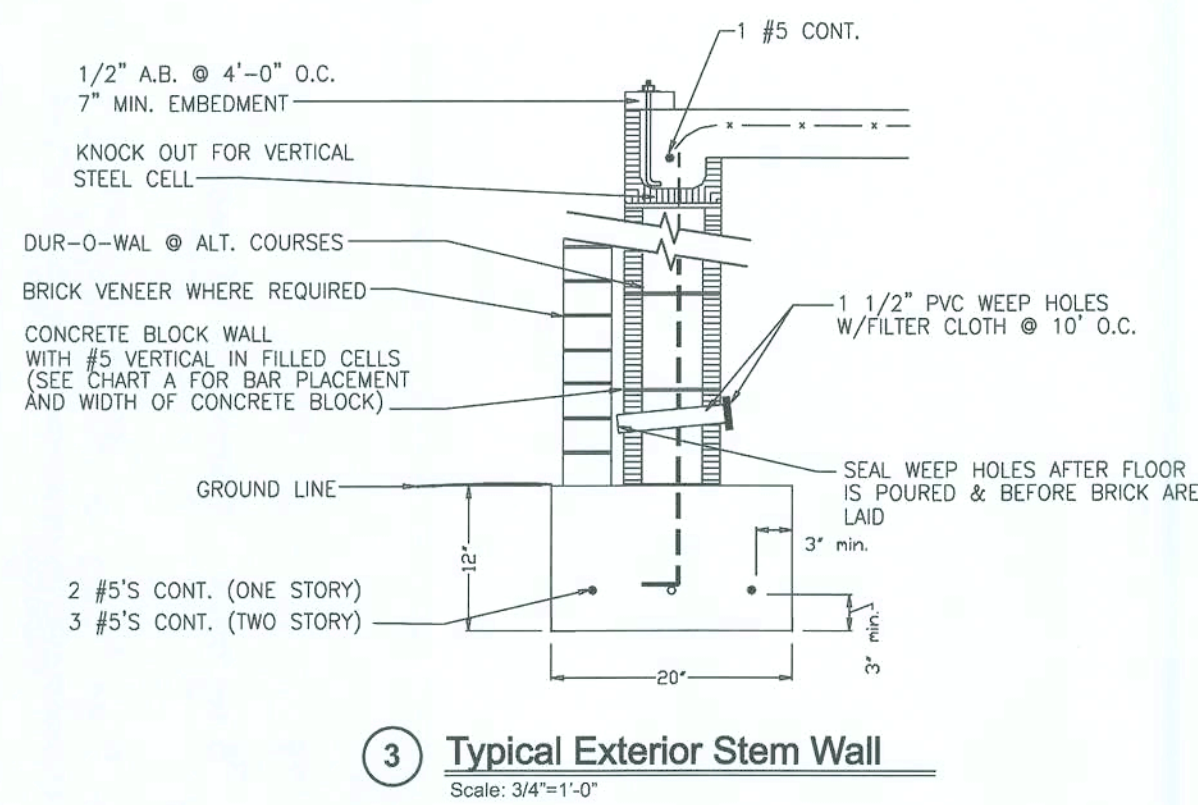
PHD2 Approximate location of Simpson Strong Tie PHD2-SDS3 Holdowns

Shear-Wall and Anchor Bolt Layout

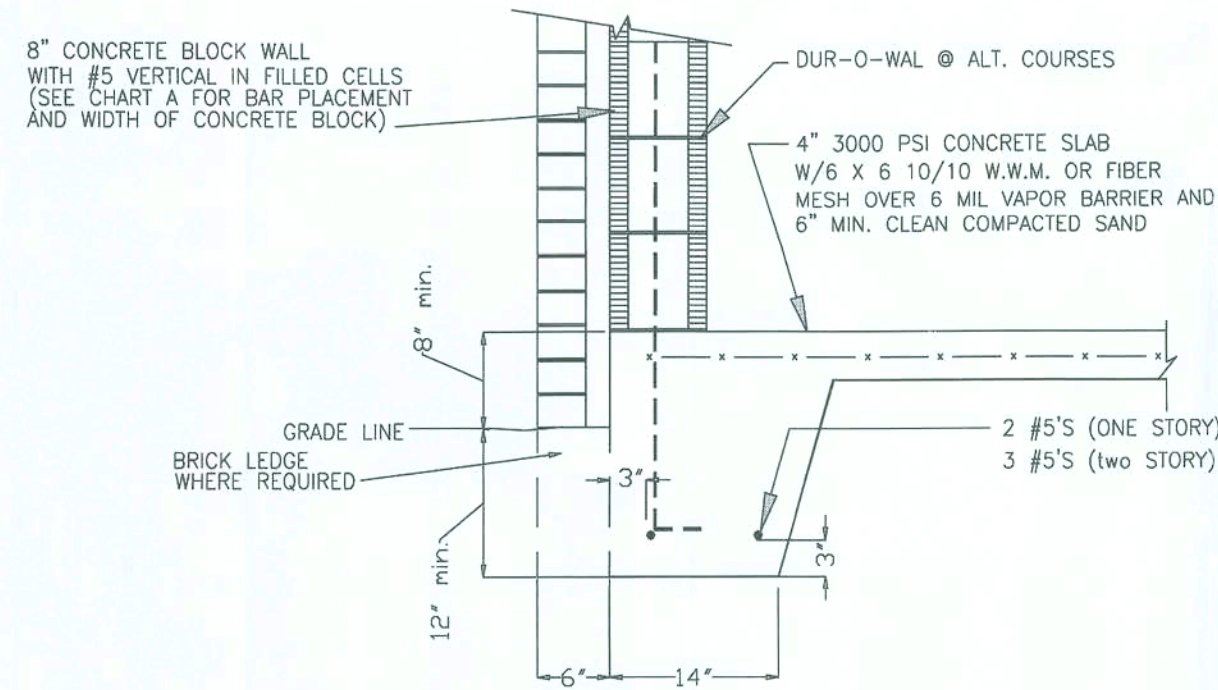
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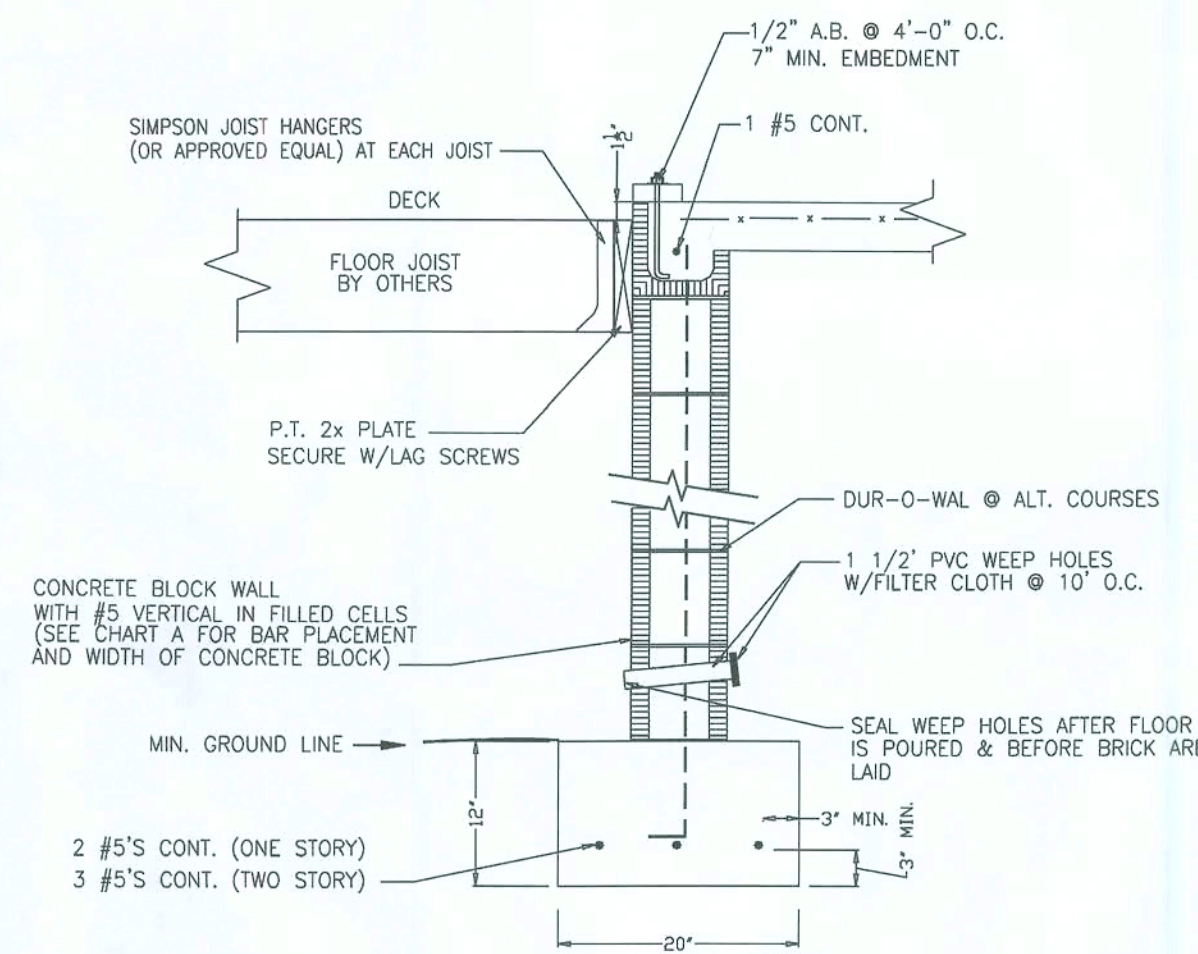
1 Typical Exterior Grade Beam
Scale: 3/4"=1'-0"



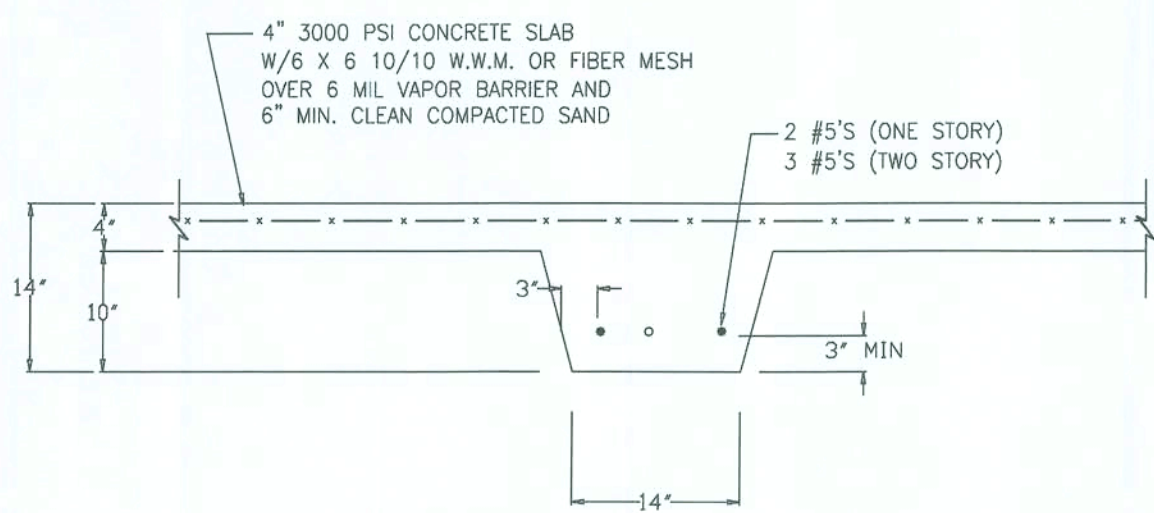
3 Typical Exterior Stem Wall
Scale: 3/4"=1'-0"



2 Typical Exterior Grade Beam
Scale: 3/4"=1'-0"

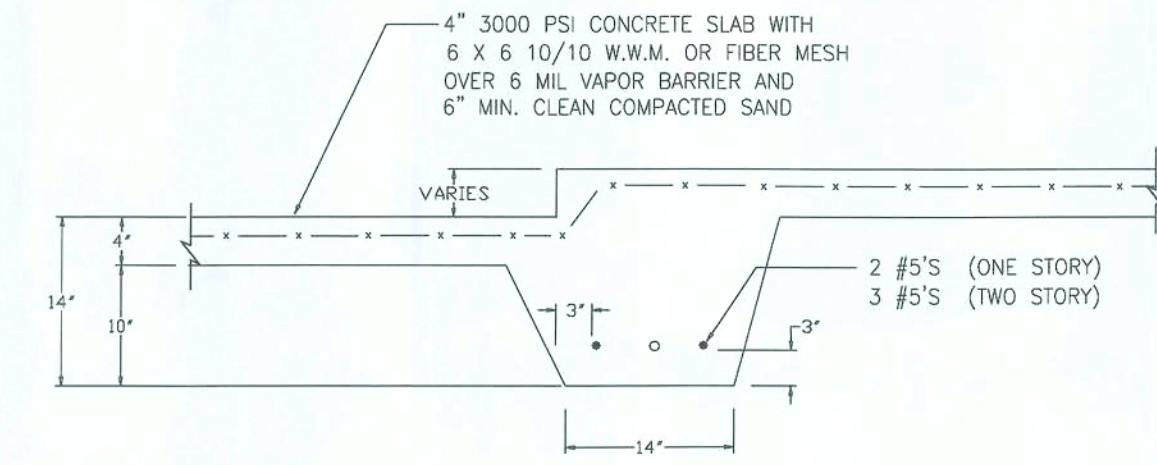


4 Typical Exterior Stem Wall at Attached Deck
Scale: 3/4"=1'-0"



5 Typical Interior Grade Beam
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications

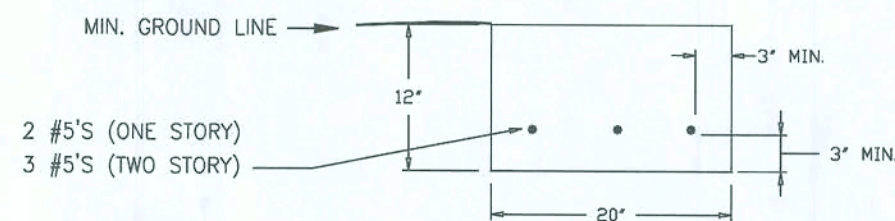


6 Step-Down Detail
Scale: 3/4"=1'-0"

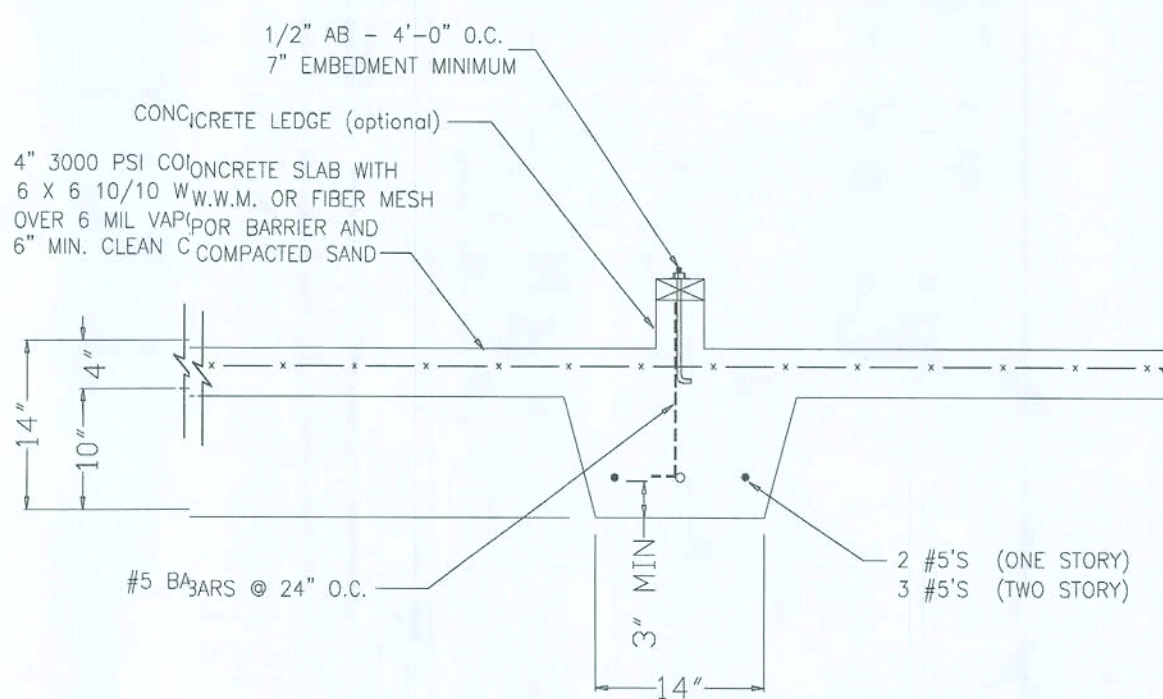
Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications

General Notes For Special Foundation

- All construction conform to the 2004 Florida Building Code with 2006 revisions.
- In the event of a conflict between plans and the codes, the codes shall govern.
- Lot shall be landscaped to prevent the detention of surface water.
- Concrete: 3000 psi Steel: Grade 60
- All fill shall be compacted to 95% of maximum dry density as determined by the Modified Proctor Test.
Definition:
 - Compaction test will not be required when the fill is less than 12 inches in depth, the inspector's shall use best judgement.
 - When the fill is 12 inches to 18 inches in depth, compaction test will be required only if the inspector's judgement is that the compaction is questionable.
 - When the fill is 18 inches in depth or more, compaction test will be required.
- All splices in footing steel shall be lapped 40 bar diameters in concrete block and 30 bar diameters in monolithic slabs.
- Steel interior grade beams shall be spliced to steel in exterior grade beams to assure continuity of footing throughout structure.
- Exterior grade beams shall run continuous around the perimeter of the structure to assure continuity.
- All concrete slabs shall have control joints to control cracking spaced maximum of 15 feet in each direction.
- Soil shall be chemically treated for termites.
- The contractor shall verify all dimensions at the site prior to beginning construction.
- All reinforcing steel shall be located a minimum of 3" from concrete surface.
- A clean compacted sand fill at least 18 inches thick shall be placed under all exterior and interior grade beams. Note: This may be omitted in areas that have at least 30 inches of clean compacted natural soil that has minimum bearing capacity of 2000 psf and is free of mulch, organic material and plastic clays and consist of at least 50% sand (ext.)
- Any organic material under foundation shall be removed prior to construction, unless otherwise specified.
- For stem walls 56" or higher, formwork shall be braced before backfilling.
- Concrete block shall have minimum compressive strength of 1500 psi (Grade N-1 or better) as per 2001 Florida Building Code Table 2106.2.
- Additional #5s with filled cells at load bearing points on walls.



9 Typical Grade Beam
Scale: 3/4"=1'-0"



7 Typical Interior Grade Beam With Optional Curb
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications

CHART A VERTICAL BAR PLACEMENT FOR BLOCK WALL WITH CONCRETE FLOOR SLAB OR JOIST DESIGN

For floor joist design use bond beam with (1) #5 reinforced bar continuous for slab floor, pour into block with welded wire mesh. (See chart below)

In all cases vertical bars shall be placed at either side of openings in wall and at each corner. Vertical bars shall be bent 24" into slab, each reinforced cell shall be filled with concrete.

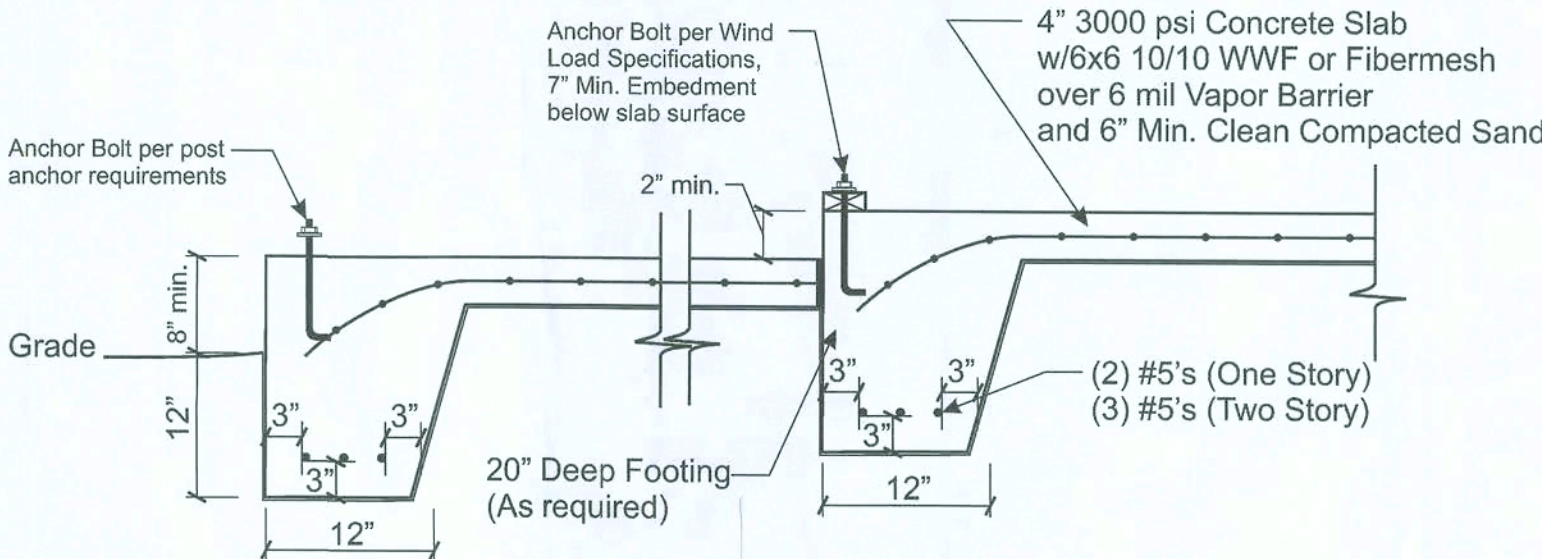
***Floor system to be placed before backfilling

H (Height of wall)	Width of Block	Vertical Bar Spacing
H <= 32"	8"	No. 5 @ 72" O.C.
32 < H <= 56"	8"	No. 5 @ 48" O.C.
56 < H <= 72"	8"	No. 5 @ 32" O.C.
72 < H <= 88"	12"	No. 5 @ 32" O.C. with bond beam with (1) #5 at mid-height
	8**	No. 5 @ 32" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
88 < H <= 120"	12"	No. 5 @ 24" O.C. with bond beam with (1) #5 at mid-height
	8**	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
96 < H <= 120"	12"	No. 5 @ 16" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8**	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
120 < H <= 132"	12"	No. 5 @ 8" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8**	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.

CHART B PHYSICAL PROPERTIES OF MASONRY CEMENTS

Masonry Cement Type	N	*S	*M
Time of setting Initial set, minimum, hr.	2	1 1/2	1 1/2
Final set, maximum, hr.	24	24	24
Compressive strength (average of 3 cubes, min.) 7 days, (psi)	500	1300	1800
28 days, (psi)	900	2100	2900

*For the purpose of these plans, use grade "S" or "M"

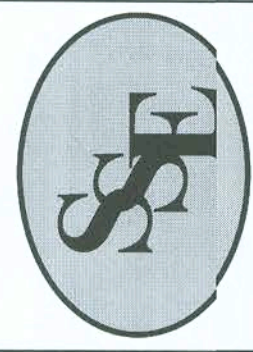


8 Typical Exterior Grade Beam
Scale: 3/4"=1'-0"

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Structural Engineering
William E. Douglas P.E., President

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Pennyworth Homes - Taylor Residence - 7999 S.W. 242, Lake City

TITLE: Foundation Details CLIENT: Pennyworth Homes, Inc.

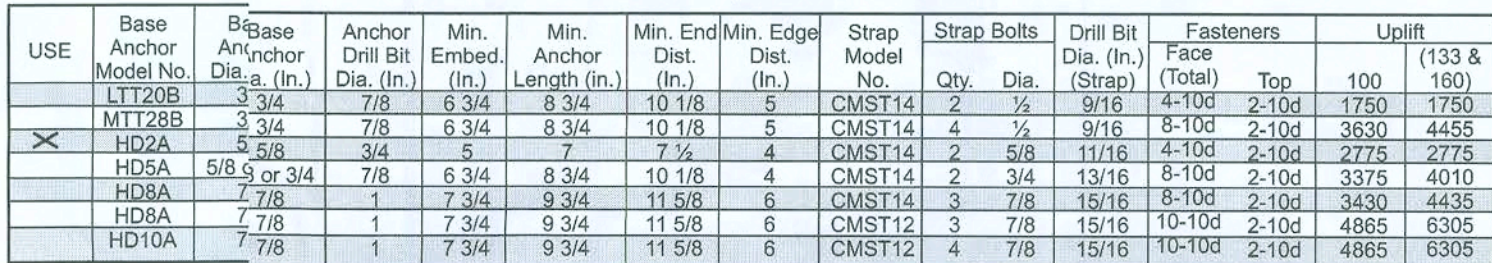
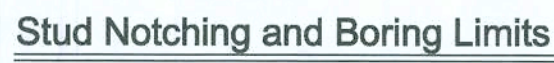
SCALE: Varies Description:

Revision By: Date:

File Name: 08S-092.cdr
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Date: 9/10/08

Sheet S3 of 4

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Hollow Post Uplift Connection - Conventional Strapping



Zone	Area (ft ²)		
	10	100	500
1	-19.9	-18.1	-18.1
2	-34.7	-25.5	-25.5
3	-51.3	-40.2	-40.2
1, 2 and 3	12.5	10.0	10.0
2 (Overhang)	-43.9	-43.9	-43.9
3 (Overhang)	-71.6	-49.4	-49.4
4	-23.6	-20.3	-18.1
5	-29.1	-22.7	-18.1
4 and 5	21.8	18.4	16.2

Component and Cladding Design Pressures (Worst Case Only)

WIND ANALYSIS - 110 MPH, 3 Sec. Gust Wind Velocity

Calculations as per Section 1606, FBC 2004, ASCE 7-02, or as per ASCE7-02 (see instructions below)

Prepared By: <u>Thomas E. Beitelman</u>		Design Professional FL Lic. #: <u>51870</u>	
Importance factor: <u>1</u>	Building Category: <u>II</u>	Wind Exposure (s): <u>Exposure B</u>	
Internal Pressure Coefficient: <u>0.18</u>			
Plans may be used as a master plan by the above contractor: <u>Yes</u> or <u>No</u> (circle one) Initials: <u>TEB</u>			
Mean Roof Height: <u>16.5</u> ft		Stud Species: <input checked="" type="checkbox"/> SPF or <input type="checkbox"/> SYP	
Species for Top Plate: <input checked="" type="checkbox"/> SPF or <input type="checkbox"/> SYP		Max. Stud Ht. (excluding gable end): <u>16'</u> <u>8'</u>	
End Zone Length: <u>6.9</u> ft		Stud Spacing: <u>16"</u>	
Roof Slope: <u>6</u> : <u>12</u>		Max. Overhang Length (excluding porches): <u>12'</u>	

HURRICANE CLIPS (HC)

Brand:	Truss Span or Location	Zone	Interior Zone
Simpson Strong-Tie	All Truss Locations	2 - H2.5A	2 - H2.5A

ROOF SHEATHING MATERIAL:

ROOF SHEATHING MATERIAL:		7/16" OSB Sheathing	
Fastener	8d Ring-Shank	NAILING	Edges (perimeter)
		PATTERN:	Field
			6" o.c.
			12" o.c.

WALL BRACING:

WALL BRACING:		7/16" OSB Sheathing		100% continuous
Fastener	8d	NAILING	Edges (perimeter)	Field
		PATTERN:	6" o.c.	12" o.c.

STRAPS:

Brand	Simpson Strong Tie	Spacing 1st FLR	48"	o.c.	48"	o.c.
Model	SPH4	2nd FLR		o.c.		o.c.

Nailing: 10-10d nails in stud (SPH4)

ANCHOR BOLTS: 1/2" dia. X 10" LONG w/2" washers

Spacing: 48" o.c. 6" o.c.

First Story Level

Wall Number	Length (ft)	Unit Shear (plf)	Capacity (lbs)	Actual Load (lbs)	% Used	Location
			<i>Longitudinal Walls</i>			
1	28.5	121.9	8498.7	3473.8	40.9	Exterior
2	28.0	122.3	8349.6	3424.2	41.0	Exterior
			<i>Transverse Walls</i>			
3	28.0	158.7	8349.6	4443.3	53.2	Exterior
4	23.3	161.1	6958.0	3759.7	54.0	Exterior

Wall Bracing Panel Specifications:

	Panel Code:	Shear Walls
Outside Face	Stud Spacing	16" O.C.
	Exterior Panel Grade	DSB Sheathing
	Minimum Panel Thickness (inch)	7/16
	Minimum Nail Penetration in Framing (inch)	1/2
	Nail Type	8d common
	Edge Nail Spacing	5"
	Intermediate Nail Spacing	12"
Inside Face	Interior Panel Grade	Gypsum Wallboard
	Thickness of Material	1/2"
	Wall Construction	Unblocked
	Nail Spacing - Edge	7" O.C.
	Nail Spacing - Intermediate	12" O.C.
	Minimum Nail Size	6d cooler or wallboard
	Total Panel Shear Capacity	29.82 plf

General Notes: PLEASE READ!

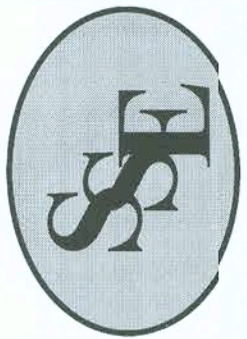
- 1 Roof sheathing will be a minimum of 7/16" in thickness with a nailing pattern specified above.
- 2 Exterior wall sheathing will be a minimum of 7/16" in thickness with the nailing pattern specified above, and locations referenced from the attached sheets.
- 3 All exterior load-bearing and shear walls will have a stud spacing specified at 16" O.C. except as noted below.
- 4 All load bearing and shear walls will be framed with 2 x 4 No. 2 grade SPF studs or better.

- 5 Alternative hurricane clips are acceptable, provided they meet the minimum specification for those specified on page 1.
- 6 Bearing wall and shear wall door and window headers are to be 2-2 x 10 SYP with 1/2" CDX fletch for lengths under 6 ft unless otherwise specified on plans..
- 7 Simpson Strong Tie H14 Header Hanger or equivalent should be provided on bearing wall and shear wall door and window openings over 6 ft.
- 8 Simpson Strong Tie model #HD5A hold downs are acceptable alternatives to the specified PHD2-SPS3.
- 9 4" x 4" Posts will require Simpson Strong Tie Post Bases model #ABU44 or better and double LSTA18 straps on each beam at top.

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2467 Centerville Road, Tallahassee, FL 32308
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PROJECT: Pennyworth Homes - Taylor Residence - 7999 S.W. 242, Lake City

TITLE: Structural Details and Wind Load	SCALE: Varies	CLIENT: Pennyworth Homes, Inc.
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File Name:	08S-092 cdr
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Checked:	TEB

Checked:	ILD
Date:	9/10/08

Sheet	S4	of	4
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