

**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

|                                                                                |                                                             |                                           |                                                 |                                                                    |                                               |
|--------------------------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------|-------------------------------------------------|--------------------------------------------------------------------|-----------------------------------------------|
| <b>For Office Use Only</b> (Revised 1-11)                                      |                                                             | Zoning Official <u>BK 27 Feb. 2012</u>    |                                                 | Building Official <u>J.C. 10-2-12</u>                              |                                               |
| AP# <u>1209-57</u>                                                             | Date Received <u>3/26</u>                                   | By <u>lw</u>                              | Permit # <u>30933</u>                           |                                                                    |                                               |
| Flood Zone <u>X</u>                                                            | Development Permit <u>N/A</u>                               | Zoning <u>A-3</u>                         | Land Use Plan Map Category <u>A-3</u>           |                                                                    |                                               |
| Comments _____                                                                 |                                                             |                                           |                                                 |                                                                    |                                               |
| FEMA Map# <u>N/A</u>                                                           | Elevation <u>N/A</u>                                        | Finished Floor <u>1st floor</u>           | River <u>N/A</u>                                | In Floodway <u>N/A</u>                                             |                                               |
| <input type="checkbox"/> Site Plan with Setbacks Shown                         | <input checked="" type="checkbox"/> EH # <u>12-0429</u>     | <input type="checkbox"/> EH Release       | <input checked="" type="checkbox"/> Well letter | <input type="checkbox"/> Existing well                             |                                               |
| <input checked="" type="checkbox"/> Recorded Deed or Affidavit from land owner | <input checked="" type="checkbox"/> Installer Authorization | <input type="checkbox"/> State Rd Access  | <input checked="" type="checkbox"/> 911 Sheet   |                                                                    |                                               |
| <input type="checkbox"/> Parent Parcel # _____                                 | <input checked="" type="checkbox"/> STUP-MH <u>1302-02</u>  | <input type="checkbox"/> F W Comp. letter | <input checked="" type="checkbox"/> App Fee Pd  | <input checked="" type="checkbox"/> VF Form                        |                                               |
| IMPACT FEES: EMS _____                                                         |                                                             | Fire _____                                | Corr _____                                      | <input checked="" type="checkbox"/> Out County                     | <input checked="" type="checkbox"/> In County |
| Road/Code _____                                                                | School _____                                                | = TOTAL _____                             |                                                 | Suspended March 2009 <input type="checkbox"/> Ellisville Water Sys |                                               |

- Property ID # 23-55-15-00468-007 Subdivision N/A
- New Mobile Home \_\_\_\_\_ Used Mobile Home ☒ MH Size 28x56 Year 1985
  - Applicant Wendy Grennell Phone # 386-288-2428
  - Address 3104 SW Old Wire Rd Ft White FL 32038
  - Name of Property Owner Linda Gavan Phone# 386-965-2730
  - 911 Address 393 SW Jackson Ct Lake City FL 32024
  - Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
  - Name of Owner of Mobile Home Jeff Gavan Phone # 386-965-2730  
 Address 423 SW Jackson Ct Lake City FL 32024
  - Relationship to Property Owner Son
  - Current Number of Dwellings on Property 1 (owes)
  - Lot Size \_\_\_\_\_ Total Acreage 6.01
  - Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
  - Is this Mobile Home Replacing an Existing Mobile Home NO
  - Driving Directions to the Property Branford Hwy to Montego Ave, FL  
(just past CR246) turn (L) to Carpenter Rd turn (L) to Hartford  
Way turn (R) curve to left to Jackson Ct turn (L) site on (R)
  - Name of Licensed Dealer/Installer Robert Sheppard Phone # 386-623-2203
  - Installers Address 6355 SE CR 245 Lake City FL 32025
    - License Number IH 1025386 Installation Decal # 12803

*JW spoke w/ Wendy 2.27.13*

*464.02 per Ltt*



# COLUMBIA COUNTY PERMIT WORKSHEET

page 1 of 2

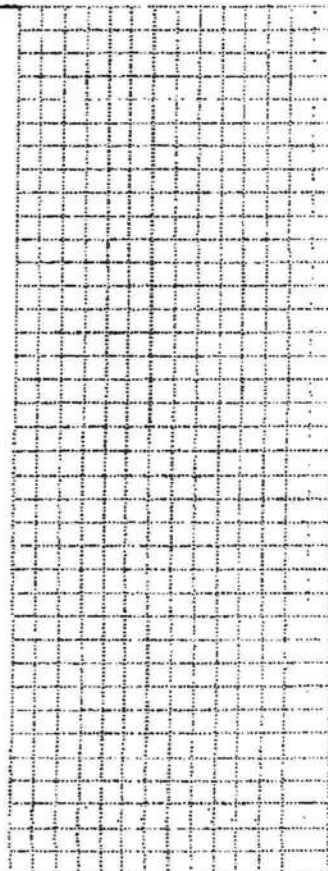
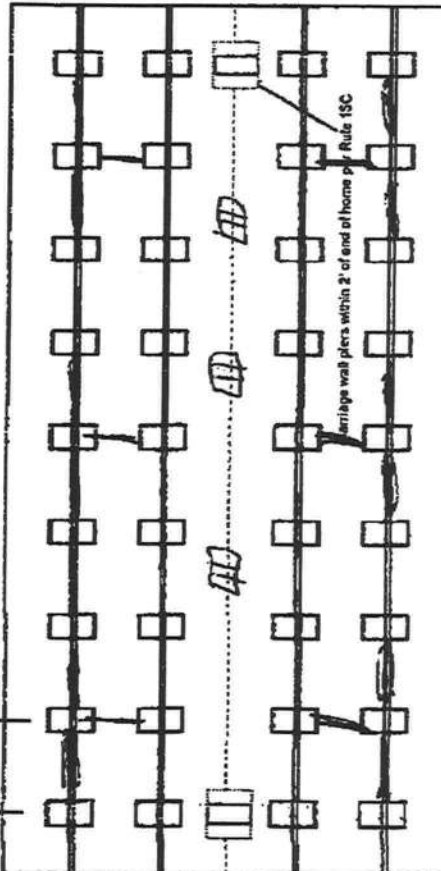
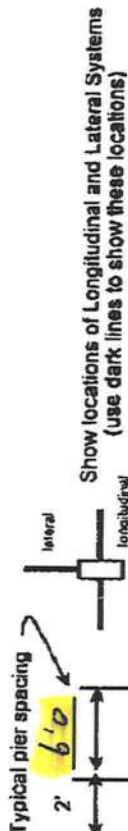
These worksheets must be completed and signed by the installer.  
Submit the originals with the packet.

Installer Robert Sheppard License # 1H1025386  
 911 Address where home is being installed 393 SW Jackson Ct  
Lake City FL 32024  
 Manufacturer DALP Length x width 28x56

NOTE: if home is a single wide fill out one half of the blocking plan  
 if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)  
 where the sidewall ties exceed 5 ft 4 in.

Installer's Initials RS



New Home ☐ Used Home ☒  
 Home installed to the Manufacturer's Installation Manual ☒  
 Home is installed in accordance with Rule 15-C ☒  
 Single wide ☐ Wind Zone II ☒ Wind Zone III ☐  
 Double wide ☒ Installation Decal # 12803  
 Triple/Quad ☐ Serial # STW1A LVS2071A/B  
(435)

## PIER SPACING TABLE FOR USED HOMES

| Load bearing capacity | Footer size (sq in) | 16' x 16" (256) | 18 1/2" x 18 1/2" (342) | 20' x 20" (400) | 22" x 22" (484) | 24" x 24" (576) | 26" x 28" (676) |
|-----------------------|---------------------|-----------------|-------------------------|-----------------|-----------------|-----------------|-----------------|
| 1000 lbs              | 3'                  | 4'              | 4'                      | 5'              | 6'              | 7'              | 8'              |
| 1500 lbs              | 4'                  | 5'              | 6'                      | 7'              | 8'              | 8'              | 8'              |
| 2000 lbs              | 5'                  | 6'              | 7'                      | 8'              | 8'              | 8'              | 8'              |
| 2500 lbs              | 6'                  | 7'              | 8'                      | 8'              | 8'              | 8'              | 8'              |
| 3000 lbs              | 7'                  | 8'              | 8'                      | 8'              | 8'              | 8'              | 8'              |
| 3500 lbs              | 8'                  | 8'              | 8'                      | 8'              | 8'              | 8'              | 8'              |

\* interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 17x25  
 Perimeter pier pad size 17x25  
 Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening \_\_\_\_\_ Pier pad size \_\_\_\_\_

4 ft 5 ft

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer \_\_\_\_\_  
 Longitudinal Stabilizing Device w/ Lateral Arms  
 Manufacturer DALP

## OTHER TIES

Sidewall \_\_\_\_\_  
 Longitudinal \_\_\_\_\_  
 Marriage wall \_\_\_\_\_  
 Shearwall \_\_\_\_\_

Number 22

68

4



# COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 1600 x 1600 x 1600

## POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1700 x 1600 x 1700

## TORQUE PROBE TEST

The results of the torque probe test is 295 inch pounds or check here if you are declaring 5' anchors without testing \_\_\_\_\_. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's Initials RS

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Robert Sheppard

Date Tested 9-22-12

## Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bundling wire between multi-wide units. Pg. 28

## Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 29

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 29

## Site Preparation

Debris and organic material removed ✓  
Water drainage: Natural ✓ Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_

## Fastening multi wide units

Floor: Type Fastener: lags Length: 5" Spacing: 16"  
Walls: Type Fastener: lags Length: 4" Spacing: 16"  
Roof: Type Fastener: lags Length: 6" Spacing: 16"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weatherstripping, requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials RS

Type gasket Foam

Installed:

Between Floors Yes ✓  
Between Walls Yes ✓  
Bottom of ridgebeam Yes ✓

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes ✓  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ✓

## Miscellaneous

Skirting to be installed. Yes \_\_\_\_\_ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes ✓  
Range downflow vent installed outside of skirting. Yes ✓ N/A ✓  
Drain lines supported at 4 foot intervals. Yes ✓ N/A ✓  
Electrical crossovers protected. Yes ✓  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature Robert Sheppard Date 9-23-12

&gt;&gt; Print as PDF &lt;&lt;

|                                                                                                             |  |                                                           |  |                    |  |                                                      |  |
|-------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------|--|--------------------|--|------------------------------------------------------|--|
| BEG NW COR OF E1/2 OF S1/2 OF S1/2 OF SE1/4, RUN E 436.55 FT, S 599.71 FT, W 436.55 FT, N 599.71 FT TO POB. |  | GAVAN LINDA D<br>423 SW JACKSON CT<br>LAKE CITY, FL 32024 |  | 23-5S-15-00468-007 |  | Columbia County 2012 R<br>CARD 001 of 001<br>BY JEFF |  |
|                                                                                                             |  | PRINTED 8/02/2012 11:51<br>APPR 5/17/2006 DF              |  |                    |  |                                                      |  |

|                        |           |                                  |                   |                 |                         |
|------------------------|-----------|----------------------------------|-------------------|-----------------|-------------------------|
| BUSE 000800 MOBILE HME | AE? Y     | 1701 HTD AREA                    | 113.900 INDEX     | 23515.00 DIST 3 | PUSE 000200 MOBILE HOME |
| MOD 2 MOBILE HME       | 2.00      | 1701 EFF AREA                    | 26.197 E-RATE     | 100.000 INDX    | STR 23- 5S- 15          |
| EKW 31 VINYL SID       | FIXT      | 44,561 RCN                       |                   | 1999 AYB        | MKT AREA 02             |
| % N/A                  | BDRM      | 71.00 %GOOD                      | 31,638 B BLDG VAL | 1998 EYB        | {PUD1                   |
| RSTR 03 GABLE/HIP      | RMS       | FIELD CK: HX AppYr 2011          |                   |                 | AC 6.010                |
| RCVR 03 COMP SHNGL     | UNTS      | LOC: 423 JACKSON CT SW LAKE CITY |                   |                 | NTCD                    |
| % N/A                  | C-W%      |                                  |                   |                 | APPR CD                 |
| INTW 05 DRYWALL        | HGHT      |                                  |                   |                 | CNDO                    |
| % N/A                  | PMTR      |                                  |                   |                 | SUBD                    |
| FLOR 14 CARPET         | STYS      | IBAS1998                         |                   |                 | BLK                     |
| 10% 08 SHT VINYL       | ECON      |                                  |                   |                 | LOT                     |
| HTTP 04 AIR DUCTED     | FUNC      |                                  |                   |                 | MAP# 12                 |
| A/C 03 CENTRAL         | SPCD      |                                  |                   |                 | HX                      |
| QUAL 05 05             | DEPR 09   |                                  |                   |                 | TXDT 003                |
| FNDN N/A               | UD-1 N/A  |                                  |                   |                 |                         |
| SIZE N/A               | UD-2 N/A  |                                  |                   |                 |                         |
| CEIL N/A               | UD-3 N/A  |                                  |                   |                 |                         |
| ARCH N/A               | UD-4 N/A  |                                  |                   |                 |                         |
| FRME 01 NONE           | UD-5 N/A  |                                  |                   |                 |                         |
| KTCH 01 01             | UD-6 N/A  |                                  |                   |                 |                         |
| WINDO N/A              | UD-7 N/A  |                                  |                   |                 |                         |
| CLAS N/A               | UD-8 N/A  |                                  |                   |                 |                         |
| OCC N/A                | UD-9 N/A  |                                  |                   |                 |                         |
| COND 03 03             | % N/A     |                                  |                   |                 |                         |
| SUB A-AREA % E-AREA    | SUB VALUE |                                  |                   |                 |                         |
| BAS98 1701 100 1701    | 31638     |                                  |                   |                 |                         |

|         |      |     |           |
|---------|------|-----|-----------|
| PERMITS |      |     |           |
| NUMBER  | DESC | AMT | ISSUED    |
| 14269   | M H  | 125 | 7/13/1998 |

|                                     |      |               |       |
|-------------------------------------|------|---------------|-------|
| SALE                                |      |               |       |
| BOOK                                | PAGE | DATE          | PRICE |
| 1200                                | 2322 | 9/03/2010 Q I | 75000 |
| GRANTOR STEOHEN W & PATRICIA W PARK |      |               |       |
| GRANTEE LINDA D GAVAN               |      |               |       |
| 861 2251 7/07/1998 U V              |      |               |       |
| GRANTOR WALTON                      |      |               |       |
| GRANTEE PARK                        |      |               |       |

|       |      |      |       |
|-------|------|------|-------|
| TOTAL | 1701 | 1701 | 31638 |
|-------|------|------|-------|

|                |      |      |      |      |      |     |    |      |      |       |    |
|----------------|------|------|------|------|------|-----|----|------|------|-------|----|
| EXTRA FEATURES |      |      |      |      |      |     |    |      |      |       |    |
| AE BN          | CODE | DESC | LEN  | WID  | HGHT | QTY | QL | YR   | ADJ  | UNITS | UT |
| Y              | 1    | 0190 | FPLC | PF   |      | 1   |    | 1998 | 1.00 | 1.000 | UT |
| Y              |      | 0040 | BARN | POLE |      | 1   |    | 2005 | 1.00 | 1.000 | UT |

|             |        |           |      |      |      |       |       |      |      |      |      |
|-------------|--------|-----------|------|------|------|-------|-------|------|------|------|------|
| FIELD CK:   |        |           |      |      |      |       |       |      |      |      |      |
| ADJUSTMENTS |        |           |      |      |      |       |       |      |      |      |      |
| LAND        | DESC   | ZONE      | ROAD | {UD1 | {UD3 | FRONT | DEPTH |      |      |      |      |
| AE CODE     |        | TOPO      | UTIL | {UD2 | {UD4 | BACK  | DT    |      |      |      |      |
| Y           | 000200 | MBL HM    | A-1  | 0002 |      |       |       | 1.00 | 1.00 | 1.00 | 1.00 |
|             |        |           | 0002 | 0003 |      |       |       |      |      |      |      |
| Y           | 009945 | WELL/SEPT |      | 0002 |      |       |       | 1.00 | 1.00 | 1.00 | 1.00 |
|             |        |           | 0002 | 0003 |      |       |       |      |      |      |      |

|       |    |          |     |         |    |        |       |
|-------|----|----------|-----|---------|----|--------|-------|
| UNITS | UT | PRICE    | ADJ | UT      | PR | LAND   | VALUE |
| 6.010 | AC | 4500.000 |     | 4500.00 |    | 27,045 |       |
| 1.000 | UT | 2000.000 |     | 2000.00 |    | 2,000  |       |



525.00  
18.50  
75,000.00

**This Instrument Prepared by & return to:**

Name: **TRISH LANG, an employee of  
NORTH CENTRAL FLORIDA TITLE,  
LLC**  
Address: **343 NW COLE TERRACE, SUITE 101  
LAKE CITY, FLORIDA 32055  
File No. 10Y-08021TL**

Parcel I.D. #: **00468-007**

Inst: 201012014333 Date: 9/3/2010 Time: 4:49 PM  
DocStamp: Deed: 525.00  
4-66-P-DeWitt Cason, Columbia County Page 1 of 2 B:1200 P:2322

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS WARRANTY DEED** Made the 3rd day of September, A.D. 2010, by **STEPHEN W. PARK and PATRICIA W. PARK, HIS WIFE**, hereinafter called the grantors, to **LINDA D. GAVAN, A SINGLE PERSON** person, whose post office address is **207194 BLUE RIDGE PARKWAY, GALAX, VIRGINIA 34333**, hereinafter called the grantee:

(Wherever used herein the terms "grantors" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**Witnesseth:** That the grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in **Columbia County, State of Florida**, viz:

A PART OF THE EAST ½ OF THE SOUTH ½ OF THE SOUTH ½ OF THE SE ¼ OF SECTION 23, TOWNSHIP 5 SOUTH, RANGE 15 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF THE EAST ½ OF THE SOUTH ½ OF THE SOUTH ½ OF SAID SE ¼ AND RUN N 89°46'01" E, ALONG THE NORTH LINE THEREOF, 436.55 FEET; THENCE S 0°11'41" W, 599.71 FEET; THENCE S 89°46'01" W, 436.55 FEET TO A POINT ON THE WEST LINE OF THE EAST ½ OF SAID SE ¼; THENCE N 0°11'41" E, ALONG THE WEST LINE THEREOF, 599.71 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS PURPOSES DESCRIBED AS FOLLOWS:

DESCRIPTION: (24 FOOT WIDE INGRESS AND EGRESS EASEMENT)

PART OF THE SE ¼ OF THE SE ¼ OF SECTION 23, TOWNSHIP 5 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A CONCRETE MONUMENT, LS 1950, MARKING THE NW CORNER OF THE EAST ½ OF THE SOUTH ½ OF THE SOUTH ½ OF THE SE ¼ OF SECTION 23, TOWNSHIP 5 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.00 DEGREES 11'41" W., ALONG THE MONUMENTED WEST LINE OF THE SE ¼ OF THE SE ¼ OF SAID SECTION 23, A DISTANCE OF 599.71 FEET TO A CONCRETE MONUMENT, LS 4708, MARKING THE SW CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 861, PAGE 2251 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA, AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE N.89 DEGREES 46'01" E., ALONG THE SOUTH LINE OF SAID LANDS DESCRIBED IN ORB 861, PAGE 2251, A DISTANCE OF 24.00 FEET; THENCE S.00 DEGREES 11'41" W., PARALLEL TO THE AFOREMENTIONED WEST LINE, 64.19 FEET TO THE SOUTH LINE OF SAID SE ¼ OF THE SE ¼; THENCE S.89 DEGREES 45'44" W., ALONG SAID SOUTH LINE, 24.00 FEET TO A CONCRETE MONUMENT, LS 1950, MARKING THE SW CORNER OF SAID SE ¼ OF THE SE ¼; THENCE N.00 DEGREES 11'41" E., 64.20 FEET TO THE POINT OF BEGINNING.

AND ALSO,

THE WEST 24.00 FEET OF THE NE ¼ OF THE NE ¼ OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA, LYING NORTH OF SW WEATHERBY PLACE, A PUBLIC ROAD.

THE ABOVE DESCRIBED 24.00 FOOT WIDE INGRESS AND EGRESS EASEMENT IS ALSO KNOWN AS SW JACKSON COURT, A PRIVATE ROADWAY.

TOGETHER WITH A 1999, HOMES OF MERIT, DOUBLEWIDE MOBILE HOME, ID #'S FLHMLCB135919311A AND FLHMLCB135919311B.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold** the same in fee simple forever.

And the grantors hereby covenant with said grantee that they are lawfully seized of said land in fee simple; that they have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31,2009.

In Witness Whereof, the said grantors have signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Billy D. Watson  
Witness Signature  
Billy D. Watson  
Printed Name

Stephen W. Park L.S.  
STEPHEN W. PARK  
Address:  
5824 CHI CHI CIRCLE, MILTON, FLORIDA  
32570

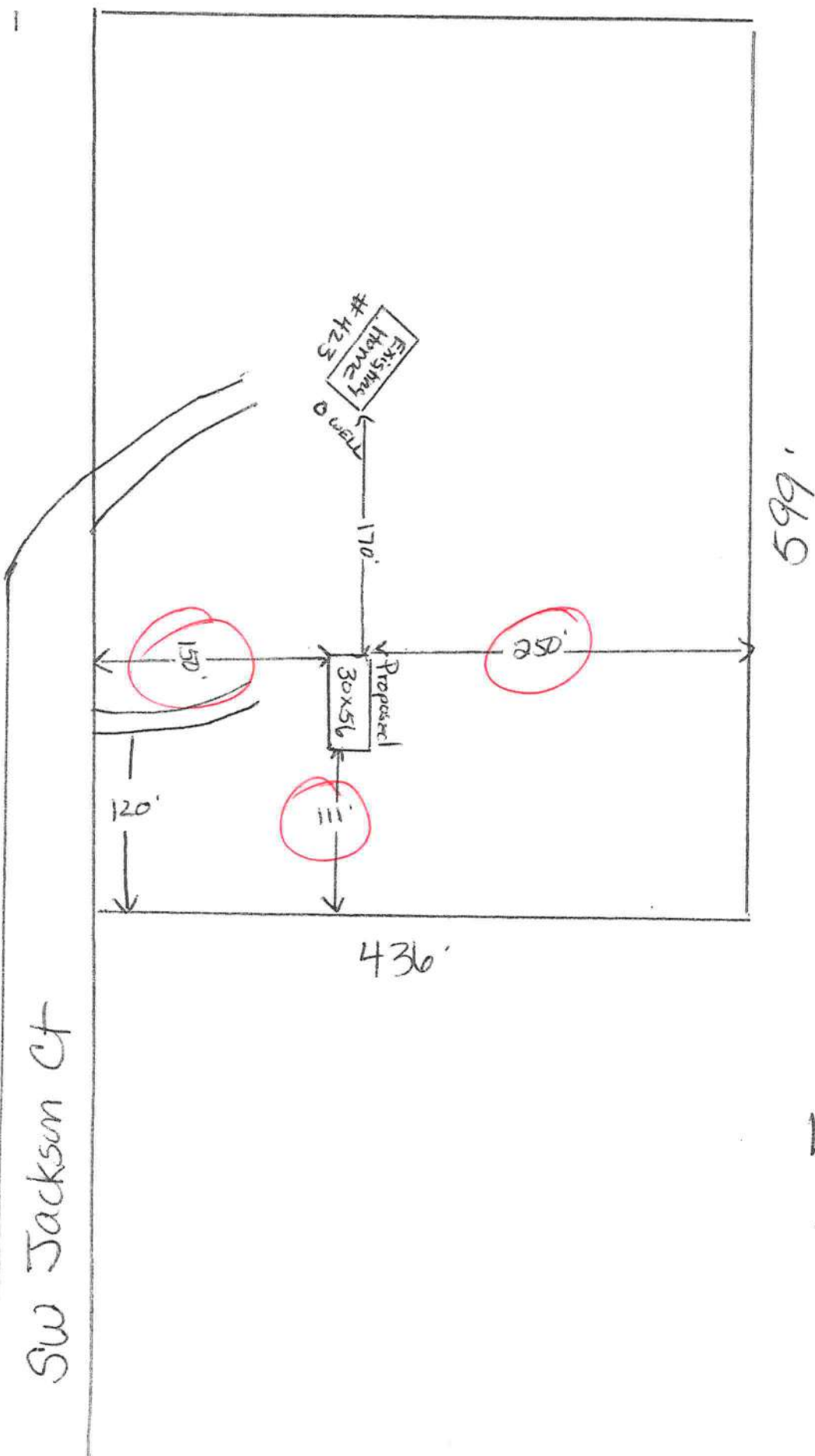
Maggie Kleindienst  
Witness Signature  
Billy D. Watson Maggie Kleindienst Patricia W. Park L.S.  
Printed Name  
PATRICIA W. PARK  
Address:  
5824 CHI CHI CIRCLE, MILTON, FLORIDA  
32570

STATE OF FLORIDA  
COUNTY OF ~~COLUMBIA~~  
ESCAMBIA

The foregoing instrument was acknowledged before me this 30th day of August, 2010, by STEPHEN W. PARK and PATRICIA W. PARK, who are known to me or who have produced \_\_\_\_\_ as identification.

Maggie Kleindienst  
Notary Public  
My commission expires \_\_\_\_\_  
 MAGGIE KLEINDIENST  
Commission DD 668726  
Expires April 5, 2011  
Contact The Troy Fish Insurance 800-885-7079

N  
↑



Linda Gavan  
Jeff Gavan  
Parcel #  
23-55-15-00468-007

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 9/21/2012      DATE ISSUED: 9/24/2012

### ENHANCED 9-1-1 ADDRESS:

393      SW      JACKSON      CT  
LAKE CITY      FL      32024

### PROPERTY APPRAISER PARCEL NUMBER:

23-5S-15-00468-007

### Remarks:

ADDRESS FOR PROPOSED STRUCTGURE ON PARCEL. 2ND  
LOCATION ON PARCEL.

Address Issued By: SIGNED: / RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION  
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,  
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND  
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1209-57 CONTRACTOR Robert Sheppard PHONE 386-623-2203

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

|                                                          |                                   |                              |
|----------------------------------------------------------|-----------------------------------|------------------------------|
| <input checked="" type="checkbox"/> ELECTRICAL           | Print Name <u>Jeff Gavan</u>      | Signature <u>[Signature]</u> |
|                                                          | License #: <u>owner</u>           | Phone #: <u></u>             |
| <input checked="" type="checkbox"/> MECHANICAL/<br>A/C   | Print Name <u>Jeff Gavan</u>      | Signature <u>[Signature]</u> |
|                                                          | License #: <u>owner</u>           | Phone #: <u></u>             |
| <input checked="" type="checkbox"/> PLUMBING/<br>GAS 678 | Print Name <u>Robert Sheppard</u> | Signature <u>[Signature]</u> |
|                                                          | License #: <u>IH1025386</u>       | Phone #: <u>386-623-2203</u> |

| Specialty License | License Number | Sub-Contractors Printed Name | Sub-Contractors Signature |
|-------------------|----------------|------------------------------|---------------------------|
| MASON             |                |                              |                           |
| CONCRETE FINISHER |                |                              |                           |

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

1209-51

CODE ENFORCEMENT DEPARTMENT  
COLUMBIA COUNTY, FLORIDA  
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM Hamilton  
OWNERS NAME Jeff Evans PHONE \_\_\_\_\_ CELL \_\_\_\_\_  
INSTALLER Robert Sheppard PHONE \_\_\_\_\_ CELL 386-623-2203  
INSTALLERS ADDRESS 6355 E CR 245 Lake City FL 32025

**MOBILE HOME INFORMATION**

MAKE DALP YEAR 1985 SIZE 28 x 56  
COLOR Blue SERIAL No. STWIA LAS 20771 A/B  
WIND ZONE II yes SMOKE DETECTOR No

**INTERIOR:**

FLOORS Some soft spots  
DOORS in place  
WALLS Some wall have loose or missing panels  
CABINETS in place  
ELECTRICAL (FIXTURES/OUTLETS) Some missing see photos

**EXTERIOR:**

WALLS / SIDING Some pieces missing, lots of soffit & fascia missing  
WINDOWS All in place but have portable AC units still in openings  
DOORS working

**INSTALLER:**

APPROVED \_\_\_\_\_ NOT APPROVED \_\_\_\_\_

NOTES: See Attached Photos (19) Roof in poor condition

INSTALLER OR INSPECTORS PRINTED NAME John Auer

Installer/Inspector Signature John A License No. Bu 1286 Date 11-6-12

**ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.**

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

**BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.**

**ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-719-2038 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.**

Code Enforcement Approval Signature Jeff Auer Date 11-20-12

Called  
Robert 11-20-12  
To Bring



FRONT



2012/11/05



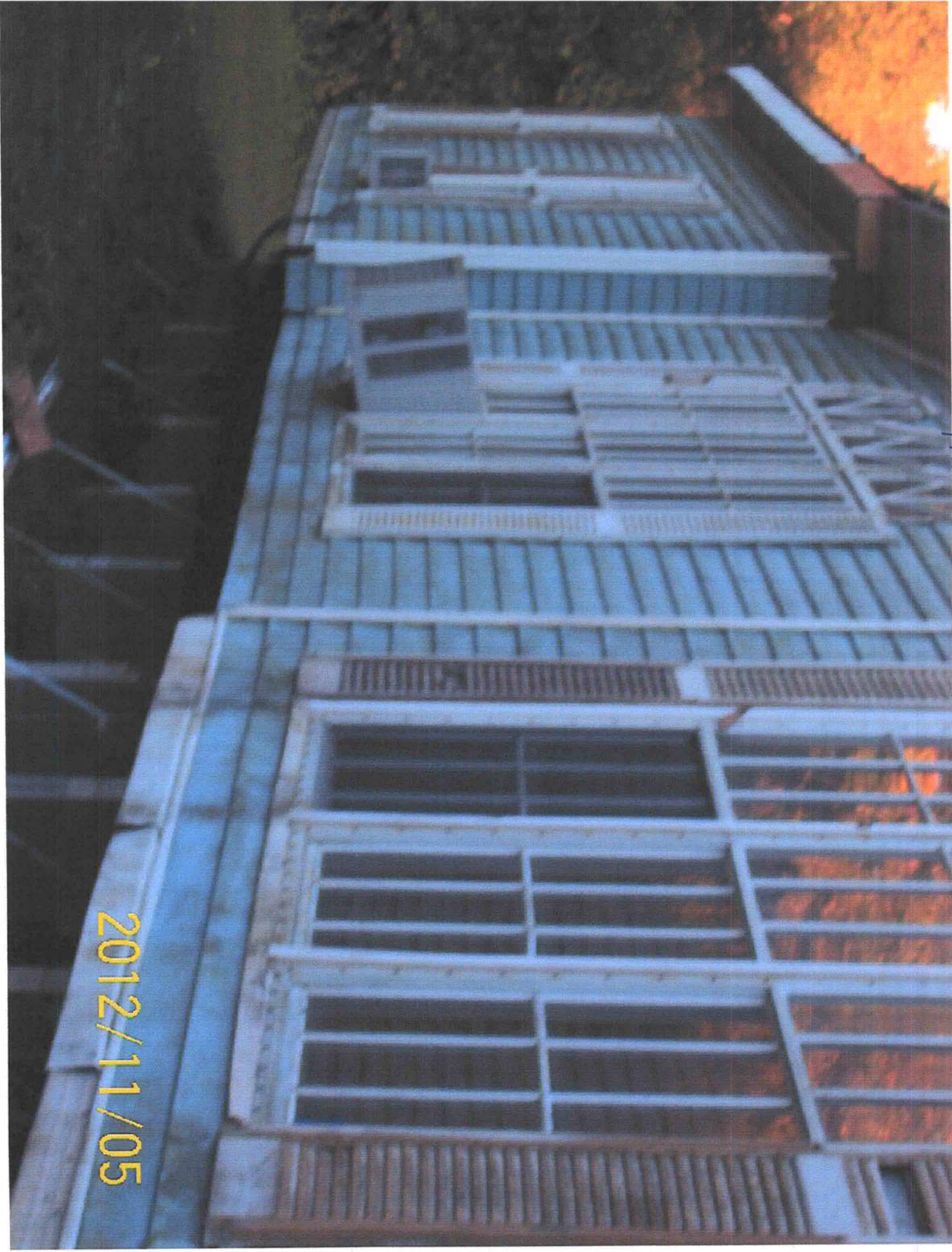
Vehicle Soft Replaced AT Front

2012/11/05



Front Pt to Left

2012/11/05





FRONT RIGHT OF ENTRY

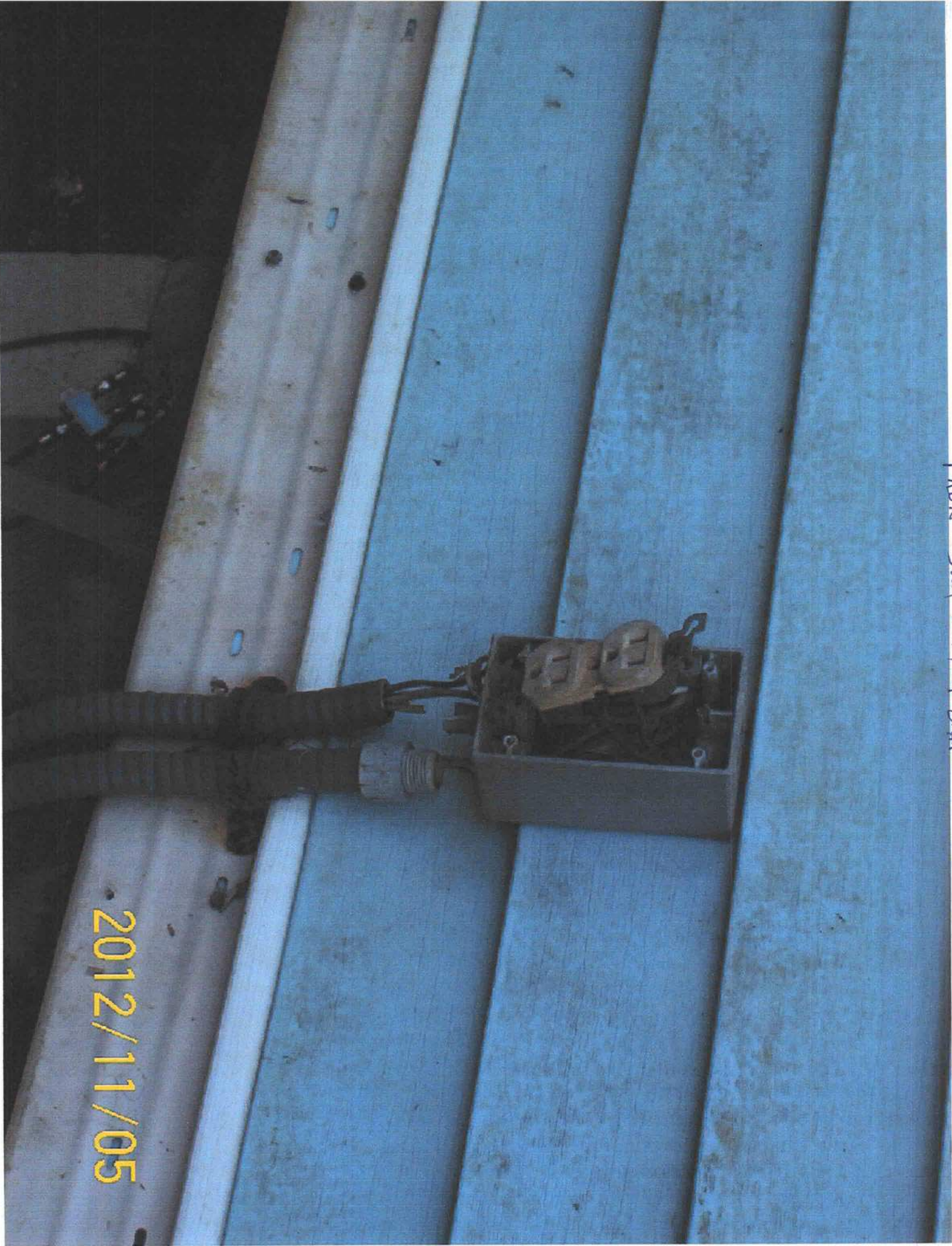
2012/11/05





Front just left of cable

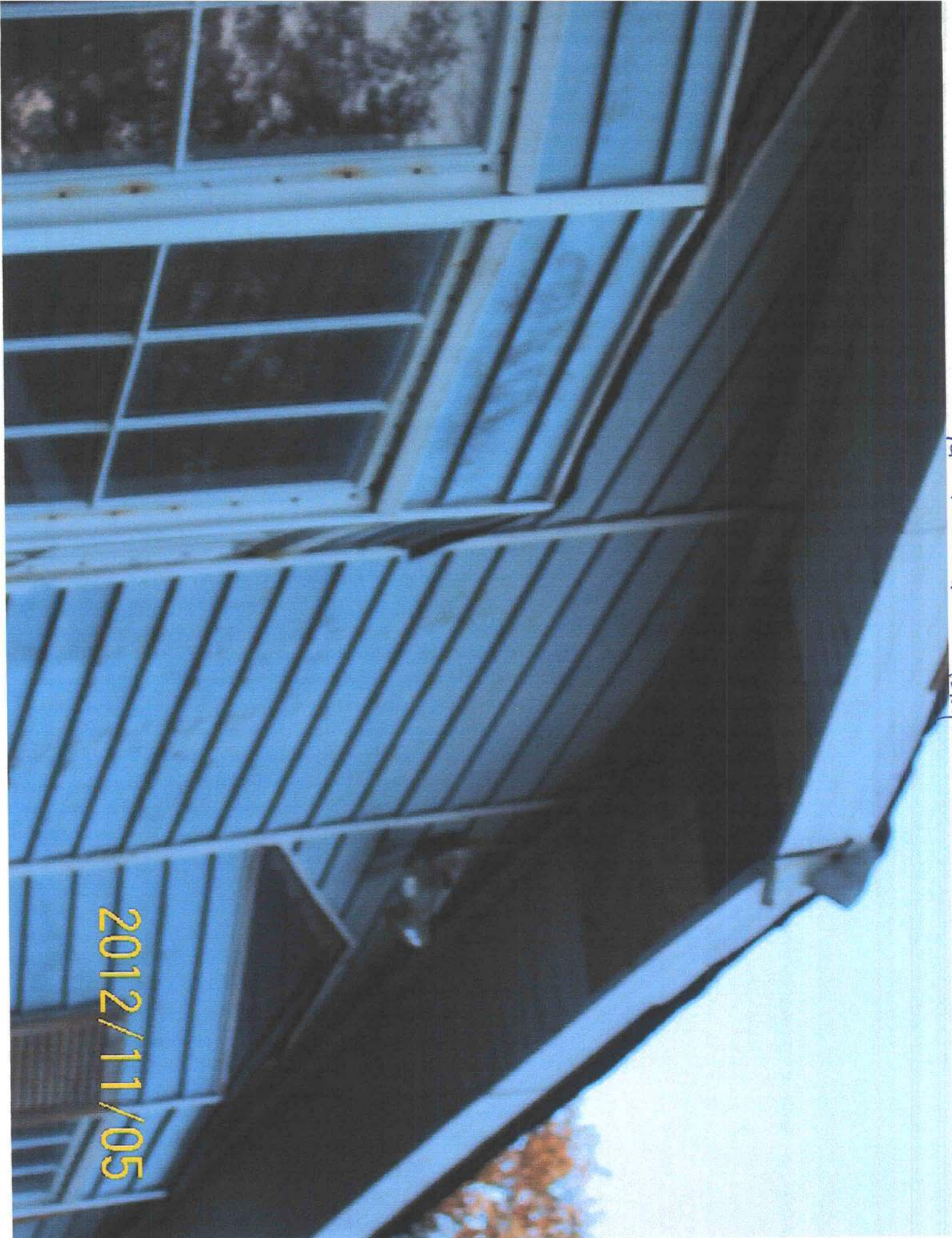
2012/11/05





Rt. Just Above Tongue

2012/11/05





Right Side near Tongue

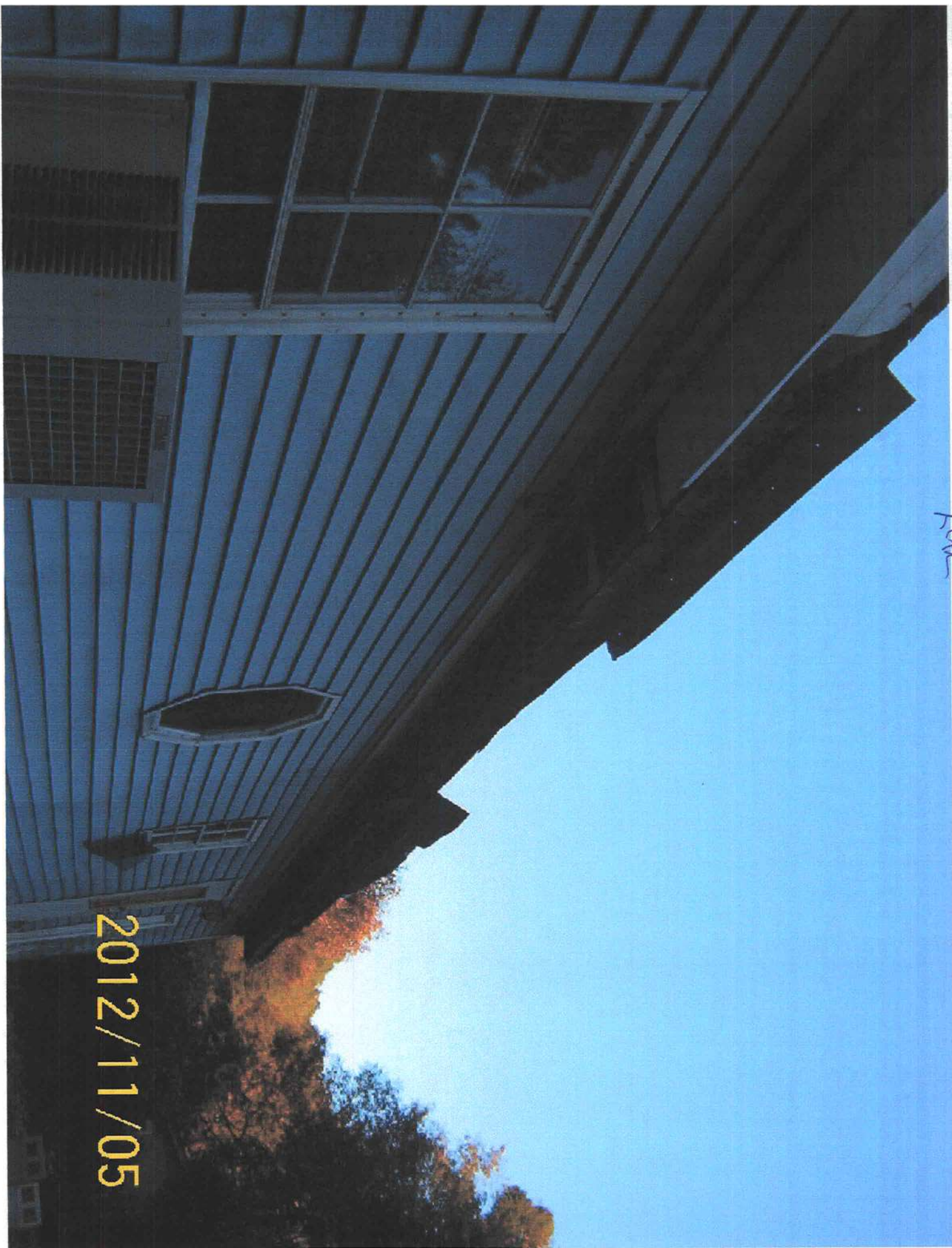


2012/11/05



Pave

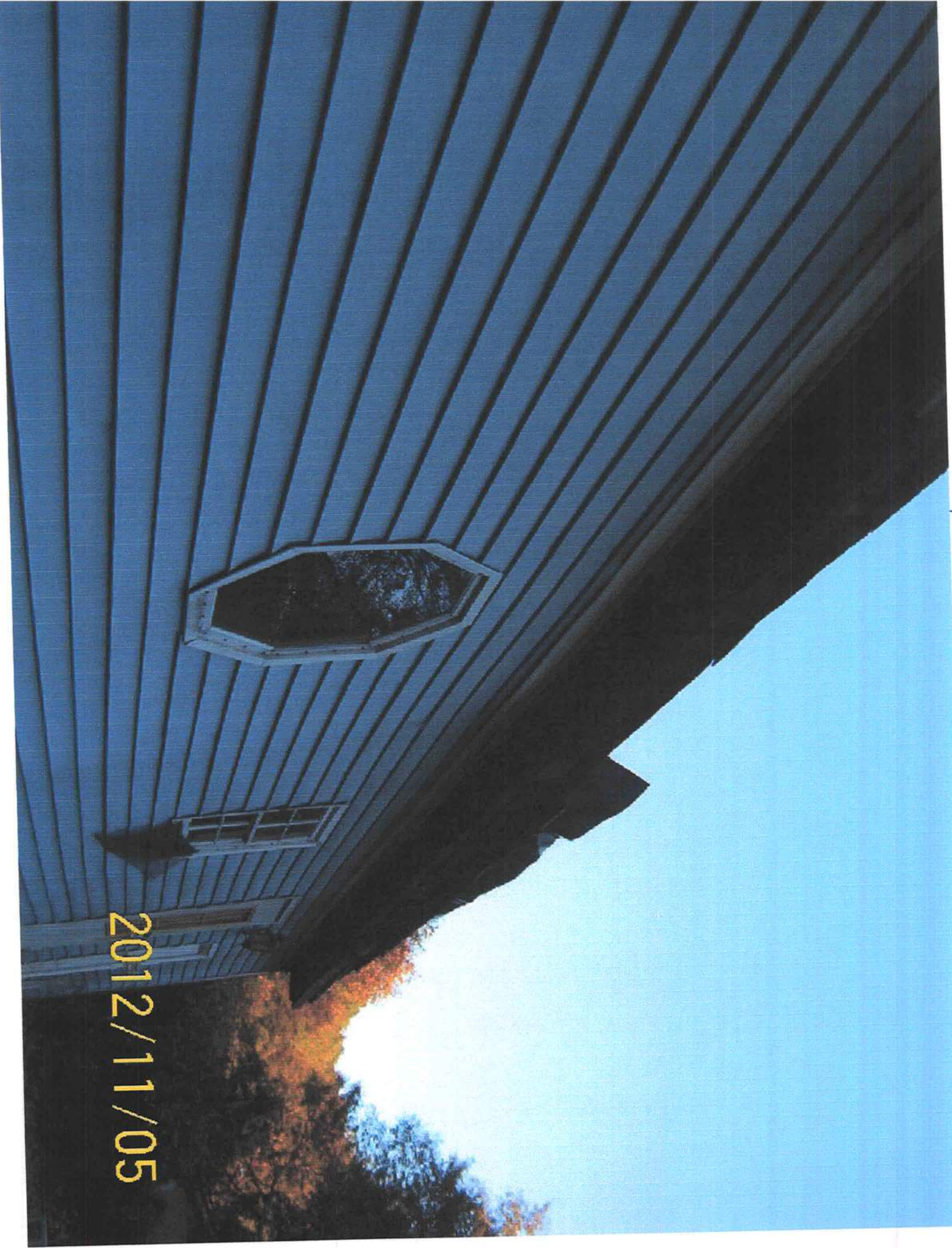
2012/11/05





Kevin

2012/11/05





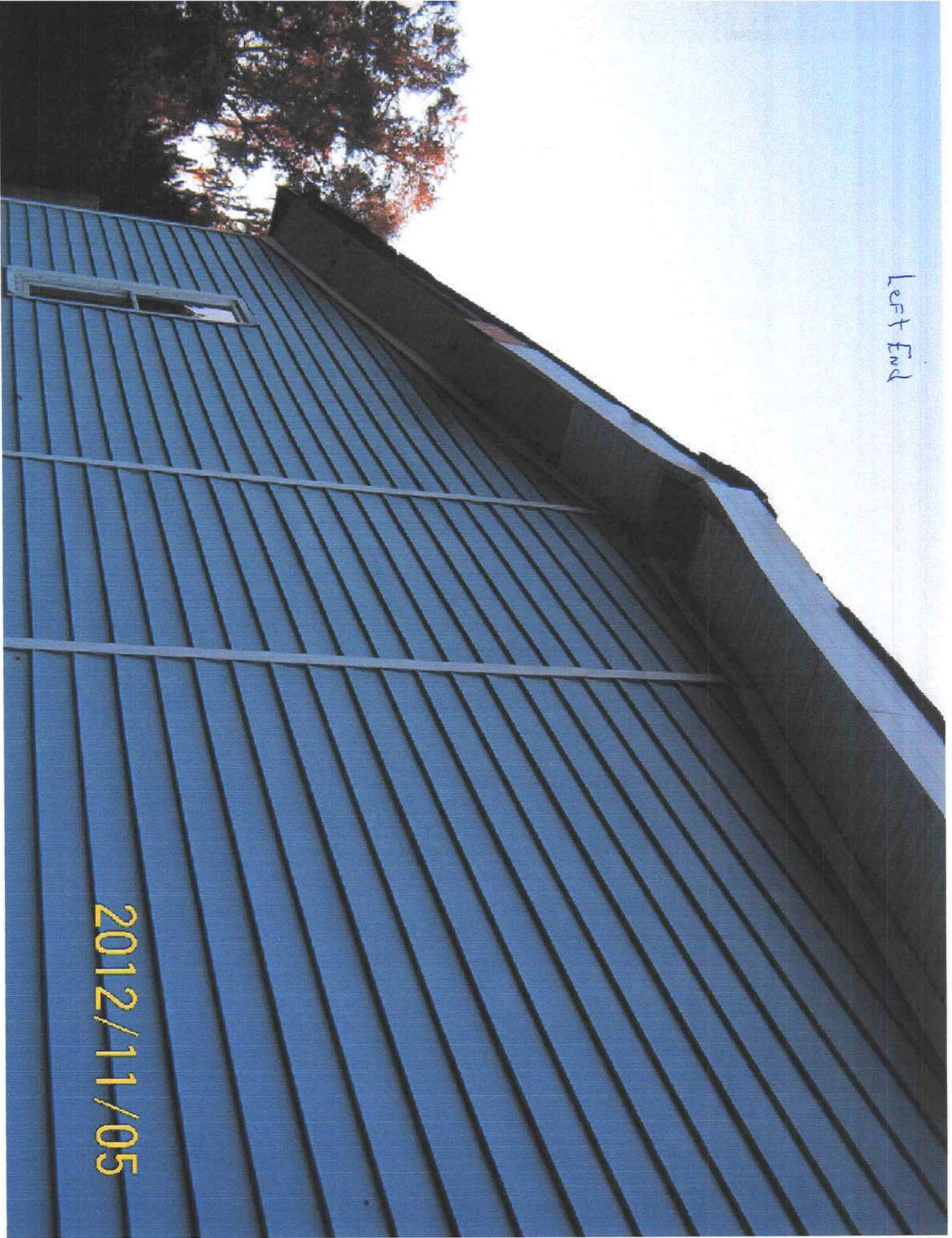
Left End unwar pier

2012/11/05



Left End

2012/11/05





Missing Fixtures dining / Kitchen Area



2012/11/05



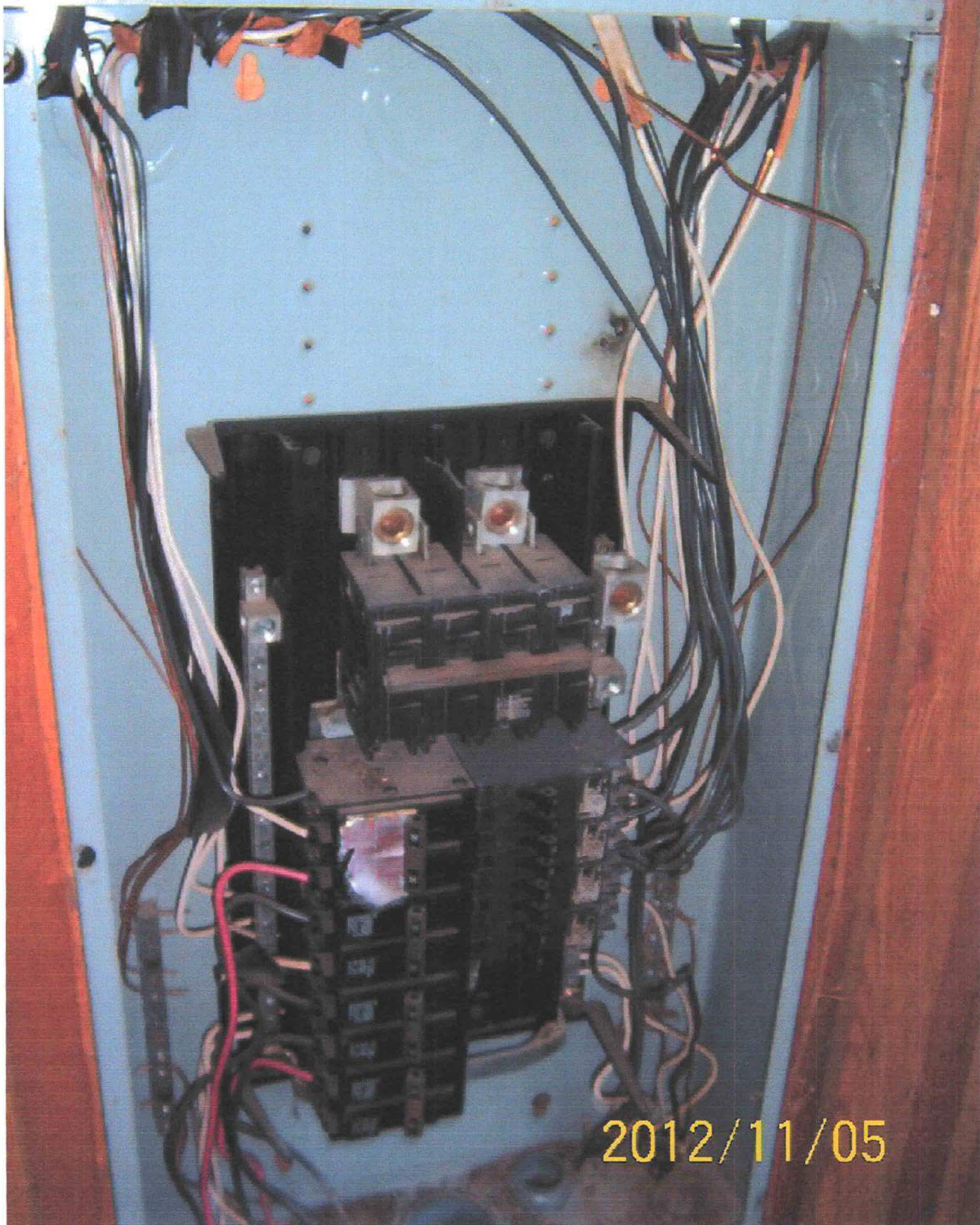
Several outlit Cavers Missing



2012/11/05



Panel board



2012/11/05



Data file with cover 11

**DATA PLATE**

MANUFACTURED BY: Dolphin Homes

P.O. Box 820

Haleyville, AL 35565

MODEL NO: 28x64 3+2

SERIAL NO: 20771 A/B

DATE OF MANUFACTURE 3/19/85

LABEL NO: 010508/010508

THIS MOBILE HOME IS DESIGNED TO COMPLY WITH THE FEDERAL MOBILE HOME CONSTRUCTION AND SAFETY STANDARD IN FORCE AT THE TIME OF MANUFACTURE.

DART

DESIGN APPROVAL BY:

FACTORY INSTALLED EQUIPMENT INCLUDES:

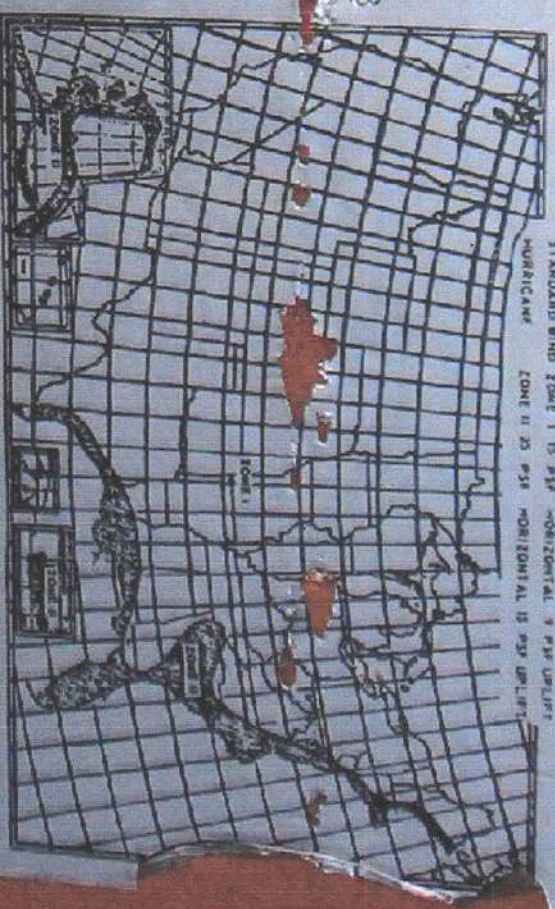
| EQUIPMENT          | MANUFACTURER  | MODEL NO. |
|--------------------|---------------|-----------|
| FIREPLACE          | Martin        | BC36      |
| COMFORT HEATING    | None          |           |
| AIR COOLING        | Intertherm    | FEH-015H  |
| COOKING APPLIANCES | None          |           |
| REFRIGERATOR       | BROWN         | ZE103     |
| WATER HEATER       | GE            | TBF17SFG  |
| WASHER             | None          |           |
| CLOTHES DRYER      | None          |           |
| DISHWASHER         | GE            | GSD500    |
| CARTRIDGE DISPOSAL | None          |           |
| SMOKE DETECTORS    | (2) Pyroettes |           |
| MICROWAVE          | None          |           |
| STOVE              | EB            | 7670      |

See Wiring Diagram To Be Taken For Proper Connections. Equipment Instructions.

OUTSIDE PULSED DISCONNECT SWITCH FOR CENTRAL AIR-CONDITIONING AND OUTSIDE LIGHT TO BE FIELD INSTALLED AND INSTALLED USE CONDUCTORS RATED AT LEAST 75°C. THE FEEDER ASSEMBLY IS DESIGNED FOR USE WITH THREE 75°C RATE COPPER CONDUCTORS TYPES THW OR XHHW AND A BARE COPPER GROUNDING CONDUCTOR.

FEEDER CABLEWAY CONDUIT CONDUCTOR SIZE  
GROUNDING CONDUCTOR SIZE  
CONDUIT TYPE  
CONDUIT TYPE

ALL CONNECTION BOXES ARE TO BE SIZED FOR THE LARGEST CONDUCTOR TO BE CONNECTED TO EITHER SIDE OF THE MAIN



THIS HOME IS DESIGNED FOR:  
WIND ZONE



2012/11/05

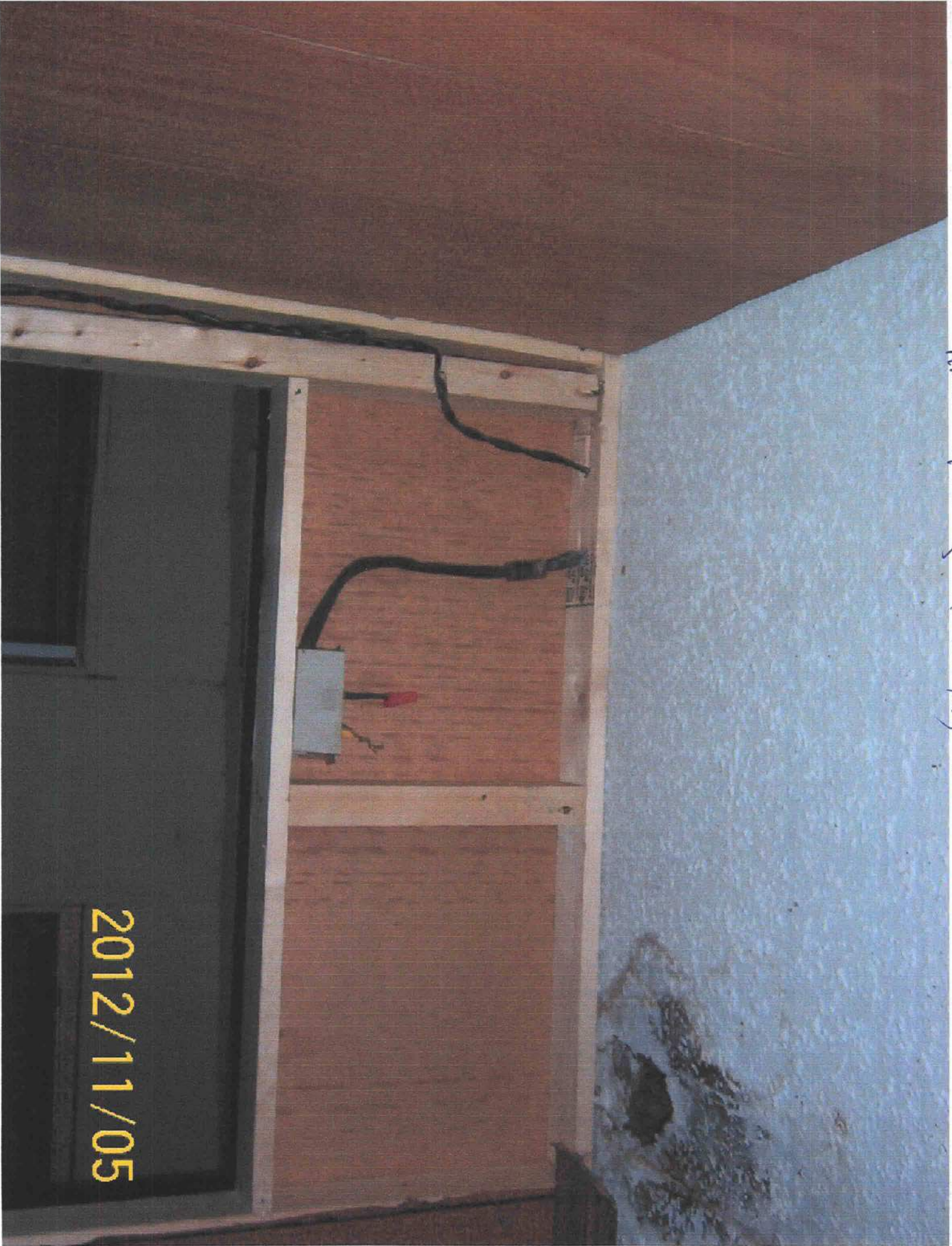
THIS HOME IS DESIGNED FOR:

STANDARD WIND ZONE



Above opening AT laundry RM

2012/11/05





Floor pitch using a leveling



2012/11/05



Wall Panel at Birth Tub

2012/11/05



INTERIOR DOOR CASING

2012/11/05



CODE ENFORCEMENT  
PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 9/26 BY JO IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? Will be after out of county approved  
OWNERS NAME Jeff Gavan PHONE \_\_\_\_\_ CELL 386-965-2730  
ADDRESS 423 SW Jackson Ct Lake City FL 32024  
MOBILE HOME PARK NA SUBDIVISION NA  
DRIVING DIRECTIONS TO MOBILE HOME 247 to Montego Ave (just past CR 240) turn (L) to Carpenter Rd turn (L) to Hartford Way turn (R) follow around to curve to (L) to Jackson Ct turn (L) site at end (R)  
MOBILE HOME INSTALLER Robert Sheppard PHONE \_\_\_\_\_ CELL 386-623-2203

MOBILE HOME INFORMATION

MAKE DALP YEAR 85 SIZE 28 x 56 COLOR Blue  
SERIAL No. STWIALAS2071A/B  
WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

P SMOKE DETECTOR ( ) OPERATIONAL ( ) MISSING  
P FLOORS ( ) SOLID ( ) WEAK ( ) HOLES DAMAGED LOCATION \_\_\_\_\_  
P DOORS ( ) OPERABLE ( ) DAMAGED  
P WALLS ( ) SOLID ( ) STRUCTURALLY UNSOUND  
P WINDOWS ( ) OPERABLE ( ) INOPERABLE  
P PLUMBING FIXTURES ( ) OPERABLE ( ) INOPERABLE ( ) MISSING  
F CEILING ( ) SOLID ( ) HOLES ( ) LEAKS APPARENT  
P ELECTRICAL (FIXTURES/OUTLETS) ( ) OPERABLE ( ) EXPOSED WIRING ( ) OUTLET COVERS MISSING ( ) LIGHT FIXTURES MISSING

EXTERIOR:

P WALLS / SIDING ( ) LOOSE SIDING ( ) STRUCTURALLY UNSOUND ( ) NOT WEATHERTIGHT ( ) NEEDS CLEANING  
P WINDOWS ( ) CRACKED/ BROKEN GLASS ( ) SCREENS MISSING ( ) WEATHERTIGHT  
P ROOF ( ) APPEARS SOLID ( ) DAMAGED

STATUS

APPROVED ✓ WITH CONDITIONS: Fix holes ceiling, soffit work etc.  
NOT APPROVED \_\_\_\_\_ NEED RE-INSPECTION FOR FOLLOWING CONDITIONS \_\_\_\_\_

SIGNATURE Joe G ID NUMBER 306 DATE 12-30-12



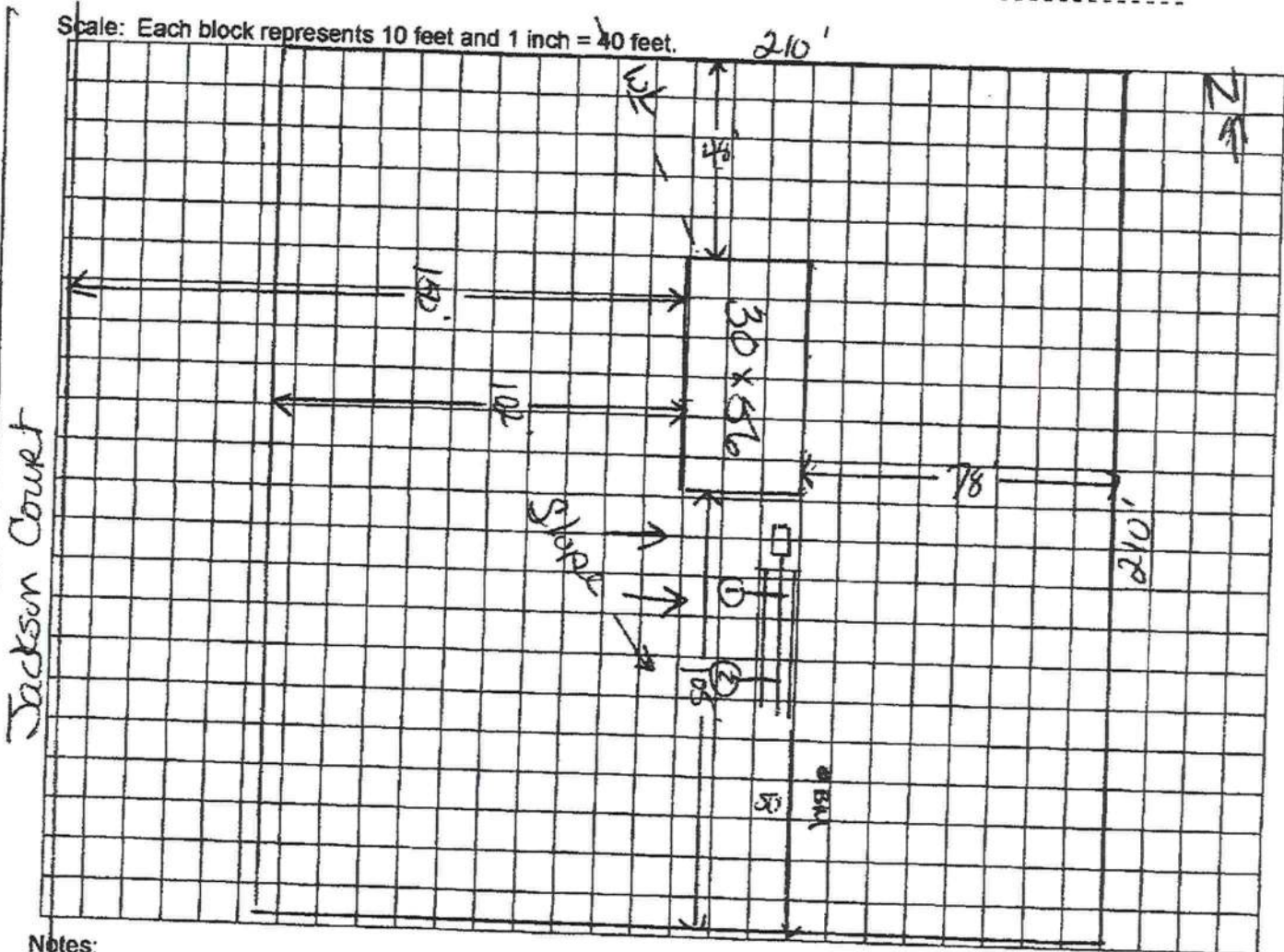
Gavan - app# 1209-57

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 12-0429

PART II - SITEPLAN

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

1 acre shown out of 6.01 (please see attached for full dimensions)

Site Plan submitted by: Wendy Grennell

Plan Approved [Signature]

By [Signature]

Not Approved

Agent

Date 9-18-12

County Health Department

**Columbia CHD**

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

[Signature]



**COLUMBIA COUNTY, FLORIDA  
LAND DEVELOPMENT REGULATION ADMINISTRATOR  
SPECIAL PERMIT FOR TEMPORARY USE  
APPLICATION**

Permit No. STUP - 1302-02

Date 27 Feb. 2013

Fee \$450.00

Receipt No. 4334

Building Permit No. \_\_\_\_\_

Name of Title Holder(s) Linda D. Gavan

Address 423 SW Jackson Ct City Lake City

Zip Code 32024

Phone (386) 965-2730

**NOTE:** If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator **MUST** be attached to this application at the time of submittal stating such appointment.

Title Holder(s) Representative Agent(s) Wendy Grennell

Address 3104 SW Old Wire Road City Ft White

Zip Code 32038

Phone (386) 288-2428

Paragraph Number Applying for 7

Proposed Temporary Use of Property residential

Proposed Duration of Temporary Use 5 yrs

Tax Parcel ID# 23-55-15-00468-007

Size of Property 6.01 \*\*\*Provide a copy of your Deed of the property\*\*\*

Present Land Use Classification A-3

Present Zoning District A-3



Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or RV's used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or RV's used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.
7. In agricultural districts: In addition to the principal residential dwelling, two (2) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements. A temporary use permit for such mobile homes may be granted for a time period up to five (5) years. The permit is valid for occupancy of the specified family member as indicated on Family Relationship Affidavit and Agreement which shall be recorded in the Clerk of the Courts by the applicant.

The Family Relationship Affidavit and Agreement shall include but not be limited to:



- a. Specify the family member to reside in the additional mobile home;
- b. Length of time permit is valid;
- c. Site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building;
- d. Responsibility for non ad-valorem assessments;
- e. Inspection with right of entry onto the property, but not into the mobile home by the County to verify compliance with this section. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section and;
- f. Shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
- g. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
- h. Requirements upon expiration of permit. Unless extended as herein provided, once a permit expires the mobile home shall be removed from the property within six (6) months of the date of expiration.

The property owner may apply for one or more extensions for up to two (2) years by submitting a new application, appropriate fees and family relationship residence affidavit agreement to be approved by the Land Development Regulation Administrator.

Previously approved temporary use permits would be eligible for extensions as amended in this section.

- 8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include



written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.

9. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
  - a. Demonstrate a permanent residence in another location.
  - b. Meet setback requirements.
  - c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
  - d. Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.
  - e. Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.



I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

LINDA GAUBIN  
Applicants Name (Print or Type)

✓ Linda Gaubin  
Applicant Signature

9-19-12  
Date

### OFFICIAL USE

Approved

X BLK  
27 FEB. 2013

Denied

Reason for Denial

Conditions (if any)

Time to begin with date of approval final  
inspection



**COLUMBIA COUNTY, FLORIDA  
LAND DEVELOPMENT REGULATION ADMINISTRATOR  
SPECIAL PERMIT FOR TEMPORARY USE  
AUTHORIZATION**

The undersigned, Linda Gavan, (herein "Property Owners"), whose physical 911 address is 423 SW Jackson Ct Lake City 32024, hereby understand and agree to the conditions set forth by the issuance of a Special Temporary Use Permit in accordance with the Columbia County Land Development Regulations (LDR's). I hereby further authorize Wendy Grennell to act on by behalf concerning the application for such Special Temporary Use Permit on Tax Parcel ID # 23-55-15-00468-007

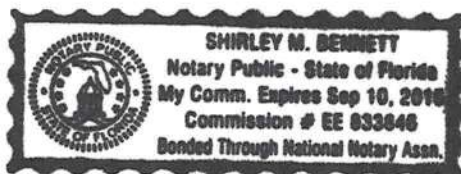
Dated this 19 Day of September, 2012.

✓ Linda Gavan  
Property Owner (signature)

**STATE OF FLORIDA  
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 19 Day of September, 2012, by Linda Gavan Who is personally known to me or who has produced a FL DL Driver's license as identification.

(NOTARIAL,  
SEAL)



Shirley M. Bennett  
Notary Public, State of Florida

My Commission Expires: