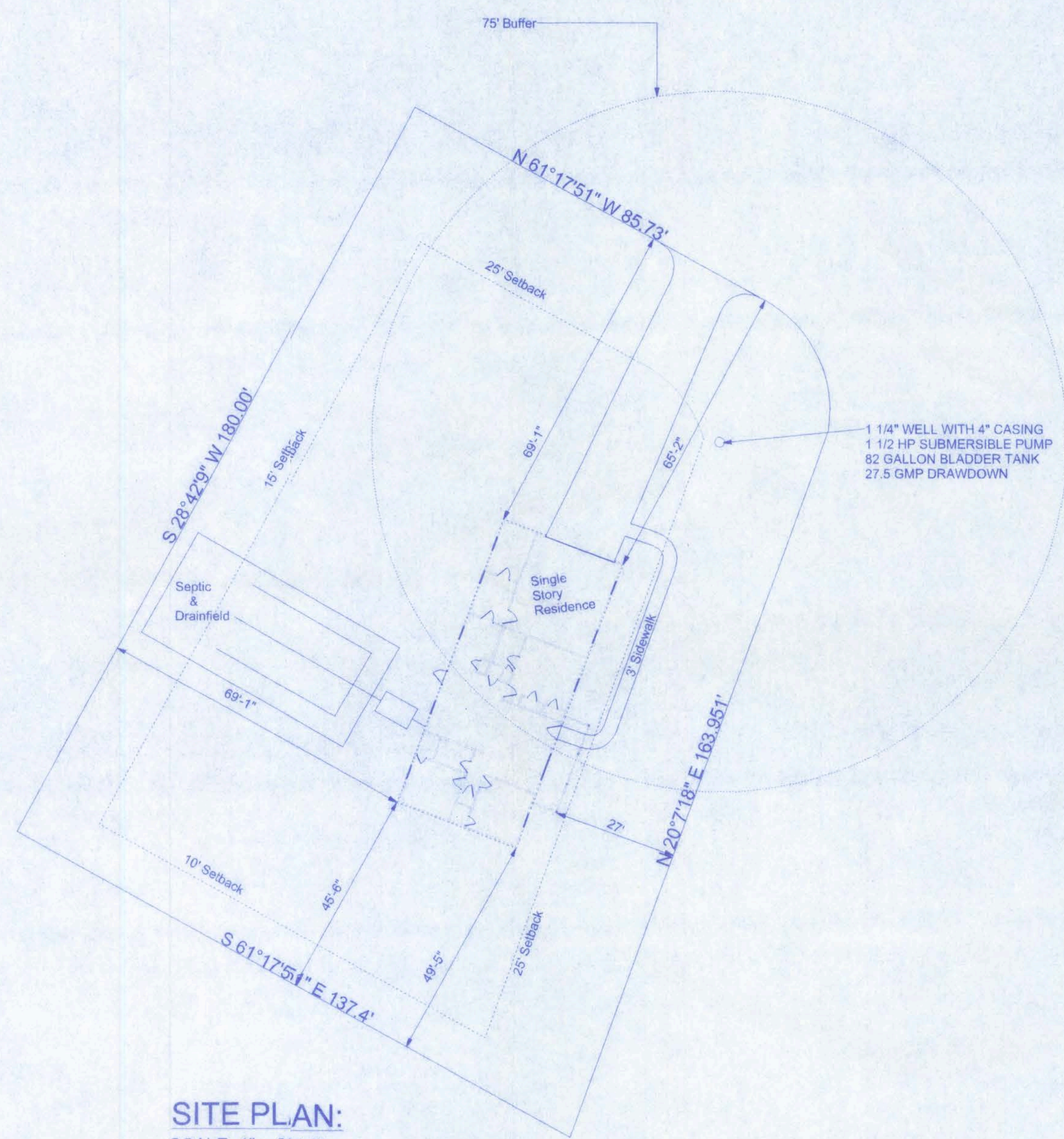


DESCRIPTION:  
PRICE CREEK LOT #37, LAKE CITY, FL



SITE PLAN:  
SCALE: 1" = 20'-0"



161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386)758-4209

CERTIFICATE OF AUTHORIZATION # 00003701

DATE  
3/14/06

DRAWN BY  
W.H.F.

REVISIONS

SHEET SP-1

OF 1

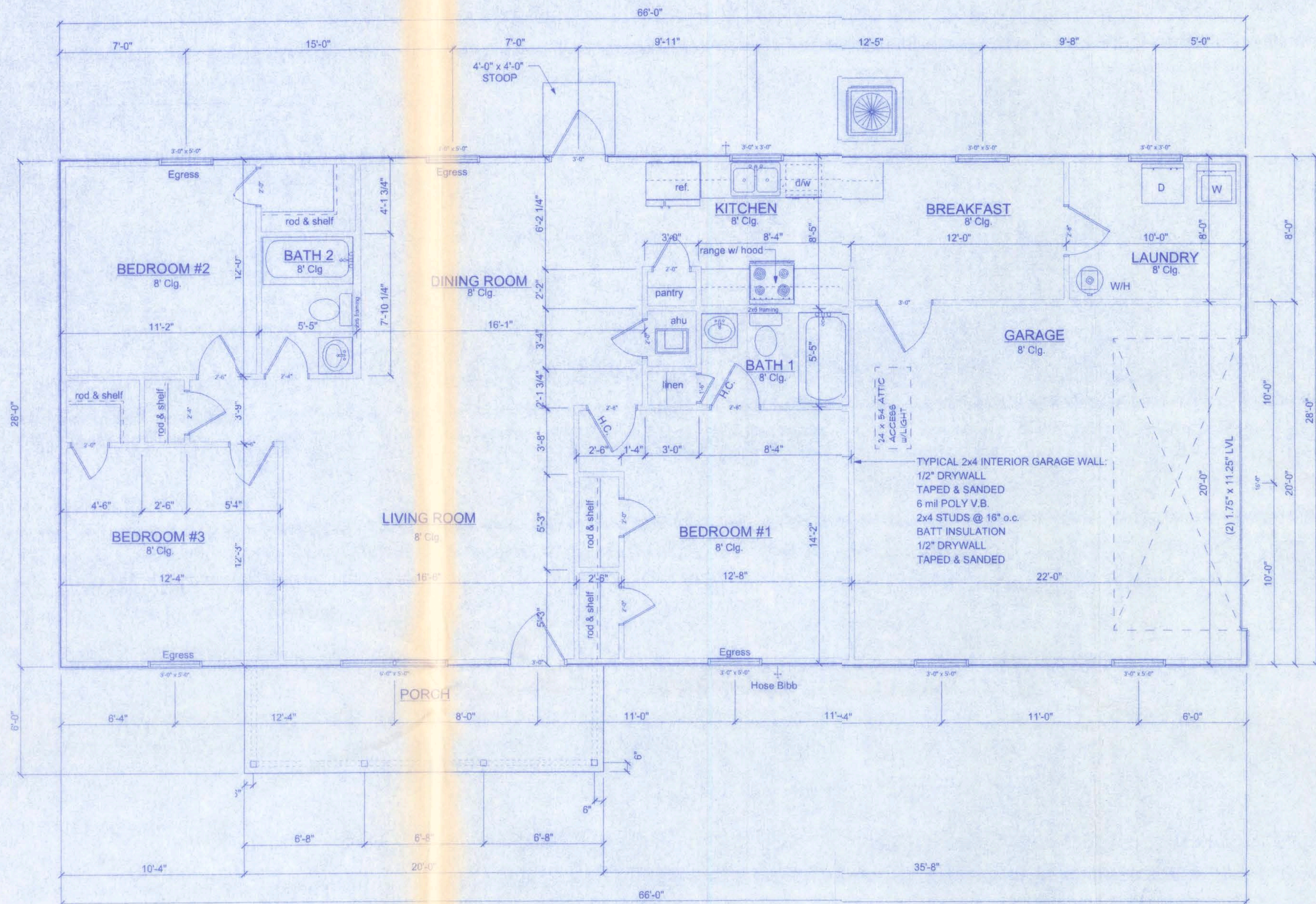
PROJECT NO.

LOT #37 PRICE CREEK

W.H.F.  
3/14/06

Builders.com





FLOOR PLAN  
SCALE: 1/4" = 1'-0"

AREA SUMMARY

TOTAL LIVING	1,432 SF
PORCH	106 SF
GARAGE	439 SF
TOTAL	1,977 SF

NOTE:  
ALL WIND LOADS ARE IN ACCORDANCE WITH SECTION 1609, FLORIDA BUILDING CODE, 2004 EDITION.

BASIC WIND SPEED	110 MPH
IMPORTANCE FACTOR	1.0
BUILDING CATEGORY	2
EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
COMPONENT AND CLADDING PRESSURE	WALLS +21.8/-29.1 PSF
	ROOF +12.5/-29.1 PSF
	OVERHANGS -71.6 PSF
TYPE OF STRUCTURE	ENCLOSED
ROOF DEAD LOAD	10 psf
ROOF LIVE LOAD	20 psf
FLOOR DEAD LOAD	20 psf
FLOOR LIVE LOAD	40 psf

NOTE:  
BATHROOM EXHAUST SHALL BE DIRECTED TO OUTSIDE OF BUILDING. EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. AIR EXHAUST OPENINGS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLS IF TERMINATING OUT DOORS.

NOTE:  
CONDENSATE WASTE AND DRAIN LINE SIZE SHALL BE NOT LESS THAN 3/4" INTERNAL DIAMETER AND SHALL NOT DECREASE IN SIZE FROM THE DRAIN PAN CONNECTION TO THE PLACE OF CONDENSATE DISPOSAL.

NOTE:  
CONDENSATE LINES AND ROOF DOWN SPOUTS SHALL DISCHARGE AT LEAST ONE FOOT AWAY FROM THE STRUCTURE SIDEWALL. IN CASES WHERE THE ROOF EAVE IS LESS THAN 6 INCHES, GUTTERS MUST BE INSTALLED AND DIRECT WATER A MINIMUM OF 1 FOOT FROM THE STRUCTURE.

NOTE:  
EACH VERTICAL DRYER VENT RISER SHALL BE PROVIDED WITH A CLEANOUT. DRYER EXHAUSTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER WITHOUT SCREENS.

NOTE:  
THE MINIMUM NATURAL VENTILATION AREA REQUIRED FOR GARAGES SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. THE MINIMUM MECHANICAL VENTILATION FOR GARAGES SHALL BE 100 CFM PER GAR.

OPENING PROTECTION:  
openings from a private garage directly into a room used for sleeping purposes shall not be permitted. other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" in thickness, solid or honeycomb steel doors not less than 1 3/8" thick, or a 20-minute fire rated doors.

SEPARATION REQUIRED:  
the garage shall be separated from the residence and its attic area by not less than 1/2" gypsum board applied to the garage side. garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" Type X gypsum board or equivalent. where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2" gypsum board or equivalent.

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
rafters having slopes greater than 2/12 with no finished ceiling attached to rafters	L/180
interior walls and partitions	H/180
floors and plastered ceilings	L/360
all other structural members	L/240
exterior walls with plaster or stucco finish	H/580
exterior walls - wind loads with brittle finishes	L/240
exterior walls - wind loads with flexible finishes	L/110

NOTE:  
EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:

ANSI/AAMA/NWDDA 101/152 2/97

THE CONSTRUCTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 830, STANDARD TEST METHODS FOR STRUCTURAL PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM STATIC AIR PRESSURE.

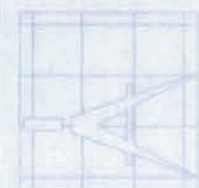
EMERGENCY EGRESS:  
EVERY BEDROOM SHALL HAVE NOT LESS THAN ONE OUTSIDE WINDOW FOR EMERGENCY RESCUE THAT COMPLIES WITH THE FOLLOWING:  
1. SUCH WINDOWS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT, AND 5.7 SQFT IN AREA.  
2. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR, AND ANY LATCHING DEVICE SHALL BE CAPABLE OF BEING OPERATED FROM NOT MORE THAN 54 INCHES ABOVE THE FINISHED FLOOR.  
3. THE CLEAR OPENING SHALL ALLOW A RECTANGULAR SOLID, WITH A WIDTH AND HEIGHT THAT PROVIDES NOT LESS THAN THE REQUIRED 5.7 SQFT OPENING AND A DEPTH NOT LESS THAN 20 INCHES, TO PASS FULLY THROUGH THE OPENING.  
4. SUCH WINDOWS SHALL BE ACCESSIBLE BY THE FIRE DEPARTMENT AND SHALL OPEN INTO AN AREA HAVING ACCESS TO A PUBLIC WAY.

PRODUCT CODE	SIZE	HINGE DIRECTION	COUNT
36x80 colonial	3'-0"	L	1
36x80 colonial	3'-0"	L	1
108x84 - 3 panel Garage Door	9'-0"	N	1
1668	1'-6"	L	1
2068	2'-0"	L	5
2468	2'-4"	L	2
2668	2'-6"	R	2
2868	2'-8"	R	1
2868	2'-8"	R	2
3068	3'-0"	R	1
(2) SH 3050	6'-0" x 5'-0"	NN	1
SH 3030	3'-0" x 3'-0"	N	1
SH 3050	3'-0" x 5'-0"	N	4

COLONY COLUMBIA MODEL  
LOT 37 (HEIGHT ASHBURY)  
PRICE CREEK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386) 758-4209

CERTIFICATE OF AUTHORIZATION # 00000011

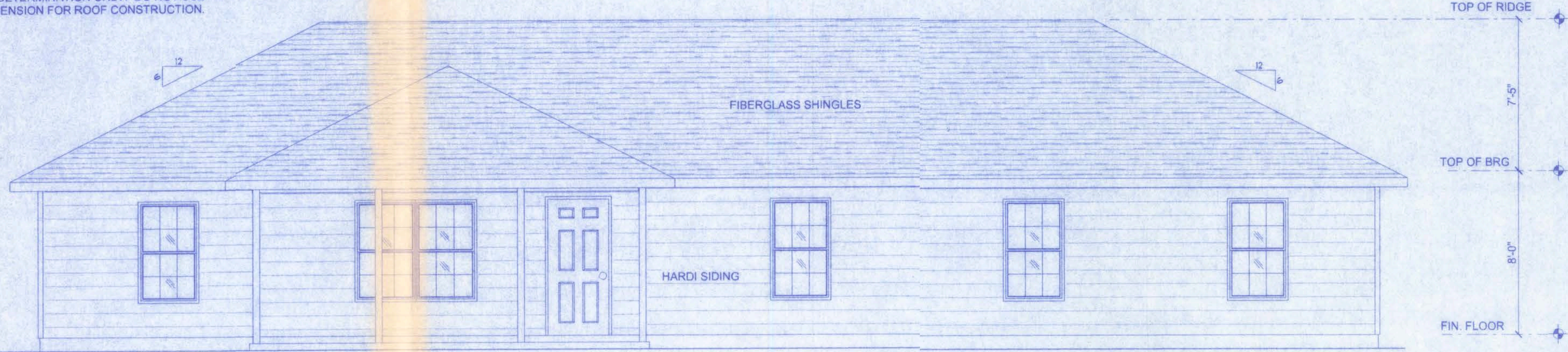


Freeman  
Design Group

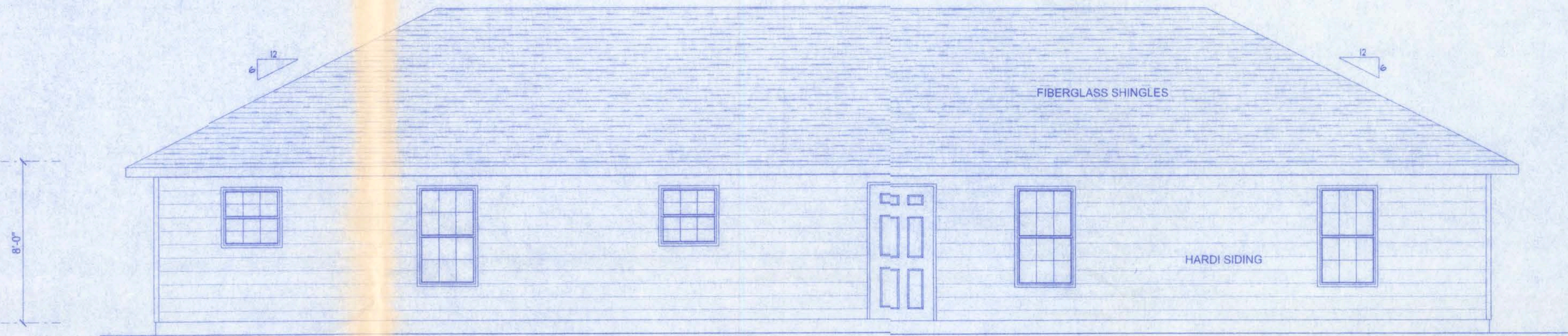
DATE 3/14/06	DRAWN BY W.H.F.
REVISIONS	
SHEET A-1	
OF 6	
PROJECT NO.	



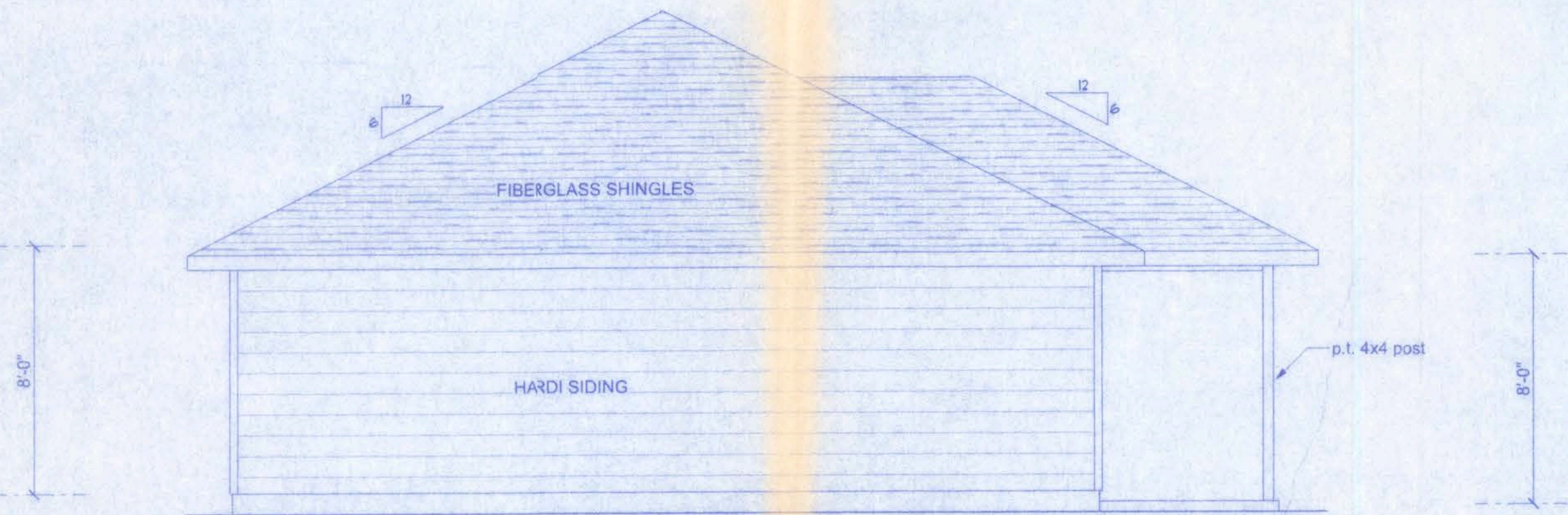
NOTE:  
THE RIDGE HEIGHT IS GIVEN FOR MEAN ROOF  
HEIGHT DETERMINATION ONLY. DO NOT USE  
THIS DIMENSION FOR ROOF CONSTRUCTION.



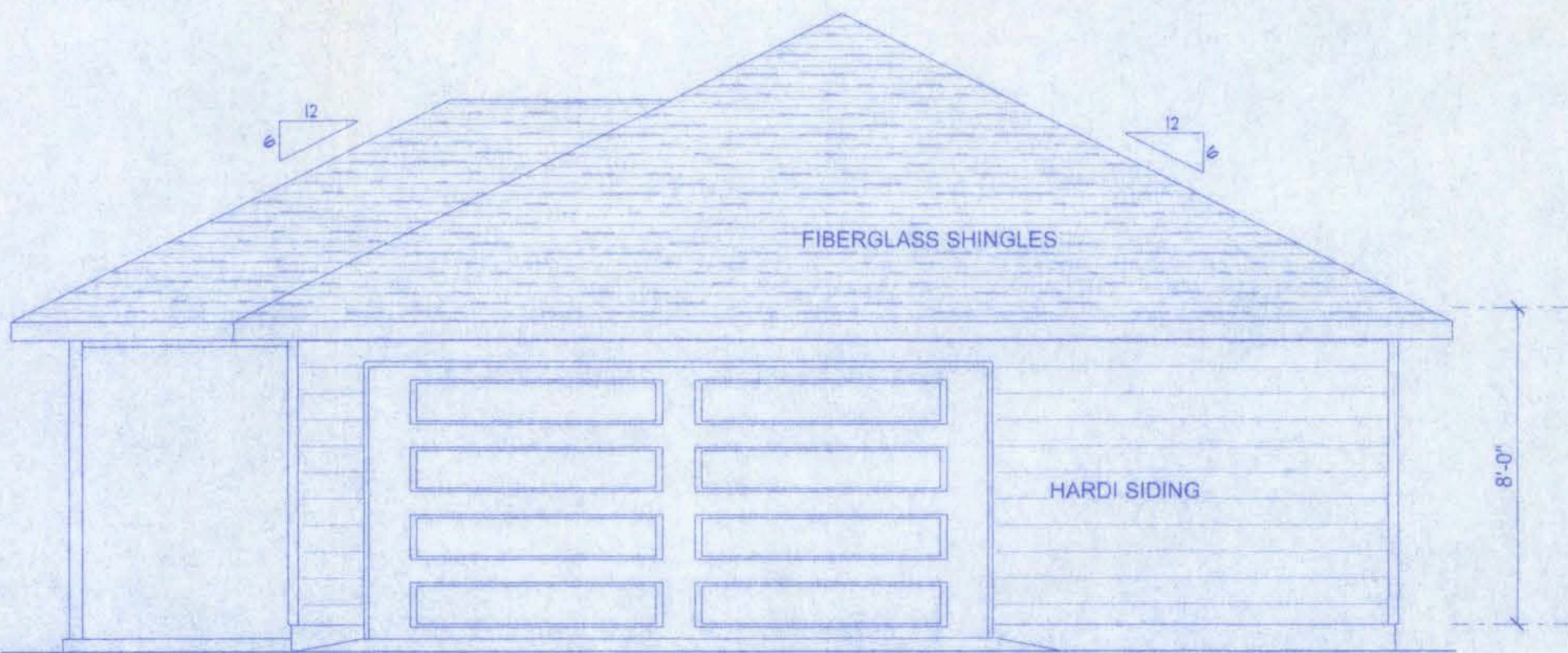
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

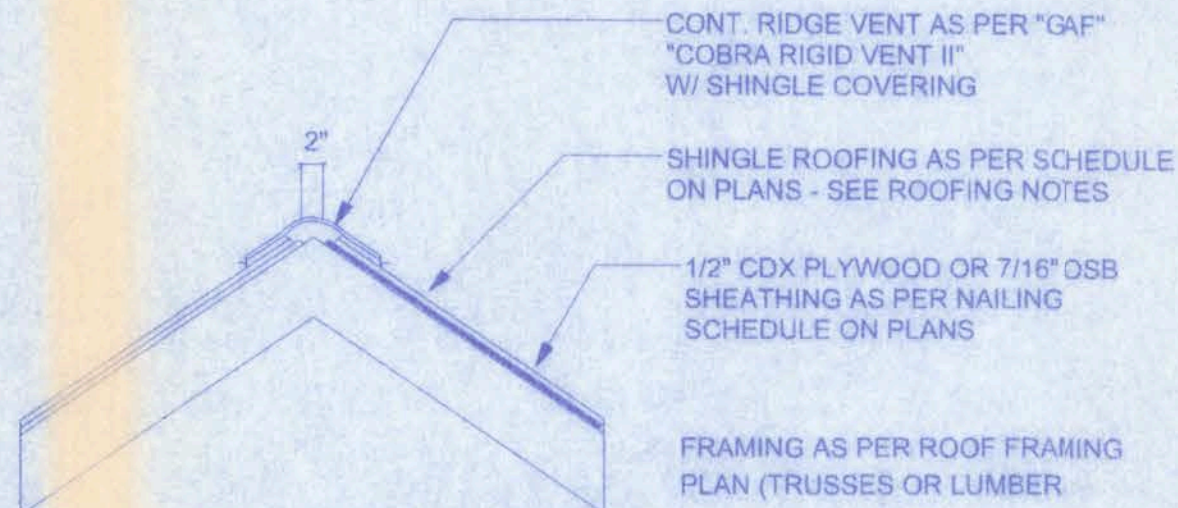


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION DOCUMENTS:**  
THE CUSTOMER IS RESPONSIBLE FOR DELIVERING THE REQUIRED SETS OF  
CONSTRUCTION DOCUMENTS TO THE PERMIT ISSUING AUTHORITY FOR THE  
ISSUANCE OF CONSTRUCTION PERMITS. THE CONTRACTOR IS SOLELY  
RESPONSIBLE FOR REVIEWING THE PLANS AND VERIFYING ALL EXISTING  
CONDITIONS, ELEVATIONS, AND DIMENSIONS PRIOR TO COMMENCING  
CONSTRUCTION INCLUDING FABRICATION. ALL DISCREPANCIES SHALL  
BE REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION.

**DO NOT SCALE THESE PLANS:**  
AMPLE DIMENSIONS ARE SHOWN ON THE PLANS TO LOCATE ALL ITEMS.  
SIMPLE ARITHMATIC MAY BE USED TO DETERMINE THE LOCATION OF THOSE  
ITEMS NOT DIMENSIONED.

**CHANGES TO PLAN SETS:**  
PLEASE DO NOT MAKE ANY STRUCTURAL CHANGES TO THESE PLANS WITHOUT  
CONSULTING WITH THE ARCHITECT/ENGINEER. THE OWNER SHALL ASSUME ANY  
AND ALL LIABILITY FOR STRUCTURAL DAMAGE RESULTING FROM CHANGES MADE  
TO THE PLANS OR BY SUBSTITUTION OF MATERIALS DIFFERENT FROM  
SPECIFICATIONS ON THE PLANS.



**RIDGE VENT DETAIL**

**VENTILATION REQUIREMENTS**

Total Attic Square Footage	Recommended Length of Cobra Rigid Vent II (Feet)	Minimum Intake Ventilation (Net Free Area in Sq. In.)
1600	21	384
1900	25	456
2200	29	528
2500	33	600
2800	41	744
3100	41	820
3400	45	816

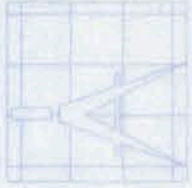
- GENERAL NOTES:**
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER AGAINST ALL CLAIMS, WHETHER FROM PERSONAL INJURY OR PROPERTY DAMAGE, ARISING FROM EVENTS ASSOCIATED WITH THE WORK PERFORMED UNDER THE CONTRACT FOR THIS PROJECT.
  - THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL WARRANT ALL WORK FOR A PERIOD OF ONE YEAR FOLLOWING THE WORK DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER. DEFECTS IN MATERIALS, EQUIPMENT, COMPONENTS AND WORKMANSHIP SHALL BE CORRECTED AT NO FURTHER COST TO THE OWNER DURING THE ONE YEAR WARRANTY PERIOD.
  - AT THE OWNER'S OPTION, A WARRANTY INSPECTION SHALL BE PERFORMED DURING THE ELEVENTH MONTH FOLLOWING THE COMMENCEMENT OF THE WARRANTY PERIOD, FOR THE PURPOSE OF DETERMINING ANY WARRANTY WORK THAT MAY BE REQUIRED. THE CONTRACTOR SHALL BE PRESENT DURING THIS INSPECTION IF REQUESTED BY THE OWNER.
  - THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSES, TESTS AND THE LIKE THAT MAY BE REQUIRED BY THE VARIOUS AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT BE THEY CITY, COUNTY, STATE OR FEDERAL.
  - THE OWNER SHALL FILE A "NOTICE OF COMMENCEMENT" PRIOR TO THE BEGINNING OF THE PROJECT AND THE CONTRACTOR(S) SHALL FILE "NOTICE TO OWNER" AND PROVIDE "RELEASE OF LIEN" FOR ALL PAYMENT REQUESTS PRIOR TO DISBURSEMENT OF ANY FUNDS.
  - ANY AND ALL DISPUTES ARISING FROM EVENTS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT BETWEEN THE OWNER, CONTRACTOR(S) AND SUPPLIERS SHALL BE RESOLVED THROUGH BINDING ARBITRATION.
  - ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND LOCAL REGULATIONS, INCLUDING APPLICABLE ENERGY CODES. ALL COMPONENTS OF THE BUILDING SHALL MEET WITH THE MINIMUM ENERGY REQUIREMENTS OF THE BUILDING CODE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OF THE WORK.
  - ALL INSULATION SHALL BE LEFT EXPOSED AND ALL LABELS LEFT INTACT ON THE WINDOWS AND DOORS UNTIL INSPECTED BY THE BUILDING OFFICIAL.
  - ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

W.H.F.  
3/15/06

**COLONY COLUMBIA MODEL**  
**LOT 37 HEIGHT ASHBURY**  
PRICE CREEK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386) 758-4209

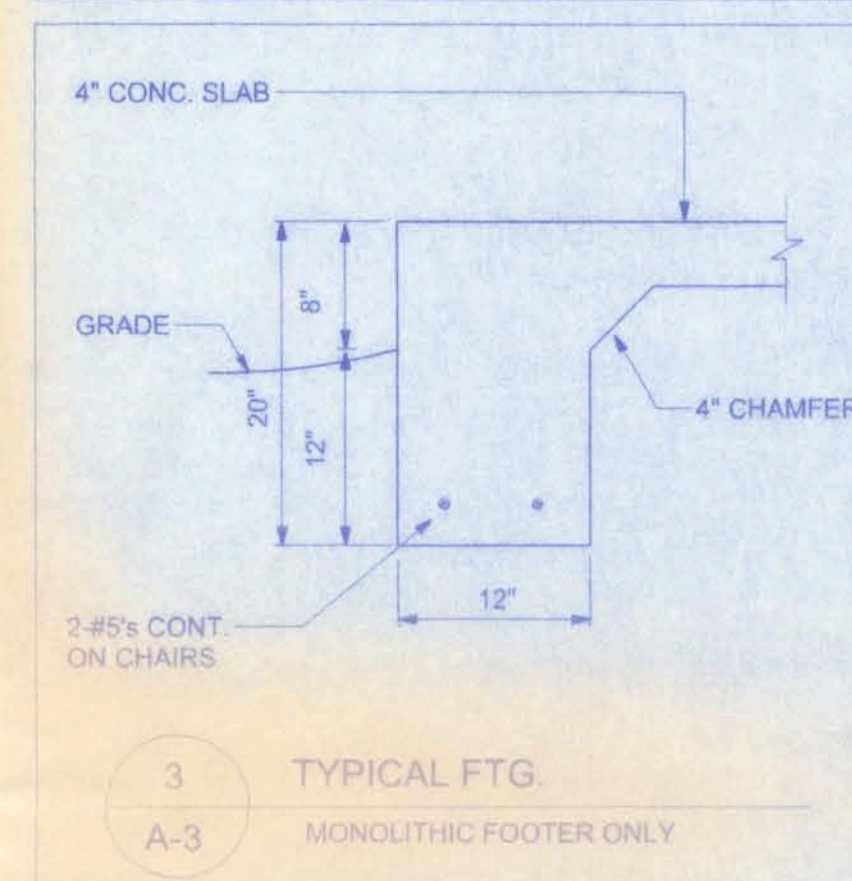
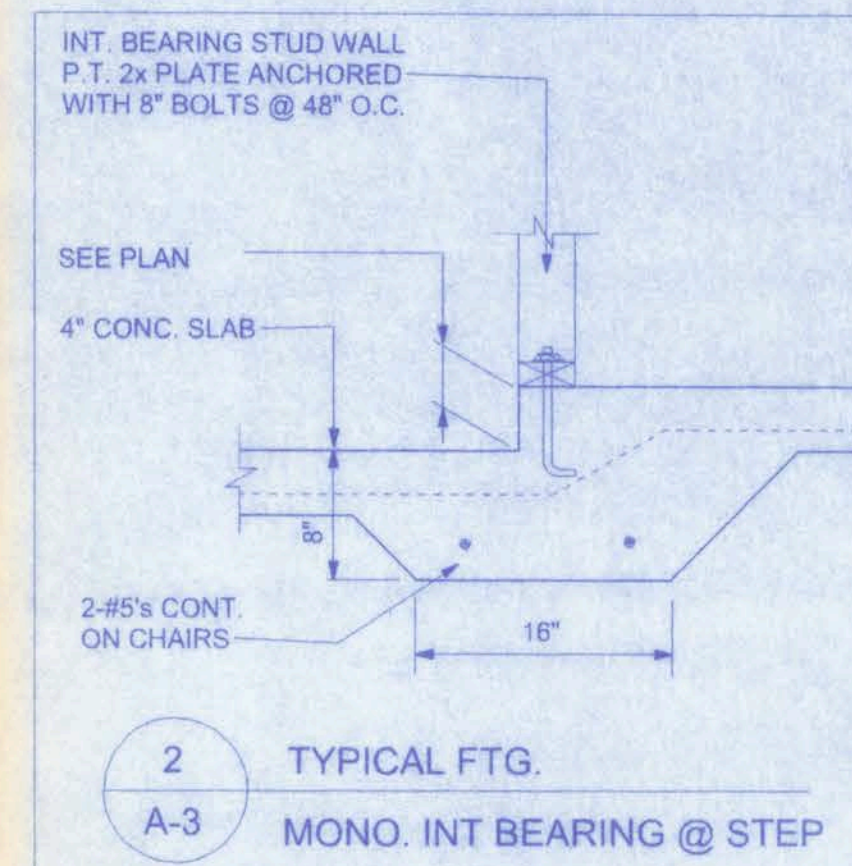
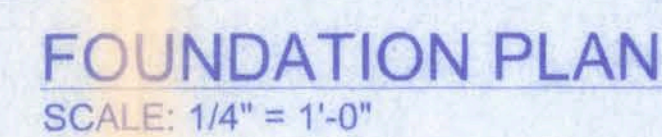
CERTIFICATE OF AUTHORIZATION # 00006701



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Design Group

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OF 6	
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REINFORCING STEEL:  
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40

**Freeman**  
Design Group, Inc.

PROJECT M

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL. 32055  
386/758-4209

COLONY COLUMBIA MODEL  
LOT 37 HEIGHT ASHBURY

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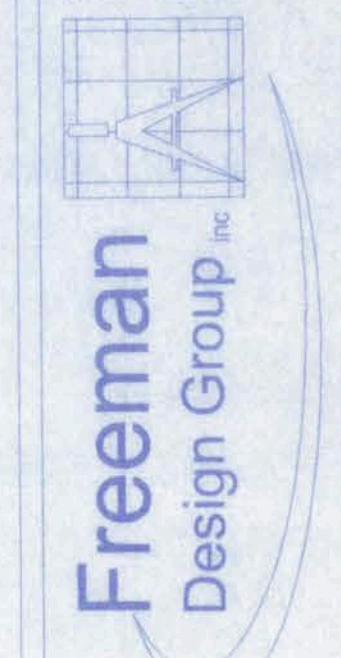
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W.H.H.  
3/15/06

COLONY COLUMBIA MODEL  
LOT 37 (HEIGHT ASHBURY)  
PRICE CHECK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386)758-4209  
CERTIFICATE OF AUTHORIZATION # 00080701



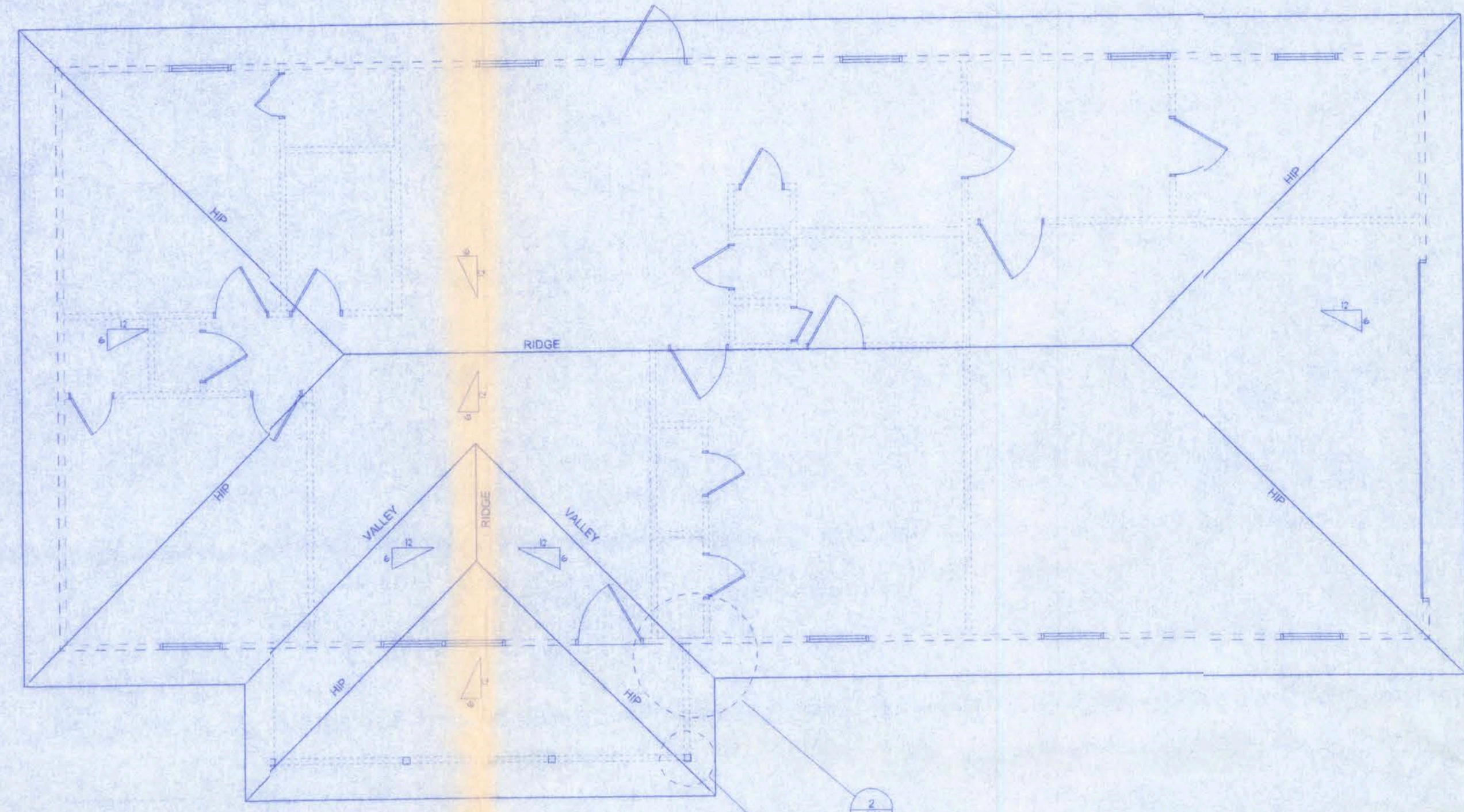
DATE 3/14/06  
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REVISIONS

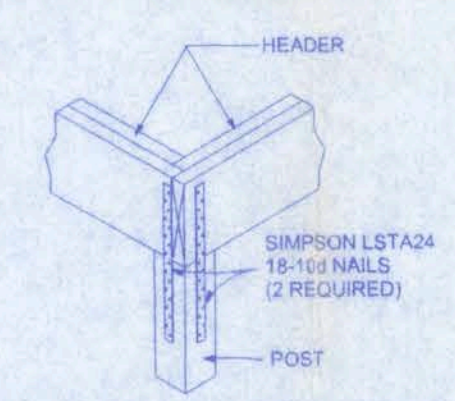
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OF 6

PROJECT NO.

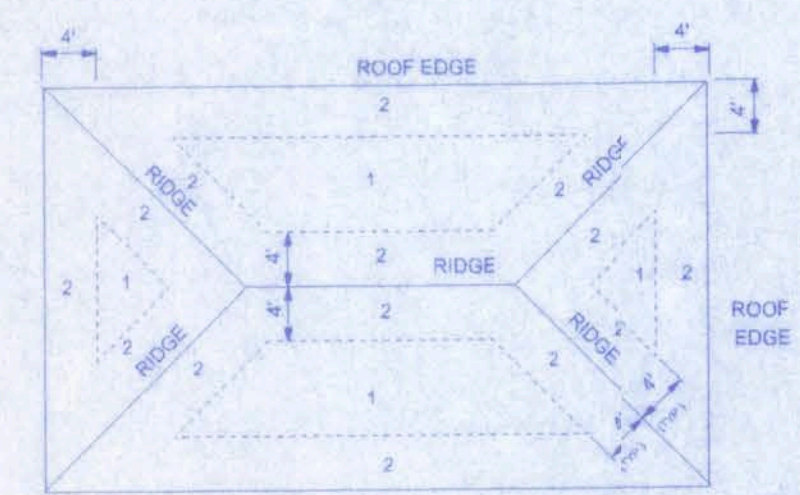


ROOF PLAN  
SCALE: 3/16" = 1'-0"

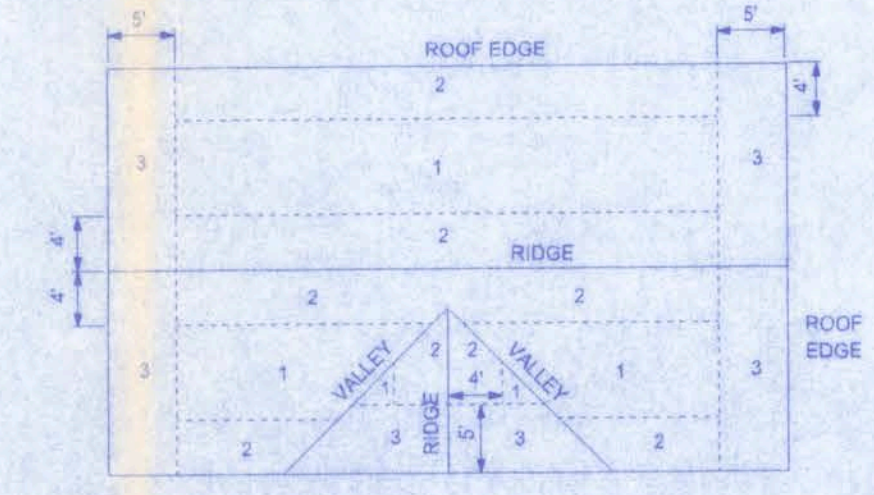


CORNER POST/HEADER DETAIL  
NTS

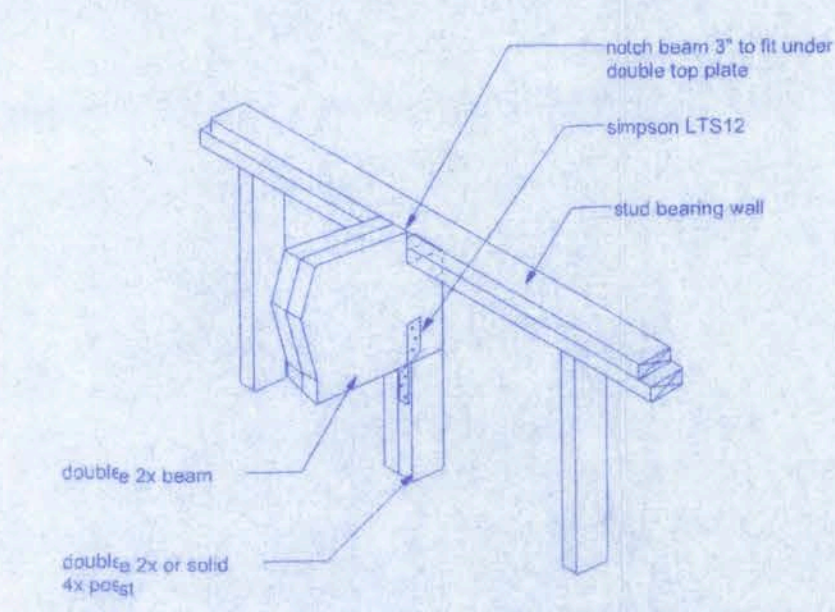
ROOF SHEATHING FASTENINGS			
NAILING ZONE	SHEATHING TYPE	FASTENER	SPACING
1	1/2" O.S.B. OR 15/32 CDX	8d COMMON OR 8d HOT DIPPER GALVANIZED BOX NAILS	5 in. o.c. EDGE 12 in. o.c. FIELD
2			5 in. o.c. EDGE 5 in. o.c. FIELD
3			4 in. o.c. @ GABLE ENDWALL OR GABLE TRUSS 5 in. o.c. FIELD



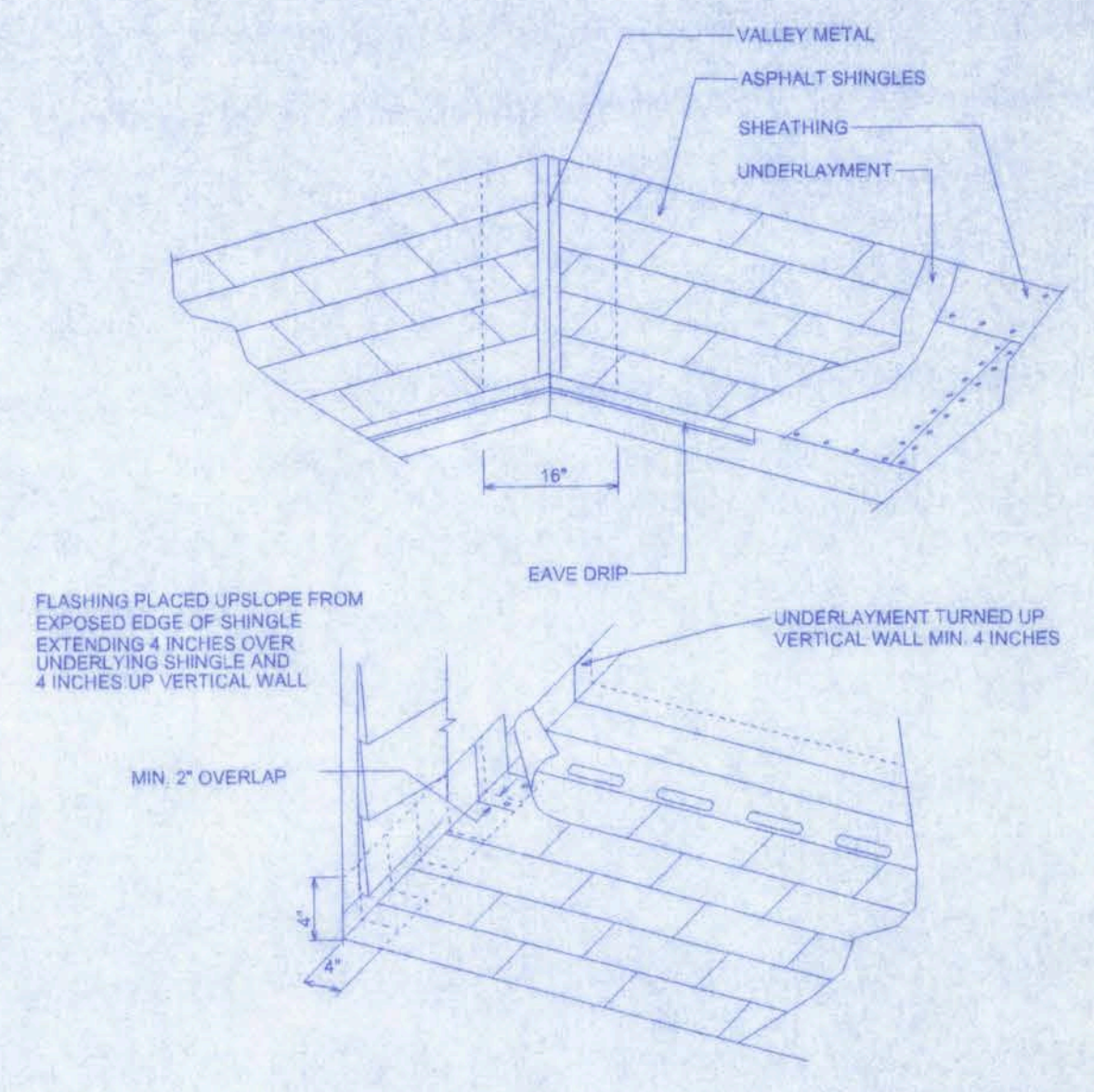
ROOF SHEATHING NAILING ZONES  
(HIP ROOF)



ROOF SHEATHING NAILING ZONES  
(GABLE ROOF)



BEAM/WALL CONNECTION  
NTS



DECK REQUIREMENTS:  
ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.

SLOPE:  
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER. FOR ROOF SLOPES FROM 2:12 TO 4:12, DOUBLE UNDERLAYMENT IS REQUIRED.

UNDERLAYMENT:  
UNLESS OTHERWISE NOTED, UNDERLAYMENT SHALL CONFORM WITH ASTM D 225, TYPE 1, OR ASTM D 4889, TYPE 1.

SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET:  
SELF-ADHERING POLYMER MODIFIED BITUMEN SHALL COMPLY WITH ASTM D 1970.

ASPHALT SHINGLES:  
ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR ASTM D 3482.

FASTENERS:  
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS. MINIMUM 12 GAUGE SHANK WITH A MINIMUM 3/8 INCH DIAMETER HEAD. OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIAL, AND A MINIMUM 3/4" INTO THE ROOF SHEATHING. WHERE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE NAILS SHALL PENETRATE THROUGH THE SHEATHING.

ATTACHMENT:  
ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE. WHERE ROOFS LOCATED IN BASIC WIND SPEED OF 110 MPH OR GREATER, SPECIAL METHODS OF FASTENING ARE REQUIRED. UNLESS OTHERWISE NOTED, ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH ASTM D 3181 OR N-02: PA 107-05.

UNDERLAYMENT APPLICATION:  
FOR ROOF SLOPES FROM 2:12 TO 4:12, UNDERLAYMENT SHALL BE A MINIMUM OF TWO LAYERS APPLIED AS FOLLOWS:  
1. STARTING AT THE EAVE, A 19 INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED PARALLEL WITH THE EAVE AND FASTENED SUFFICIENTLY TO STAY IN PLACE.  
2. STARTING AT THE EAVE, 36 INCH WIDE STRIPS OF UNDERLAYMENT FELT SHALL BE APPLIED OVERLAPPING SUCCESSIVE SHEETS 19 INCHES AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

FOR ROOF SLOPED 4:12 AND GREATER, UNDERLAYMENT SHALL BE A MINIMUM OF ONE LAYER OF UNDERLAYMENT FELT APPLIED AS FOLLOWS:  
STARTING AT THE EAVE, UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION PARALLEL TO THE EAVE, LAPPED 2 INCHES, AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

BASE AND CAP FLASHINGS:  
BASE AND CAP FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE OF EITHER CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS 0.019 INCH OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 77 LBS PER 100 SQUARE FEET. CAP FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS OF 0.018 INCH.

VALLEYS:  
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS BEFORE APPLYING ASPHALT SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED:  
1. FOR OPEN VALLEYS LINED WITH METAL, THE VALLEY LINING SHALL BE AT LEAST 16 INCHES WIDE AND OF ANY OF THE CORROSION RESISTANT METALS IN TABLE 1507.3.9.2.  
2. FOR OPEN VALLEYS, VALLEY LINING OF TWO PLIES OF MINERAL SURFACE ROLL ROOFING SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18 INCHES AND THE TOP LAYER A MINIMUM OF 36 INCHES WIDE.  
3. FOR CLOSED VALLEYS VALLEY LINING SHALL BE ONE OF THE FOLLOWING:  
1. BOTH TYPES 1 AND 2 ABOVE, COMBINED.  
2. ONE PLY OF SMOOTH ROLL ROOFING AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM D 224.  
3. SPECIALTY UNDERLAYMENT AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM 3: 1970.

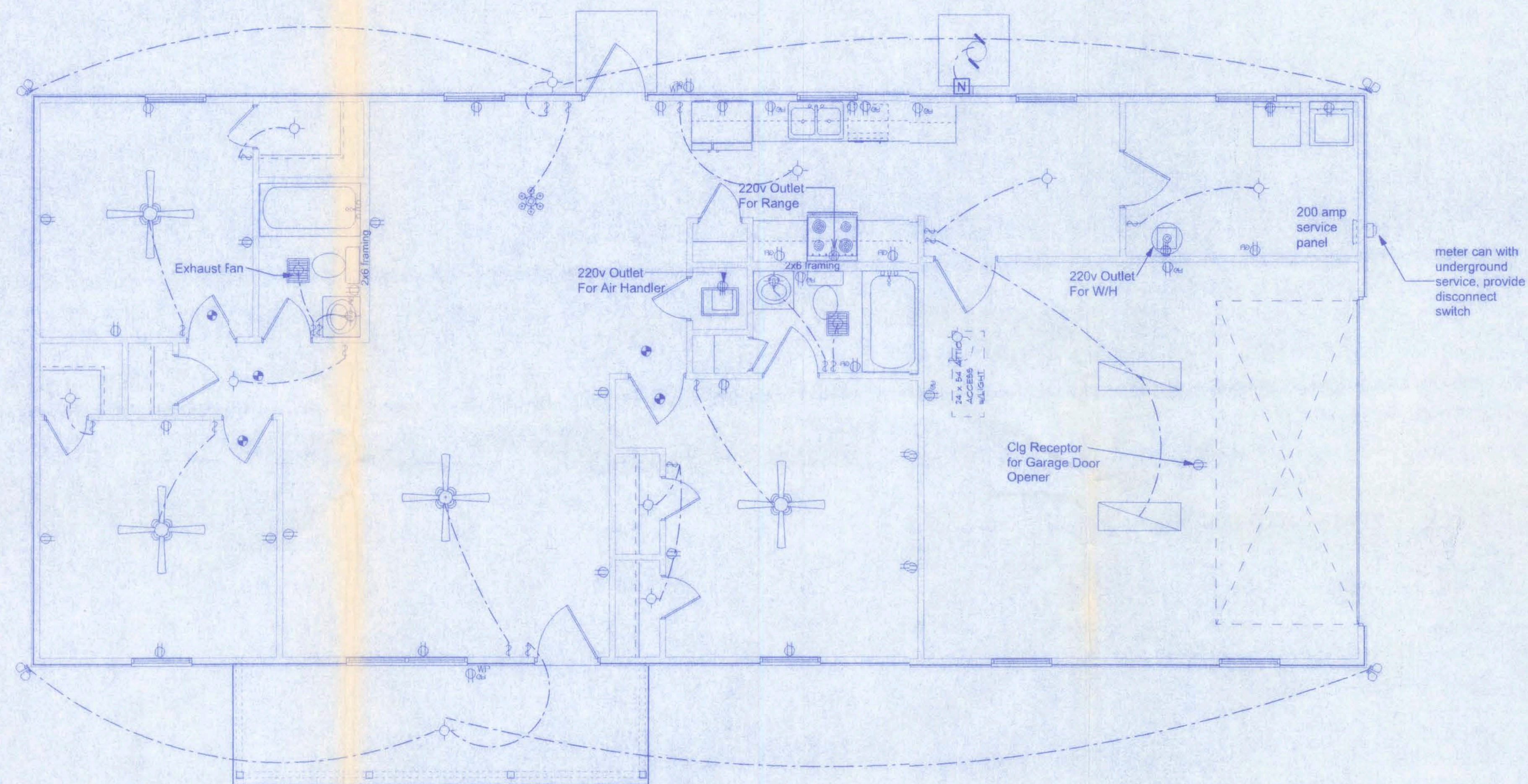
MATERIAL	MINIMUM THICKNESS (in)	GAGE	WEIGHT (lb)
COPPER			1
ALUMINUM	0.034		
STAINLESS STEEL		28	
GALVANIZED STEEL	0.0175	26 (ZINC COATED 590)	
ZINC ALLOY LEAD PAINTED TERNE	0.027		2 1/2 20

STEEL COATING RECOMMENDATIONS IN PRESSURE TREATED WOOD:

- Thicker galvanizing generally extends service life of a product. The treated wood industry recommends use of Stainless Steel and hot-dip galvanized connectors and fasteners with treated wood.
- Due to the uncertainties, which are out of the specifiers control, in regard to the chemicals used in pressure treated wood, Simpson recommends the use of stainless steel fasteners, anchors and connectors with treated wood when possible. At a minimum, customers should use ZMAX (G185 HDG per ASTM A653), Batch-Post Hot-Dip Galvanized (per ASTM A173 for connectors and ASTM A153 for fasteners), or mechanically galvanized fasteners (per ASTM B695, Class 55 or greater) product with the newer alternative treated woods.
- 650 galvanized products should not be used with treated woods.
- 690 galvanized connectors can be used with Sodium Borate (DOT - Disodium Octaborate Tetrahydrate) treated woods.
- Sodium Borate Treated woods are not suitable for applications where moisture exposure is likely. They are suitable for mudall applications when transported, stored, and installed appropriately.
- When using stainless steel or hot-dip galvanized connectors, the connectors and fasteners should be made of the same material.

Simpson Strong-Tie Product Finishes	Untreated Wood	Chromated Copper Arsenate (CCA-C)	DOT Sodium Borate (SBX)	Alkaline Copper Quat ACO-C and ACO-D (Carbonate)	Copper Azole (CBA-A and CA-B)	SBX (DOT) with NABIO	Ammoniacal Copper Zinc Arsenate (ACZA)	Other Pressure Treated Woods
Standard (590)	X	X	X					
ZMAX (G185)	X	X	X	X	X	X		
Post Hot-Dip Galvanized (HDG)	X	X	X	X	X	X	X	X
SST300 (Stainless Steel)	X	X	X	X	X	X	X	X





### ELECTRICAL PLAN

SCALE: 1/4" = 1'-10"

ELECTRICAL	SYMBOL
ceiling fan spotlights 1	
ceiling lamp large	
Light-Attic Access	
chandelier	
double spotlight	
HVAC motor	
Meter can	
electrical panel	
non-fused disconnect	
50 cfm exhaust fan	
light	
outlet	
outlet 220v	
outlet gfi	
smoke detector	
switch	
weather proof GFI	

### ELECTRICAL PLAN NOTES

WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT PER MANUF. SPECIFICATIONS.

CONSULT THE OWNER FOR THE NUMBER OF SEPARATE TELEPHONE LINES TO BE INSTALLED.

INSTALLATION SHALL BE PER NAT'L. ELECTRIC CODE.

ALL SMOKE DETECTORS SHALL BE 120V W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER. INSTALL INSIDE AND NEAR ALL BEDROOMS.

TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNER'S DIRECTIONS, & IN ACCORDANCE W/ APPLICABLE SECTIONS OF NEC-LATEST EDITION.

ELECTRICAL CONTR SHALL PREPARE "AS-BUILT" SHOP DWGS INDICATING ALL ELECTRICAL WORK, INCLUDING ANY CHANGES TO THE ELEC. PLAN, ADD'NS TO THE ELEC. PLAN, RISER DIAGRAM, AS-BUILT PANEL SCHEDULE W/ ALL CKTS IDENTIFIED W/ CKT Nr., DESCRIPTION & BRKR, SERVICE ENT, & ALL UNDERGROUND WIRE LOCATIONS/ROUTING/DEPTH. RISER DIA. SHALL INCLUDE WIRE SIZES/TYPE & EQUIPMENT TYPE W/ RATINGS & LOADS. CONTRACTOR SHALL PROVIDE 1 COPY OF AS-BUILT DWGS TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY.

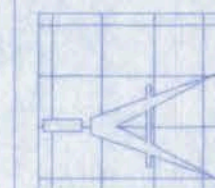
### NOTE:

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

W.H.F.  
7/5/06

COLONY COLUMBIA MODEL  
LOT 37 (HEIGHT ASHBURY)  
PRICE CHECK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386)758-4209



Freeman  
Design Group Inc.

DATE  
3/14/06

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W.H.F.

REVISIONS

SHEET  
A-5

OF  
6

PROJECT NO.

CERTIFICATE OF AUTHORIZATION # 00000701



### TYPICAL WALL SECTION

## BEAM/WALL CONNECTION

**A PORCH SECTION**  
SCALE: 3/4" = 1'-0"

### END WALL BRACING FOR CEILING DIAPHRAGM

NTS

NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

TYPICAL PERMANENT TRUSS BRACING DIAGRAM

NTS

## PLATFORM FRAMING

### SOFFIT/DROPPED CLG

## PENETRATIONS

FIREBLOCKING NOTES:

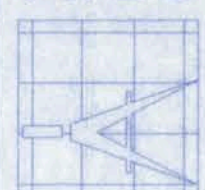
FIREBLOCKING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH PYROPLAN MULTIFLEX SEALANT
5. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIREBLOCKING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOIST'S AT THE ENDS AND OVER THE SUPPORTS.

COLONY COLUMBIA MODEL  
LOT 37 (HEIGHT ASHBURY)  
DRTG C/CECK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL. 32055  
(386)758-4209

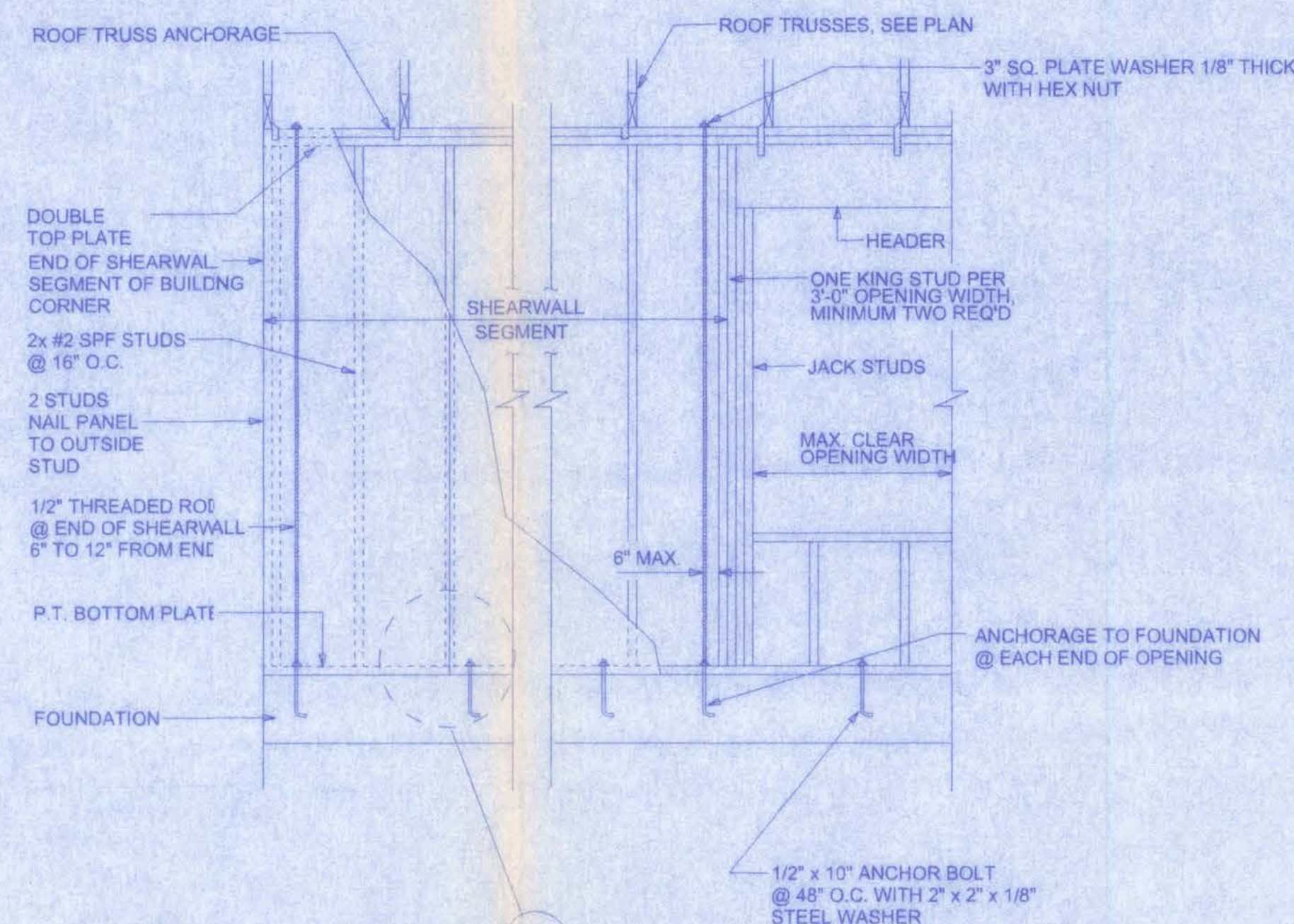
CERTIFICATE OF AUTHORIZATION # 95008701



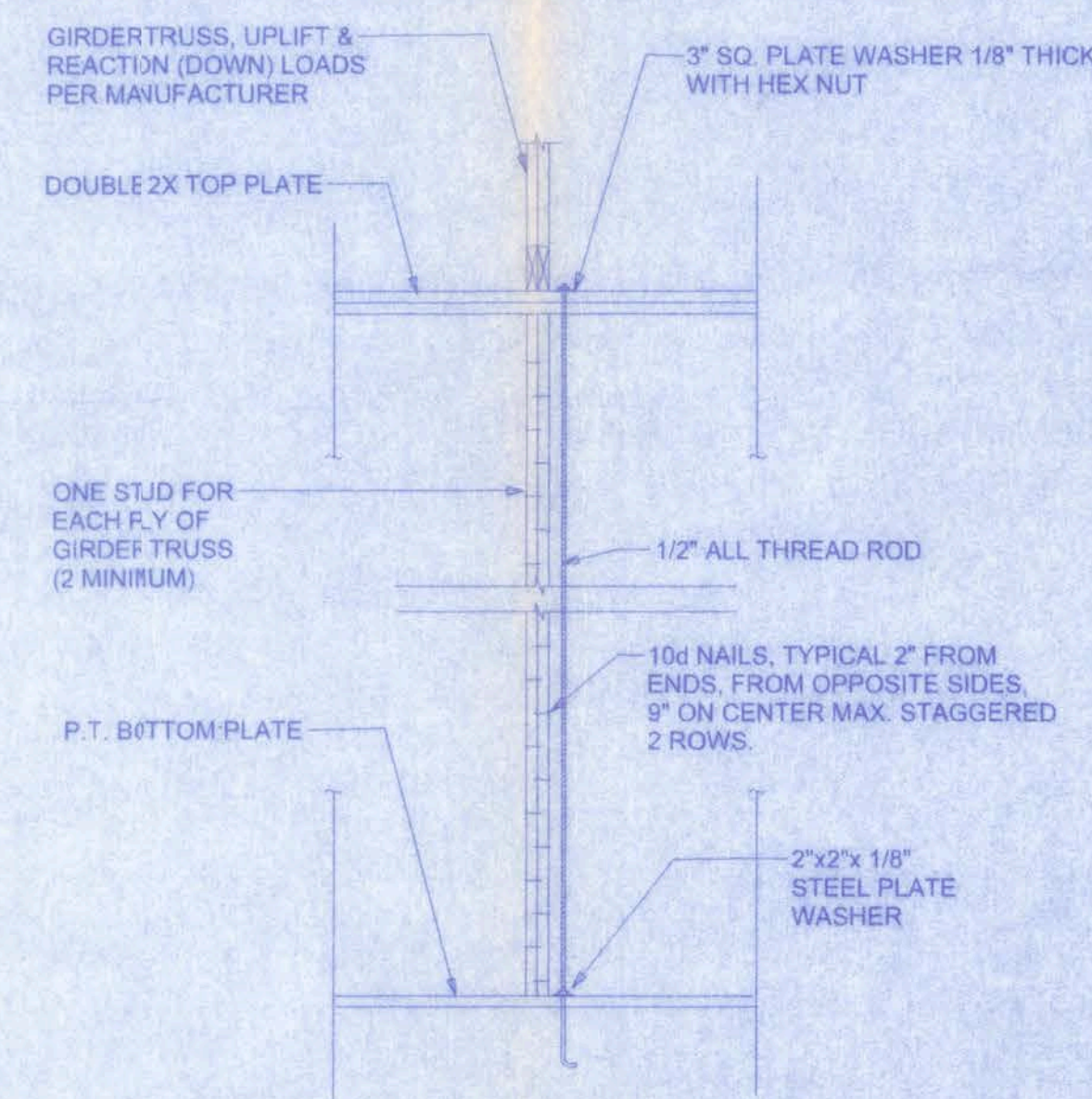
**Freeman**  
Design Group <sup>inc</sup>

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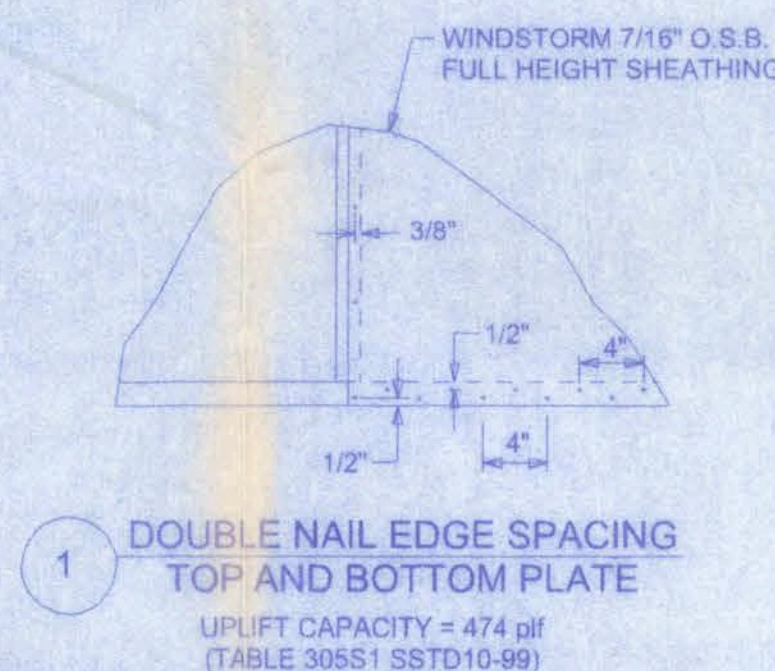


**SHEARWALL DETAILS**  
SCALE: 1/2" = 1'-0"



**GIRDER COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"

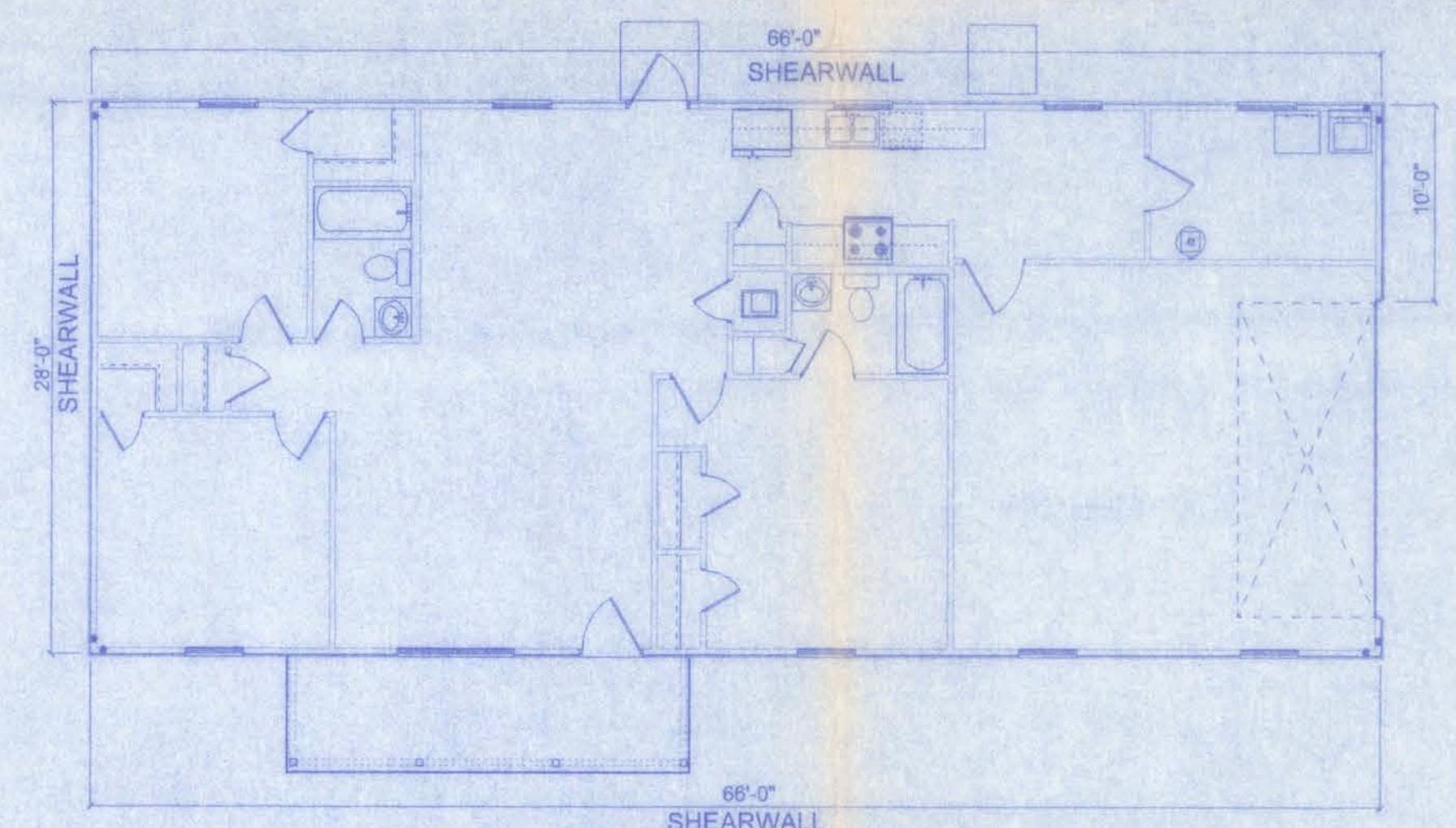
OPENING CONNECTION REQUIREMENTS				
CLEAR OPENING WIDTH	HEADER SIZE #2 GRADE OR BETTER	END BEARING	CONNECTOR AT EACH END OF OPENING	ANCHORAGE TO FOUNDATION @ EACH END OF OPENING
0' - 3'	(2) 2x8	1.5"	N/A	N/A
>3' - 6'	(2) 2x10	3"	N/A	N/A
>6' - 9'	(2) 2x12	3"	1/2" ALL THREAD ROD	1/2" ALL THREAD ROD
>9' - 12'	(2) 1 3/4" x 11 1/4" LVL - 2.0E	3"	1/2" ALL THREAD ROD	1/2" ALL THREAD ROD
>12' - 15'	(2) 1 3/4" x 11 1/4" LVL - 2.0E	3"	1/2" ALL THREAD ROD	1/2" ALL THREAD ROD
>15' - 18'	(2) 1 3/4" x 11 1/4" LVL - 2.0E	4.5"	1/2" ALL THREAD ROD	1/2" ALL THREAD ROD



**SHEARWALL NOTES:**

- ALL SHEARWALLS SHALL BE TYPE 2 SHEARWALLS AS DEFINED BY STD 10-99 305.4.3.
- THE WALL SHALL BE ENTIRELY SHEATHED WITH 7/16" O.S.B. INCLUDING AREAS ABOVE AND BELOW OPENINGS.
- ALL SHEATHING SHALL BE ATTACHED TO FRAMING ALONG ALL FOUR EDGES WITH JOINTS FOR ADJACENT PANELS OCCURRING OVER COMMON FRAMING MEMBERS OR ALONG BLOCKING.
- NAIL SPACING SHALL BE 6" O.C. EDGES AND 12" O.C. IN THE FIELD.
- TYPE 2 SHEARWALLS ARE DESIGNED FOR THE OPENING IT CONTAINS. MAXIMUM HEIGHT OF OPENING SHALL BE 5/6 TIMES THE WALL HEIGHT. THE MINIMUM DISTANCE BETWEEN OPENINGS SHALL BE THE WALL HEIGHT/3.5 i.e. FOR 8'-0" WALLS - (2'-3").

OPENING WIDTH	SILL PLATES	16d TOE NAILS EACH END
UP TO 6'-0"	(1) 2x4 OR (1) 2x6	1
> 6' TO 9'-0"	(3) 2x4 OR (1) 2x6	2
> 9' TO 12'-0"	(5) 2x4 OR (2) 2x6	3



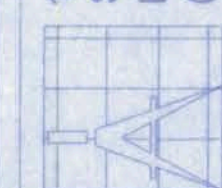
**SHEARWALL PLAN**  
SCALE: 1/8" = 1'-0"

• ALL THREAD ROD LOCATIONS

Colony Creek  
3/14/06

**COLONY COLUMBIA MODEL**  
**LOT 37 (HEIGHT ASHBURY)**  
P&TCE CREEK

161 NW MADISON STREET  
SUITE #102  
LAKE CITY, FL 32055  
(386) 768-4209



**Freeman**  
Design Group Inc.

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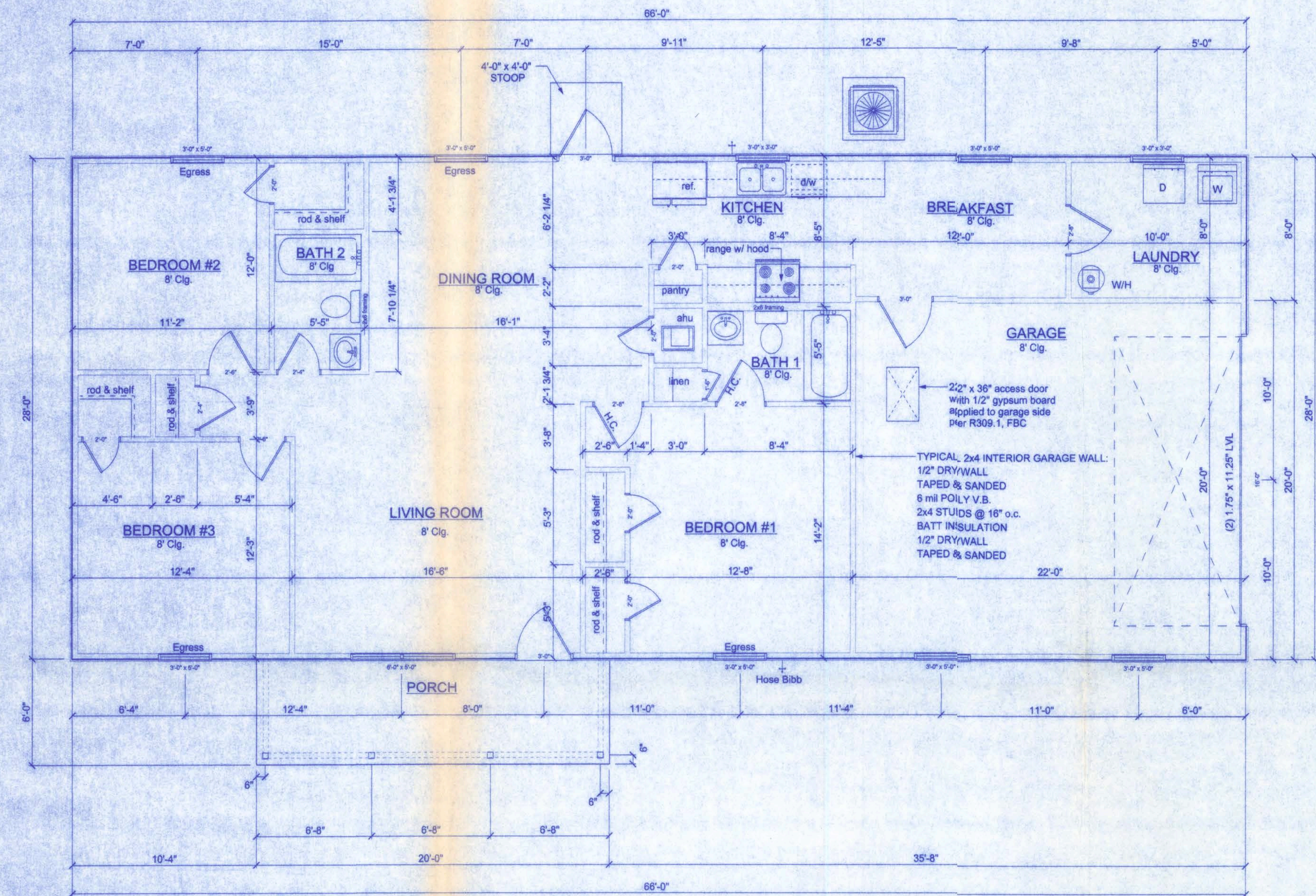
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FLOOR PLAN  
SCALE: 1/4" = 1'-0"

AREA SUMMARY

TOTAL LIVING	1,432 SF
PORCH	106 SF
GARAGE	439 SF
TOTAL	1,977 SF

NOTE:  
ALL WIND LOADS ARE IN ACCORDANCE WITH SECTION 1609, FLORIDA BUILDING CODE, 2004 EDITION.

BASIC WIND SPEED	110 MPH
IMPORTANCE FACTOR	1.0
BUILDING CATEGORY	2
EXPOSURE	B
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
COMPONENT AND CLADDING PRESSURE	WALLS +21.8/-29.1 PSF
	ROOF +12.5/-29.1 PSF
	OVERHANGS -71.6 PSF
TYPE OF STRUCTURE	ENCLOSED
ROOF DEAD LOAD	10 psf
ROOF LIVE LOAD	20 psf
FLOOR DEAD LOAD	20 psf
FLOOR LIVE LOAD	40 psf

NOTE:  
BATHROOM EXHAUST SHALL BE DIRECTED TO OUTSIDE OF BUILDING. EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. AIR EXHAUST OPENINGS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLS IF TERMINATING OUT DOORS.

NOTE:  
CONDENSATE WASTE AND DRAIN LINE SIZE SHALL BE NOT LESS THAN 3/4" INTERNAL DIAMETER AND SHALL NOT DECREASE IN SIZE FROM THE DRAIN PAN CONNECTION TO THE PLACE OF CONDENSATE DISPOSAL.

NOTE:  
CONDENSATE LINES AND ROOF DOWN SPOUTS SHALL DISCHARGE AT LEAST ONE FOOT AWAY FROM THE STRUCTURE SIDEWALL. IN CASES WHERE THE ROOF EAVE IS LESS THAN 6 INCHES, GUTTERS MUST BE INSTALLED AND DIRECT WATER A MINIMUM OF 1 FOOT FROM THE STRUCTURE.

NOTE:  
EACH VERTICAL DRYER VENT RISER SHALL BE PROVIDED WITH A CLEANOUT. DRYER EXHAUSTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER WITHOUT SCREENS.

NOTE:  
THE MINIMUM NATURAL VENTILATION AREA REQUIRED FOR GARAGES SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. THE MINIMUM MECHANICAL VENTILATION FOR GARAGES SHALL BE 100 CFM PER CAR.

OPENING PROTECTION:  
openings from a private garage directly into a room used for sleeping purposes shall not be permitted. other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" in thickness, solid or honeycomb steel doors not less than 1 3/8" thick, or a 20-minute fire rated doors.

SEPARATION REQUIRED:  
the garage shall be separated from the residence and its attic area by not less than 1/2" gypsum board applied to the garage side. garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8" Type X gypsum board or equivalent. where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2" gypsum board or equivalent.

DUCT PENETRATION:  
ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage sheet steel or other approved material and shall have no openings into the garage.

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
rfters having slopes greater than 2/12 with no finished ceiling attached to rfters	L/180
interior walls and partitions	H/180
floors and plastered ceilings	L/360
all other structural members	L/240
exterior walls with plaster or stucco finish	H/360
exterior walls - wind loads with brittle finishes	L/240
exterior walls - wind loads with flexible finishes	L/120

NOTE:  
EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:

ANSI/AAMA/NWDDA 101/IS2 2/97

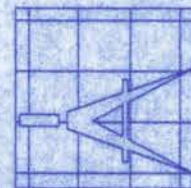
THE CONSTRUCTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 330, STANDARD TEST METHODS FOR STRUCTURAL PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM STATIC AIR PRESSURE.

EMERGENCY EGRESS:  
EVERY BEDROOM SHALL HAVE NOT LESS THAN ONE OUTSIDE WINDOW FOR EMERGENCY RESCUE THAT COMPLIES WITH THE FOLLOWING:  
1. SUCH WINDOWS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20 INCHES IN WIDTH, 24 INCHES IN HEIGHT, AND 5.7 SQFT IN AREA.  
2. THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR, AND ANY LATCHING DEVICE SHALL BE CAPABLE OF BEING OPERATED FROM NOT MORE THAN 54 INCHES ABOVE THE FINISHED FLOOR.  
3. THE CLEAR OPENING SHALL ALLOW A RECTANGULAR SOLID, WITH A WIDTH AND HEIGHT THAT PROVIDES NOT LESS THAN THE REQUIRED 5.7 SQFT OPENING AND A DEPTH NOT LESS THAN 20 INCHES, TO PASS FULLY THROUGH THE OPENING.  
4. SUCH WINDOWS SHALL BE ACCESSIBLE BY THE FIRE DEPARTMENT AND SHALL OPEN INTO AN AREA HAVING ACCESS TO A PUBLIC WAY.

PRODUCT CODE	SIZE	HINGE DIRECTION	COUNT
36x80 colonial	3'-0"	L	1
36x80 colonial	3'-0"	L	1
108x84 - 3 panel Garage Door	9'-0"	N	1
1668	1'-6"	L	1
2068	2'-0"	L	5
2468	2'-4"	L	2
2668	2'-6"	R	2
2868	2'-8"	R	1
2868	2'-8"	R	2
3068	3'-0"	R	1
(2) SH 3050	6'-0" x 5'-0"	NN	1
SH 3030	3'-0" x 3'-0"	N	1
SH 3050	3'-0" x 5'-0"	N	4

COLONY COLUMBIA MODEL  
LOT 37 PRICE CREEK

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