

DATE 08/06/2009

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027994

APPLICANT SAMANTHA HARRINGTON PHONE 719-7143
ADDRESS 125 SW MIDTOWN PLACE LAKE CITY FL 32025
OWNER VALERIE TOWN PHONE _____
ADDRESS 3879 SW CR 240 LAKE CITY FL 32024
CONTRACTOR ISAAC CONSTRUCTION PHONE 719-7143
LOCATION OF PROPERTY 47S, TL ON CR 240, TL PEPPER LANE, 1ST LOT ON LEFT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 41250.00
HEATED FLOOR AREA 777.00 TOTAL AREA 825.00 HEIGHT _____ STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT 8
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 07-5S-17-09153-000 SUBDIVISION _____
LOT _____ BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 2.54

CBC059323
Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
EXISTING 09-407 BK WR Y
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: IN REFERENCE TO ELEVATION/SEE ATTACHED MEMO, NOC ON FILE

Check # or Cash 1203

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 210.00 CERTIFICATION FEE \$ 4.13 SURCHARGE FEE \$ 4.13
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ **TOTAL FEE** 293.26
INSPECTORS OFFICE Maie Redden CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0907-46 Date Received 7/28/09 By G Permit # 27994
 Zoning Official BLK Date 05.08.09 Flood Zone X Land Use A-3 Zoning A-3
 FEMA Map # SEE ATTACHED MEMO Elevation SEE ATTACHED MEMO MFE SEE ATTACHED MEMO River SEE ATTACHED MEMO Plans Examiner W Date 8/3/09
 Comments SEE ATTACHED MEMO
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # Copy of Memo to be given to contractor
☐ Dev Permit # SEE ATTACHED MEMO ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS SEE ATTACHED MEMO Fire SEE ATTACHED MEMO Corr SEE ATTACHED MEMO Road/Code SEE ATTACHED MEMO
 School SEE ATTACHED MEMO = TOTAL Suspended

Septic Permit No. 0407-10 Fax 386-719-4757
 Name Authorized Person Signing Permit Samantha Harrington Phone 386-719-7143
 Address 125 SW Midtown Pl Ste #101 Lake City, FL 32025
 Owners Name Valerie Town Phone SEE ATTACHED MEMO
 911 Address 3879 SW CR 240 Lake City, FL 32024
 Contractors Name Isaac Construction, LLC Phone 386-719-7143
 Address 125 SW Midtown Pl Ste #101 Lake City, FL 32025
 Fee Simple Owner Name & Address SEE ATTACHED MEMO
 Bonding Co. Name & Address SEE ATTACHED MEMO
 Architect/Engineer Name & Address Mark Disosway PE PO Box 868 Lake City, FL 32056
 Mortgage Lenders Name & Address SEE ATTACHED MEMO
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 07-55-17-09153-000 Estimated Cost of Construction 34,000.00
 Subdivision Name SEE ATTACHED MEMO Lot 11 Block SEE ATTACHED MEMO Unit SEE ATTACHED MEMO Phase SEE ATTACHED MEMO
 Driving Directions Go south on Hwy 47 to CR 240 in Columbia City. Turn left on CR 240 --- go about 3 miles. Turn left at Pepper Lane --- lot is 200 yards on the left. 1st lot Number of Existing Dwellings on Property 1
 Construction of New Home SFD Total Acreage 2.54 Lot Size SEE ATTACHED MEMO
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 8'0
 Actual Distance of Structure from Property Lines - Front 270' Side 30' Side 242 Rear 50'
 Number of Stories 1 Heated Floor Area 777 SF Total Floor Area 825 SF Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

Valerie Town
Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

Steve Brackovich
Contractor's Signature (Permitee)

Contractor's License Number CBC059323
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 24 day of July 2009.
Personally known X or Produced Identification _____

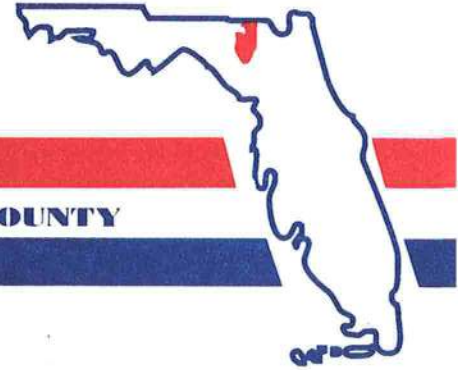
Barbara Webster
State of Florida Notary Signature (For the Contractor)

SEAL:



BARBARA C. WEBSTER
MY COMMISSION # DD 800888
EXPIRES: July 2, 2012
Bonded Thru Budget Notary Services

District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - Jody DuPree
District No. 4 - Stephen E. Bailey
District No. 5 - Scarlet P. Frisina



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

MEMORANDUM

Date: 5 August 2009
To: Building Permit File
From: Brian L. Kepner, Land Development Regulation Administrator *BK*
Re: Application # 0907-46

Parcel # 07-5S-17-09153-000 was created 25 June 1979, making this a legal non-conforming lot of record (Section 2.3.1 LDR's). Application states that there is a mobile home on the property. The property appraiser indicated that there are no dwellings located on the property and a site visit on 4 August 2009 confirms there are no dwellings on the property. Only one dwelling is permitted on this parcel. A portion of the property is located within an AE flood zone with a determined flood elevation of 70 feet NAVD. The building permit must meet the current LDR's. As a condition for issuing of the building permit, the finished floor elevation of the dwelling shall be at 71 feet NAVD because a portion of the property is located within a determined flood elevation, meeting the requirement of Article 5 or one (1) foot above the graded road on the east side of the property meeting the requirement of Section 4.2.40.

If contractor decides to build the finished floor at 71 feet NAVD, then an elevation confirmation letter is required.

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 07-55-17-09153-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- Lot No. 11 Comm NE cor of W 1/2 of W 1/2 of SW 1/4 of mw 1/4, run S. 408.02 ft for Po
1. Description of property (legal description): Cont 270.60 ft to Rd R/W
a) Street (job) Address: 3879 SW CR 240 Lake City, FL 32024
2. General description of improvements: new home

3. Owner Information

- a) Name and address: Valerie Town Po Box 1113 Alachua, FL 32616
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property owner

4. Contractor Information

- a) Name and address: Isaac Construction 125 SW Midtown, Pl Ste #101 Lake City, FL 32025
b) Telephone No.: 386-719-7143 Fax No. (Opt.) 386-719-4757

5. Surety Information

- a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____

6. Lender

- a) Name and address: _____
b) Phone No. _____

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

- a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

- a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Valerie Town
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Valerie Town
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 21st day of July, 2009, by:

Valerie Town as owner (type of authority, e.g. officer, trustee, attorney

fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known X OR Produced Identification _____ Type _____

Notary Signature Barbara C Webster Notary Stamp or Seal:



BARBARA C. WEBSTER
MY COMMISSION # DD 800888
EXPIRES: July 2, 2012
Bonded Thru Budget Notary Services

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Valerie Town
Signature of Natural Person Signing (in line #10 above.)

Prepared by and return to:
Cynthia Stump Swanson, Esquire
Swanson & Sperling, P.A.
2830 NW 41st Street, Bldg. M
Gainesville, FL 32606
(352) 375-5602

Inst: 2003001082 Date: 01/17/2003 Time: 15:49
Doc Stamp-Deed : 0.70
MLK DC, P. DeWitt Cason, Columbia County B: 972 P: 1221

NOTE: NO TITLE EXAMINATION WAS REQUESTED OR PREPARED.

SPECIAL WARRANTY DEED

THIS INDENTURE Made and Entered into on this 29th day of October, A.D., 2002, by SCOTT DONALD TOWN, a single man, SSN: 244-17-6263, whose mailing address is PO Box 140306, Gainesville FL 32614, hereinafter referred to as Grantor and VALERIE GUNST TOWN, a single woman, SSN: _____, and whose mailing address is P.O. Box 1113, Alachua, Florida 32616, hereinafter referred to as Grantee,

WITNESSETH: That for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars and other good and valuable consideration paid by Grantee to Grantor, the receipt of which is herein and hereby acknowledged by the Grantor, at and before the sealing and delivery of these presents, the Grantor has granted, bargained, sold and conveyed, and does by these presents herein and hereby grant, bargain, sell, and convey unto the Grantee, and to the Grantee's legal representatives and assigns, in fee simple absolute forever, all of the following described lots, tracts, pieces, and parcels of land, situate, lying and being in the County of Columbia, State of Florida, and more particularly known and distinguished as follows, to-wit:

LOT NO. 11...Commencing at the NE corner of the W 1/2 of W 1/2 of SW 1/4 of NW 1/4 of Section 7, Township 5 South, Range 17 East; thence South along East boundary of W 1/2 of W 1/2 of SW 1/4 of NW 1/4 of Section 7, a distance of 408.02 feet to the real point of beginning; thence South along said East boundary a distance of 270.60 feet; thence S 32 deg 46'04" W a distance of 44.79 feet; thence SW along North R/W of SR #240 a distance of 317.45 feet thence N 00 deg 14'18" E a distance of 494.37 feet; thence N 88 deg 52'16" E a distance of 269.60 feet to the real point of beginning.

This conveyance is made in compliance with and pursuant to that certain Final Judgment of Dissolution of Marriage in Case No.: 01-95-DR-3939 in the Eighth Judicial Circuit Court in and for Alachua County, Florida.

TOGETHER WITH all and singular the rights, tenements, hereditaments and appurtenances to the same belonging or in anywise appertaining;

TO HAVE AND TO HOLD the above granted and described property, and each party and parcel thereof, unto the Grantee and to Grantee's heirs, legal representatives, successors and assigns, forever, in fee simple absolute;

AND the said Grantor covenants that the premises are free from all encumbrances made by Grantor, and Grantor does hereby warrant and will forever defend the title to the property, or any part thereof against the lawful claims and demands of all persons claiming by, through, or under the Grantor, but not otherwise.

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal on the day and year first above written.

Signed, sealed and delivered in our presence as witnesses to SCOTT DONALD TOWN:

[Signature] [Signature]
Signature SCOTT DONALD TOWN
DARCY M. LEVINE Grantor
Print name

[Signature]
Signature
James H. Cerveney
Print name
Inst:2003001082 Date:01/17/2003 Time:15:49
Doc Stamp-Deed : 0.70
MK DC,P.DeWitt Cason,Columbia County B:972 P:1222

STATE OF FLORIDA
COUNTY OF Alachua

I HEREBY CERTIFY that on this day before me, an office duly authorized in the State and County aforesaid to take acknowledgments, personally appeared SCOTT DONALD TOWN, Grantor, personally known to me, and thereby known to me to be the person described in and who executed the foregoing instrument, and he acknowledged before me, under oath, that he executed the same.

WITNESS my hand and official seal in the County and State aforesaid this 29th day of October, 2002.



Heidi A. Prescott
MY COMMISSION # 00353466 EXPIRES
JULY 5, 2004
BONDED TRIM TROY FARM INSURANCE, INC.

[Signature]
Notary Public, State of Florida

WARRANTY DEED
FROM CORPORATION

RAMCO FORM 33

4.000
11.20
15.20

This Warranty Deed Made and executed the 25 day of June A. D. 1979 by

PETERSEN ENTERPRISES, INC. (formerly Vilano Beach Investments, Inc.)

a corporation existing under the laws of Florida, and having its principal place of business at 115 Lake Brantley Terrace, Longwood, Florida 32750 hereinafter called the grantor, to

MARCUS J. AND GERALDINE G. HOLLINGSWORTH

whose postoffice address is

✓ 5769 Lake Lucina Drive, North - Jacksonville, Florida hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties in this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in County, Florida, viz:

LOT NO. 11....Commencing at the Northeast Corner of W $\frac{1}{2}$ of W $\frac{1}{2}$ of SW $\frac{1}{4}$ of NW $\frac{1}{4}$ of Section 7, Township 5 South, Range 17 East; thence South along East boundary of the W $\frac{1}{2}$ of S $\frac{1}{2}$ of SW $\frac{1}{4}$ of NW $\frac{1}{4}$ of Section 7, a distance of 408.02 feet to the Real Point of Beginning. Thence South along said East boundary a distance of 270.60 feet; thence South 32°46'04" West a distance of 44.79'; thence Southwest along North R/W of State Road 240 a distance of 317.45'; thence North 00°14'18" East a distance of 494.37'; thence North 88°52'16" East a distance of 269.60' to the Real Point of Beginning.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances

In Witness Whereof the grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

ATTEST: Shirley R. Petersen Secretary

Signed, sealed and delivered in the presence of:

Lexene Bentley

PETERSEN ENTERPRISES, INC.

By: Roland L. Petersen President

STATE OF FLORIDA
COUNTY OF SEMINOLE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Roland L. & Shirley R. Petersen

well known to me to be the President and Secretary respectively of the corporation named as grantor in the foregoing deed, and that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in them by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 25 day of June A. D. 1979

This Instrument prepared by: PETERSEN ENTERPRISES, INC.
Address P.O. BOX 576
LONGWOOD, FLORIDA 32750

Notary Public, State of Florida at Large
My Commission Expires Feb. 6, 1982



32750
BOOK 435 PAGE 481
OFFICIAL RECORDS

FILE NO. 7907712
RECORDED
BOOK 435 PAGE 481
1979 OCT - 8 PM 10:44
CLERK OF CIRCUIT COURT
COLUMBIA COUNTY, FLA.

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/16/2009 DATE ISSUED: 7/17/2009

ENHANCED 9-1-1 ADDRESS:

3879 SW COUNTY ROAD 240

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

07-5S-17-09153-000

Remarks:

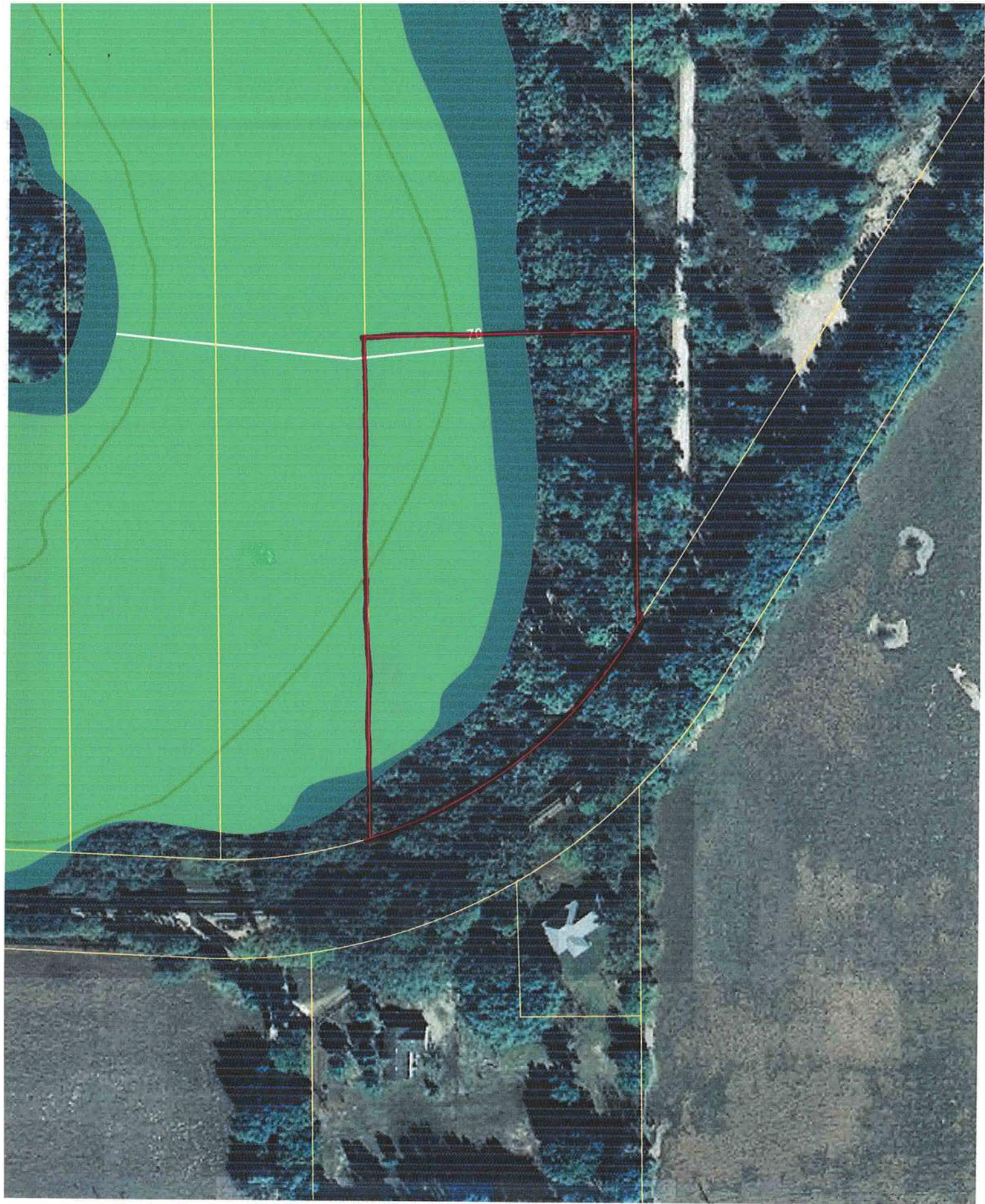
Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1478



0907-46

Columbia County Property Appraiser

DB Last Updated: 4/27/2009

Parcel: 07-5S-17-09153-000

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	TOWN VALERIE GUNST		
Site Address			
Mailing Address	P O BOX 1113 ALACHUA, FL 32616		
Use Desc. (code)	VACANT (000000)		
Neighborhood	007517.00	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	2.540 ACRES		
Description	COMM NE COR OF W1/2 OF W1/2 OF SW1/4 OF NW1/4, RUN S 408.02 FT FOR POB, CONT S 270.60 FT TO RD R/W, SW ALONG R/W 362.24 FT, N 494.37 FT, E 269.60 FT TO POB. ORB 435-481, 773-2054, 774-508, SWD 972-1221,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$25,799.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$25,799.00

Just Value	\$25,799.00
Class Value	\$0.00
Assessed Value	\$25,799.00
Exemptions	\$0.00
Total Taxable Value	County: \$25,799.00 City: \$25,799.00 Other: \$25,799.00 School: \$25,799.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
10/29/2002	972/1221	WD	V	U	01	\$100.00
4/22/1993	773/2054	WD	V	Q		\$7,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	0000002.540 AC	1.00/1.00/1.00/0.90	\$10,157.09	\$25,799.00

Columbia County Property Appraiser

DB Last Updated: 4/27/2009

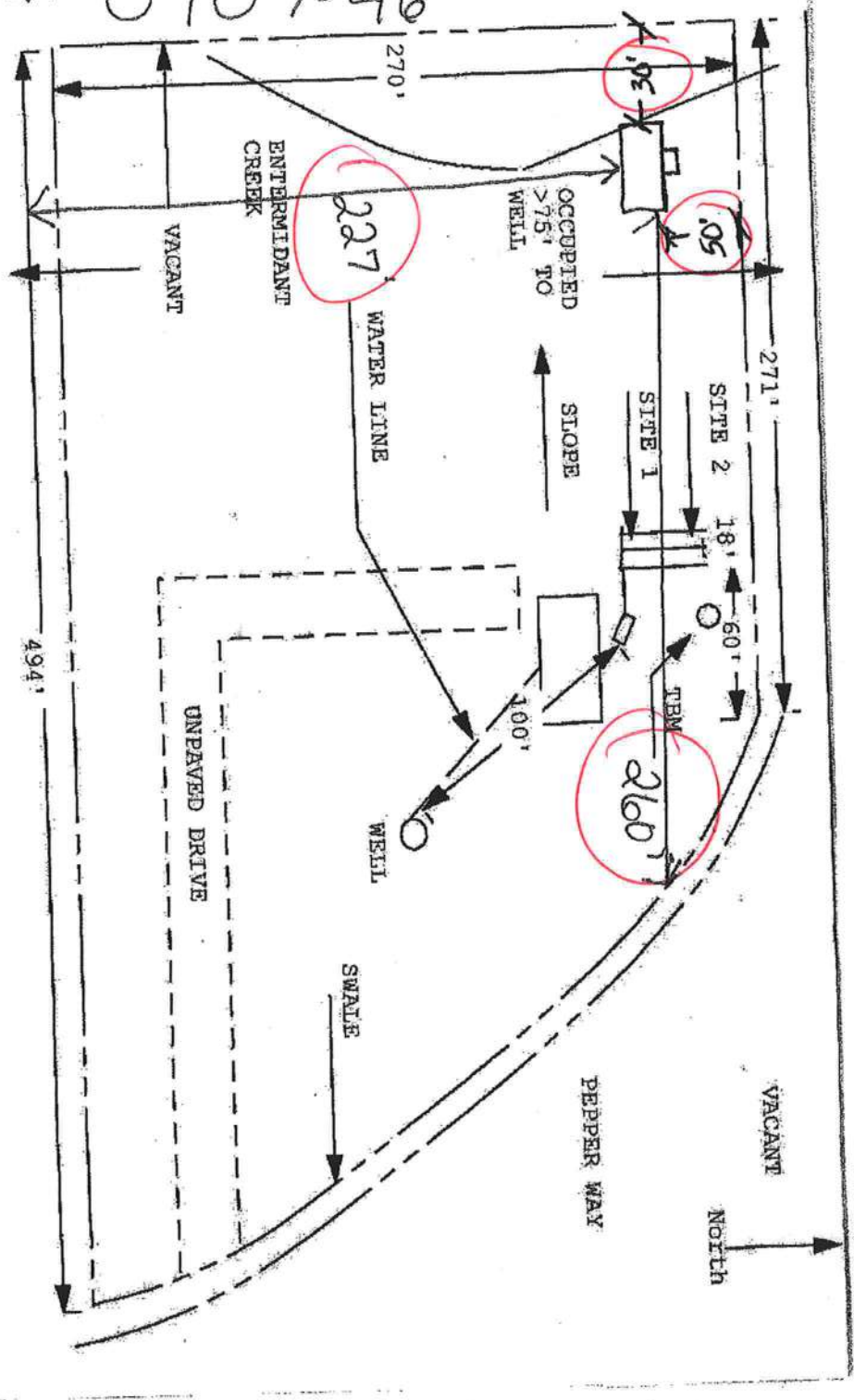


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Application # 0907-46

1 inch = 65 feet



Valerie Town
 07-55-17-09153-000
 3879 SW CL 240 Lake City, FL 32024

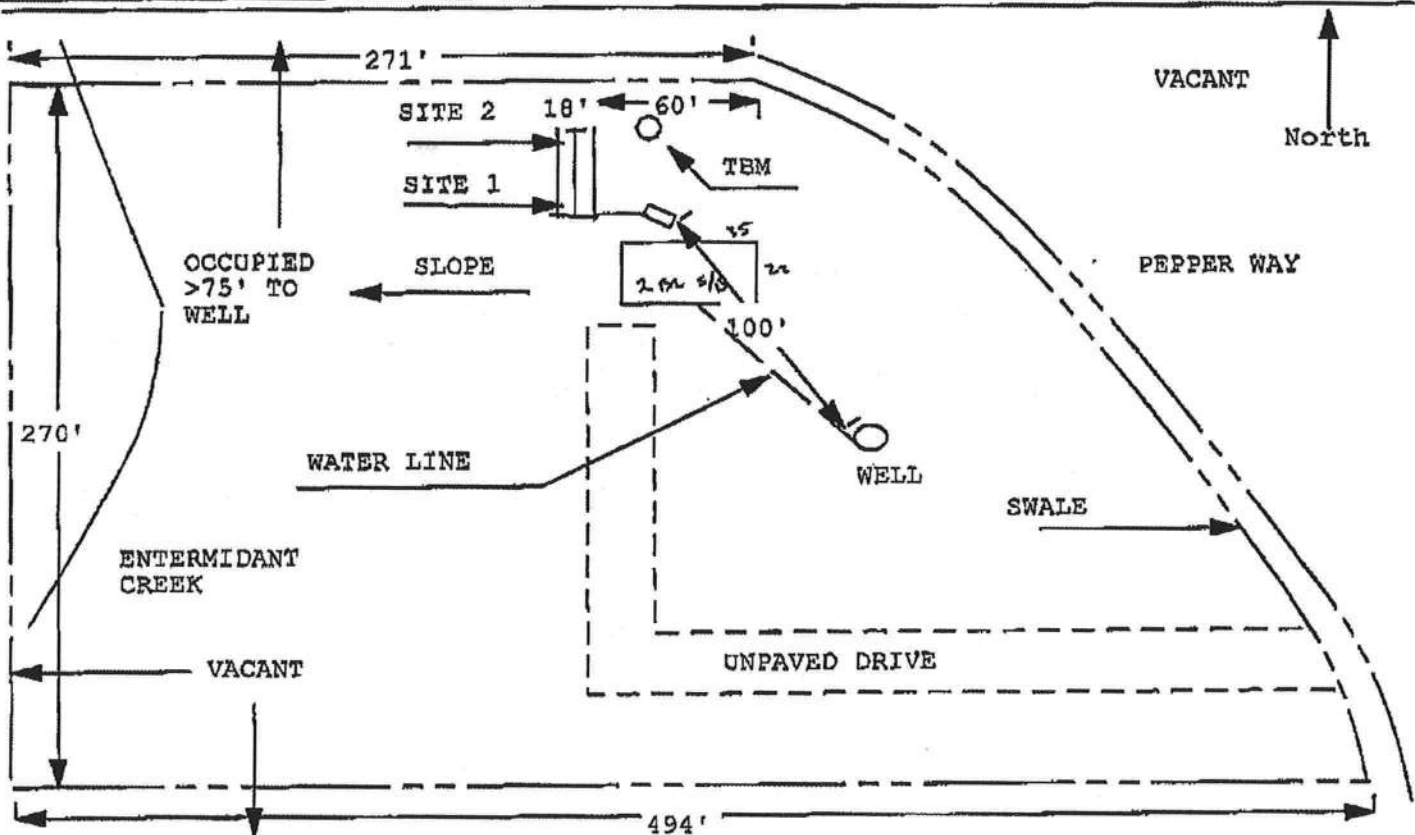
08-04-09:08:34AM;

;386 758-2187

2/ 3

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 09-0407-N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



CR# 08-4656 ALMEIDA

1 inch = 65 Feet

Site Plan Submitted By Paul R. Lloyd Date 6/29/09
 Plan Approved M Not Approved 7/3/09
 By [Signature] **APPROVED** **Columbia CHD** CPHU

Notes:

Towns

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: Towne Residence
 Street:
 City, State, Zip: Lake City, FL, 32024-
 Owner: Valerie Towne
 Design Location: FL, Gainesville

Builder Name: Isaac Construction, Inc.
 Permit Office: Columbia County
 Permit Number: 27994
 Jurisdiction: 221000

- | | |
|--|------------------|
| 1. New construction or existing | New (From Plans) |
| 2. Single family or multiple family | Single-family |
| 3. Number of units, if multiple family | 1 |
| 4. Number of Bedrooms | 2 |
| 5. Is this a worst case? | No |
| 6. Conditioned floor area (ft ²) | 777 |

- | | | |
|--------------|-------------|------------------------|
| 7. Windows | Description | Area |
| a. U-Factor: | Dbl, U=0.30 | 111.00 ft ² |
| SHGC: | SHGC=0.50 | |
| b. U-Factor: | N/A | ft ² |
| SHGC: | | |
| c. U-Factor: | N/A | ft ² |
| SHGC: | | |
| d. U-Factor: | N/A | ft ² |
| SHGC: | | |
| e. U-Factor: | N/A | ft ² |
| SHGC: | | |

- | | | |
|----------------------------------|------------|------------------------|
| 8. Floor Types | Insulation | Area |
| a. Slab-On-Grade Edge Insulation | R=5.0 | 777.00 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |

- | | | |
|---------------------------|------------|------------------------|
| 9. Wall Types | Insulation | Area |
| a. Frame - Wood, Exterior | R=13.0 | 916.80 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |
| d. N/A | R= | ft ² |

- | | | |
|-------------------------|------------|------------------------|
| 10. Ceiling Types | Insulation | Area |
| a. Under Attic (Vented) | R=30.0 | 816.00 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |

11. Ducts
 a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 194.25 ft²

12. Cooling systems
 a. Central Unit
 Cap: 20.0 kBtu/hr
 SEER: 14

13. Heating systems
 a. Electric Heat Pump
 Cap: 20.0 kBtu/hr
 HSPF: 7.7

14. Hot water systems
 a. Electric
 Cap: 50 gallons
 EF: 0.9

- b. Conservation features
 None

15. Credits Pstat

Glass/Floor Area: 0.143

Total As-Built Modified Loads: 19.52

Total Baseline Loads: 23.06

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY:

DATE: 7/21/09

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL:

DATE:

- Compliance requires an air distribution system test report, by a Florida Class 1 Rater, confirming system leakage to outdoors is not greater than 23 cfm at 25 pascals pressure difference in accordance with N1110.A.2.
- Compliance requires an envelope leakage test report, by a Florida Class 1 Rater, in accordance with N1113.A.1.

PROJECT

Title: Towne Residence	Bedrooms: 2	Address Type: Street Address
Building Type: FLAsBuilt	Bathrooms: 0	Lot #
Owner: Valerie Towne	Conditioned Area: 777	SubDivision:
# of Units: 1	Total Stories: 1	PlatBook:
Builder Name: Isaac Construction, Inc.	Worst Case: No	Street:
Permit Office: Columbia County	Rotate Angle: 0	County: Columbia
Jurisdiction:	Cross Ventilation:	City, State, Zip: Lake City ,
Family Type: Single-family	Whole House Fan:	FL , 32024-
New/Existing: New (From Plans)		
Comment:		

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
✓	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
✓	1	Slab-On-Grade Edge Insulatio	114.6 ft	5	777 ft²	0	0	1

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
✓	1	Gable or shed	Composition shingles	869 ft²	194 ft²	Dark	0.96	No	0	26.6 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Partial cathedral cei	Vented	303	777 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Vented)	30	816 ft²	0.11	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
✓	1	N	Exterior	Frame - Wood	13	201 ft²	0	0.23	0.75
✓	2	S	Exterior	Frame - Wood	13	222 ft²	0	0.23	0.75
✓	3	E	Exterior	Frame - Wood	13	257 ft²	0	0.23	0.75
✓	4	W	Exterior	Frame - Wood	13	236.8 ft²	0	0.23	0.75

DOORS

✓	#	Ornt	Door Type	Storms	U-Value	Area
✓	1	E	Insulated	None	0.46	20 ft²
✓	2	W	Insulated	None	0.46	17.73 ft²

WINDOWS

Window orientation below is as entered. Actual orientation is modified by rotate angle shown in "Project" section above.

✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation	Int Shade	Screening
✓	1	E	Metal	Double (Clear)	Yes	0.3	0.5	N	45 ft²	0 ft 18 in 0 ft 0 in	HERS 2006	None
✓	2	N	Metal	Double (Clear)	Yes	0.3	0.5	N	9 ft²	0 ft 18 in 0 ft 0 in	HERS 2006	None
✓	3	W	Metal	Double (Clear)	Yes	0.3	0.5	N	12 ft²	0 ft 18 in 0 ft 0 in	HERS 2006	None
✓	4	W	Metal	Double (Clear)	Yes	0.3	0.5	N	15 ft²	0 ft 18 in 0 ft 0 in	HERS 2006	None
✓	5	S	Metal	Double (Clear)	Yes	0.3	0.5	N	30 ft²	0 ft 18 in 0 ft 0 in	HERS 2006	None

INFILTRATION & VENTING

✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM Exhaust CFM	Run Time Fraction	Fan Watts
✓	Proposed ACH	0.00036	734	7.08	40.3	75.8	0 cfm 0 cfm	0	0

COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ductless
✓	1	Central Unit	None	SEER: 14	20 kBtu/hr	600 cfm	0.75	

HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Ductless
✓	1	Electric Heat Pump	None	HSPF: 7.7	20 kBtu/hr	

HOT WATER SYSTEM

✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	0.9	50 gal	50 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
✓	None	None			ft²		

DUCTS

✓	#	---- Supply ---- Location R-Value Area	---- Return ---- Location Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
✓	1	Attic 6 194.25	Attic 38.85 ft	Prop. Leak Free	Interior	23.31 cfm	3.88 %	0.03	0.60

TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

Cooling	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Heating	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Venting	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec

Thermostat Schedule: HERS 2006 Reference

Hours

Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS:

Lake City, FL, 32024-

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

, Lake City, FL, 32024-

1. New construction or existing	New (From Plans)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Frame - Wood, Exterior	R=13.0	916.80 ft ²
3. Number of units, if multiple family	1	b. N/A	R=	ft ²
4. Number of Bedrooms	2	c. N/A	R=	ft ²
5. Is this a worst case?	No	d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	777	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Under Attic (Vented)	R=30.0	816.00 ft ²
a. U-Factor:	Dbl, U=0.30	b. N/A	R=	ft ²
SHGC:	SHGC=0.50	c. N/A	R=	ft ²
b. U-Factor:	N/A	11. Ducts		
SHGC:		a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,		194.25 ft ²
c. U-Factor:	N/A	12. Cooling systems		
SHGC:		a. Central Unit	Cap: 20.0 kBtu/hr	SEER: 14
d. U-Factor:	N/A	13. Heating systems		
SHGC:		a. Electric Heat Pump	Cap: 20.0 kBtu/hr	HSPF: 7.7
e. U-Factor:	N/A	14. Hot water systems		
SHGC:		a. Electric	Cap: 50 gallons	EF: 0.9
8. Floor Types	Insulation	b. Conservation features		
a. Slab-On-Grade Edge Insulation	R=5.0	None		
b. N/A	R=	15. Credits		Pstat
c. N/A	R=			

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

New Construction Subterranean Termite Service Record

OMB Approval No. 2502-0525
(exp. 02/29/2012)

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential, therefore, no assurance of confidentiality is provided.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Company and builder, unless stated otherwise. **# 27994**

Section 1: General Information (Pest Control Company Information)

Company Name Aspen Pest Control, Inc.
Company Address P.O. Box 1785 City Lake City State FL Zip 32855
Company Business License No. JB108476 Company Phone No. 352-725-3511
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name Isaac Construction Phone No. 719-7143

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) Valexia, Alameda LLC
475, TL on CR 240, TL Pepper Lane, 1st lot on left Lake City FL

Section 4: Service Information

Date(s) of Service(s) 8-19-2008
Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other _____

Check all that apply:

- ☐ A. Soil Applied Liquid Termiticide
Brand Name of Termiticide: Bifen XTS EPA Registration No. 53883-189
Approx. Dilution (%): 6 Approx. Total Gallons Mix Applied: 165 Treatment completed on exterior: ☒ Yes ☐ No
- ☐ B. Wood Applied Liquid Termiticide
Brand Name of Termiticide: _____ EPA Registration No. _____
Approx. Dilution (%): _____ Approx. Total Gallons Mix Applied: _____
- ☐ C. Bait System Installed
Name of System: _____ EPA Registration No. _____ Number of Stations Installed: _____
- ☐ D. Physical Barrier System Installed
Name of System: _____ Attach installation information (required)

Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) C Lacey Certification No. (if required by State law) JB108476

The applicator has used a product in accordance with the product label and state requirements. All materials and methods used comply with state and federal regulations.

Authorized Signature Cliff Lacey Date 8-19-2008

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Form NPCA-99-B may still be used

form HUD-NPMA-99-B



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Isaac Construction, LLC

Fax: 386.719.4757

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 2

Date : 20 August 2009

RE: Building Permit 27994, Valerie Town

Dear Isaac:

The above referenced building permit required an elevation confirmation letter for the finished floor of the house. We are unable to accept the elevation confirmation letter provided by William N. Kitchen, PSM# 5490, because his license has expired. I have attached a copy of the information from myfloridalicense.com showing its expiration. A letter from a surveyor with a valid license will be required or Mr. Kitchen can provide this office with documentation that his license is valid. This office has tried to get in touch with Mr. Kitchen without success. If you get in touch with Mr. Kitchen, please convey to him that this office would like to speak with him, thank you.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Attachment

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

WILLIAM N. KITCHEN
PROFESSIONAL SURVEYOR AND MAPPER
152 N. MARION AVENUE
LAKE CITY, FLORIDA 32055
PHONE (386) 755-7786 FAX (386) 755-5506
E-MAIL BSSK@BELLSOUTH.NET



27994
~~27994~~
~~200809~~
Invalid
license
expired 28 Feb. 09
Not Good

DATE : 8/18/2009

TO WHOM IT MAY CONCERN:

RE: ISAAC CONSTRUCTION, LLC
PERMIT NO. 27994

SUBJECT **Parcel:** 07-5S-17-09153-000
NO. 3879, SW CR 240, LAKE CITY, FL. 32024

THE BUILDING SITE IS NOT IN A FLOOD ZONE ACCORDING TO FEMA
FLOOD INSURANCE RATE MAP NO. 12023C0383C, DATED FEBUARY 4, 2009.

THE TOP OF FORMS ARE AT ELEVATION 80.13 FEET NAVD 1988.
THE 100 YEAR FLOOD FOR THE ADJACENT FLOOD ZONE "AE" ON THIS
PROPERTY IS 70.00 FEET NAVD 1988.

THANK YOU
WILLIAM N. KITCHEN PSM # 5490

William N. Kitchen

8/18/2009



CAL-TECH TESTING, INC.

ENGINEERING & TESTING
LABORATORY

P.O. Box 1625 • Lake City, FL 32056 • (386) 755-3633 • Fax (386) 752-5456

4784 Rosselle St.
Jacksonville, FL 32254
(904) 381-8901 • Fax (904) 381-8902

REPORT OF DAILY CONSTRUCTION TESTING AND MONITORING

Client ISSAC Const.
Project Towne Residence
Contractor S.A.C.

Date 8-18-09
Job. No. 09-324
Technician L. Roberts

WORK ORDER:

☒ DENSITY

Spec's: 95%
Test No.: 5-8
Inches: 12"

☐ CONCRETE

☐ Cylinders
☐ Beams
☐ Prisms
☐ Pick-Up

Set No. _____

☐ Pick-Up Proctor

☐ Pick-Up LBR

DESCRIPTION OF DAYS ACTIVITIES:

Performed 4 FDT's.

Time In: 1:30 PM

Time Out: 2:30 P.M.

FDT's Performed _____

Cyls Cast/Cal-Tech _____

Cyls Cast/Client _____

Beams Cast/Cal-Tech: _____

Weather: Cloudy

Hours Worked: 1.0

Other Tests: _____

Hours Travel: _____

Miles Travel: _____

Hours Standby: _____

Hours O.T.: _____

James W. Roberts
FIELD REPRESENTATIVE

CLIENT REPRESENTATIVE

permit app #
0907-46



COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) <u>777</u> Total (Sq. Ft.) under roof <u>825</u>		IIIIIIII	IIIIIIII	IIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIII	IIII	IIIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure - if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	✓		
18	Location and size of skylights with Florida Product Approval			X
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			X
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			X
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.	✓		
32	Assumed load-bearing value of soil _____ Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	✓		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	✓		
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	✓		
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	✓		
42	Attachment of joist to girder	✓		
43	Wind load requirements where applicable	✓		
44	Show required under-floor crawl space	✓		
45	Show required amount of ventilation opening for under-floor spaces	✓		
46	Show required covering of ventilation opening	✓		
47	Show the required access opening to access to under-floor spaces	✓		
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &	✓		

48	intermediate of the areas structural panel sheathing	✓		
49	Show Draftstopping, Fire caulking and Fire blocking	✓		
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309	✓		
51	Provide live and dead load rating of floor framing systems (psf).	✓		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		
68	Provide dead load rating of rafter system	✓		

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	<input checked="" type="checkbox"/>		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>		
74	Attic space	<input checked="" type="checkbox"/>		
75	Exterior wall cavity	<input checked="" type="checkbox"/>		
76	Crawl space	<input checked="" type="checkbox"/>		

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	<input checked="" type="checkbox"/>		
78	Exhaust fans locations in bathrooms	<input checked="" type="checkbox"/>		
79	Show clothes dryer route and total run of exhaust duct	<input checked="" type="checkbox"/>		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	<input checked="" type="checkbox"/>		
81	Show the location of water heater	<input checked="" type="checkbox"/>		

Private Potable Water

82	Pump motor horse power	<input checked="" type="checkbox"/>		
83	Reservoir pressure tank gallon capacity	<input checked="" type="checkbox"/>		
84	Rating of cycle stop valve if used	<input checked="" type="checkbox"/>		

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	<input checked="" type="checkbox"/>		
86	Ceiling fans	<input checked="" type="checkbox"/>		
87	Smoke detectors & Carbon dioxide detectors	<input checked="" type="checkbox"/>		
88	Service panel, sub-panel, location(s) and total ampere ratings	<input checked="" type="checkbox"/>		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.	<input checked="" type="checkbox"/>		

90	Appliances and HVAC equipment and disconnects	<input checked="" type="checkbox"/>		
91	Arc Fault Circuits (AFCI) in bedrooms	<input checked="" type="checkbox"/>		

Disclosure Statement for Owner Builders If you as the applicant will be acting as an owner-builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center">GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
---	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	<input checked="" type="checkbox"/>		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	<input checked="" type="checkbox"/>		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058			
95	City of Lake City A permit showing an approved waste water sewer tap			<input checked="" type="checkbox"/>
96	Toilet facilities shall be provided for all construction sites	<input checked="" type="checkbox"/>		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			<input checked="" type="checkbox"/>
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			<input checked="" type="checkbox"/>
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	<input checked="" type="checkbox"/>		
100	A development permit will also be required. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	<input checked="" type="checkbox"/>		
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	<input checked="" type="checkbox"/>		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET**Location:** 3879 SW CR 240**Project Name:** Town

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	Plast Pro	Opaque fiberglass	4760.1, 4760.2
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	Philips	Single hung 48x96	5300.4
2. Horizontal Slider	Alenco	aluminum xox	7673.1
3. Casement			
4. Double Hung	Kawneer	aluminum non-impact	7912.1
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding	Alcoa	structure vinyl	5544.6
2. Soffits	Variform	DS standard, T4 Aluminum	11176.3, 11176.6
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	Tamko	heavy weight	7154.1
2. Underlayments	Tamko	Self-Adhering	3664.1
3. Roofing Fasteners	OMG	fasteners for base sheet	699.1, 699.2
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

0907-46

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1TTF8228Z0217111436

Truss Fabricator: Anderson Truss Company
Job Identification: 9-153--Isaac Construction Town ---, **
Truss Count: 5
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 9.02.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
the seal date per section 61G15-31.003(5a) of the FAC
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: A1101505-GBLLETIN-A140GC020109-A140GS020109-

#	Ref	Description	Drawing#	Date
1	29485--A1		09198002	07/17/09
2	29486--A-GE		09198001	07/17/09
3	29487--A2		09198003	07/17/09
4	29488--B1		09198005	07/17/09
5	29489--B-GE		09198004	07/17/09

Seal Date: 07/17/2009

-Truss Design Engineer-
Doug Fleming
Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844

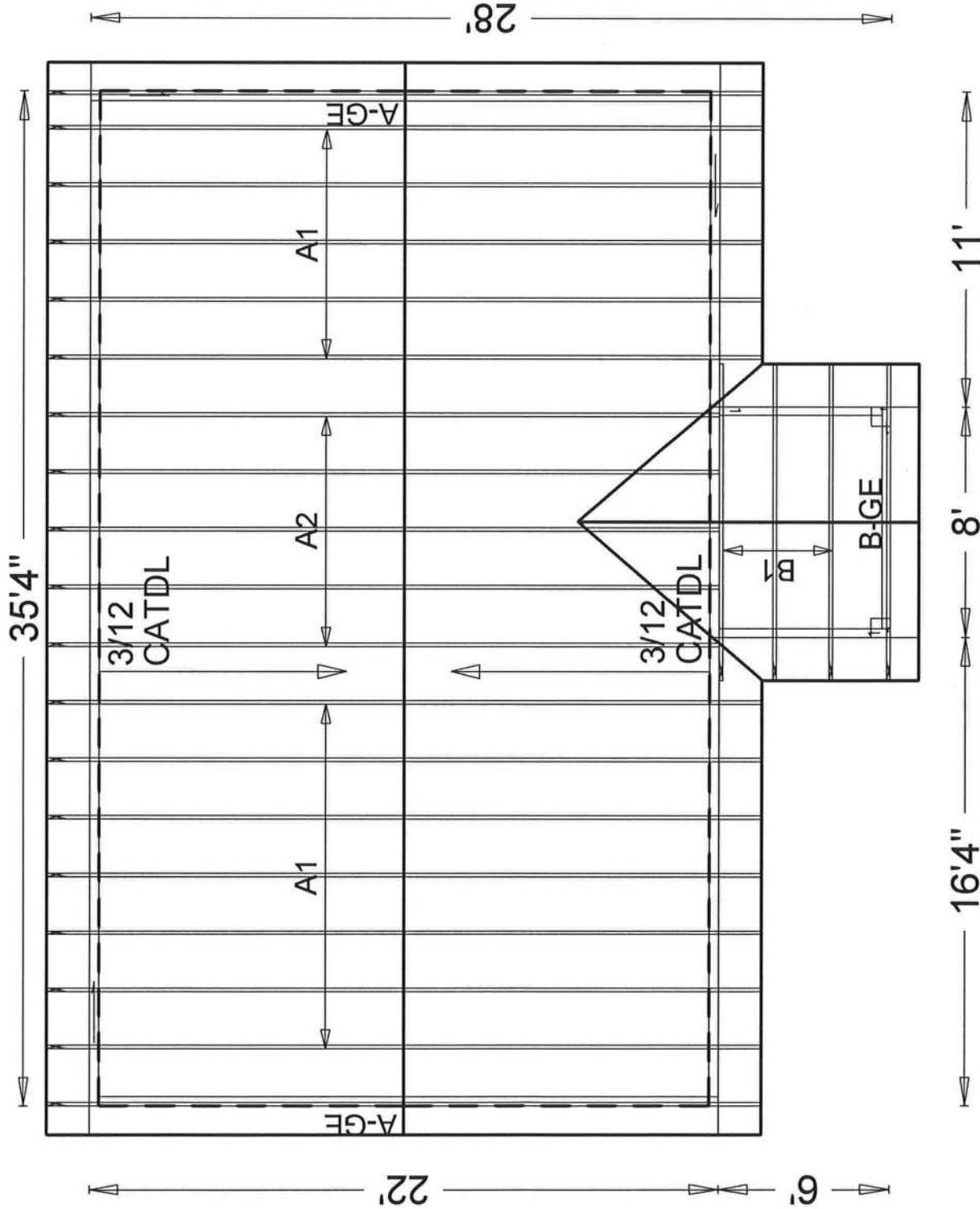


#9-153

ISAAC-

VALERIE TOWN

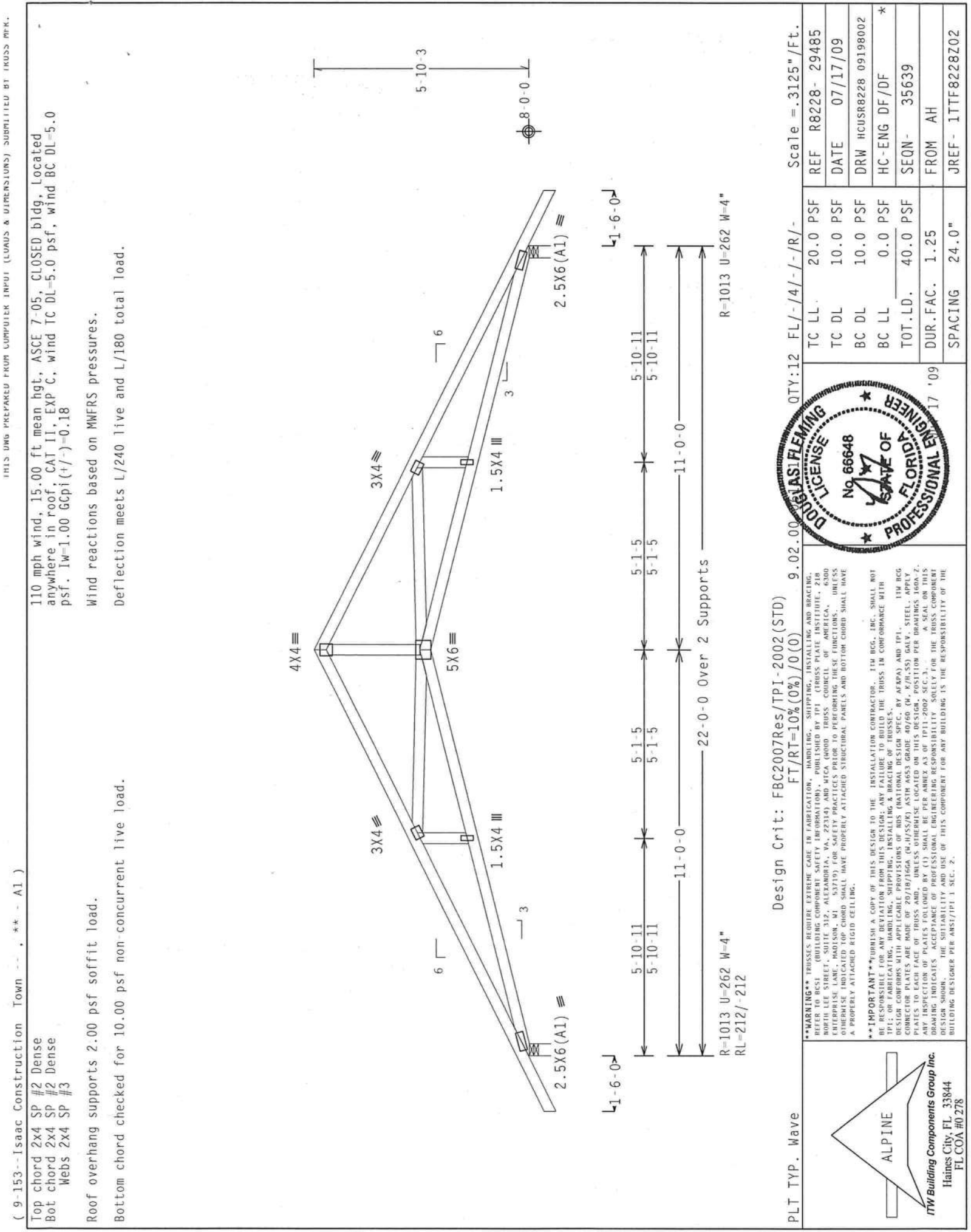
Roof Plane Sheathing Area = 1115 sq. ft
Gable Sheathing Area = 93 sq. ft
Total Sheathing Area = 1207 sq. ft
Fascia Material = 143 linear ft
Valley Flashing Material = 18 linear ft
Ridge Cap Material = 49 linear ft



JOB DESCRIPTION: Isaac Construction
/ Town

JOB NO:
9-153

PAGE NO:
1 OF 1



(9-153--Isaac Construction Town -- ** - A1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY IKUSS PERK.

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

Scale = .3125"/Ft.

QTY:12	FL/-/4/-/-/R/-	TC LL	20.0	PSF	REF	R8228 - 29485
		TC DL	10.0	PSF	DATE	07/17/09
		BC DL	10.0	PSF	DRW	HCUSR8228 09198002
		BC LL	0.0	PSF	HC-ENG	DF/DF
		TOT.LD.	40.0	PSF	SEQN -	35639
		DUR.FAC.	1.25		FROM	AH
		SPACING	24.0"		JREF -	1TTF8228202

ALPINE

ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

Scale = .3125"/Ft.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

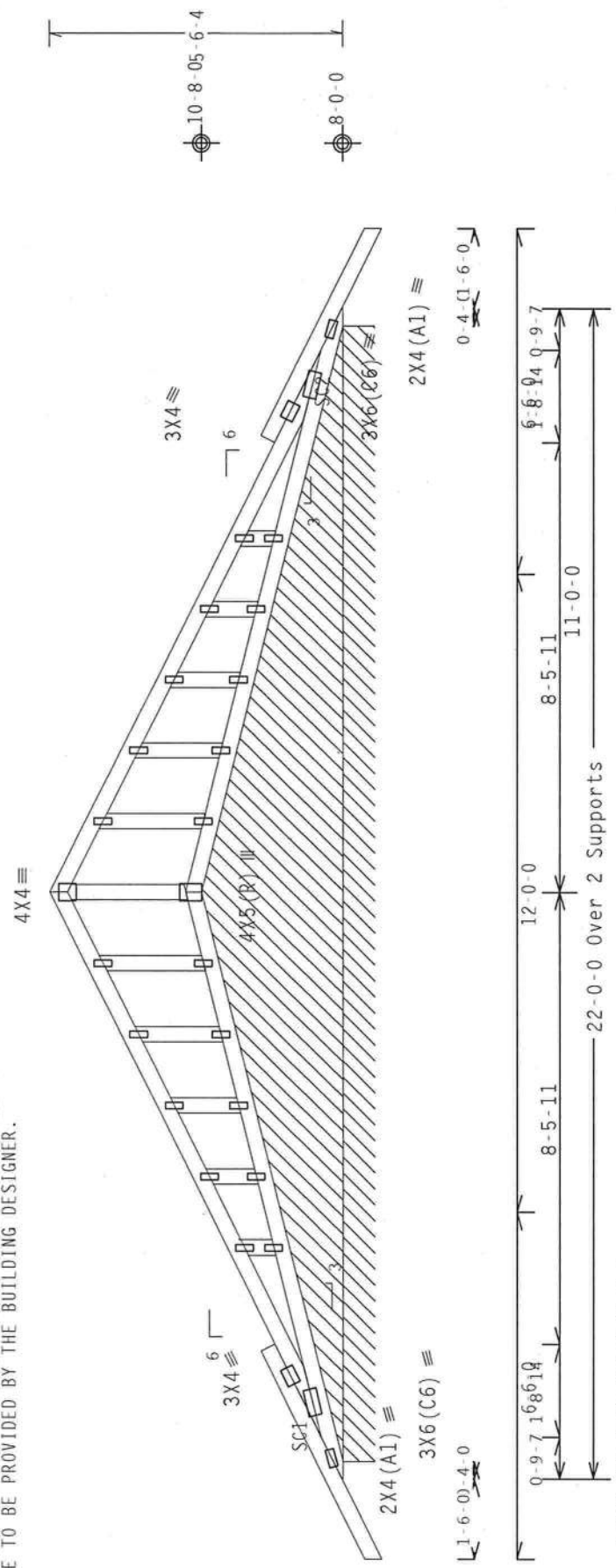
Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:
Roof overhang supports 2.00 psf soffit load.
See DWGS A11015050109 & GBLLETIN0109 for more requirements.
In lieu of structural panels use purlins to brace TC @ 24" OC.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF
THE ROOF, FLOOR AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS,
AND SUPPORTING SHEAR WALLS. DIAPHRAGMS AND SHEAR WALLS MUST
PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL
CONNECTIONS ARE TO BE PROVIDED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located
anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0
psf. Iw=1.00 GCpi (+/-)=0.18
Wind reactions based on MMFRS pressures.
Gable end supports 8" max rake overhang.
Stacked top chord must NOT be notched or cut in area (NNL). Attach
stacked top chord (SC) to dropped top chord in notched area using
3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord
interface, plate length perpendicular to chord length. Splice top
chord in notched area using 3x6.



R-106 PLF U=25 PLF W=21-4-0
RL=11/-11 PLF

Note: All Plates Are 1.5x4 Except As Shown.
Design Crit: FBC2007Res/TPI-2002 (STD)
FT/RT=10%(0%)/0(0)

PLT TYP. Wave

Scale = .3125"/Ft.

TC LL	20.0 PSF	REF	R8228- 29486
TC DL	10.0 PSF	DATE	07/17/09
BC DL	10.0 PSF	DRW	HCUSR8228 09198001
BC LL	0.0 PSF	HC-ENG	DF/DF
TOT.LD.	40.0 PSF	SEQN-	35648
DUR.FAC.	1.25	FROM	AH
SPACING	SEE ABOVE	JREF-	1TTF8228Z02

DOUGLAS FLEMING
LICENSE
No. 66648
PROFESSIONAL ENGINEER
FLORIDA

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO RES1 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE), 210 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202, FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CORROSIONS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AIA/PA) AND TPI. ITW BCG CORROSION PLATES ARE MADE OF 20/18/166A (4-H/55/5) ASTM A653 GRADE 40/60 (4, 8/2H-55) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, 1w=1.00 GCpi(+/-)-0.18

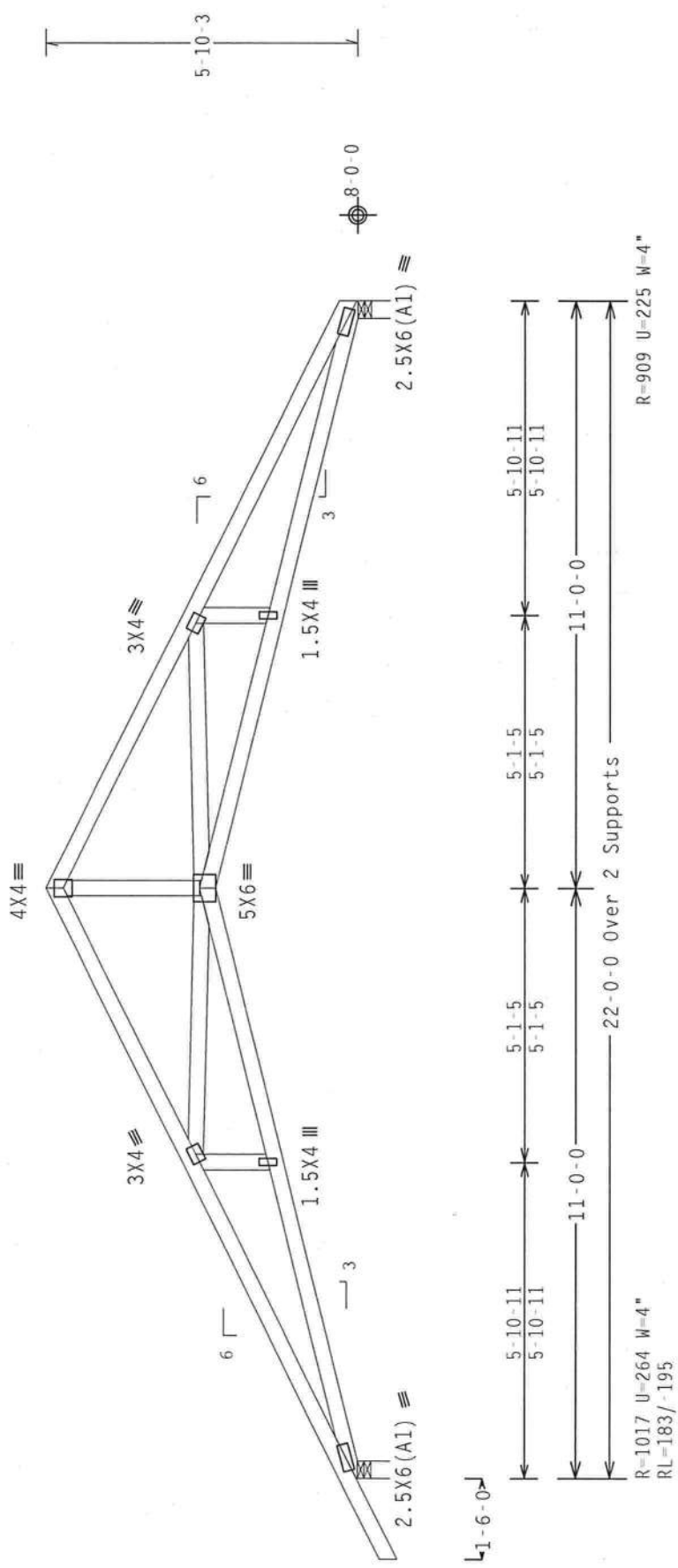
Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.



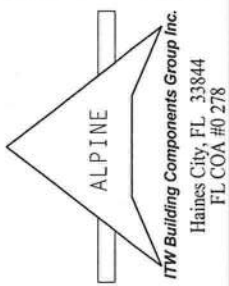
Design Crit: FBC2007Res/TPI-2002 (STD)
FT/RT=10%(0%)/0(0)

PLT TYP., Wave	QTY:5	FL/-/4/-/-/R/-	Scale = .3125"/Ft.
	TC LL	20.0 PSF	REF R8228- 29487
	TC DL	10.0 PSF	DATE 07/17/09
	BC DL	10.0 PSF	DRW HCUSR8228 09198003
	BC LL	0.0 PSF	HC-ENG DF/DF
	TOT.LD.	40.0 PSF	SEQN- 35662
	DUR.FAC.	1.25	FROM AH
	SPACING	24.0"	JREF- 1TTF82282702



****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. THE TRUSS CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRUSS CONTRACTOR'S FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE TPI. OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AIA/P&A) AND TPI. ITW BCG CORP. TRUSSES ARE MADE OF 20/18/1666 (4-W/55/S) ASTH A653 GRADE 40/60 (4, 8/11-55) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF TRUSSES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT BUILDING SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE TPI. OR FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AIA/P&A) AND TPI. ITW BCG CORP. TRUSSES ARE MADE OF 20/18/1666 (4-W/55/S) ASTH A653 GRADE 40/60 (4, 8/11-55) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF TRUSSES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT BUILDING SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



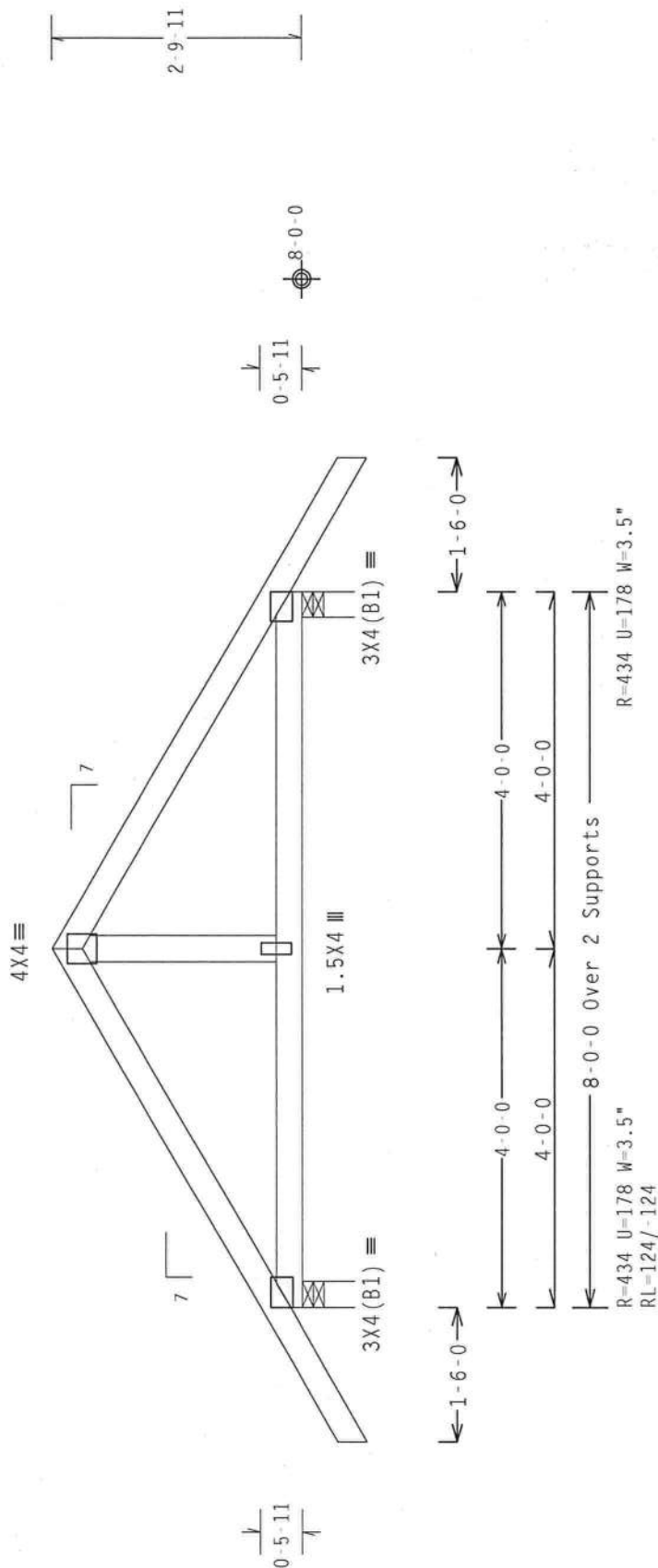
1110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART_ENC. bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi (+/-)=0.55

Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

PLT TYP. Wave

9.02.00

QTY: 3

FL/-/4/-/-/R/-/

Scale = .5"/Ft.

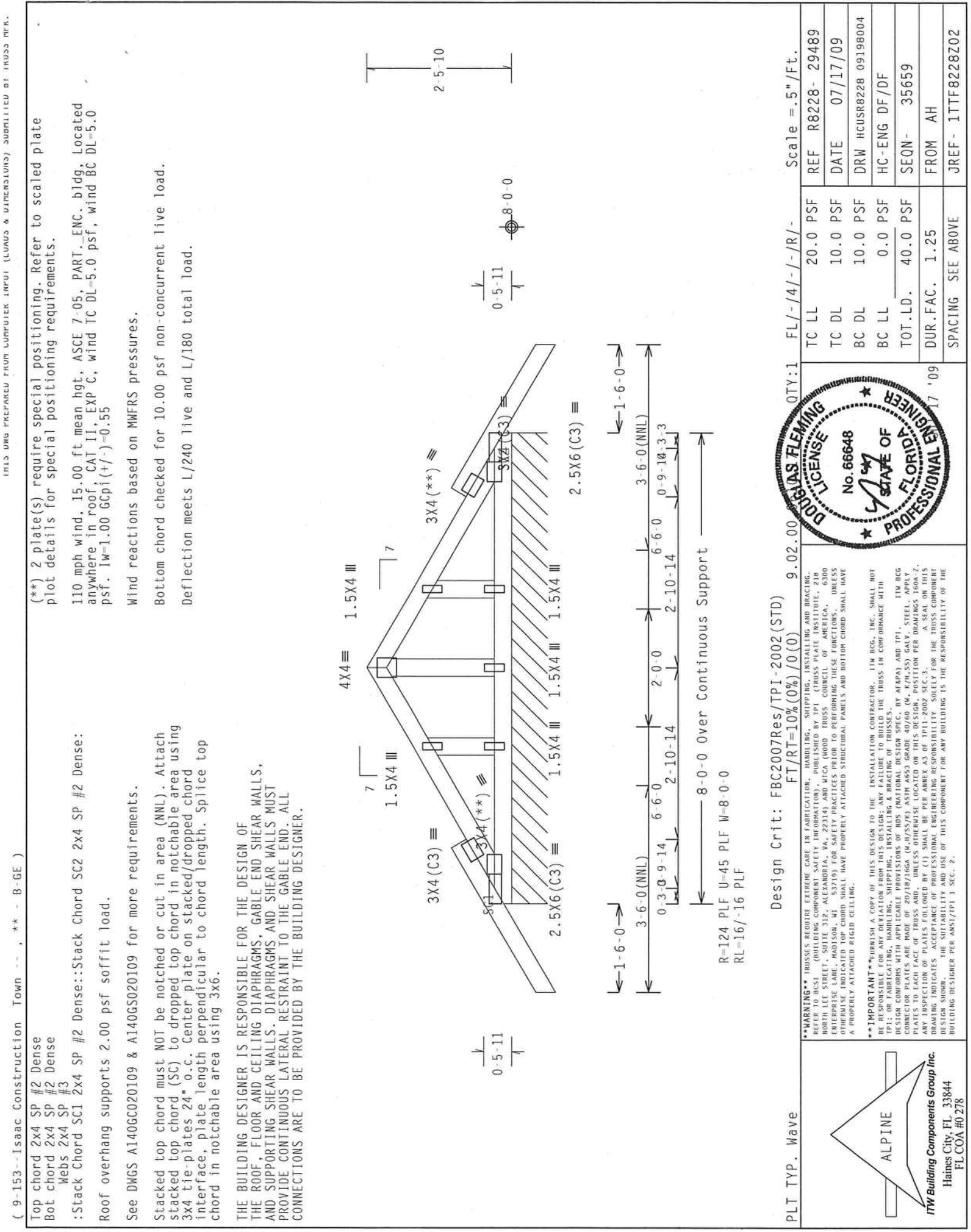
WARNING: THUSSE'S REQUIRE EXTREME CARE IN ERECTION, HANDLING, SHIPPING, UNLOADING AND BRACING. RULER TO BE USED TO OBTAIN BUILDING COMPONENT SAFETY INFORMATION. PUBLISHED BY: STEVENS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314; AND THUSSE, COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, AL 55219. PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS, UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

IMPORTANT: FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR, ITH BCG, INC. SMALL ROY IS RESPONSIBLE FOR THE DESIGNATION OF THE INSTALLATION CONTRACTOR. ITH BCG, INC. SHALL NOT BE RESPONSIBLE FOR THE DESIGNATION OF THIS DESIGNER, ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE DESIGN OR FOR THE DESIGNER'S NEGLIGENCE, INSTALLATION, OR ABUSE OF TRUSSES.

THIS DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY ACPA) AND TPI. ITH BCG CONNECTOR PLATES ARE MADE OF 20/18/16GA. (W/15/SS) ASTM A653 GRADE 40/60 (N. K/15/SS) GALV. STEEL, APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. A SEAL ON THIS INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A OF TPI-1-2002 SEC.2. A SEAL ON THIS DRAWING 180/40CES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANNEX A/TPI 1 SEC. 2.



TC LL	20.0 PSF	REF	R8228 - 29488
TC DL	10.0 PSF	DATE	07/17/09
BC DL	10.0 PSF	DRW	HCUSR8228 09198005
BC LL	0.0 PSF	HC-ENG	DF/DF *
TOT.LD.	40.0 PSF	SEQN-	35651
DUR.FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TTF8228Z02



THIS DRAWING PREPARED FROM COMPUTER INPUT (UNLESS OTHERWISE NOTED) SUBMITTED BY (UNLESS OTHERWISE NOTED)

(9-153--Isaac Construction Town -- , ** - B-GE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:
Roof overhang supports 2.00 psf soffit load.
See DWGS A140G020109 & A140G5020109 for more requirements.
Stacked top chord must NOT be notched or cut in area (NNL). Attach stacked top chord (SC) to dropped top chord in notched area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notched area using 3x6.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF, FLOOR AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. DIAPHRAGMS AND SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS ARE TO BE PROVIDED BY THE BUILDING DESIGNER.

(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, PART-ENC. bldg. Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. IW=1.00 GCpi (+/-)=0.55
Wind reactions based on MMFRS pressures.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.

4X4 ≡ 1.5X4 III
1.5X4 III
3X4(C3) ≡
3X4(**) ≡
2.5X6(C3) ≡
1.5X4 III
1.5X4 III
1.5X4 III
2.5X6(C3) ≡
3X4(C3) ≡
3X4(**) ≡
2.5X6(C3) ≡

7
7
0-5-11
0-5-11
2-5-10
0-5-11
8-0-0
1-6-0
3-6-0(NNL)
0-3-0-9-14
6-6-0
2-10-14
2-0-0
6-6-0
3-6-0(NNL)
0-9-10-3-3
1-6-0
8-0-0 Over Continuous Support
R=124 PLF U=45 PLF W=8-0-0
RL=16/-16 PLF

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0)/0(0)
9.02.00
Scale = .5"/Ft.

PLT TYP., Wave
ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

PLT TYP., Wave		QTY:1	FL/-/4/-/-/R/-	Scale = .5"/Ft.
REF R8228- 29489		TC LL	20.0 PSF	
DATE 07/17/09		TC DL	10.0 PSF	
DRW HCUSR8228 09198004		BC DL	10.0 PSF	
HC-ENG DF/DF		BC LL	0.0 PSF	
SEQN- 35659		TOT.LD.	40.0 PSF	
FROM AH		DUR.FAC.	1.25	
JREF- 1TTF8228Z02		SPACING	SEE ABOVE	

GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

2X4 GABLE VERTICAL SPACING		BRACE		NO BRACES		(1) 1X4 "L" BRACE		(2) 2X4 "L" BRACE		(1) 2X6 "L" BRACE		(2) 2X6 "L" BRACE	
MAX GABLE VERTICAL LENGTH	GABLE VERTICAL SPACING	SPECIES	GRADE	BRACE		NO BRACES		(1) 1X4 "L" BRACE		(2) 2X4 "L" BRACE		(1) 2X6 "L" BRACE	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
12" O.C.	SPF	#1 / #2		6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
	HF	#3		6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
	STANDARD			6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
	SP	#1		5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
24" O.C.	SP	#2		6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
	HF	#3		6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
	STANDARD			6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
	DFL			5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
16" O.C.	SPF	#1 / #2		7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	#3		7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD			7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#1		6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
12" O.C.	SPF	#1 / #2		7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	#3		7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD			7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL			6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
12" O.C.	SPF	#1 / #2		8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	#3		8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD			8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#1		8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	#2		8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	#3		8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD			8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL			8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2
STANDARD	STANDARD
#3	#3

DOUGLAS FIR-LARCH

#3	STANDARD
STUD	STUD
STANDARD	STANDARD

GROUP B:

HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1
#1	#2

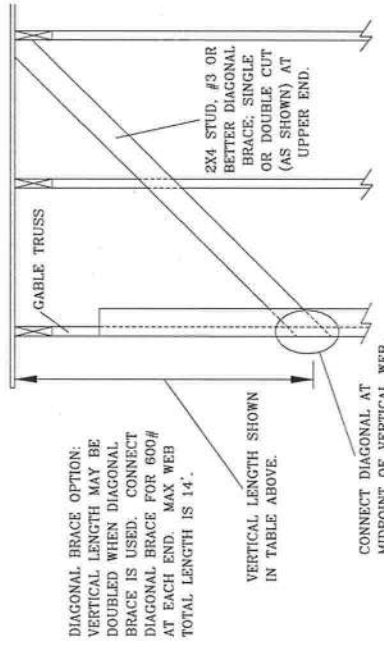
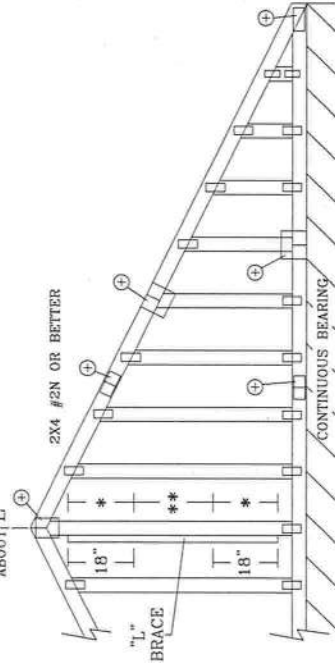
GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.
 PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER
 CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
 GABLE END SUPPORTS LOAD FROM 4' 0"
 OUTLOOKERS WITH 2' 0" OVERHANG, OR 12"
 PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.
 * FOR (1) "L" BRACE: SPACE NAILS AT 2' O.C.
 IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
 ** FOR (2) "L" BRACES: SPACE NAILS AT 3' O.C.
 IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.
 "L" BRACING MUST BE A MINIMUM OF 80% OF WEB
 MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR
PEAK, SPLICE, AND HEEL PLATES.



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow
 ICC Building Component Safety Information, by TPI and WCA (for safety practices prior to performing
 any work on trusses). Trusses shall be installed in accordance with the manufacturer's instructions and
 shall have properly attached structural panels and bottom chord shall have a properly attached rigid
 ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCS
 sections B3 & B7. See this job's general notes page for more information.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
 ITW Building Components Group, Inc. (ITWBCG) shall be responsible for providing the design and
 any failure to build the truss in accordance with the design shall be the responsibility of the contractor.
 bracing of trusses. ITWBCG connector plates are made of 20/19/16GA (W/H/S/K) ASTM A653 grade 37/40/60
 (K/R/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.
 A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely
 for the truss component design shown. The suitability and use of this component for any building is the
 responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.
 ITW-BCC: www.itwbcg.com, TPI: www.tpiusa.com, WCA: www.abcdindustry.com, ICC: www.iccsafe.org



Earth City, MO 63045

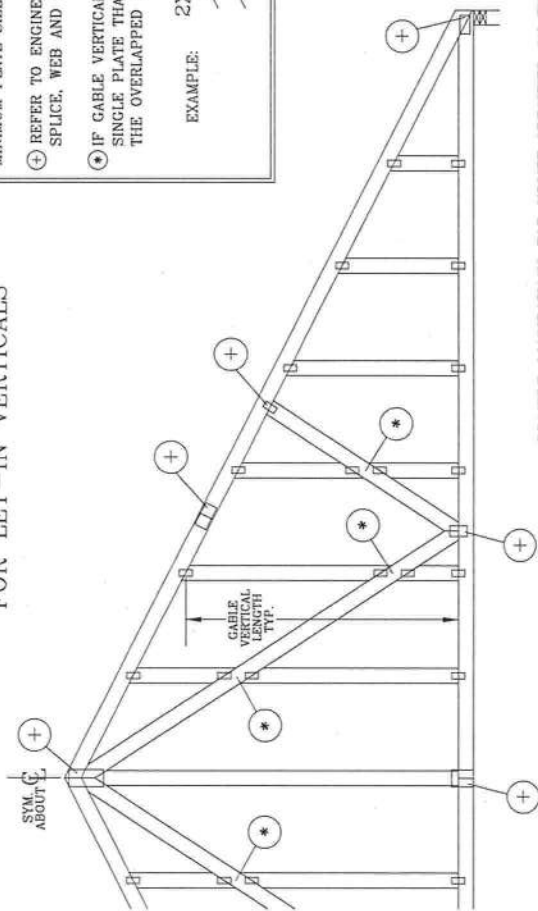
REF ASCF7-05-GAB11015
 DATE 1/1/09
 DRWG A11015050109

MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"



GABLE TRUSS PLATE SIZES



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

DRIVEN NAILS:
#10d COMMON (0.148"X 3",MIN) NAILS AT 4" O.C. PLUS

TOENAILED NAILS:

10d COMMON (0.148"x3".MIN) TOENAILS AT 4" O.C. PLUS
(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE WIND LOAD.

ASCE 7-98 GABLE DETAIL DRAWINGS

A13015980109, A12015980109, A11015980109, A10015980109,
A13030980109, A12030980109, A11030980109, A10030980109

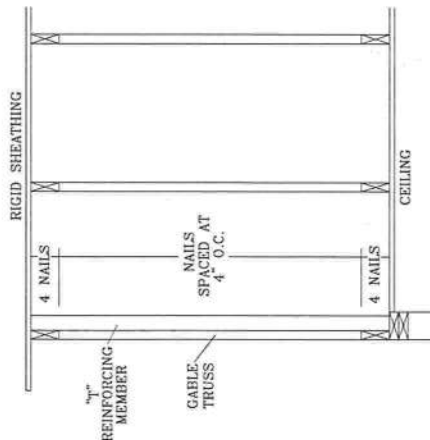
ASCE 7-02 GABLE DETAIL DRAWINGS

A13015020109, A12015020109, A11015020109, A10015020109, A14015020109, A13030020109, A12030020109, A11030020109, A10030020109, A14030020109

ASCE 7-05 GABLE DETAIL DRAWINGS

A13030050109, A12030050109, A11030050109, A10030050109, A14030050109,
A13030050109, A12030050109, A11030050109, A10030050109, A14030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH



****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET!**

Trussers require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the BCSI Building Component Safety Information, by TPI and WCA for these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord installers shall have property attached structural panels and bottom chord shall have a property attached rigid section. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3 & B7. Use this job's general notes page for more information.

••IMPORTANT•• FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.

TW Building Components Group Inc. (TWBCG) shall not be responsible for any deviation from this design or specification which may result in any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. TWBCG connector plates are made of 20/18/16GA (W/H/S/K) ASTM A653 grade 37/40/50ksi (K) steel. Apply plates at each face of truss, positioned as shown above and on Joint Details. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

Earth City, MO 63045

REF LEFT-IN VERT

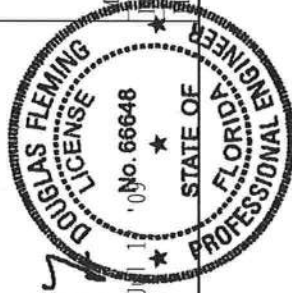
DATE 1/1/09

DRWG GBLLETIN0109

MAX	TOT	I.D.	60 PSF
100	100	100	100
90	90	90	90
80	80	80	80
70	70	70	70
60	60	60	60
50	50	50	50
40	40	40	40
30	30	30	30
20	20	20	20
10	10	10	10
0	0	0	0

OUR. FAC.	ANY

AX SPACING	24.0"
------------	-------



Residential System Sizing Calculation

Summary

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

Lake City, FL 32024-

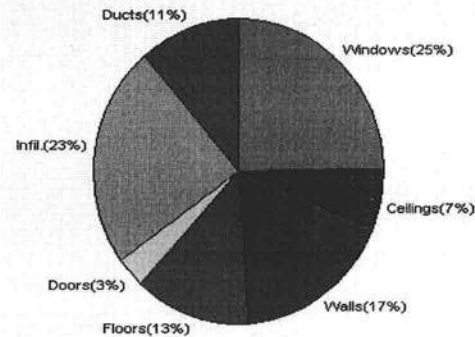
7/21/2009

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
Total heating load calculation	14417 Btuh	Total cooling load calculation	16855 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	138.7 20000	Sensible (SHR = 0.75)	113.8 15000
Heat Pump + Auxiliary(0.0kW)	138.7 20000	Latent	136.1 5000
		Total (Electric Heat Pump)	118.7 20000

WINTER CALCULATIONS

Winter Heating Load (for 777 sqft)

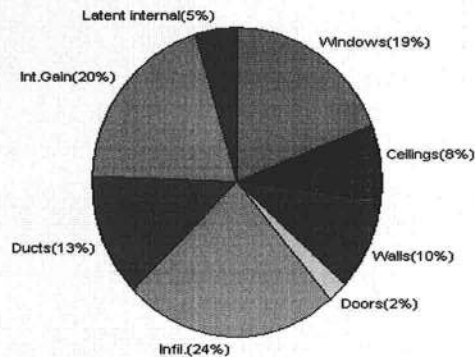
Load component		Load	
Window total	111 sqft	3573	Btuh
Wall total	768 sqft	2522	Btuh
Door total	38 sqft	489	Btuh
Ceiling total	816 sqft	962	Btuh
Floor total	115 sqft	1874	Btuh
Infiltration	83 cfm	3357	Btuh
Duct loss		1640	Btuh
Subtotal		14417	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		14417	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 777 sqft)

Load component		Load	
Window total	111 sqft	3215	Btuh
Wall total	768 sqft	1602	Btuh
Door total	38 sqft	370	Btuh
Ceiling total	816 sqft	1351	Btuh
Floor total		0	Btuh
Infiltration	73 cfm	1350	Btuh
Internal gain		3320	Btuh
Duct gain		1973	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Total sensible gain		13181	Btuh
Latent gain(ducts)		224	Btuh
Latent gain(infiltration)		2650	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		800	Btuh
Total latent gain		3674	Btuh
TOTAL HEAT GAIN		16855	Btuh



Version 8
For Florida residences only

EnergyGauge® System Sizing

PREPARED BY:

DATE: 7/21/09

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

Lake City, FL 32024-

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

7/21/2009

WHOLE HOUSE TOTALS

	Subtotal Sensible	14417 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	14417 Btuh

EQUIPMENT

1. Electric Heat Pump	#	20000 Btuh
-----------------------	---	------------

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

Lake City, FL 32024-

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

7/21/2009

Component Loads for Zone #1: Main					
Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	E	45.0	32.2	1449 Btuh
2	2, Clear, Metal, 0.87	N	9.0	32.2	290 Btuh
3	2, Clear, Metal, 0.87	W	12.0	32.2	386 Btuh
4	2, Clear, Metal, 0.87	W	15.0	32.2	483 Btuh
5	2, Clear, Metal, 0.87	S	30.0	32.2	966 Btuh
	Window Total		111(sqft)		3573 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	768	3.3	2522 Btuh
	Wall Total		768		2522 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exterior		20	12.9	259 Btuh
2	Insulated - Exterior		18	12.9	230 Btuh
	Door Total		38		489Btuh
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/D/Shin	30.0	816	1.2	962 Btuh
	Ceiling Total		816		962Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	5	114.6 ft(p)	16.4	1874 Btuh
	Floor Total		115		1874 Btuh
	Zone Envelope Subtotal:				9420 Btuh
Infiltration	Type	ACH X Volume(cuft) walls(sqft)	CFM=		
	Natural	0.80 6216 768	82.9		3357 Btuh
Ductload	Pro. leak free, Supply(R6.0-Attic), Return(R6.0-Attic) (DLM of 0.128)				1640 Btuh
Zone #1	Sensible Zone Subtotal				14417 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	14417 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	14417 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Valerie Towne

Lake City, FL 32024-

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

7/21/2009

EQUIPMENT

1. Electric Heat Pump	#	20000 Btuh
-----------------------	---	------------

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

Lake City, FL 32024-

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

7/21/2009

Manual J Summer Calculations

Residential Load - Component Details (continued)

Valerie Towne

Lake City, FL 32024-

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

7/21/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	11208 Btuh
	Sensible Duct Load	1973 Btuh
	Total Sensible Zone Loads	13181 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	13181 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2650 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	224 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	3674 Btuh
	TOTAL GAIN	16855 Btuh

EQUIPMENT

1. Central Unit	#	20000 Btuh
-----------------	---	------------

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

Lake City, FL 32024-

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

7/21/2009

Component Loads for Zone with Manual											
Window	Type*		Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,0.00,N	E	1.5ft	0.5ft	45.0	45.0	0.0	29	29	1303	Btuh
2	2, Clear, 0.87, None,0.00,N	N	1.5ft	0.5ft	9.0	0.0	9.0	29	29	261	Btuh
3	2, Clear, 0.87, None,0.00,N	W	1.5ft	0.5ft	12.0	12.0	0.0	29	29	348	Btuh
4	2, Clear, 0.87, None,0.00,N	W	1.5ft	0.5ft	15.0	15.0	0.0	29	29	434	Btuh
5	2, Clear, 0.87, None,0.00,N	S	1.5ft	0.5ft	30.0	30.0	0.0	29	29	869	Btuh
Window Total					111 (sqft)					3215 Btuh	
Walls	Type	R-Value/U-Value		Area(sqft)		HTM		Load			
1	Frame - Wood - Ext	13.0/0.09		768.0		2.1		1602 Btuh			
Wall Total				768 (sqft)				1602 Btuh			
Doors	Type	Area (sqft)		HTM		Load					
1	Insulated - Exterior	20.0		9.8		196 Btuh					
2	Insulated - Exterior	17.8		9.8		174 Btuh					
Door Total				38 (sqft)		370 Btuh					
Ceilings	Type/Color/Surface	R-Value		Area(sqft)		HTM		Load			
1	Vented Attic/DarkShingle	30.0		816.0		1.7		1351 Btuh			
Ceiling Total				816 (sqft)				1351 Btuh			
Floors	Type	R-Value		Size		HTM		Load			
1	Slab On Grade	5.0		115 (ft(p))		0.0		0 Btuh			
Floor Total				114.6 (sqft)				0 Btuh			
Zone Envelope Subtotal:										6538 Btuh	
Infiltration	Type	ACH		Volume(cuft)		wall area(sqft)		CFM=		Load	
	SensibleNatural	0.70		6216		768		72.5		1350 Btuh	
Internal gain	Occupants	Btuh/occupant		Appliance		Load					
	4	X 230		+		2400		3320 Btuh			
Sensible Envelope Load:										11208 Btuh	
Duct load	Prop. leak free, Supply(R6.0-Attic), Return(R6.0-Attic) (DGM of 0.176)								1973 Btuh		
Sensible Zone Load										13181 Btuh	

Manual J Summer Calculations

Residential Load - Component Details (continued)

Valerie Towne

Lake City, FL 32024

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

7/21/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	11208 Btuh
	Sensible Duct Load	1973 Btuh
	Total Sensible Zone Loads	13181 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	13181 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2650 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	224 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	3674 Btuh
	TOTAL GAIN	16855 Btuh

EQUIPMENT

1. Central Unit	#	20000 Btuh
-----------------	---	------------

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



Version 8
For Florida residences only

Residential Window Diversity

MidSummer

Valerie Towne

Project Title:
Towne Residence

Code Only
Professional Version
Climate: North

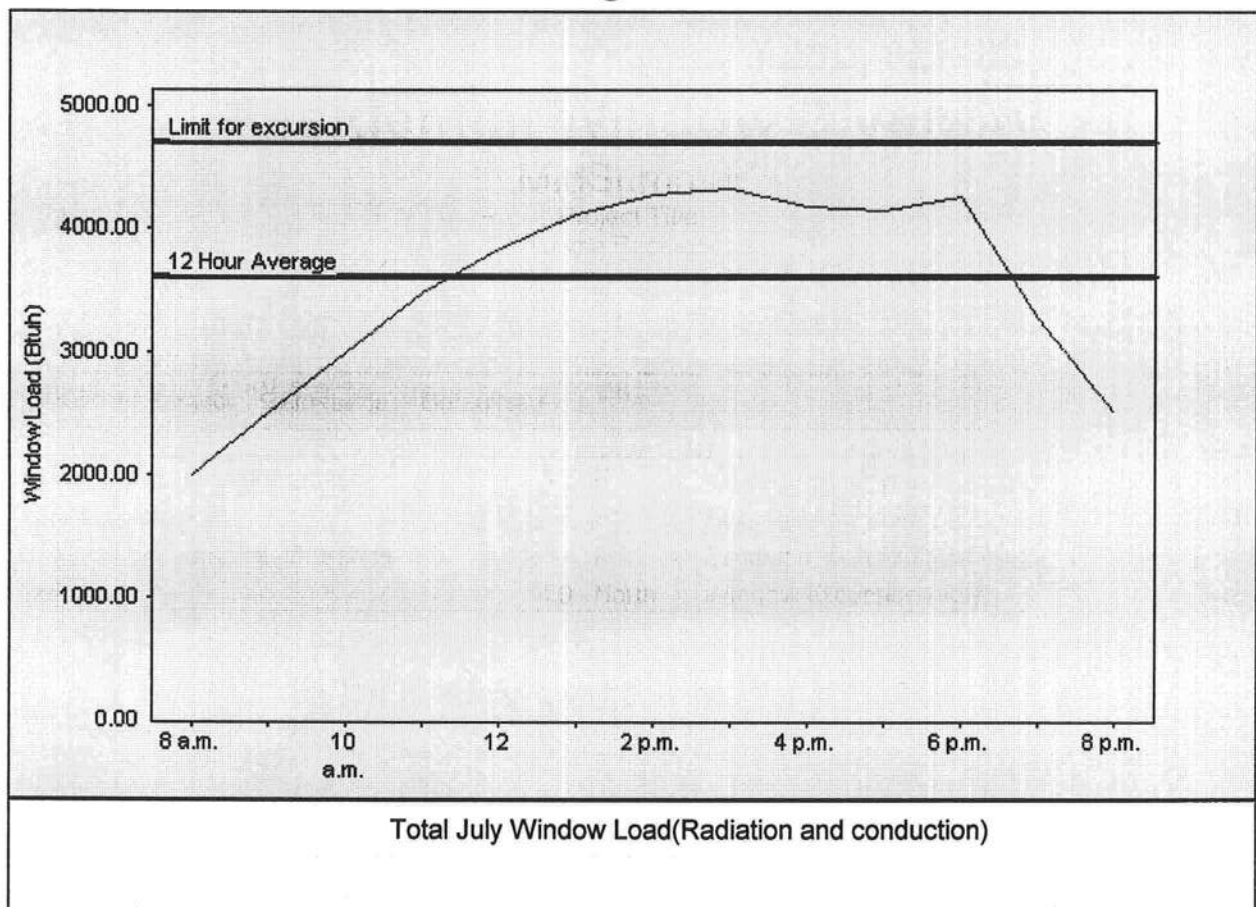
Lake City, FL 32024-

7/21/2009

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	3622 Btuh
Summer setpoint	75 F	Peak window load for July	4329 Btuh
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	4709 Btuh
Latitude	29 North	Window excursion (July)	None

WINDOW Average and Peak Loads



The midsummer window load for this house does not exceed the window load excursion limit.
This house has adequate midsummer window diversity.

EnergyGauge® System Sizing for Florida residences only

PREPARED BY: _____

DATE: _____

EnergyGauge® FLRCPB v4.5.2





CAL-TECH TESTING, INC.

ENGINEERING & TESTING
LABORATORY

P.O. Box 1625 • Lake City, FL 32056 • (386) 755-3633 • Fax (386) 752-5456

4784 Rosselle St.
Jacksonville, FL 32254
(904) 381-8901 • Fax (904) 381-8902

REPORT OF DAILY CONSTRUCTION TESTING AND MONITORING

Client ISSAC CONST.
Project Residence on Pepper way
Contractor SAC

Date 8-13-09
Job. No. _____
Technician L. Roberts

WORK ORDER:

<input checked="" type="checkbox"/> DENSITY	<input type="checkbox"/> CONCRETE	Set No.	<input checked="" type="checkbox"/> Pick-Up Proctor
Spec's: <u>95%</u>	<input type="checkbox"/> Cylinders	_____	_____
Test No.: <u>1.41</u>	<input type="checkbox"/> Beams	_____	_____
Inches: <u>12"</u>	<input type="checkbox"/> Prisms	_____	<input type="checkbox"/> Pick-Up LBR
	<input type="checkbox"/> Pick-Up	_____	_____

DESCRIPTION OF DAYS ACTIVITIES:

Performed 4 FDT'S. Sam Red 1 Proctor

27994

Time In: 1:15 PM
Time Out: 2:00 PM

FDT's Performed <u>4</u>	Weather: <u>cloudy</u>	Hours Travel: _____
Cyls Cast/Cal-Tech _____	Hours Worked: <u>1.75</u>	Miles Travel: _____
Cyls Cast/Client _____	Other Tests: _____	Hours Standby: _____
Beams Cast/Cal-Tech: _____		Hours O.T.: _____

L. Roberts
FIELD REPRESENTATIVE

CLIENT REPRESENTATIVE

758-216 08-20-'09 10:24 FROM-Cal-Tech Testing

386-752-5456

T-158 P001/003 F-868



• Engineering
• Geotechnical
• Environmental
Laboratories

Cal-Tech Testing, Inc.

P.O. Box 1625 • Lake City, FL 32056-1625 • Tel(386)756-3833 • Fax(386)752-5456
4784 Rosselle St., Jacksonville, FL 32264 • Tel(904)381-8901 • Fax(904)381-8902

Permit #
000027994

REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 09-00324-01
DATE TESTED: 8/18/09
DATE REPORTED: 8/19/09

PROJECT:	Valerie Towne Residence, Lake City, FL
CLIENT:	Isaac Construction Inc. 125 SW Midtown Place Suite 101, Lake City, FL 32025
GENERAL CONTRACTOR:	Isaac Construction Inc.
EARTHWORK CONTRACTOR:	Isaac Construction Inc.
INSPECTOR:	Louis Roberts
ASTM METHOD (D-2922) Nuclear	SOIL USE BUILDING FILL
SPECIFIED REQUIREMENTS: 95%	

TEST NO.	TEST LOCATION	TEST DEPTH	WET DENSITY (lb/ft ³)	MOISTURE PERCENT	DRY DENSITY (lb/ft ³)	PROCTOR TEST NO.	PROCTOR VALUE	MAXIMUM DENSITY
5	SW Corner of Footing 5' East	12"	111.9	10.6	101.2	1	107.0	95%
6	NW Corner of Footing 15' South	12"	115.5	11.3	103.8	1	107.0	97%
7	NE Corner of Footing 5' South	12"	116.4	10.6	104.3	1	107.0	98%
8	SE Corner of Footing 5' North	12"	115.5	12.6	102.6	1	107.0	98%

REMARKS: The Above Tests Meet Specified Requirements.

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft ³)	OPT. MOIST.	TYPE
1	Tan Grayish Sand	107.0	11.0	MODIFIED (ASTM D-1557)

Respectfully Submitted,
CAL-TECH TESTING, INC.

Reviewed By:

Linda Creamer, CEO, DBE
Linda M. Creamer
President - CEO ee

[Signature]
Date: 8/20/09
Licensed, Florida No: 57842

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.

Attn. Harry
From Josh W

08-20-'09 10:24 FROM-Cal-Tech Testing

386-752-5456

T-158 P002/003 F-868



• Engineering
• Geotechnical
• Environmental
Laboratories

Cal-Tech Testing, Inc.

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4764 Roselle St., Jacksonville, FL 32254 • Tel(904)381-8901 • Fax(904)381-8902

REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 09-00324-01

DATE TESTED: 8/13/09

DATE REPORTED: 8/19/09

PROJECT:	Valerie Towne Residence, Lake City, FL
CLIENT:	Isaac Construction Inc. 125 SW Midtown Place Suite 101, Lake City, FL 32025
GENERAL CONTRACTOR:	Isaac Construction Inc.
EARTHWORK CONTRACTOR:	Isaac Construction Inc.
INSPECTOR:	Louis Roberts
ASTM METHOD (D-2922) Nuclear	SOIL USE BUILDING FILL
SPECIFIED REQUIREMENTS: 95%	

TEST NO.	TEST LOCATION	TEST DEPTH	WET DENSITY (lb/ft ³)	MOISTURE PERCENT	DRY DENSITY (lb/ft ³)	PROCTOR TEST NO.	PROCTOR VALUE	MAXIMUM DENSITY
1	SW Corner of Footing	12"	106.9	12.1	95.4	1	107.0	89% *
2	SE Corner of Footing	12"	99.0	10.5	89.6	1	107.0	84% *
3	NE Corner of Footing	12"	100.5	8.9	92.3	1	107.0	86% *
4	NW Corner of Footing	12"	104.4	11.3	93.8	1	107.0	88% *

REMARKS: * Test results below specified requirements

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft ³)	OPT. MOIST.	TYPE
1	Tan Grayish Sand	107.0	11.0	MODIFIED (ASTM D-1557) ▼

Respectfully Submitted,
CAL-TECH TESTING, INC.

Reviewed By:

Linda Creamer, CEO, DBE
Linda M. Creamer
President - CEO

* The above tests did not meet the specified requirements.

[Signature]
Date: 8/20/09
Licensed, Florida No: 57842

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.

WESLEY M. RABON

PROFESSIONAL SURVEYOR AND MAPPER
P.O. BOX 235, 398 NW NULL RD
WHITE SPRINGS, FLORIDA 32096
PHONE (386) 397-1199

OK
B2K
24.08.09

DATE : 8/21/2009

TO WHOM IT MAY CONCERN:

RE: ISAAC CONSTRUCTION, LLC
PERMIT NO. 27994

SUBJECT **Parcel:** 07-5S-17-09153-000
NO. 3879, SW CR 240, LAKE CITY, FL. 32024

THE BUILDING SITE IS NOT IN A FLOOD ZONE ACCORDING TO FEMA
FLOOD INSURANCE RATE MAP NO. 12023C0383C, DATED FEBUARY 4, 2009.

THE TOP OF FORMS ARE AT ELEVATION 80.13 FEET NAVD 1988.
THE 100 YEAR FLOOD FOR THE ADJACENT FLOOD ZONE "AE" ON THIS
PROPERTY IS 70.00 FEET NAVD 1988.

THANK YOU
WESLEY M RABON P.S.M. #6127

Wesley M Rabon 8/21/09

COLUMBIA COUNTY FLORIDA OFFICIAL

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 07-5S-17-09153-000

Building permit No. 000027994

Use Classification SFD, UTILITY

Fire: 64.20

Permit Holder ISAAC CONSTRUCTION

Waste: 167.50

Owner of Building VALERIE TOWN

Total: 231.70

Location: 3879 SW CR 240, LAKE CITY, FL



Date: 12/08/2009

Wayne A. Reed

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)