

DATE 03/19/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025630

APPLICANT CLARENCE TATE PHONE 904 338-7972
ADDRESS P.O. BOX 1632 GREEN COVE SPRINGS FL 32043
OWNER WILLIAM LILLY PHONE 813 968-2851
ADDRESS 375 SW BOSTON TERR FT. WHITE FL 32038
CONTRACTOR JONATHAN LANG PHONE 904 213-0722
LOCATION OF PROPERTY 47S, TR ON 27, TL ON RIVERSIDE AVE, TL ON UTAH, TR ON WASHINGTON, TL ON BOSTON TERR, 8TH LOT ON LEFT(375)
TYPE DEVELOPMENT FRAMED SHED ESTIMATED COST OF CONSTRUCTION 18081.00
HEATED FLOOR AREA 512.00 TOTAL AREA HEIGHT STORIES 1
FOUNDATION WOOD WALLS FRAMED ROOF PITCH 3/12 FLOOR WOOD
LAND USE & ZONING A-3 MAX. HEIGHT 17
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 23-6S-15-01073-000 SUBDIVISION THREE RIVERS ESTATES
LOT 63 BLOCK PHASE UNIT 18 TOTAL ACRES

CBC1251776
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X07-110 BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 1107

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 95.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 170.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CK# 1107

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0703-13 Date Received 3/5 By LH Permit # 25630
Application Approved by - Zoning Official B2K Date 060307 Plans Examiner OK JTH Date 3-14-06
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments NOC

Applicants Name CLARENCE TATE Phone (904) 338-7972

Address P.O. BOX 1632, GREEN COVE SPRINGS, FL. 32043

Owners Name William LILLY Phone (813) 968-2851

911 Address 375 SW Boston Terr. Ft. White, FL. 32038

Contractors Name Jonathan LANG CLASSIC MANOR BUILDERS Phone (904) 213-0722

Address 1033 Blanding Blvd. Ste#301 Orange Park, FL. 32065

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address David L Narramore AIA P.O. Box 8438 Greenville, S.C. 29804

Mortgage Lenders Name & Address _____

Circle the correct power company - NO UTILITIES-STORAGE ONLY
FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 00-00-00-1 01073-000 Estimated Cost of Construction 18,081.01

Subdivision Name THREE RIVERS ESTATE Lot 63 Block _____ Unit 18 Phase _____

Driving Directions TR HIWAY #27 N. turn left Paved Rd befor Itchatuckni bridge (Riverside Ave.)
turn left on Washington turn right on boston Terr. go to 375
Jonathan TR left 8th on left

Type of Construction 16'x32' WOOD FRAME SHED Number of Existing Dwellings on Property 1

Total Acreage 0.91 Lot Size 100x400 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 130' Side 34' Side 34' Rear 254'

Total Building Height 17' Number of Stories ONE W/LOFT Floor Area 512 sf. Roof Pitch 3/12-Gambrel

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

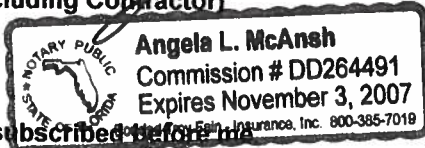
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William Lilly
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
this 5th day of March 20 07.

Personally known _____ or Produced Identification _____



Jonathan Lang
Contractor Signature
Contractors License Number CBC1251776
Competency Card Number _____
NOTARY STAMP/SEAL

Angela L. McAnsh
Commission # DD264491
Expires November 3, 2007
Bonded Tray Fain - Insurance, Inc. 800-385-7019
Notary Signature

- J.L. called 3/14/07

@ CAM112M01	CamaUSA Appraisal System		Columbia County
3/06/2007 12:33	Legal Description Maintenance	17300	Land 002
Year T Property	Sel		AG 000
2007 R 00-00-00-01073-000		2189	Bldg 001
THREE RIVERS ESTATES		600	Xfea 001
LILLY WILLIAM LEE & LORRI JO		20089	TOTAL B

1	LOT 63 UNIT 18 THREE RIVERS	ESTATES. ORB 853-360,	2
3	903-425, CORR DEED 904-1412,		4
5			6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 6/21/2000 TERRY

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More



Florida Satellite Office
1033 Blanding Blvd Ste 301
Orange Park, FL 32065
(904) 213-0722
Fax (904) 213-0727

I, Jonathan Lang, licensed Florida Contractor, CRC# CBC1251776, hereby authorize Clarence Tate to obtain permits and any other documents under my name and license.

Regards,

Jonathan Lang

I hereby certify that on this day, before me, as an officer duly authorized in the state and county aforesaid to take acknowledgements, personally appeared Jonathan Lang who is personally known to me, or who has produced _____ as identification, and who did did not take an oath.

Witness my hand and official seal this 11 day of September 2006.

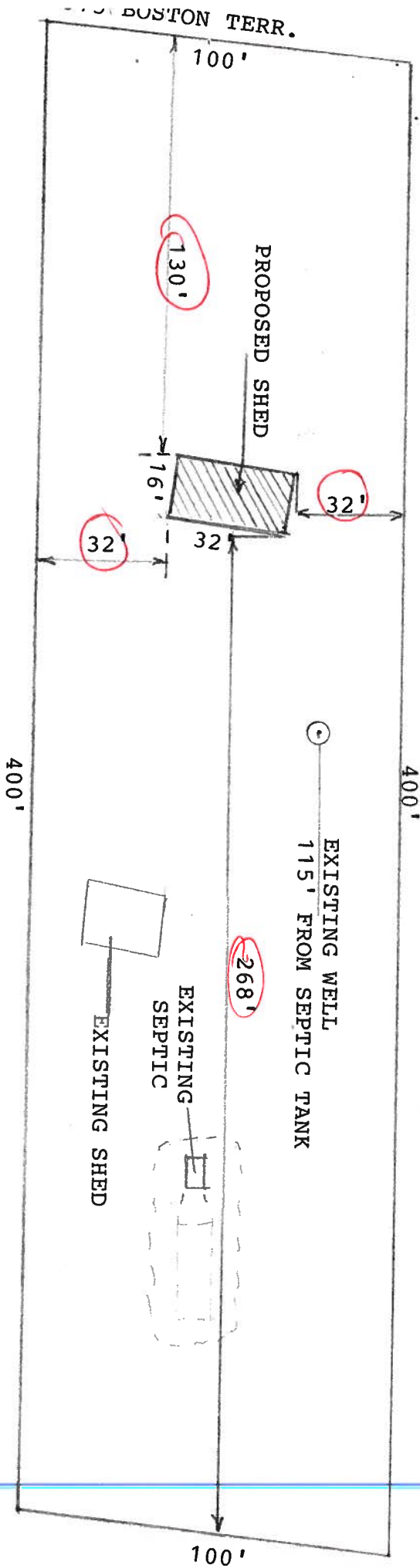
Notary Public



PROPERTY OF WILLIAM LILLY
375 SW Boston Terr.
Ft. White, Fl. 32038

LOT # 63
UNIT # 18
THREE RIVERS ESTATES
ORB 853-360-903-425

SCALE 1"=40'



FROM CHANCE & CAUSSEUX, INC, SECTION PLOT
3700 B-300 NW 91st Street
Gainesville Florida 32606

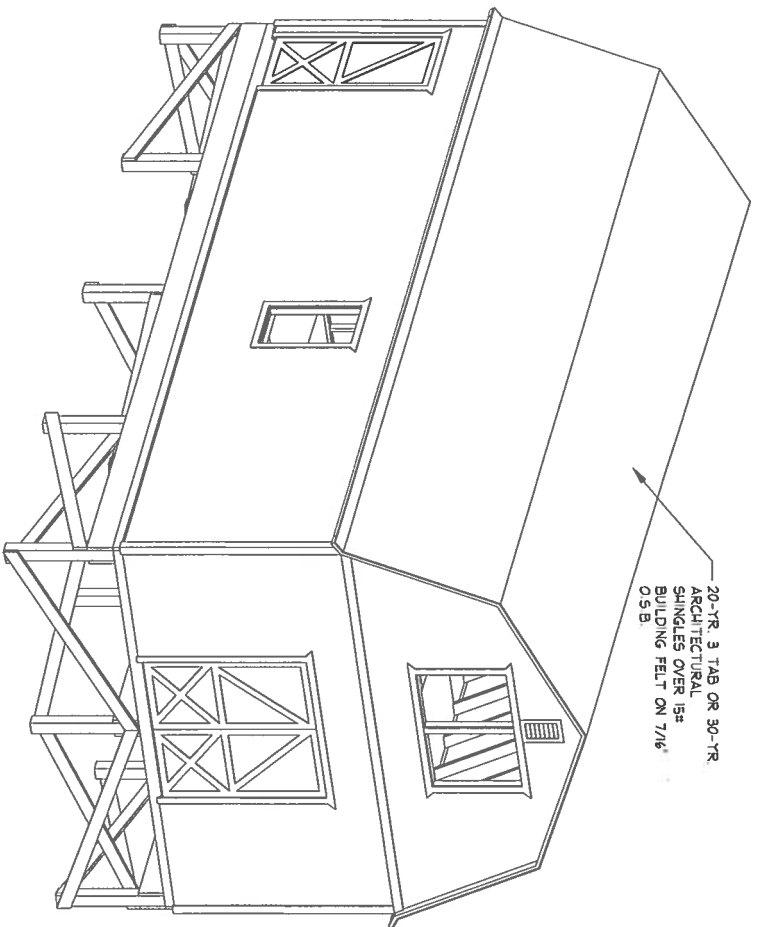
PURSUANT TO 2004 FLORIDA BUILDING CODE: RESIDENTIAL VOLUME

- A. BASIC WIND SPEED = 130 MPH
- B. WIND IMPORTANCE FACTOR = 0.77
- BUILDING CATEGORY = I
- C. WIND EXPOSURE CATEGORY 'B'
- D. INTERNAL PRESSURE COEFFICIENT = +0.18
- E. MAXIMUM WIND DESIGN PRESSURE FOR DESIGN OF EXTERIOR COMPONENT AND CLADDING = 40 PSF (0.28 PS)

THIS BUILDING AND ITS COMPONENTS HAVE BEEN DESIGNED TO BE IN GENERAL COMPLIANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE, RESIDENTIAL VOLUME.

GENERAL NOTES:

1. MINIMUM F_u FOR EXTERIOR LOAD BEARING STUDS @ 16" O.C. = 1800
MINIMUM F_u FOR EXTERIOR NON-LOAD BEARING STUDS @ 16" O.C. = 1800
UP/LIFT @ GABLE END WALLS @ 16" O.C. = 120#/STUD MIN TABLE 305 F1 = 320#/STUD
UP/LIFT LOADS @ SIDEWALLS MIN 100 LBS @ 10 PSF MIN TABLE 305 F1 = 320#/STUD
2. NAILING OF EXTERIOR SHEATHING (WALL AND ROOF) - 8d RING SHANK NAIL -
3" O.C. FOR TOP & BOTTOM, 6" O.C. SIDES, 12" O.C. INTERNAL
NAILING OF FLOOR - 8d COMMON NAIL @ 6" O.C. AT EDGES AND 12" O.C. INTERNAL
TO MEET WIND SPEEDS OF 130 MPH.
3. ANCHORS @ BLOCKS ARE 48" L., 5/8" DIA. W/409#
HOLDING CAPACITY = 409#
TIE DOWN ENGINEERING
SKU NO. 59065 (5) ANCHORS ON LEFT & RIGHT SIDE OF BUILDING.)
4. NAILING OF C516 STRAPS - USE (6) 1 1/2" #10 STRAP NAILS ON EVERY 14" OF C516
USED - TYPICAL ON ALL C516 STRAP CONNECTIONS
- FASTENING OF SIMPSON STRONGTIE H1 = (6) 8d x 1 1/2" NAILS
FASTENING OF SIMPSON STRONGTIE HTS20 = (6) 10d x 1 1/2" NAILS
FASTENING OF SIMPSON STRONGTIE LST346 = (6) 10d x 1 1/2" NAILS
5. DESIGN CRITERIA 2004 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO
FAMILY DWELLING FOR STRUCTURES OVER 200 SQ. FT.
IN COASTAL REGIONS: 2004 FLORIDA BUILDING CODE: RESIDENTIAL VOLUME:
INTERNATIONAL BUILDING CODE 2004 ED.
ASCE 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS AND
OTHER STRUCTURES.
6. THIS BUILDING IS DESIGNED TO RESIST HURRICANE FORCE WINDS OF 130 MPH.
7. THIS STRUCTURE IS DESIGNED ACCORDING TO SECTION R202 OF THE INTERNATIONAL
RESIDENTIAL BUILDING CODE, 2004 ED. AS AN ACCESSORY STRUCTURE. ITS USE IS
FOR A NON-DWELLING BUILDING WITH A COMBINED LIVE LOAD AND DEAD LOAD OF 40
PSF.



AXONOMETRIC ELEVATION

N.T.S.

FILE COPY

David L. Naramore
4/24/07



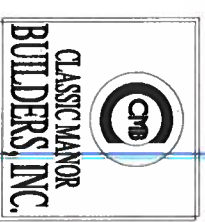
DAVID L. NARAMORE
AIA ARCHITECT

Architects & Planners
A MEMPHIS INSTITUTE
OF ARCHITECTURE

P.O. Box 8438 Greenville, SC 29604
310 Main Ave. Greenville, SC 29605

Phone: 864.244.8881
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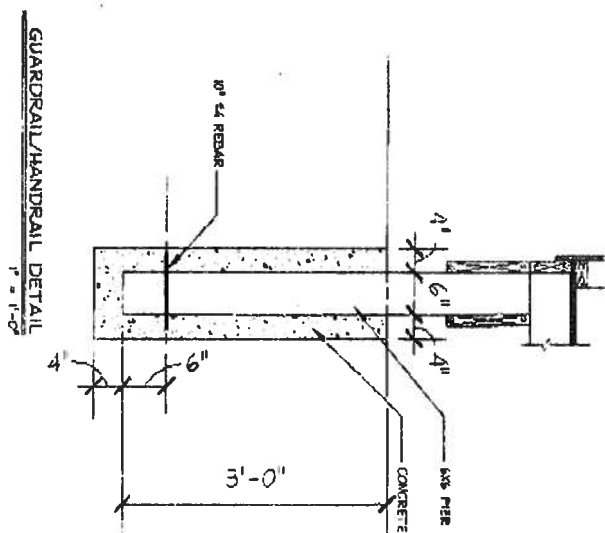


CLASSIC MANOR
BUILDERS, INC.

Summer Wind
16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
BILL LILLY	PROJECT NUMBER
05/08/04	ISSUE DATE
2.5.07	

A1



**DAVID L. NARRAMORE
AIA ARCHITECT**

Architects & Planners

ACEDAMINIST
OF ALCM17C270

Dr. Box 6626 Columbia, SC 29804
510 Mill Ave. Columbia, SC 29204

Phone: 0522429881
Fax: 0842325202

RECEIVED, HARRISBURG ASSOCIATES, INC.
C/O ROBERT BENTLEY, 200 N. FLEMING, L.A. 90012



Summer Wind

16 X 32
FLORIDA
COASTAL

ONCUMENT DATA

Bull Lilly

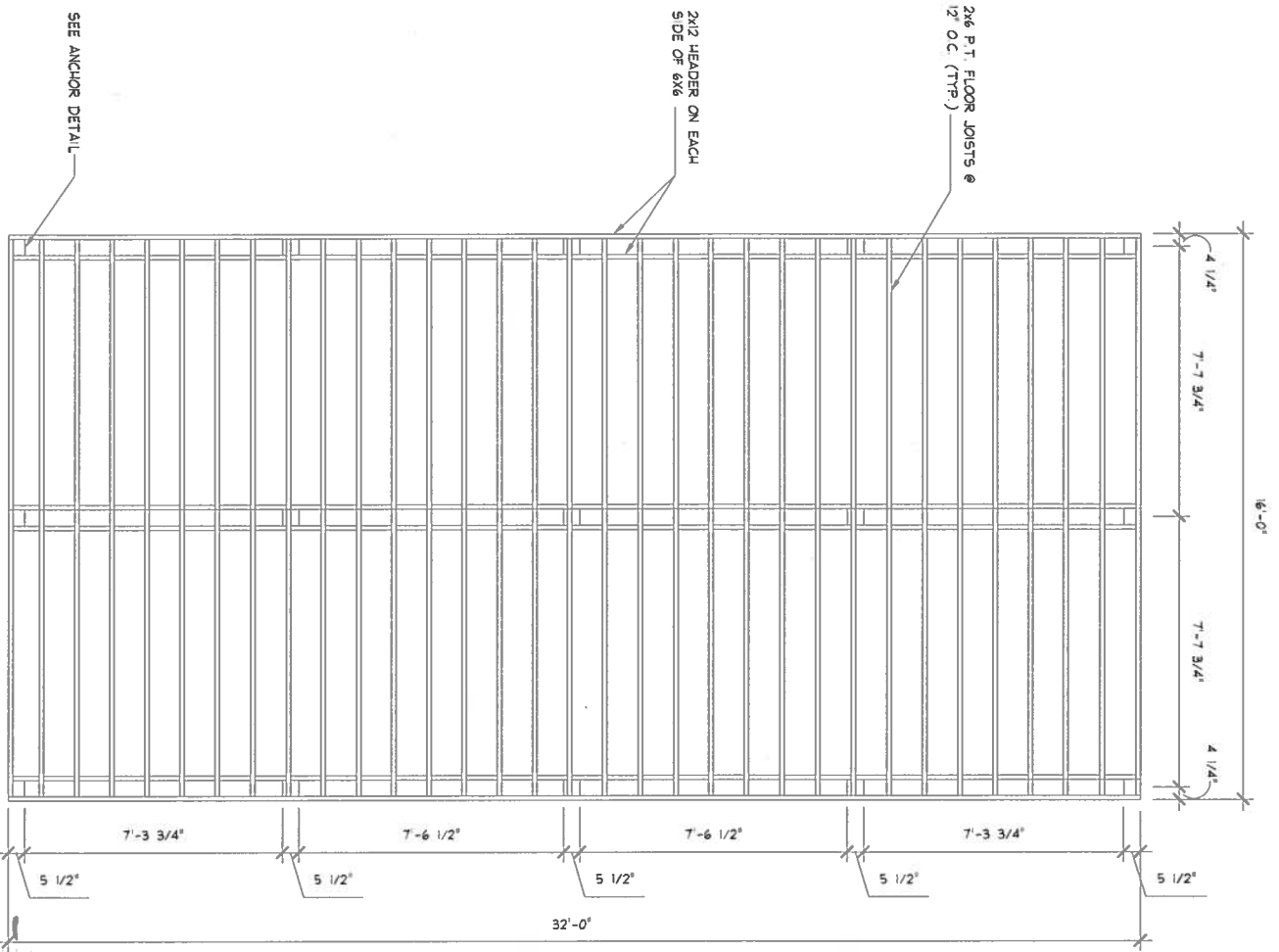
PROJECT NUMBER

05984

PSURE DATE
2-2-07

1957

A10



FIRST FLOOR FRAMING PLAN

3/16" = 1'-0"

Handwritten signature: David L. Naramore
Handwritten date: 4/28/07



DAVID L. NARAMORE
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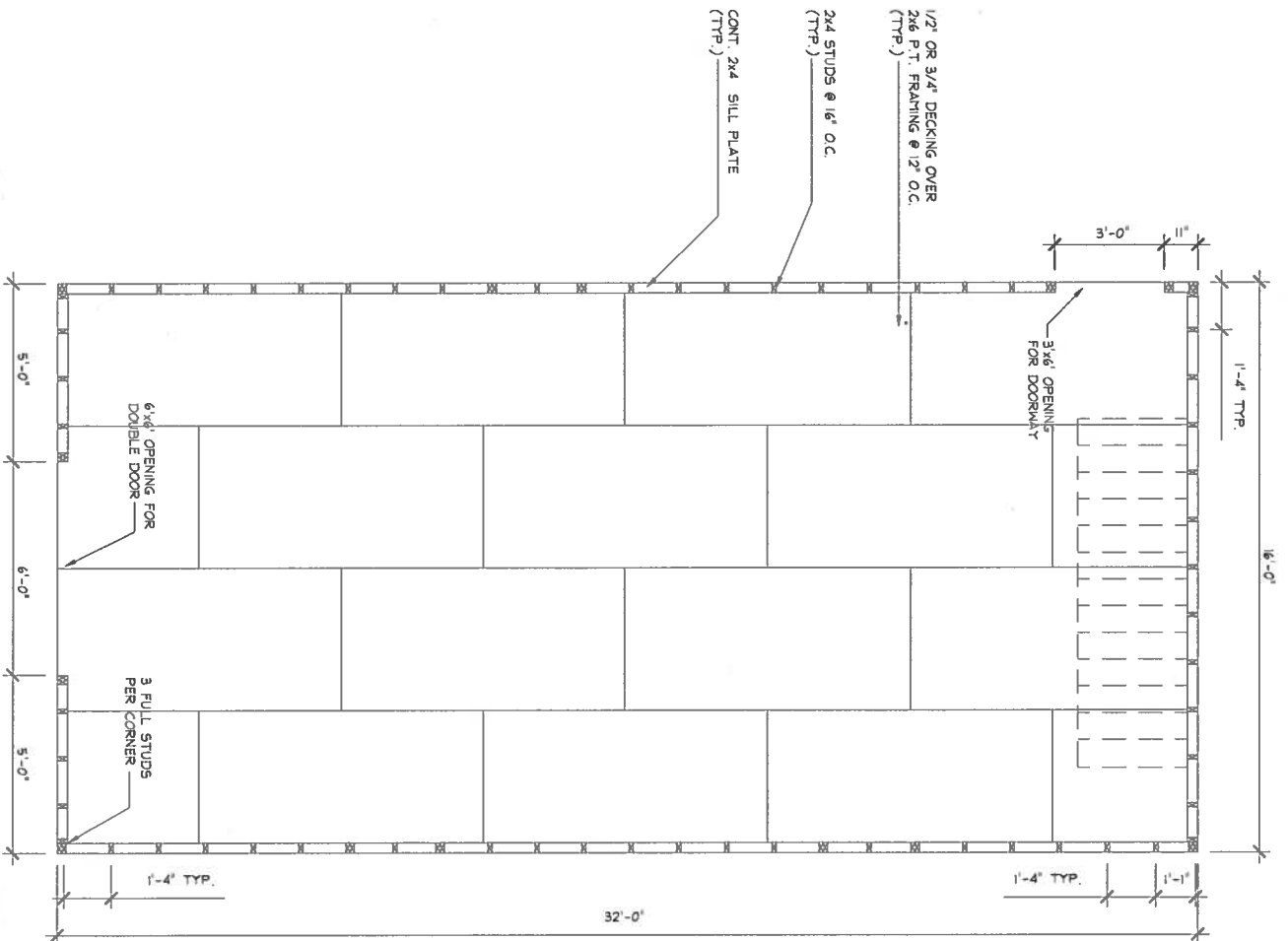
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Summer Wind
 16 X 32
 FLORIDA
 COASTAL

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 Bill Lilly
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 ISSUE DATE
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A2



FIRST FLOOR PLAN

3/6" = 1'-0"

David L. Naramore



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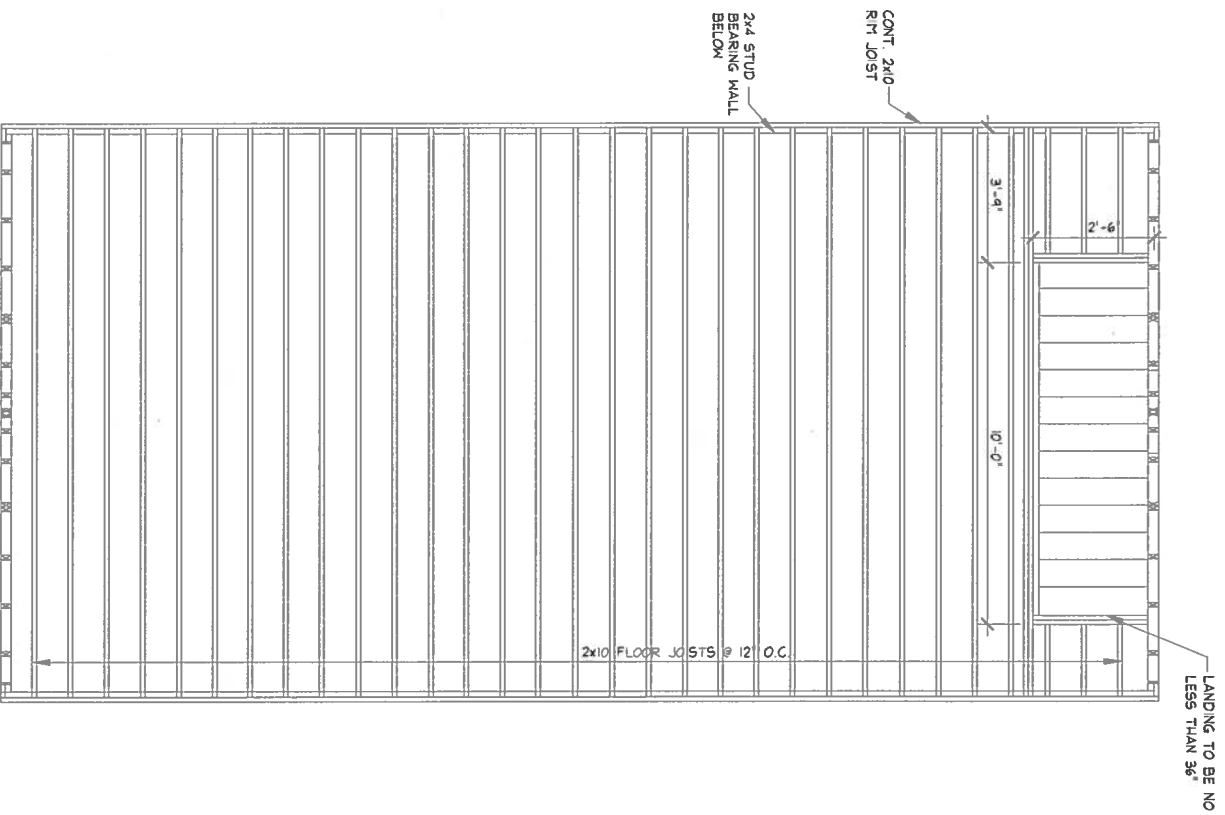


Summer Wind

16 X 32
FLORIDA
COASTAL

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ISSUE DATE
2.5.07

A3



SECOND FLOOR FRAMING PLAN

3/16" = 1'-0"

David L. Naramore



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Summer Wind

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COASTAL

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PROJECT NUMBER
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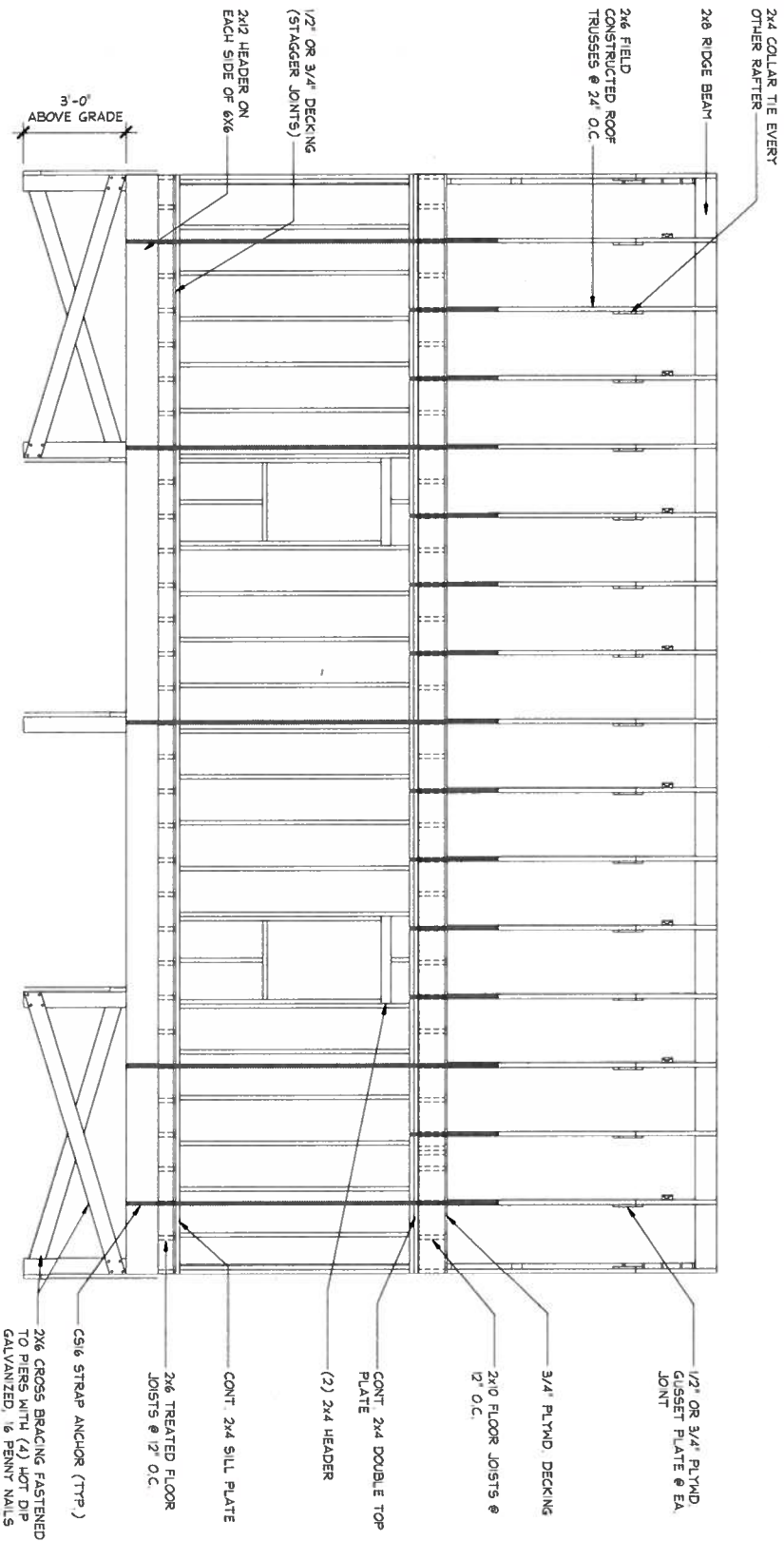
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CLASSIC MANOR
BUILDERS, INC.

Summer Wind
16 X 32
FLORIDA
COASTAL

RIGHT SIDE FRAMING ELEVATION

3/16" = 1'-0"



David L. Naramore
2/20/07

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ISSUE DATE
2.5.07

A5



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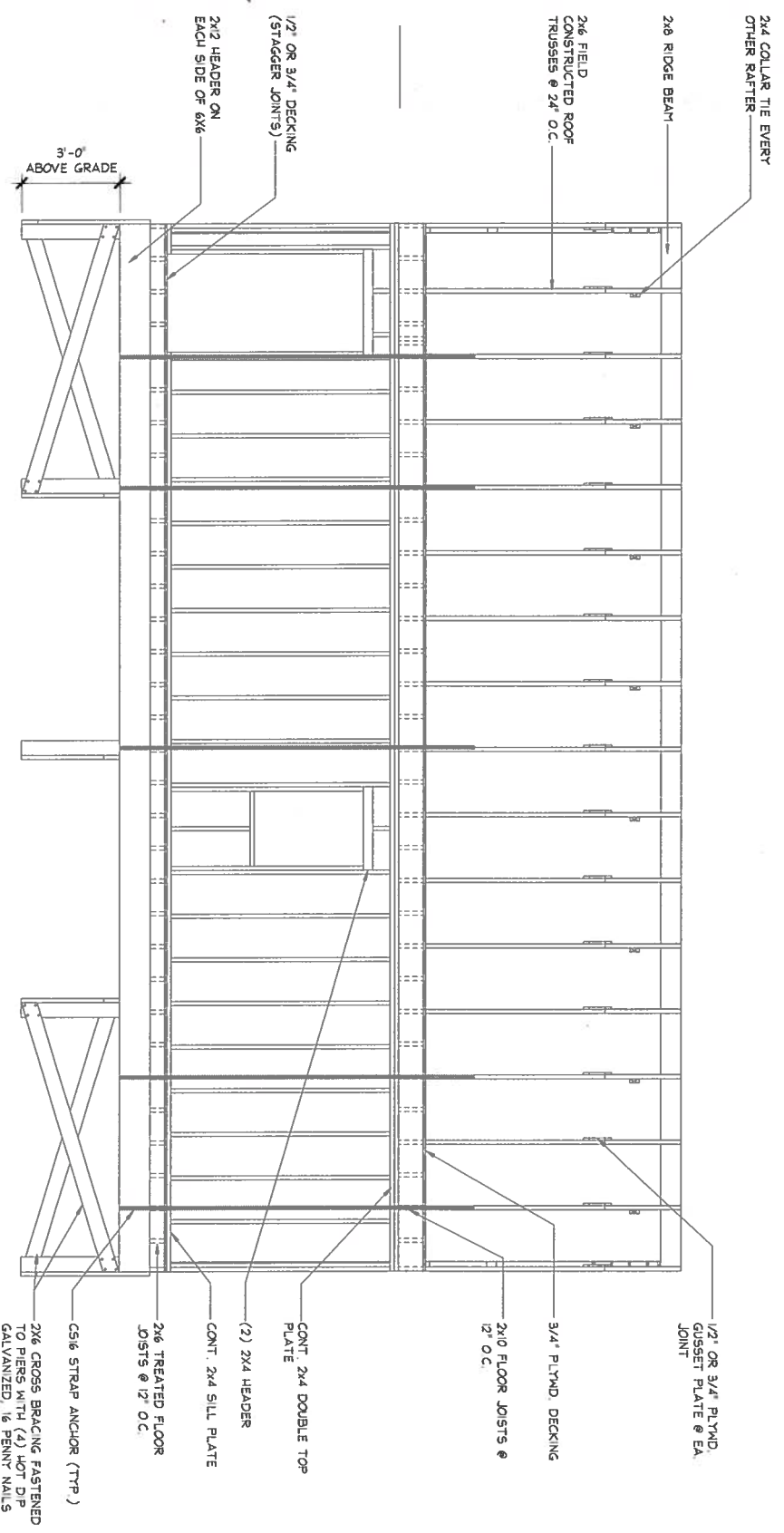
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COASTAL

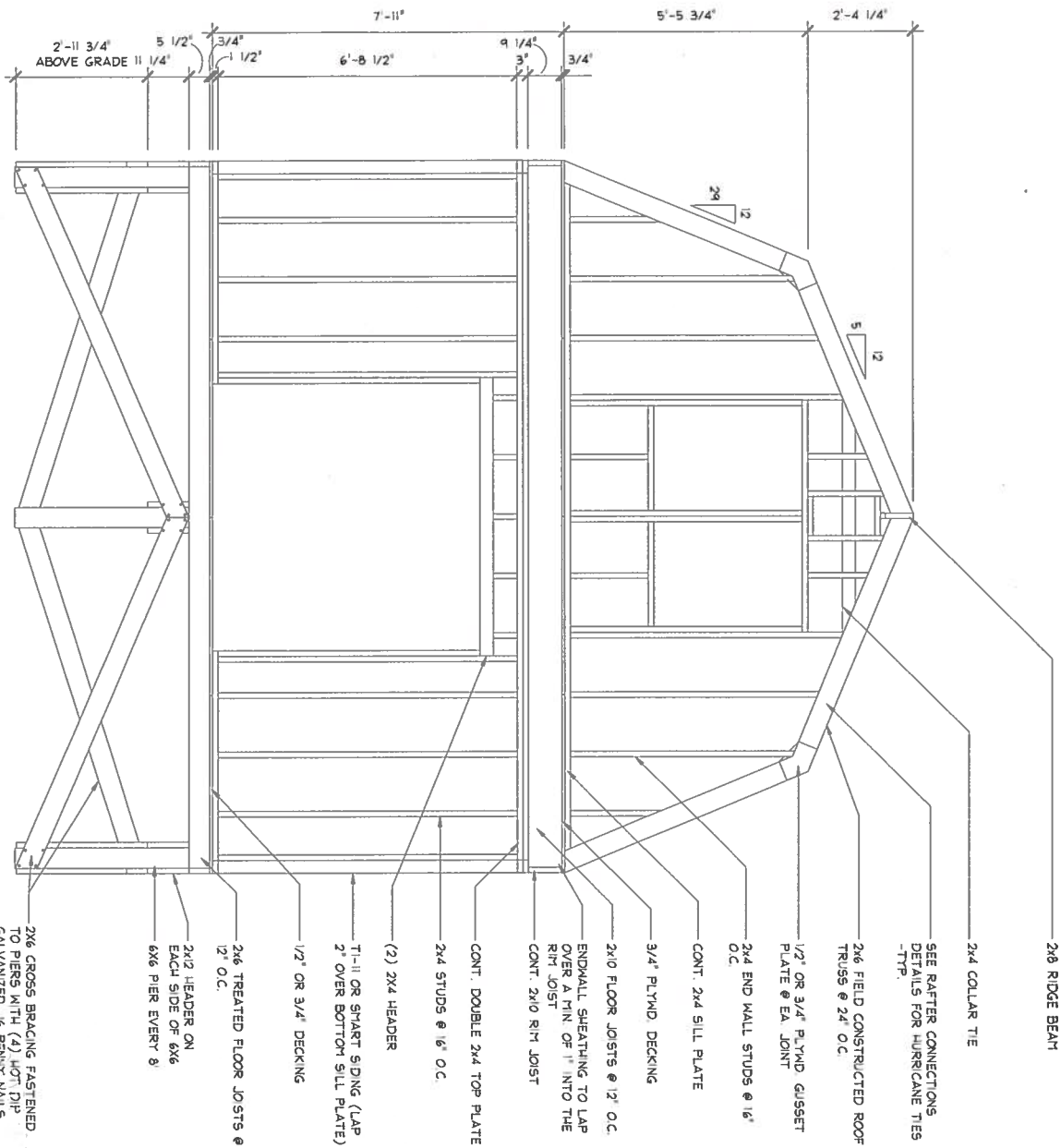
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05084	ISSUE DATE
2.5.07	

A6

LEFT SIDE FRAMING ELEVATION
3/16" = 1'-0"



David L. Naramore
A.I.A. ARCHITECT



FRONT FRAMING ELEVATION

1/4" = 1'-0"

- 2x6 RIDGE BEAM
- 2x4 COLLAR TIE
- SEE RAFTER CONNECTIONS
DETAILS FOR HURRICANE TIES
-TYP.
- 2x6 FIELD CONSTRUCTED ROOF
TRUSSES @ 24' O.C.
- 1/2" OR 3/4" PLYMD GUSSET
PLATE @ EA. JOINT
- 2x4 END WALL STUDS @ 16'
O.C.
- CONT. 2x4 SILL PLATE
- 3/4" PLYMD DECKING
- 2x10 FLOOR JOISTS @ 12' O.C.
- ENDWALL SHEATHING TO LAP
OVER A FIN OR T INTO THE
RFT JOIST
- CONT. 2x10 RM JOIST
- CONT. DOUBLE 2x4 TOP PLATE
- 2x4 STUDS @ 16' O.C.
- (2) 2x4 HEADER
- T-11 OR SHART SIDING (LAP
2" OVER BOTTOM SILL PLATE)
- 1/2" OR 3/4" DECKING
- 2x6 TREATED FLOOR JOISTS @
12' O.C.
- 2x12 HEADER ON
EACH SIDE OF 6x6
6x6 PIER EVERY 8'
- 2x6 CROSS BRACING FASTENED
TO PIERS WITH (4) HOT DIP
GALVANIZED, 16 PENNY NAILS

David L. Naramore



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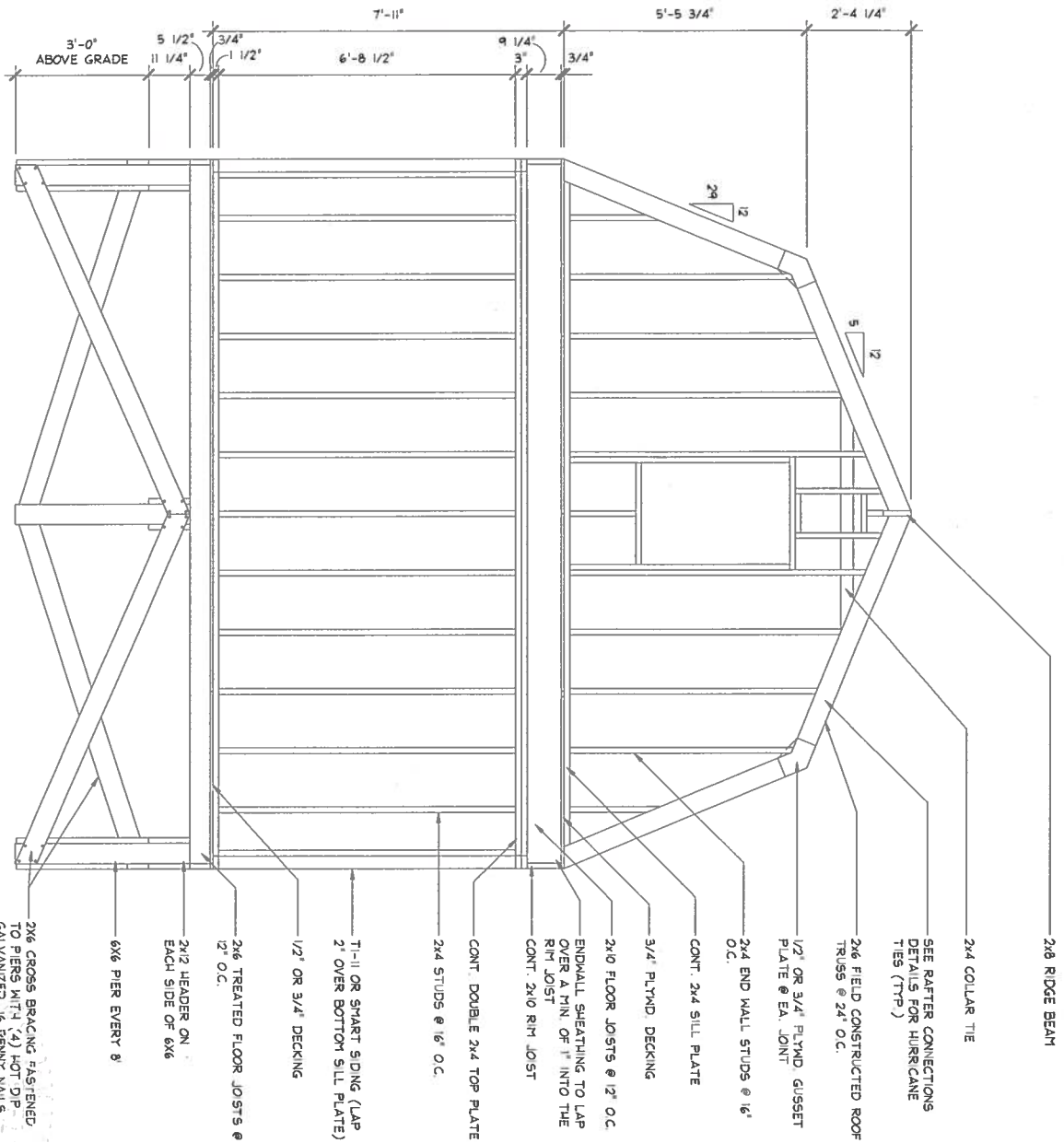
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Summer Wind
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A7



REAR FRAMING ELEVATION

1/4" = 1'-0"

2x6 CROSS BRACING FASTENED TO PIERS WITH (4) HOT DIP GALVANIZED 16 PENNY NAILS

6x6 PIER EVERY 8'

2x12 HEADER ON EACH SIDE OF 6x6

2x6 TREATED FLOOR JOISTS @ 12' O.C.

1/2" OR 3/4" DECKING

1"-11" OR SMART SIDING (LAP 2" OVER BOTTOM SILL PLATE)

2x4 STUDS @ 16' O.C.

CONT. DOUBLE 2x4 TOP PLATE

2x4 FLOOR JOISTS @ 12' O.C.

ENDWALL SHEATHING TO LAP OVER A MIN. OF 1" INTO THE RIM JOIST

CONT. 2x10 RIM JOIST

3/4" PLYMD DECKING

CONT. 2x4 SILL PLATE

2x4 END WALL STUDS @ 16' O.C.

1/2" OR 3/4" PLYMD GUSSET PLATE @ EA. JOINT

2x6 FIELD CONSTRUCTED ROOF TRUSSES @ 24' O.C.

SEE RAFTER CONNECTIONS DETAILS FOR HURRICANE TIES (TTP)

2x4 COLLAR TIE

2x6 RIDGE BEAM

David L. Naramore
 10/20/07
 10/20/07



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Summer Wind

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A8



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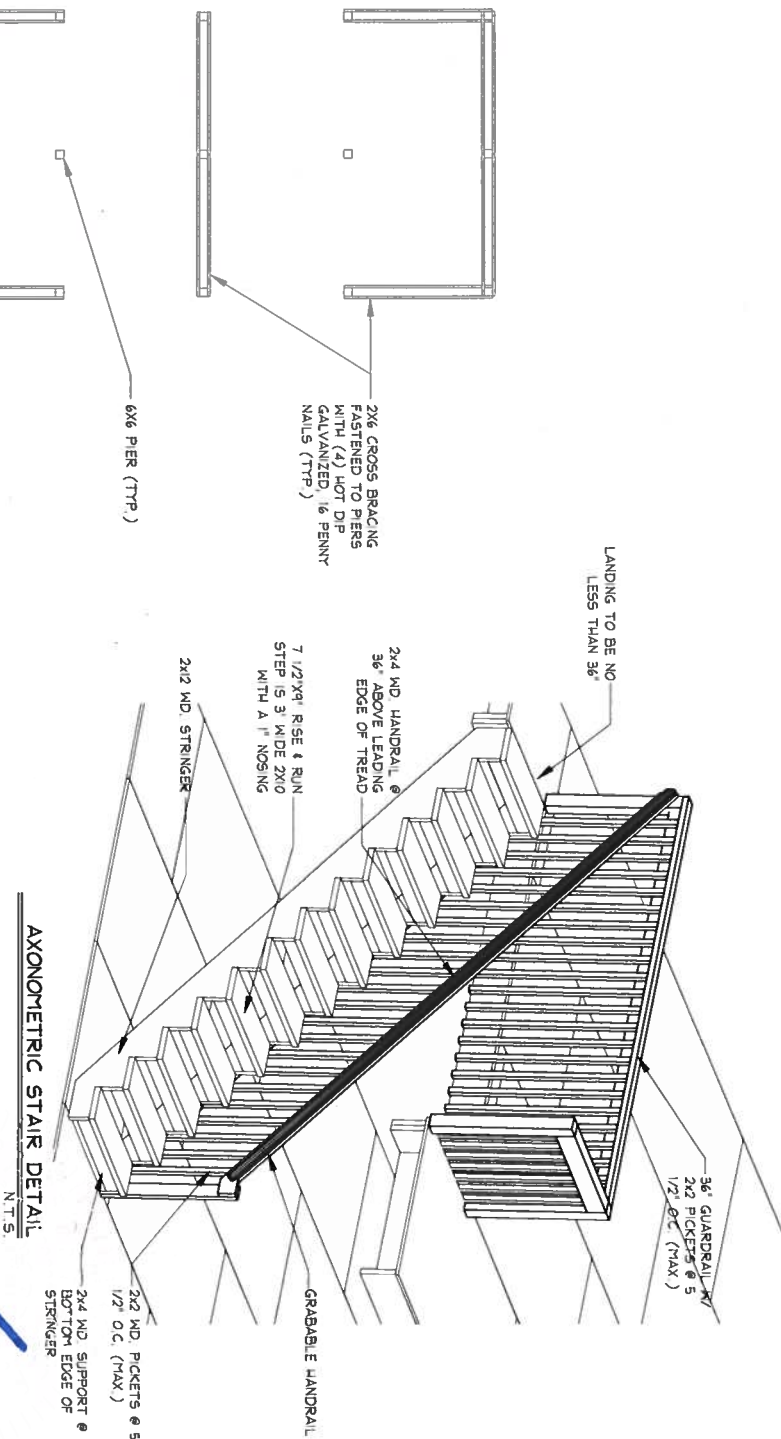
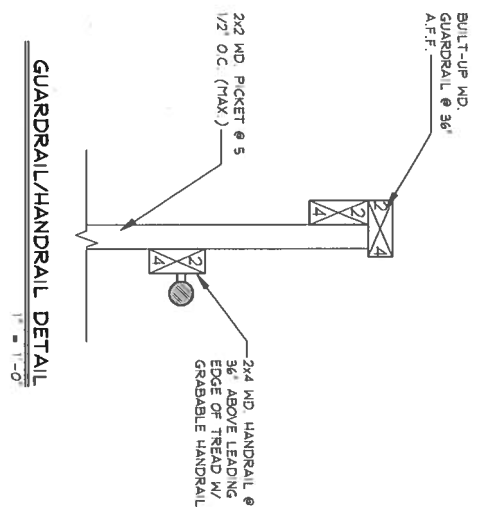
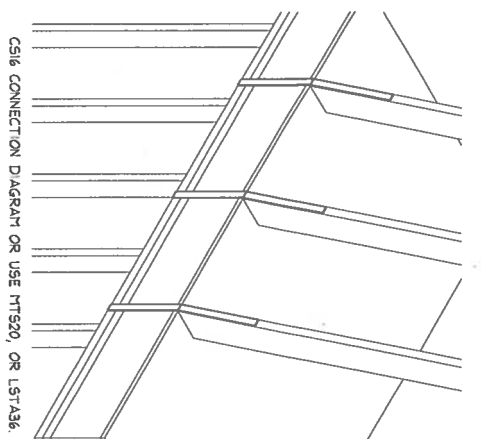
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CLASSIC MANOR
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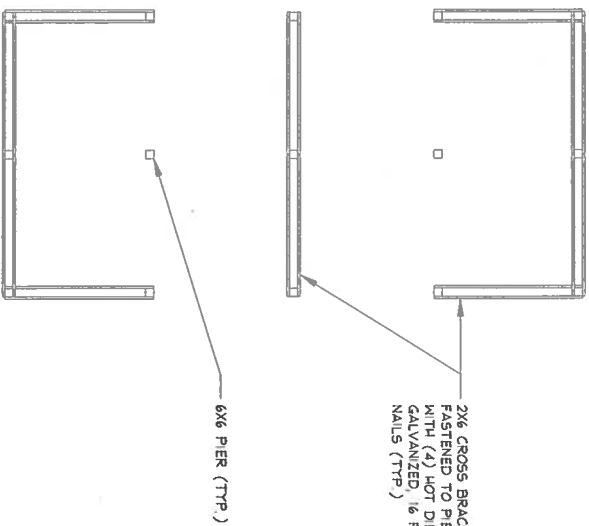
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05984	ISSUE DATE
2.5.07	

A9



CROSS BRACING PLAN

N.T.S.



Summer Wind
2.5.07

STATE OF FLORIDA WIND ANALYSIS

CLASSIC MANOR BUILDERS

BUILDING NAME:	SUMMER WIND	16' x 32'
BUILDING STATS:		
	FEET	INCHES
1. Short Wall:	16'	192
2. Long Wall:	32'	384
3. Block Height		9.00
4. Wall Height 1	8'	104
5. Wall Height 2	5'	66.5
6. Slope Height	2'	28

DESIGN CRITERIA:

- Florida Building Code 2004 Ed., IBC 2003 Ed., ASCE 7-02 Method 1.
- Wind speed = **130 MPH**
- Wind Importance Factor = 0.77 (FBC 2004 TBL 1604.5)
- Wind Exposure "B" (FBC 2004 1609.4)

Mean Roof Height (MRH):	
Block Ht. + Wall Ht. 1 + Wall Ht. 2 + 1/2(Slope Ht.) =	16.13'

Edge Strip:					
0.1 x (longest horiz. dimension) =	0.1 x	192	=	19.2	= 1.60'
0.4 x (eave height) =	0.4 x	193.56	=	77.424	= 6.45'
0.04 x (longest horiz. dimension) =	0.04 x	192	=	7.68	= 0.64'
USE 3' PER FBC 2004 1609.6.3					
End Zone:					
2 x (edge strip length) =	2 x	36 in.	=	72 in.	= 6.00'

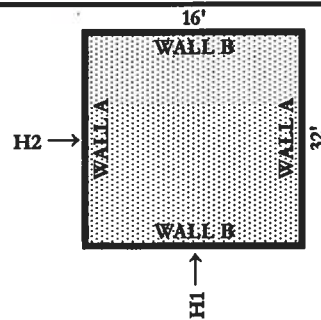
Roof Slope:			
RISE	RUN	slope	
5	12	23°	

Adjustment coefficient for building height and exposure = 1.0 (FBC 2004 TBL 1609.6D)
 Importance Factor = .77 (FBC 2004 TBL 1604.5)

Design Load:			
(Load) x (Height & Exposure Coefficient) x (Importance Factor)			
(Load) x (1) x (.77)			
Design for Main Wind Force Resisting System (MWFRS):			
Horizontal Loads (FBC 2004 TBL 1609.6A)			
Wall: End Zone	37.1	x (.77)	= 29 psf
Interior Zone	24.7	x (.77)	= 19 psf
Roof: End Zone	-9.8	x (.77)	= -8 psf
Interior Zone	-5.4	x (.77)	= -4 psf
Vertical Loads (FBC 2004 TBL 1609.6A)			
Roof Windward: End Zone	-32.2	x (.77)	= -25 psf
Interior Zone	-22.4	x (.77)	= -17 psf
Roof Leeward: End Zone	-22.4	x (.77)	= -17 psf
Interior Zone	-17	x (.77)	= -13 psf

Handwritten signature and date:
 2/28/02

MWFRS:



$$H2 = MRH [(H. \text{ End Load})(12) + (H. \text{ Int. Load})(\text{Long Wall Length} - 12)]$$

$$H2 = 11664.96$$

$$H1 = MRH [(H. \text{ End Load})(6) + (H. \text{ Int. Load})(\text{Short Wall Length} - 6)] + (\text{Slope Ht.})(1/2)(\text{Short Wall Length})(H. \text{ Int. Load})$$

$$H1 = 6187.50$$

Load to Shear Walls:

Wall B:	Shear	=	(H1)/2	=	3,094 #
	Shear/Ft.	=	Shear/Short Wall Length	=	193 plf
Wall A:	Shear	=	(H2)/4	=	2,916 #
	Shear/Ft.	=	Shear/Long Wall Length	=	91 plf

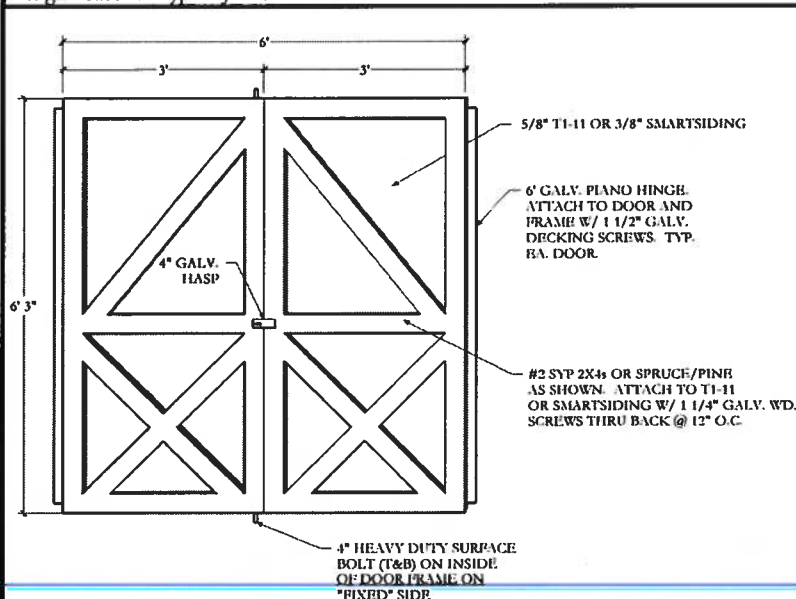
Note: Per APA, shearwall capacities for T1-11 and 3/8" smartsiding are identical to those of 19/32" plywood.

Edge nailing: Use 8d ring shank @ 3" O.C. Top & Bottom and 6" O.C. for the sides = 336 plf

Design Loads for Components and Cladding (FBC 2004 TBL 1609.6B)

Effective Wind Area for Wall = (MRH ²)/3				=	86.73 sf
Effective Wind Area for Roof = (Slope Ht. ²)/3				=	1.81 sf
Roof:	Zone 1:	17.5	x (.77)	=	13.5 psf
		-27.8	x (.77)	=	-21.4 psf
	Zone 2:	17.5	x (.77)	=	13.5 psf
		-58.7	x (.77)	=	-45.2 psf
Wall:	Zone 4:	25.9	x (.77)	=	19.9 psf
		-28.4	x (.77)	=	-21.9 psf
	Zone 5:	25.9	x (.77)	=	19.9 psf
		-31.6	x (.77)	=	-24.3 psf

Design Loads for Typical Job-built Door



Maximum Wind Load		=	38 psf
Area of Door		=	3' x 6'-3" = 18.75 sf
Load		=	38 psf x 18.75 sf = 712.5 #
Load/Bolt		=	712.5#/2 = 356.25#
Bolt Tolerance		=	πr^2
3/8" Φ bolt		=	$\pi(3/16")^2 = 0.4417865 \text{ in}^2$
Fy		=	36,000 psi x 0.4417865 in ² = 15,904.3 # per bolt

3/8" Φ bolt OK

nai2005crnb



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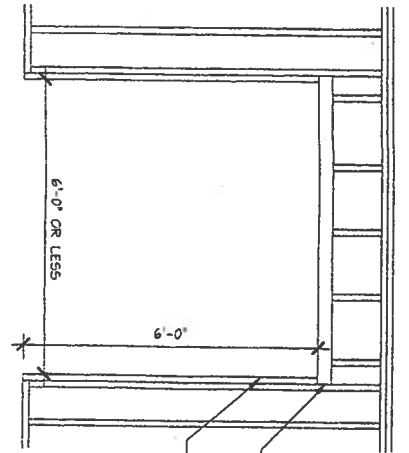


Summer Wind

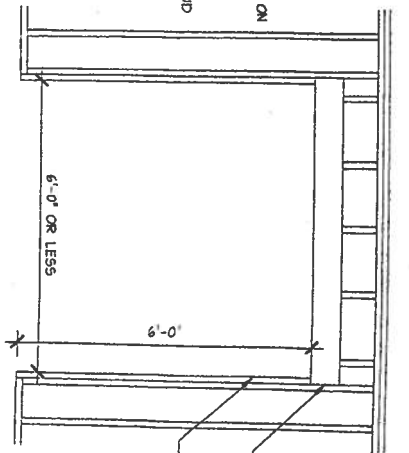
16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
BILL LILLY	PROJECT NUMBER
05-004	ISSUE DATE
2.5.07	

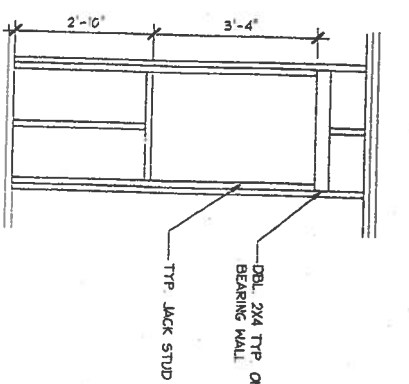
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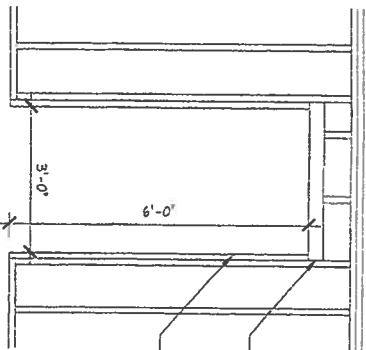
DOUBLE DOOR OPENING
1/4" = 1'-0"



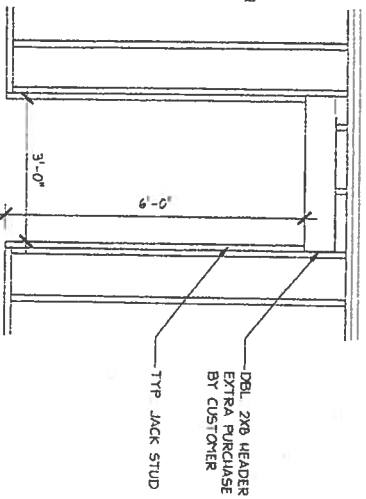
DOUBLE DOOR OPENING
1/4" = 1'-0"



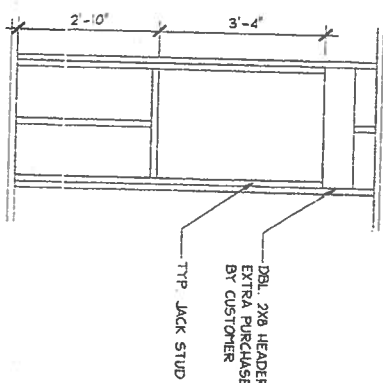
WINDOW OPENING
1/4" = 1'-0"



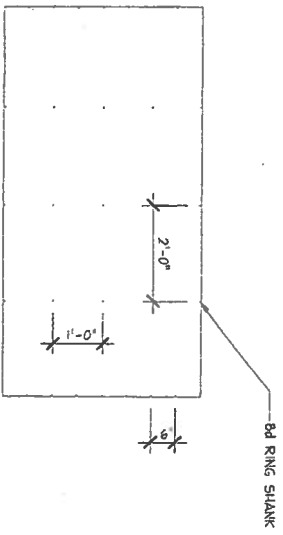
SINGLE DOOR OPENING
1/4" = 1'-0"



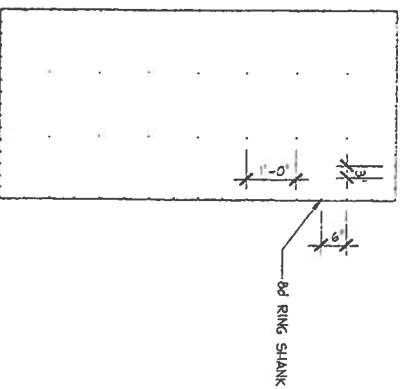
SINGLE DOOR OPENING
1/4" = 1'-0"



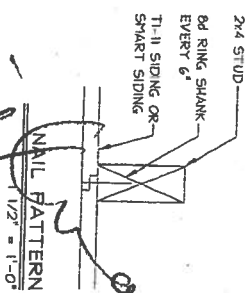
WINDOW OPENING
1/4" = 1'-0"



ROOF PANEL NAIL PATTERN
1/4" = 1'-0"



WALL PANEL NAIL PATTERN
1/4" = 1'-0"



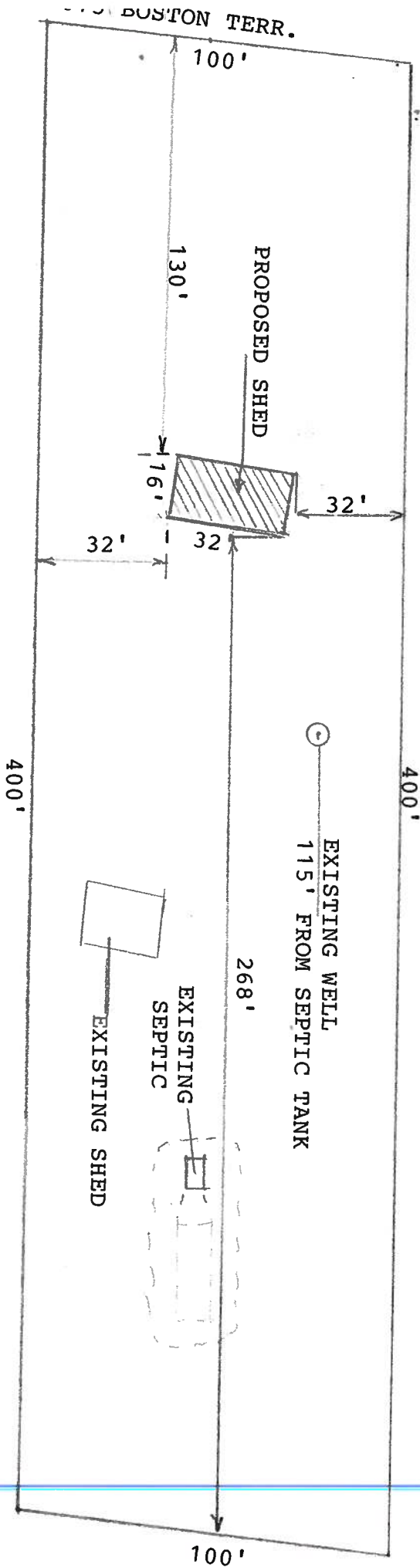
NAIL PATTERN
1/2" = 1'-0"

David Naranjo
3/1/10

PROPERTY OF WILLIAM LILLY
375 SW Boston Terr.
Ft. White, Fl. 32038

LOT # 63
UNIT # 18
THREE RIVERS ESTATES
ORB 853-360-903-425

SCALE 1"=40'



FROM CHANCE & CAUSSEUX, INC, SECTION PLOT
3700 B-300 NW 91st Street
Gainesville Florida 32606

Return to: CLASSIC MANOR BUILDERS

Name: 1033 BLANDING BLVD.

Address: SUIT #301

ORANGE PARK, FL 32065
This Instrument Prepared by:

Name: C.SIMON TATE

Address: PO BOX 1632
GREENCOVE SPRING, FL. 32043
Property Appraisers Parcel Identification

00-00-00 0200/9998

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By: Sharon Seagle
Deputy Clerk

Date: 03-06-2007



Inst:2007005371 Date:03/06/2007 Time:11:44
D.F. DC,P.DeWitt Cason,Columbia County B:1112 P:2302

SPACE ABOVE THIS LINE FOR PROCESSING DATA

NOTICE OF COMMENCEMENT

Permit No. _____

Tax Folio No. _____

State of Florida _____
County of COLUMBIA }

The undersigned hereby gives notice that improvements will be made to certain real property, and in accordance with chapter 713 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

Legal description of property (include Street Address, if available) 375 SW Boston Terr.
Ft. White, Fl. 32038 LOT#63 UNIT 18 THREE RIVERS ESTATES, ORB
853-360-903-425, CORR DEED 904-1412

General description of improvements CONSTRUCT A STORAGE SHED 16x32 WOOD FRAME
Owner's Name William LILLY

Address 375 Boston Terr, Ft. White, Fl. 32038

Owner's Interest in site of the improvement 100%

Fee Simple Title holder (if other than owner) N/A

Address _____ Phone: _____ Fax: _____

Contractor CLASSIC MANOR BUILDERS

Address SUITE #301, 1033 Blanding Blvd. Orange Park Phone: (904) 213-0722 Fax: (904) 213-0726

Surety N/A Phone: _____ Fax: _____

Address _____ Amount of bond \$ _____

Lender's Name N/A

Address: _____ Phone: _____ Fax: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes.

Name N/A

Address _____ Phone: _____ Fax: _____

In addition to himself, owner designates N/A

Of _____ Phone: _____ Fax: _____

to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified)

William Lilly
Signature of Owner

William LILLY

Printed Name of Owner

I have relied upon the following identification of the Affiant William

Sworn to and subscribed before me this 3-5-07 day of _____

Notary Signature



Angela L. McAnsh
Commission # DD264491
Expires November 3, 2007
Bonded Troy Pain - Insurance, Inc. 800-366-7019

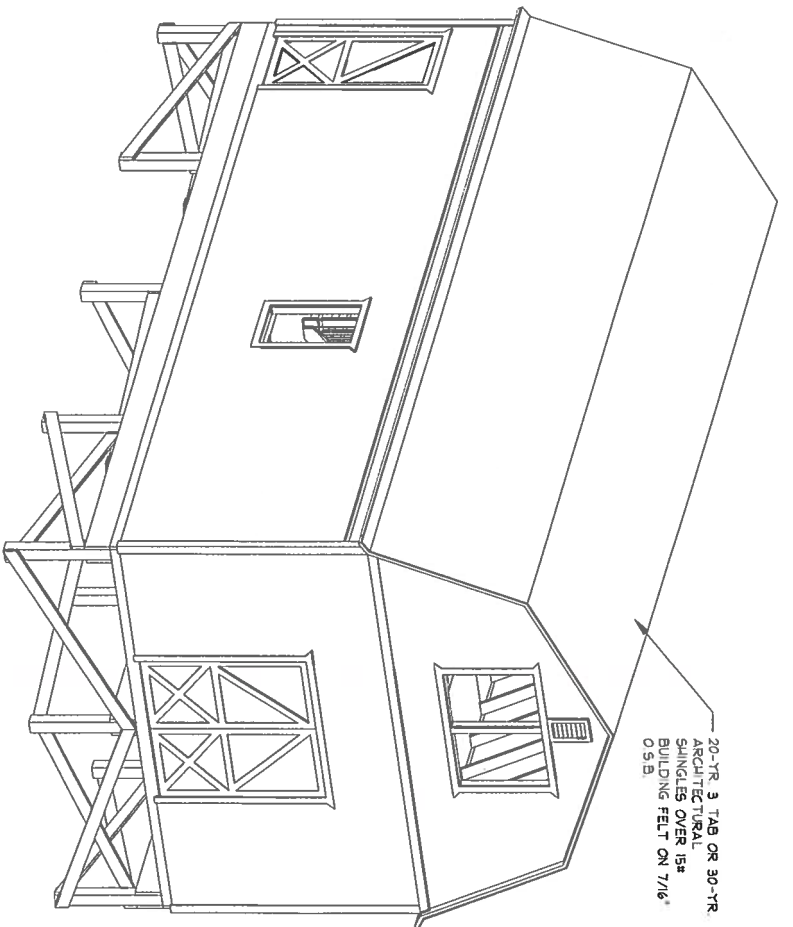
25630

PURSUANT TO 2004 FLORIDA BUILDING CODE: RESIDENTIAL VOLUME

- A. BASIC WIND SPEED = 130 MPH
 - B. WIND IMPORTANCE FACTOR = 0.77
 - C. BUILDING CATEGORY = I
 - D. WIND EXPOSURE CATEGORY "B"
 - E. INTERNAL PRESSURE COEFFICIENT = ± 0.18
 - F. MAXIMUM WIND DESIGN PRESSURE FOR DESIGN OF EXTERIOR COMPONENT AND CLADDING = 40 PSF (0.28 PS)
- THIS BUILDING AND ITS COMPONENTS HAVE BEEN DESIGNED TO BE IN GENERAL COMPLIANCE WITH THE 2004 EDITION OF THE FLORIDA BUILDING CODE: RESIDENTIAL VOLUME.

GENERAL NOTES:

1. MINIMUM R₉ FOR EXTERIOR LOAD BEARING STUDS @ 16" O.C. = 1800
MINIMUM R₉ FOR EXTERIOR NON-LOAD BEARING STUDS @ 16" O.C. = 1800
UPRIFT @ GABLE END WALLS @ 16" O.C. = 1200/STUD
UPRIFT LOADS @ SIDEWALLS FIN: 100 LBS @ 10 PSF MIN TABLE 305.5 = 3200/STUD
2. NAILING OF EXTERIOR SHEATHING (WALL AND ROOF) - 6d RING SHANK NAIL - 3" O.C. FOR TOP & BOTTOM, 6" O.C. SIDES, 12" O.C. INTERNAL.
NAILING OF FLOOR - 6d COMMON NAIL @ 6" O.C. AT EDGES AND 12" O.C. INTERNAL TO MEET WIND SPEEDS OF 130 MPH.
3. ANCHORS @ BLOCKS ARE 48" L., 5/8" D.I.A. W/409#
HOLDING CAPACITY - 4100#
IE DOWN ENGINEERING
SKU NO. 59065 (5) ANCHORS ON LEFT & RIGHT SIDE OF BUILDING)
4. NAILING OF C56 STRAPS - USE (6) 1 1/2" #10 STRAP NAILS ON EVERY 14" OF C56 USED - TYPICAL ON ALL C56 STRAP CONNECTIONS
FASTENING OF SIMPSON STRONGTIE H₁ = (6) 8d x 1 1/2" NAILS
FASTENING OF SIMPSON STRONGTIE FT520 = (6) 10d x 1 1/2" NAILS
FASTENING OF SIMPSON STRONGTIE LST3A6 = (6) 10d x 1 1/2" NAILS
5. DESIGN CRITERIA: 2004 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLING FOR STRUCTURES OVER 200 SQ. FT.
IN COASTAL REGIONS 2004 FLORIDA BUILDING CODE: RESIDENTIAL VOLUME.
INTERNATIONAL BUILDING CODE 2004 ED.
ASCE 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
6. THIS BUILDING IS DESIGNED TO RESIST HURRICANE FORCE WINDS OF 130 MPH.
7. THIS STRUCTURE IS DESIGNED ACCORDING TO SECTION R202 OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE, 2004 ED. AS AN ACCESSORY STRUCTURE. ITS USE IS AS A NON-DWELLING BUILDING WITH A COMBINED LIVE LOAD AND DEAD LOAD OF 40 PSF.



20-YR. 3 TAB OR 30-YR. ARCHITECTURAL SHINGLES OVER 15# BUILDING FELT ON 7/16" O.S.B.

AXONOMETRIC ELEVATION
N.T.S.

David L. Naramore
3/21/07



DAVID L. NARAMORE
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Architects & Planners
ARCHITECTURAL FIRM
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dlnaramore@earthlink.net

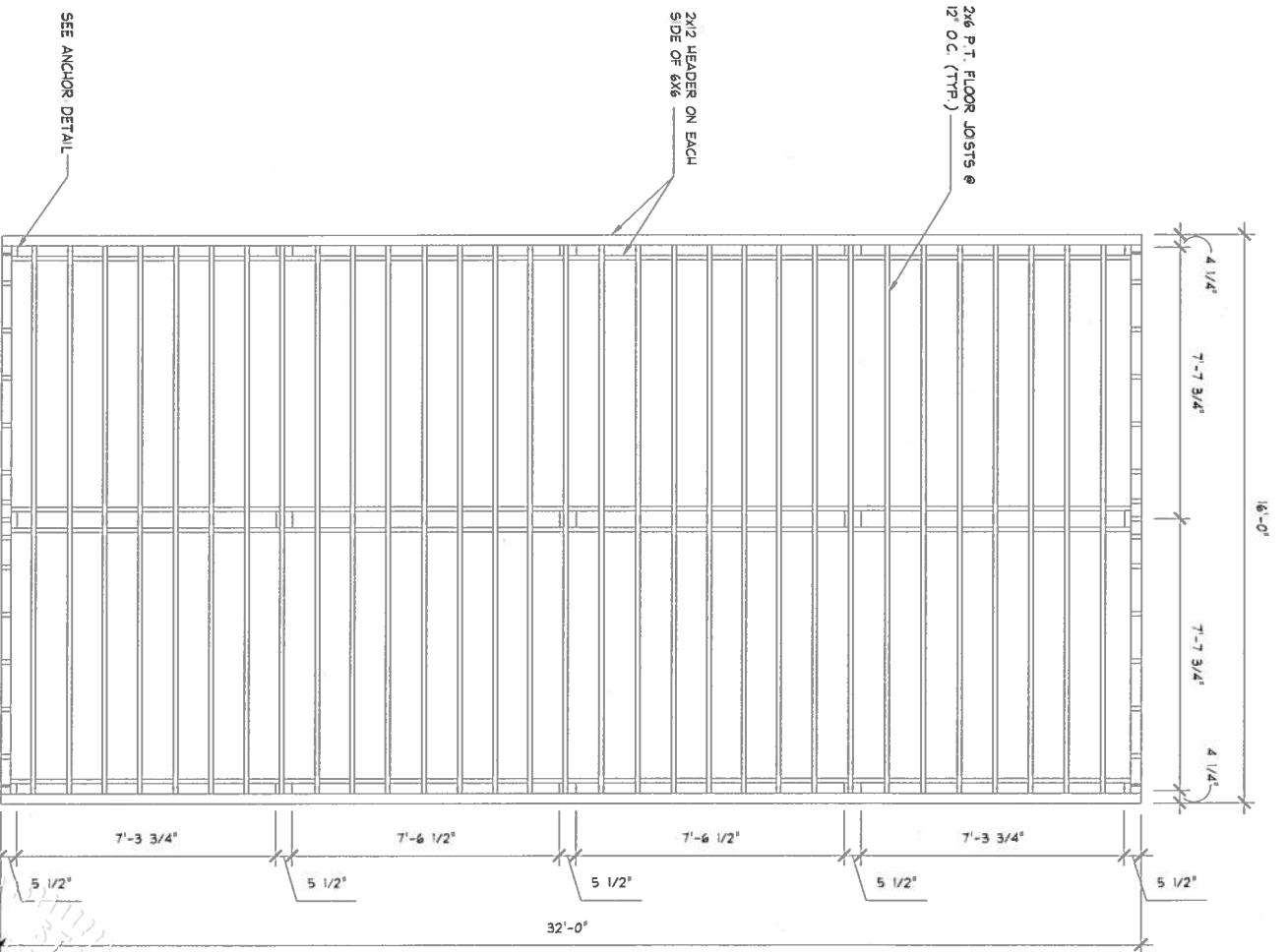
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CLASSIC MANOR
BUILDERS, INC.

Summer Wind
16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
PROJECT NUMBER	Bill Lilly
ISSUE DATE	05984
	2.5.07

A1



FIRST FLOOR FRAMING PLAN

3/6" = 1'-0"

Draft
3/21/07



DAVID L. NARAMORE
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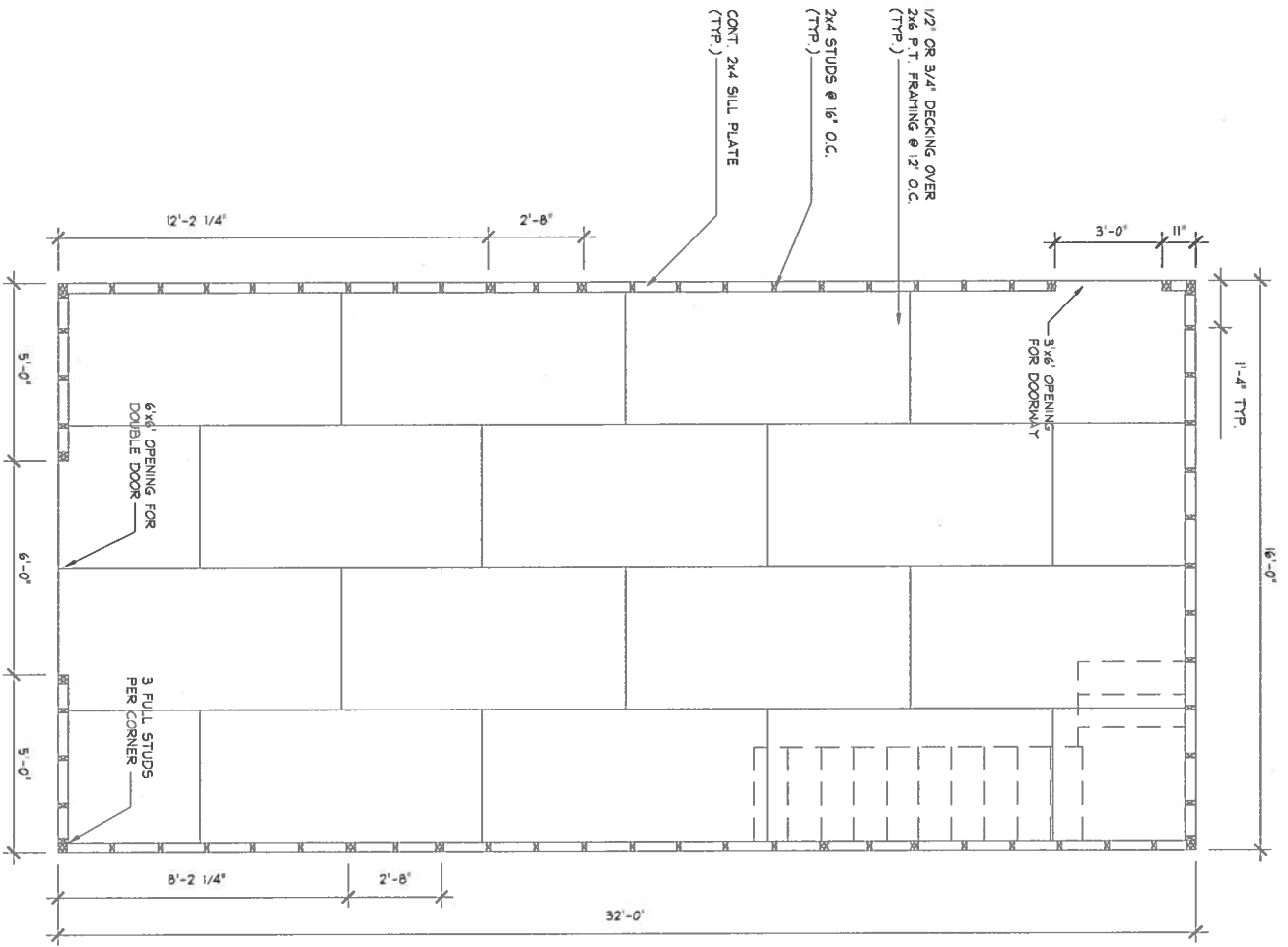
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Summer Wind
16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
BILL LILLY	PROJECT NUMBER
05984	ISSUE DATE
2.5.07	

A2



FIRST FLOOR PLAN

3/16" = 1'-0"

Handwritten signature: David L. Naramore
Date: 3/14/04



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A3



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02

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**CLASSIC MANOR
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Summer Wind

16 X 32
FLORIDA
COASTAL

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Bill Lilly

PROJECT NUMBER

ISSUE DATE

2.5.07

A4

SECOND FLOOR FRAMING PLAN

3-16-00

—LANDING TO BE NO
LESS THAN 36"

2'-4 1/8"

2'-3'

2x4 STUD —
BEARING WALL
BELOW

2x10 FLOOR JOISTS @ 12" O.C.

-2x4 ENDWALL
STUDS @ 16" O.C



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OF AARON TOWNE

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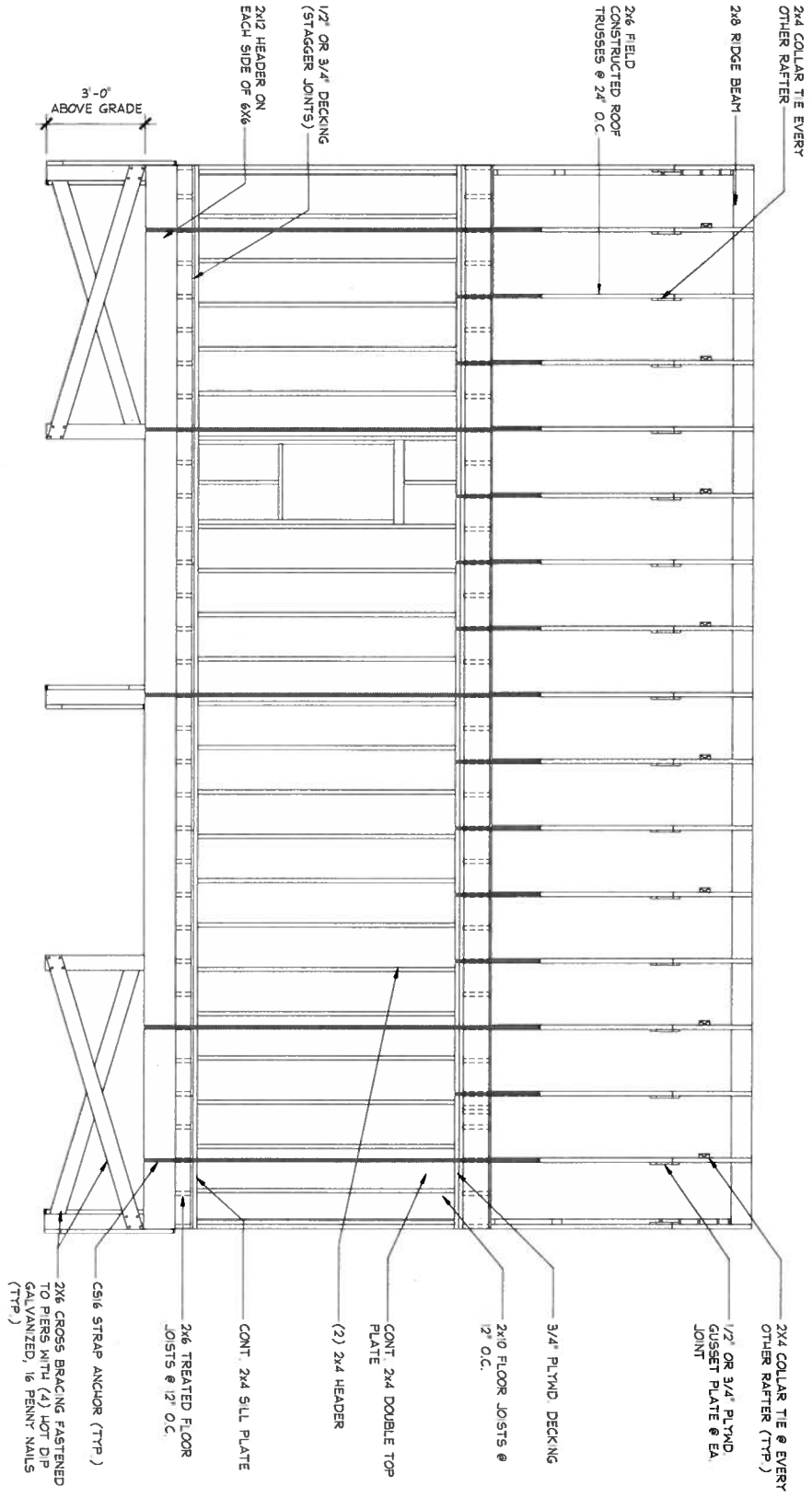
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05984	ISSUE DATE
2.5.07	

A5



Summer Wind
3/24/07



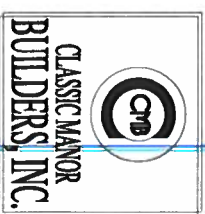
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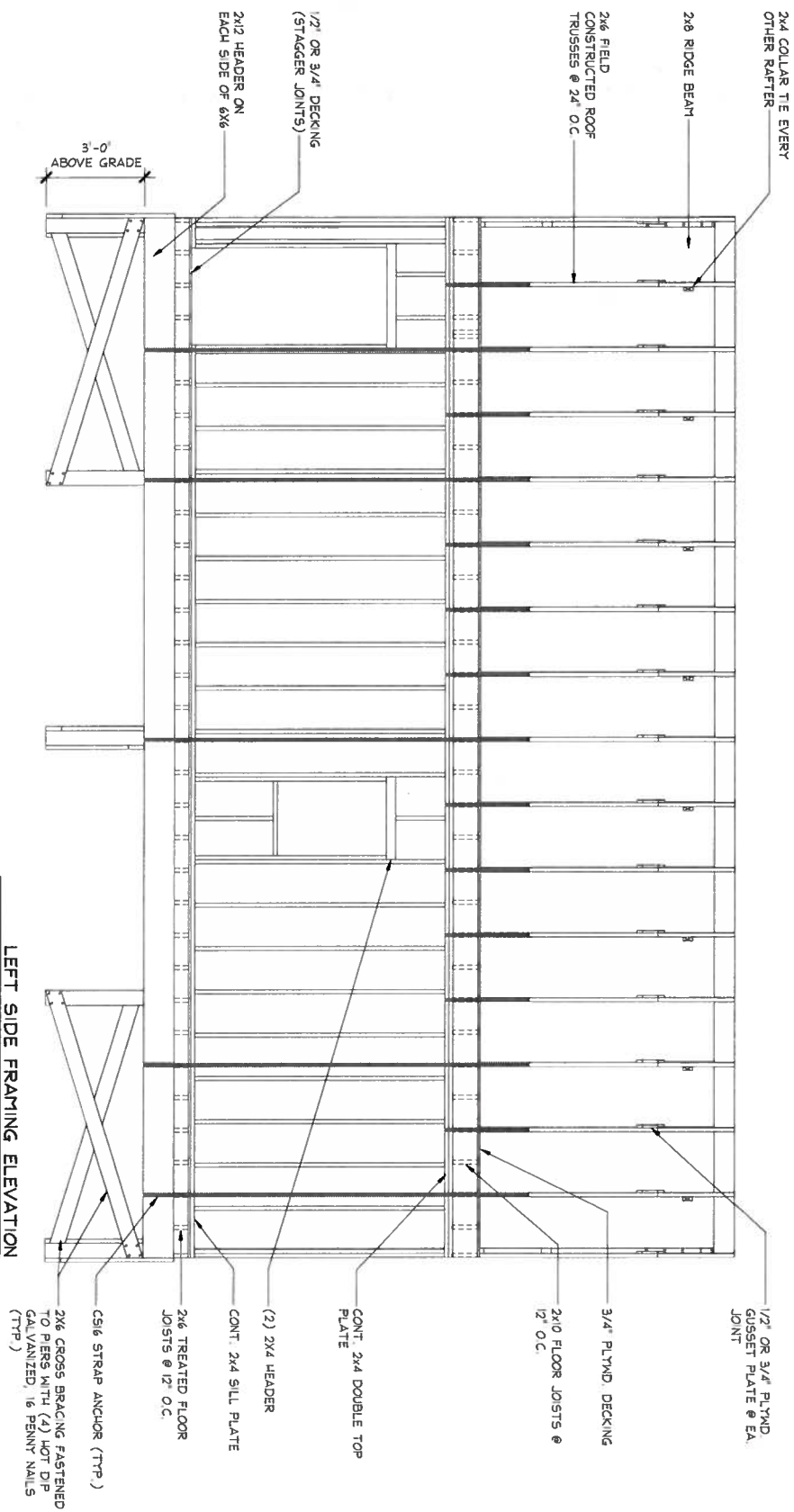
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BUILDERS, INC.

Summer Wind
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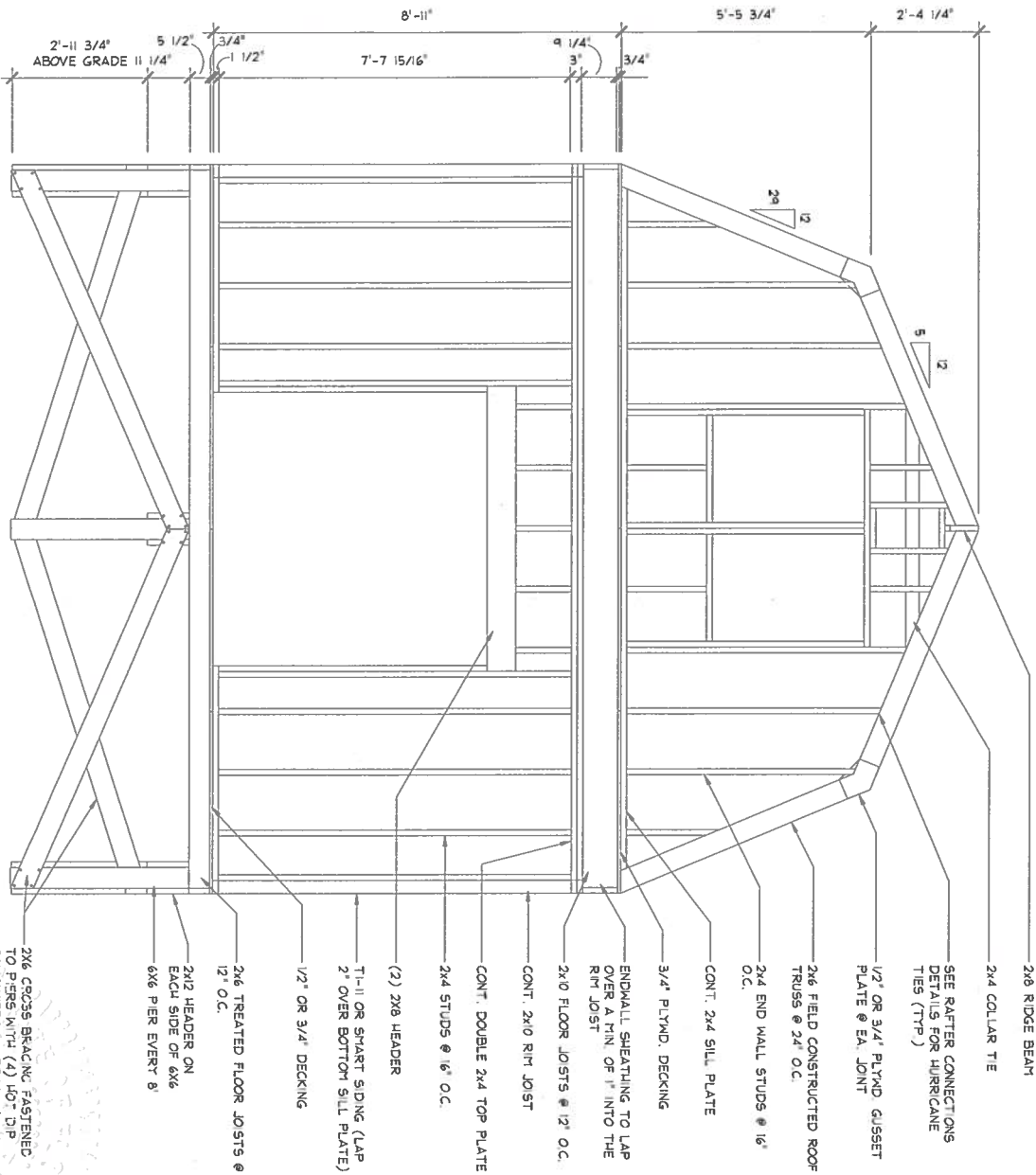
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2.5.07	

A6

LEFT SIDE FRAMING ELEVATION
3/16" = 1'-0"



Handwritten: mill 3/21/07



FRONT FRAMING ELEVATION
1/4" = 1'-0"

David Naramore
3/21/07

- 2x6 RIDGE BEAM
- 2x4 COLLAR TIE
- SEE RAFTER CONNECTIONS
DETAILS FOR HURRICANE
TIES (TTP)
- 1/2" OR 3/4" PLYWD GUSSET
PLATE @ EA. JOINT
- 2x6 FIELD CONSTRUCTED ROOF
TRUSSES @ 24" O.C.
- 2x4 END WALL STUDS @ 16"
O.C.
- CONT. 2x4 SILL PLATE
- 3/4" PLYWD. DECKING
- ENDWALL SHEATHING TO LAP
OVER A MIN OF 1" INTO THE
RIM JOIST
- 2x10 FLOOR JOISTS @ 12" O.C.
- CONT. 2x10 RIM JOIST
- CONT. DOUBLE 2x4 TOP PLATE
- 2x4 STUDS @ 16" O.C.
- (2) 2x8 HEADER
- 1-1/2" OR SMART SIDING (LAP
2" OVER BOTTOM SILL PLATE)
- 1/2" OR 3/4" DECKING
- 2x6 TREATED FLOOR JOISTS @
12" O.C.
- 2x12 HEADER ON
EACH SIDE OF 6x6
6x6 PIER EVERY 8'
- 2x6 CROSS BEAM: FASTENED
TO PIER WITH (4) 10" DTP
GALVANIZED, 16 PENT NAILS
(TTP)



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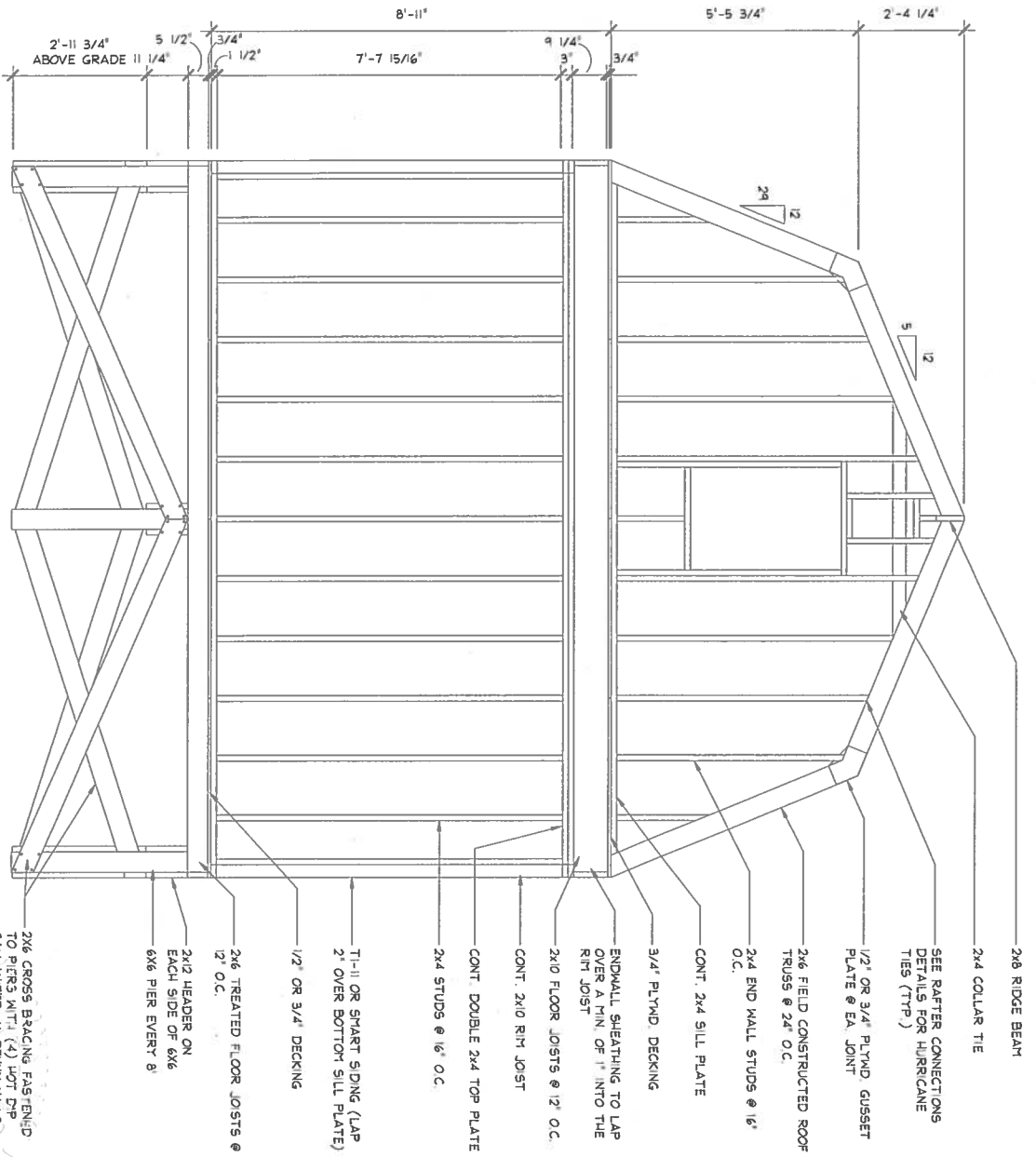

CLASSIC MANOR
BUILDERS, INC.

Summer Wind

16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
PROJECT NUMBER	05984
ISSUE DATE	2.5.07

A7



FRONT FRAMING ELEVATION

1/4" = 1'-0"

David Naramore
3/21/07



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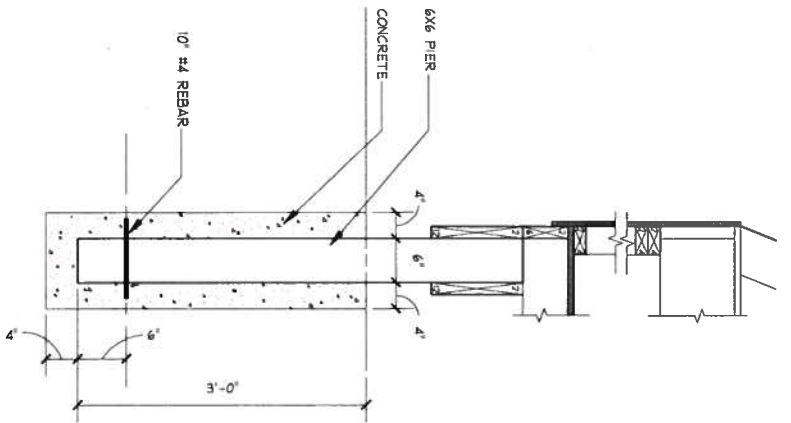
CLASSIC MANOR
BUILDERS, INC.

Summer Wind

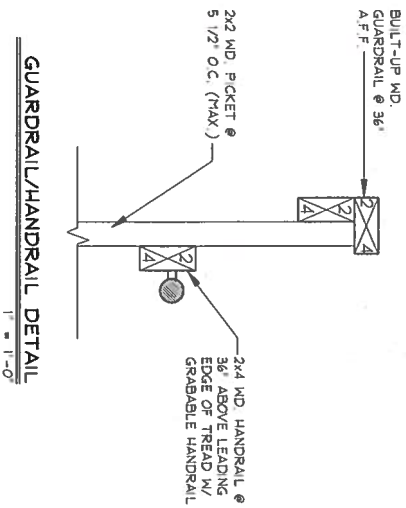
16 X 32
FLORIDA
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DOCUMENT DATA
Bill Lilly
PROJECT NUMBER
05984
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A8

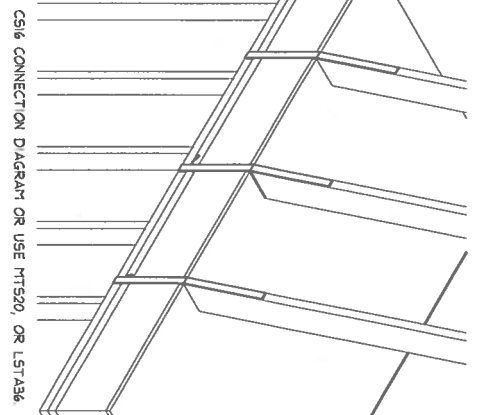
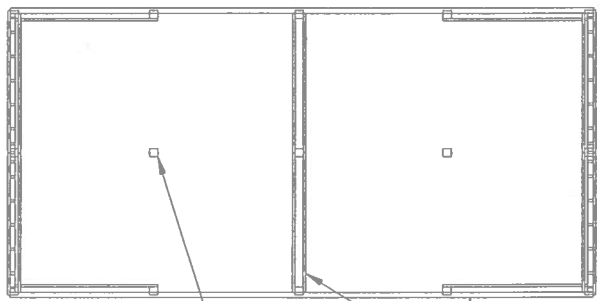


GUARDRAIL/HANDRAIL DETAIL
1/2" = 1'-0"



GUARDRAIL/HANDRAIL DETAIL
1" = 1'-0"

CROSS BRACING PLAN
N.T.S.



36" GUARDRAIL W/ 2x2 PICKETS @ 5 1/2" O.C. (MAX)

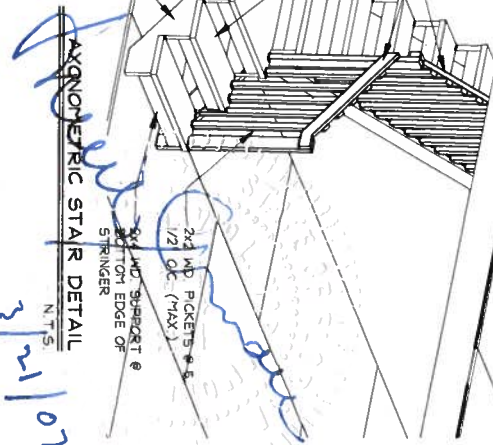
2x4 MD HANDRAIL @ 36" ABOVE LEADING EDGE OF TREAD

7 1/2"x4" RISE & RUN STEP IS 3" WIDE 2x10 WITH A 1" NOSING

LANDING TO BE NO LESS THAN 36"

2x2 MD STRINGER

AXONOMETRIC STAIR DETAIL
N.T.S.

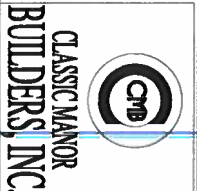


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Phone: 864.244.9881
Fax: 864.232.5202

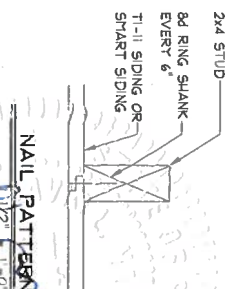
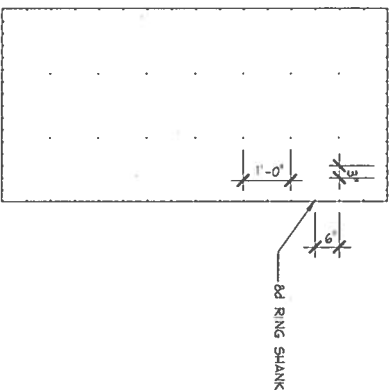
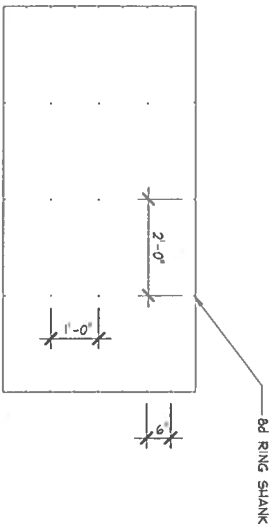
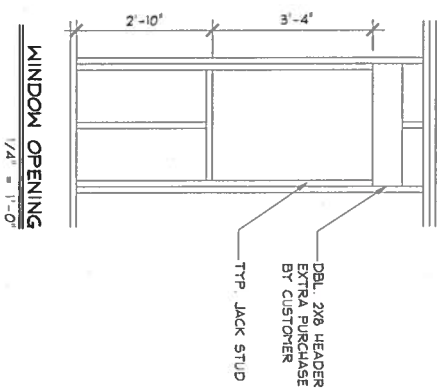
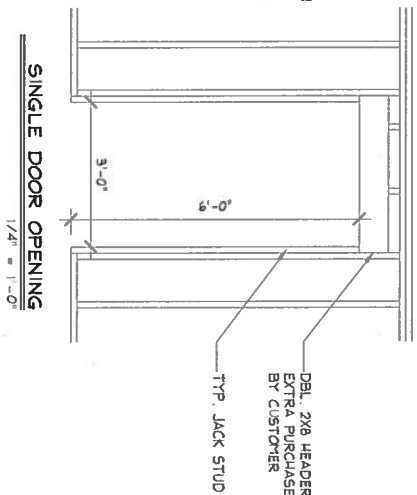
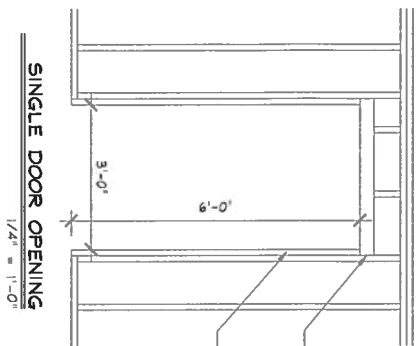
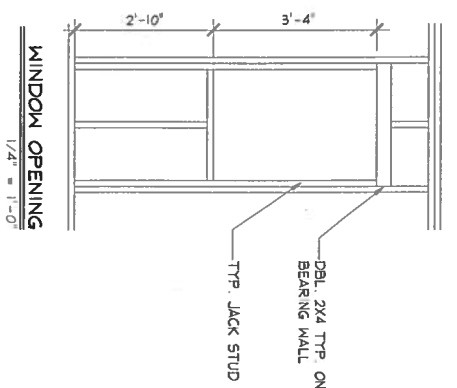
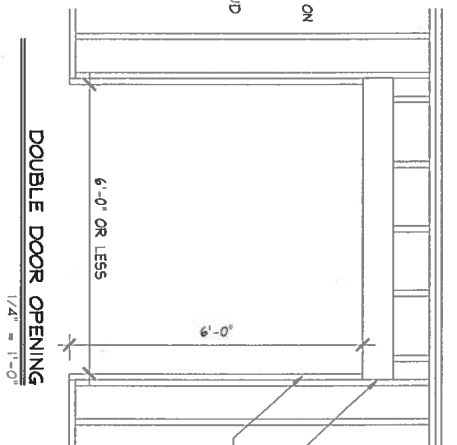
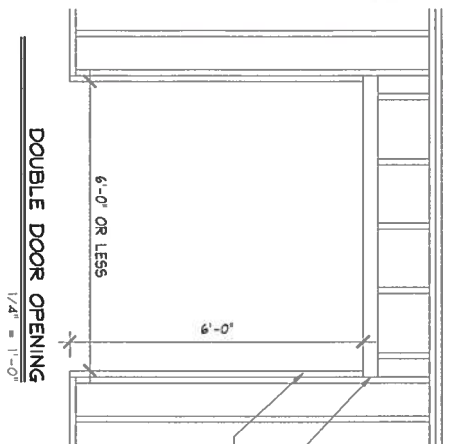
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Summer Wind
16 X 32
FLORIDA
COASTAL

DOCUMENT DATA	
Bill Lilly	
PROJECT NUMBER	05984
ISSUE DATE	2.5.07

A10



NAIL PATTERN

Handwritten signature: David L. Naramore

STATE OF FLORIDA WIND ANALYSIS

CLASSIC MANOR BUILDERS

BUILDING NAME:	Rainbow End	16' x 32'
-----------------------	--------------------	------------------

BUILDING STATS:			
	FEET	INCHES	
1. Short Wall:	16'		192
2. Long Wall:	32'		384
3. Block Height		4.00	4
4. Wall Height 1	8'	11.00	107
5. Wall Height 2	5'	5.75	65.75
6. Slope Height	2'	4.25	28.25

DESIGN CRITERIA:

- Florida Building Code 2004 Ed., IBC 2003 Ed., ASCE 7-02 Method 1.
- Wind speed = **130 MPH**
- Wind Importance Factor = 0.77 (FBC 2004 TBL 1604.5)
- Wind Exposure "B" (FBC 2004 1609.4)

Mean Roof Height (MRH):			
Block Ht. + Wall Ht. 1 + Wall Ht. 2 + 1/2(Slope Ht.) =			15.91'

Edge Strip:			
0.1 x (longest horiz. dimension) =	0.1 x 192 =	19.2 =	1.60'
0.4 x (eave height) =	0.4 x 190.92 =	76.368 =	6.36'
0.04 x (longest horiz. dimension) =	0.04 x 192 =	7.68 =	0.64'

USE 3' PER FBC 2004 1609.6.3

End Zone:			
2 x (edge strip length) =	2 x 36 in. =	72 in. =	6.00'

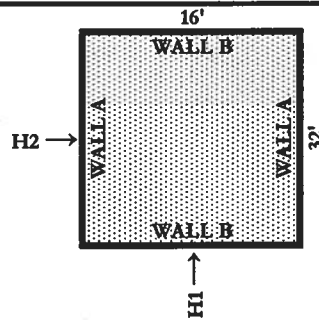
Roof Slope:			
	RISE	RUN	slope
	5	12	23°

Adjustment coefficient for building height and exposure = 1.0 (FBC 2004 TBL 1609.6D)
 Importance Factor = .77 (FBC 2004 TBL 1604.5)

Design Load:			
(Load) x (Height & Exposure Coefficient) x (Importance Factor)			
(Load) x (1) x (.77)			
Design for Main Wind Force Resisting System (MWFRS):			
Horizontal Loads (FBC 2004 TBL 1609.6A)			
Wall: End Zone	37.1	x (.77) =	29 psf
Interior Zone	24.7	x (.77) =	19 psf
Roof: End Zone	-9.8	x (.77) =	-8 psf
Interior Zone	-5.4	x (.77) =	-4 psf
Vertical Loads (FBC 2004 TBL 1609.6A)			
Roof Windward: End Zone	-32.2	x (.77) =	-25 psf
Interior Zone	-22.4	x (.77) =	-17 psf
Roof Leeward: End Zone	-22.4	x (.77) =	-17 psf
Interior Zone	-17	x (.77) =	-13 psf

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MWFRS:



$$H2 = MRH [(H. \text{ End Load})(12) + (H. \text{ Int. Load})(\text{Long Wall Length} - 12)]$$

$$H2 = 11505.86$$

$$H1 = MRH [(H. \text{ End Load})(6) + (H. \text{ Int. Load})(\text{Short Wall Length} - 6)] + (\text{Slope Ht.})(1/2)(\text{Short Wall Length})(H. \text{ Int. Load})$$

$$H1 = 6111.12$$

Load to Shear Walls:

Wall B:	Shear	=	(H1)/2	=	3,056 #
	Shear/Ft.	=	Shear/Short Wall Length	=	191 plf
Wall A:	Shear	=	(H2)/4	=	2,876 #
	Shear/Ft.	=	Shear/Long Wall Length	=	90 plf

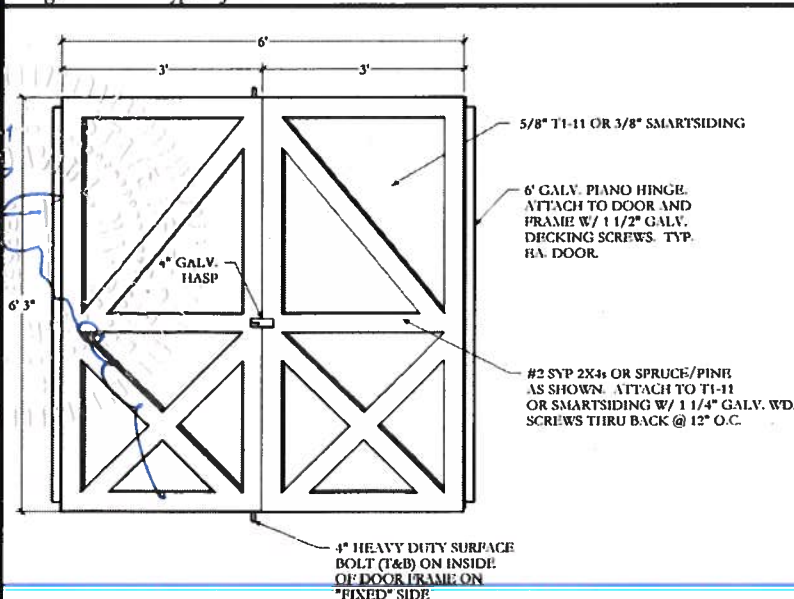
Note: Per APA, shearwall capacities for T1-11 and 3/8" smartsiding are identical to those of 19/32" plywood.

Edge nailing: Use 8d ring shank @ 3" O.C. Top & Bottom and 6" O.C. for the sides = 336 plf

Design Loads for Components and Cladding (FBC 2004 TBL 1609.6B)

Effective Wind Area for Wall = (MRH ²)/3				=	84.38 sf
Effective Wind Area for Roof = (Slope Ht. ²)/3				=	1.85 sf
Roof:	Zone 1:	17.5	x (.77)	=	13.5 psf
		-27.8	x (.77)	=	-21.4 psf
	Zone 2:	17.5	x (.77)	=	13.5 psf
		-58.7	x (.77)	=	-45.2 psf
	Zone 4:	27.2	x (.77)	=	20.9 psf
		-29.8	x (.77)	=	-22.9 psf
Wall:	Zone 5:	27.2	x (.77)	=	20.9 psf
		-34.3	x (.77)	=	-26.4 psf

Design Loads for Typical Job-built Door



Maximum Wind Load		=	38 psf
Area of Door		=	3' x 6'-3" = 18.75 sf
Load		=	38 psf x 18.75 sf = 712.5 #
Load/Bolt		=	712.5#/2 = 356.25#
Bolt Tolerance		=	πr^2
3/8" Φ bolt		=	$\pi(3/16")^2 = 0.4417865 \text{ in}^2$
Fy		=	36,000 psi x 0.4417865 in ² = 15,904.3 # per bolt

3/8" Φ bolt OK

25630

FLORIDA SOIL AND ENVIRONMENTAL SERVICES

Ronald J. Kuehl
Tel (386) 418-4374
Fax (386) 418-4374

P.O. Box 357065
Gainesville, FL 32635-7065

Report on Soil Borings

375 SW Boston Terr.
Three Rivers Estates

by Ronald J. Kuehl, Soil Scientist
January 13, 2007

Bill Lilly
727-647-2453

Four soil borings were made with a hand auger in the lot located at 375 SW Boston Terr., in the Three Rivers Estates, Columbia County, FL., on January 12, 2007. Mr. Bill Lilly, property owner, requested the soil borings and was present when the soil borings were made. The soil borings were made near the building corners for the house to be constructed on the lot. The location of each of the soil borings is shown on the sketch that is included with this report.

The soils on this lot are excellent soils upon which to construct the house, based on the soil borings. No problems were noted in the soil borings. Each of the soil borings showed sands that extended to a depth of 7 feet, the depth of the soil borings. The sands have a very low shrink-swell potential and are excellent materials upon which to build the house. Soils with high clay content were not observed in any of the borings, and would not be expected at shallow depths anywhere in the area in which the house will be constructed. In addition, the color of the sands indicates that the soils have a very good natural drainage and the water table does not occur at a shallow depth.

At the time the borings were made, the sands were slightly moist to dry throughout. A water table was not encountered in any of the soil borings. Based on the soil borings, even after extended periods of heavy rainfall, the seasonal high water table (also called the wet season water table) in the soils in the area in which the house will be constructed will likely remain below depths of 5 feet. The depth to the seasonal high water table is estimated from the colors of the soils. Soils that are yellowish brown, pale brown or reddish brown in color are usually remain dry or slightly moist for most of the year. Soils that are gray or light brownish gray in color are usually saturated with water for periods of time following heavy rainfall.

Each of the borings was very similar and showed dark brown and brown sands in the surface layers followed by yellowish brown sands with light brownish gray sands in the lower part of the soil borings. The sands appear to be similar to the sands commonly used by builders in north central Florida as fill materials for the pad area of houses. Settlement is not a problem or

concern and the sands are good materials to work with. Because the clay content of the sands is very low, the shrink-swell potential of the sands can be expected to be very low also.

Shrink-swell potential is a measure of the shrinking of the soil when dry, and swelling or expanding of the soil when wet. It is the alternating shrinking and swelling that can cause cracking in building foundations. Shrink-swell potential is dependent on the type and amount of clay in the soils. When the clay content is very low, as it is in the sands observed in the borings made on this lot, the shrink-swell potential can be expected to be very low also.

The Columbia County soil survey report published by the USDA-Soil Conservation Service, identifies the soils in the area in which the house will be constructed as Bigbee sands. The soil survey indicates that the Bigbee soils are excessively drained and water moves rapidly through the sands. Even during heavy rainfalls, the water moves rapidly downward through the soils. The sands are non-plastic. The estimated Unified soil classification of the sands in the Columbia County soil survey report is SM, SP-SM. The estimated percent passing the No. 4 and No. 10 sieves is 85-100. The percent passing the No. 40 sieve is 80-100, and the percent passing the No. 200 sieve is 5-20.

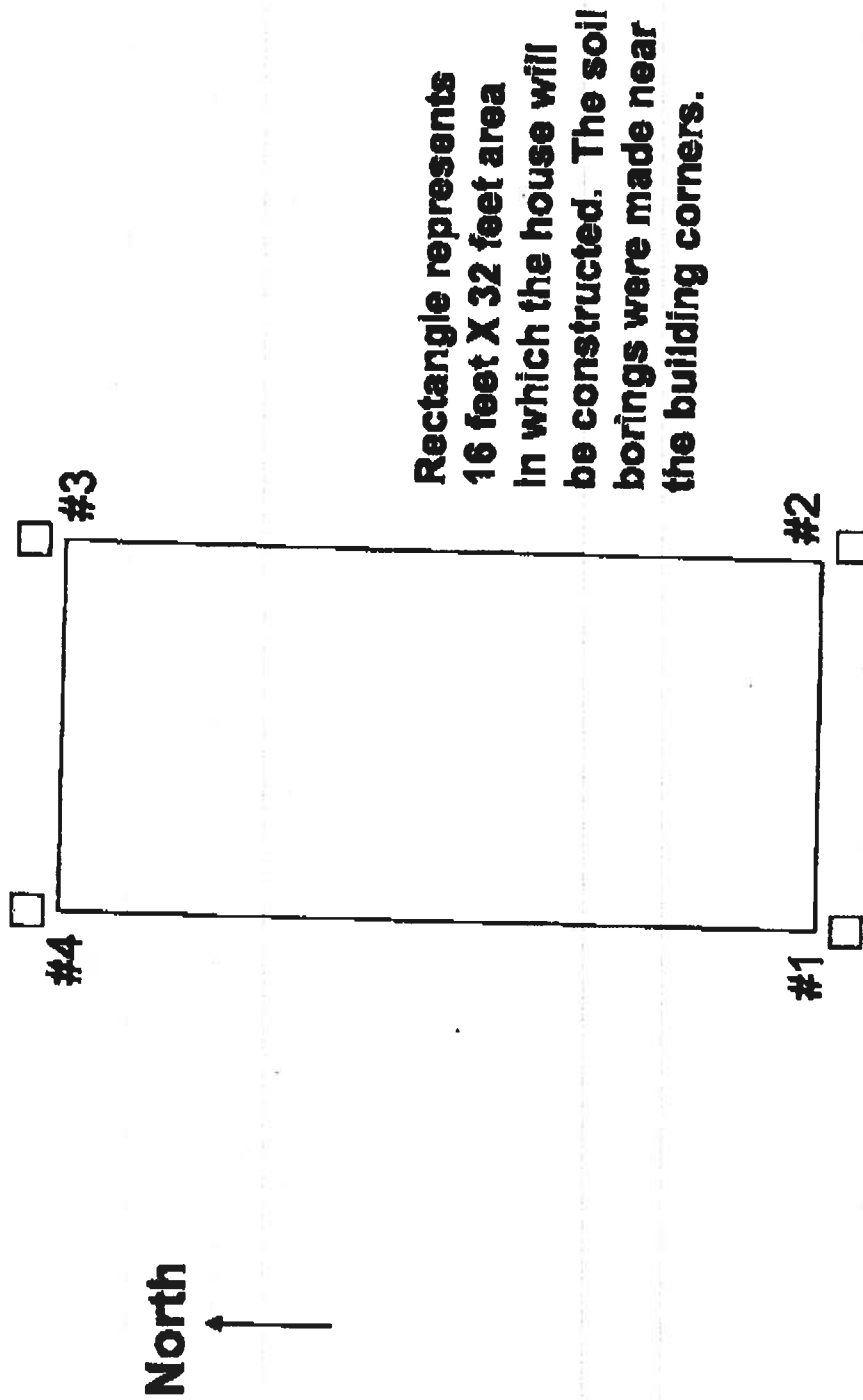
At the time the borings were made, 6 inch square posts that were 8 feet in length were in place at 8 feet intervals around the perimeter and north-south through the center of the area in which the house will be constructed. Mr. Lilly indicated that the posts had been placed 4 feet into the ground. The posts were underlain by 8 inches of concrete and were surrounded by 16 inches of concrete.

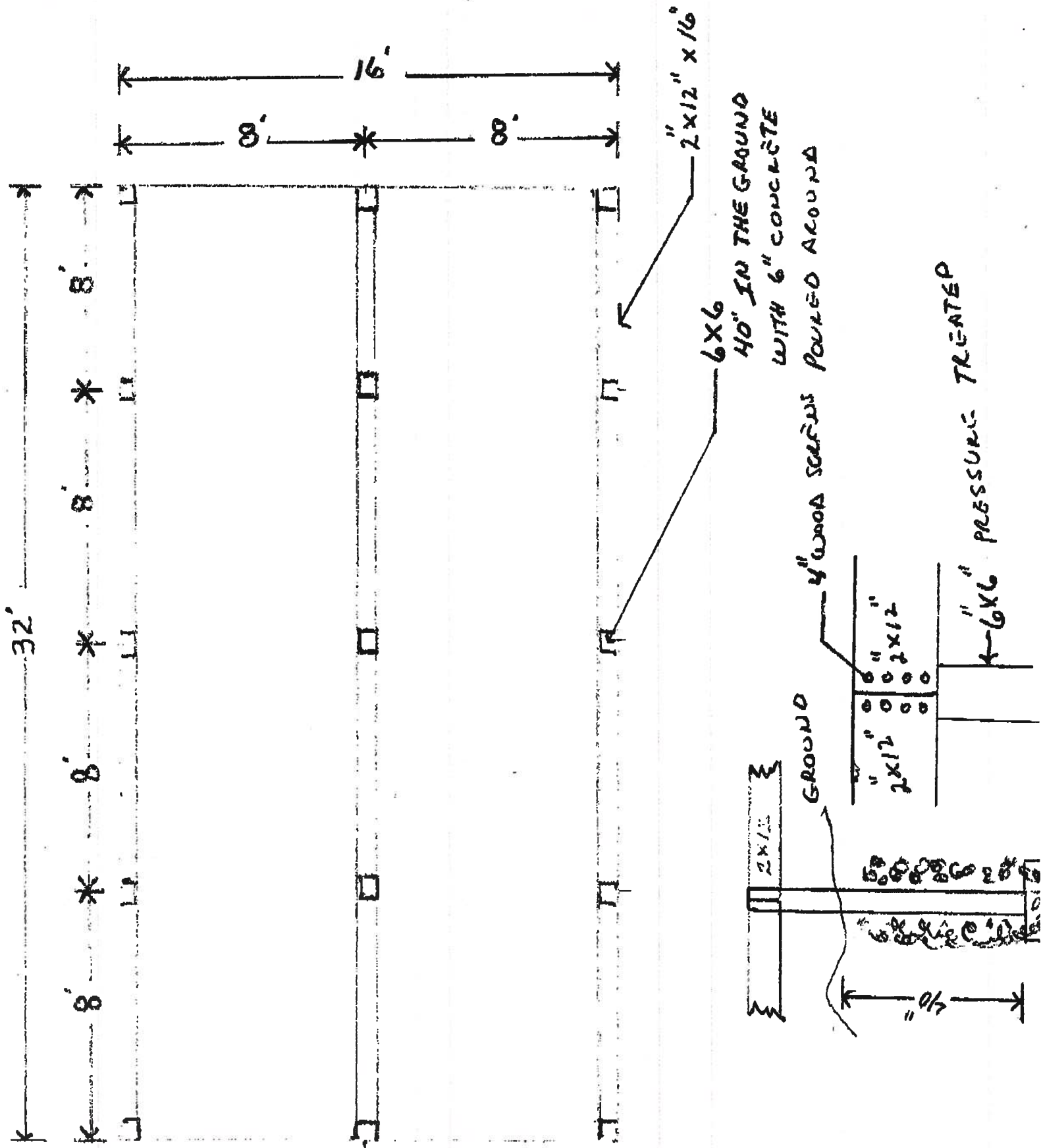
Soil Descriptions

Included with this report is a sketch showing the location of each of the 4 soil borings that were made near the future building corners of the house. The following is a soil description that is typical of the sands observed in each of the borings.

- 0 - 6 inches, very dark brown, loose, sand, low shrink-swell potential.
- 6 - 16 inches, brown, loose, sand, low shrink-swell potential.
- 16 - 68 inches, yellowish brown, loose, sand, low shrink-swell potential.
- 68 - 84 inches, light brownish gray, loose, sand, low shrink-swell potential.

**Location of Soil Borings
375 Boston Terr.
Three Rivers Estates**





COLUMBIA COUNTY OFFICE OF CIVIL ENGINEERING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 23-6S-15-01073-000

Building permit No. 000025630

Use Classification FRAMED SHED

Fire: 0.00

Permit Holder JONATHAN LANG

Waste:

Owner of Building WILLIAM LILLY

Total: 0.00

Location: 375 SW BOSTON TERR, FT. WHITE, FL

Date: 04/26/2007

Harry Dickie

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)