This Permit Must Be Prominently Posted o	on Premises During Construction 000027644
APPLICANT BARBARA JOHNSTON	PHONE 386.497.1452
ADDRESS 209 SW BOUNDARY WAY	FL 32038
OWNER AUDREY BROWN	PHONE <u>752-4218</u>
ADDRESS 162 SW BRAVA WAY	LAKE CITY FL 32024
CONTRACTOR LEWIS WALKER	PHONE 386.497.1419
LOCATION OF PROPERTY 47S, TR ON CR 242, TL ON BRAY	VA WAY, 2ND LOT ON RIGHT
	ANALY VI
TYPE DEVELOPMENT REROOF/SFD EST	TIMATED COST OF CONSTRUCTION 6633.00
HEATED FLOOR AREA TOTAL AREA	A HEIGHT STORIES
FOUNDATION WALLS RO	OOF PITCH FLOOR
LAND USE & ZONING	MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT	REAR SIDE
•	DEVELOPMENT PERMIT NO.
PARCEL ID 26-4S-16-03185-015 SUBDIVISION	GREEN ACRES
LOT 4 BLOCK C PHASE UNIT _	TOTAL ACRES 0.89
RC0067442	Barbara John to
Culvert Permit No. Culvert Waiver Contractor's License Numb	
EXISTING X-09-046	JLW N
Driveway Connection Septic Tank Number LU & Zoning	g checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE.	
	Check # or Cash 1760
FOR BUILDING & ZONING	One with the custi
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Columbia County Building Permit

DATE 02/20/2000

PERMIT

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

Columbia County Building Permit Application

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				32024
Contractors Name	Lewis Wa	Iken Rooting	lac Phone	386-497-1419
Address PO	Box 82	FF W	Site Il 3	2038
Fee Simple Owner Na	me & Address	NIA		
Bonding Co. Name &	Address			
Architect/Engineer No	ame & Address	NI	A	
Mortgage Lenders Na	me & Address	NI	A	· ·
Circle the correct pow	er company – FL F	ower & Light Clo	sy Elec. Suwannee V	alley Elec. – Progress Energy
	W GET			truction Lolo33.00
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Driving Directions Ja	ke 47 toward	. It white abo	out 4 miles Turr	Right on CR 242 go
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Construction of	2000 hous	e - metar		ige <u>0.890</u> Lot Size
Do you need a - <u>Culve</u>	이렇게 그렇다면 하루게 됐다 ====(이라			Building Height
Actual Distance of Stru	cture from Property	Lines - Front	Side Sic	de Rear
			Total Floor Area 199	1 , /
Application is beroby m	anda ta abtain			

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or nstallation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

²age 1 of 2 (Both Pages must be submitted together.)

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

<u>YOU ARE HEREBY NOTIFIED</u> as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

<u>WARNING TO OWNER:</u> YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

Contractor's License Number RC0007442
Columbia County
Competency Card Number S883

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 2 day of Personally known or Produced Identification

ERIN E CROSBY

SEAL:

SEAL:

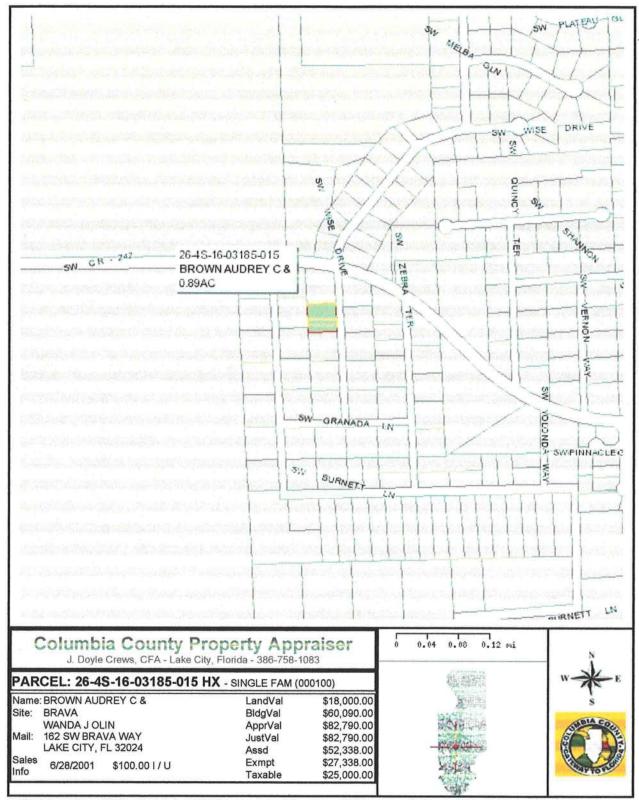
SERIN E CROSBY

MY COMMISSION # DD704216

EXPIRES August 12, 2011

FloridaNotaryService.com

(407) 398-0153



This information, GIS Map Updated: 1/12/2009, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a

herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

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LETTER OF AUTHORIZATION

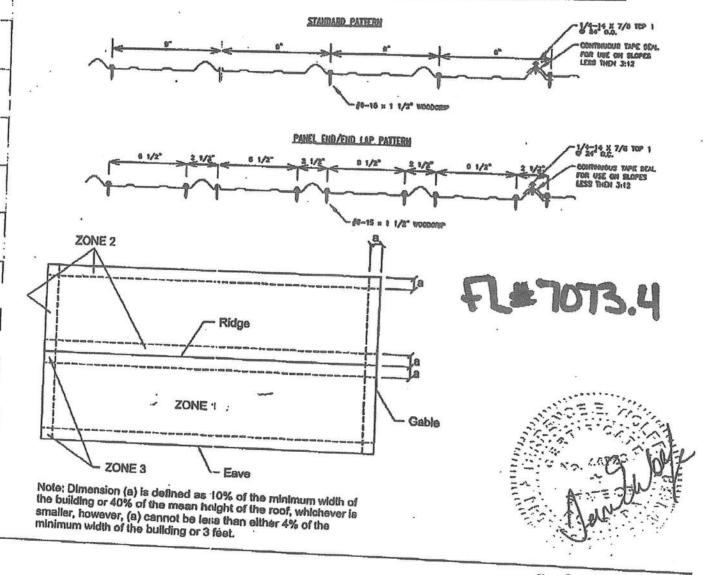
Date: 02 20 09
Columbia County Building Department P.O. Drawer 1529 Lake City, FL 32056
Authorize Darbara Johnson to pull and sign permits on my
behalf.
Sincerely, ———————————————————————————————————
Sworn to and subscribed before me this 20 day of Feb 2007
Notary Public: Lin E. Gosby
My commission expires: August 12, 2011 ERIN E CROSBY MY COMMISSION # DD704216 EXPIRES AUGUST 18
Personally Known EXPIRES August 12, 2011 FloridaNotaryService.com
Produced Valid Identification:
Rovised: 3/2006

TUFF-RIB 29 GA. LOAD TABLE O'VER 1x4 WOOD PURLINS

GULF COAST

Buildings having a Roof Mean Height≤ 20°-0"; Roof Slope: 2"/12" -12"/12" Wind Speeds 110-140 mph, Exp C, I = 1.0, based on FLORIDA BUILDING CODE 2004

		TUFF-	RIB 29 GA. FA	ASTENER SPA	CING	
			· WIND SPEED ZONE			
ZONE	FASTENER	SUBSTRATE	110	120	130	140
-			ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING
ZONE 1	#9-15 x 1-1/2°	1:4 WOOD FURLINS	24"	24"	24"	24°
ZONE 2	#9-15 x 1-1/2"	1:4 WOOD FURLINS	24".	24°	24"	12"
ZONE 3	#9-15 x 1-1/2"	1:4 WOOD FURLINS	24"	12"	12"	12"



Residential Trim

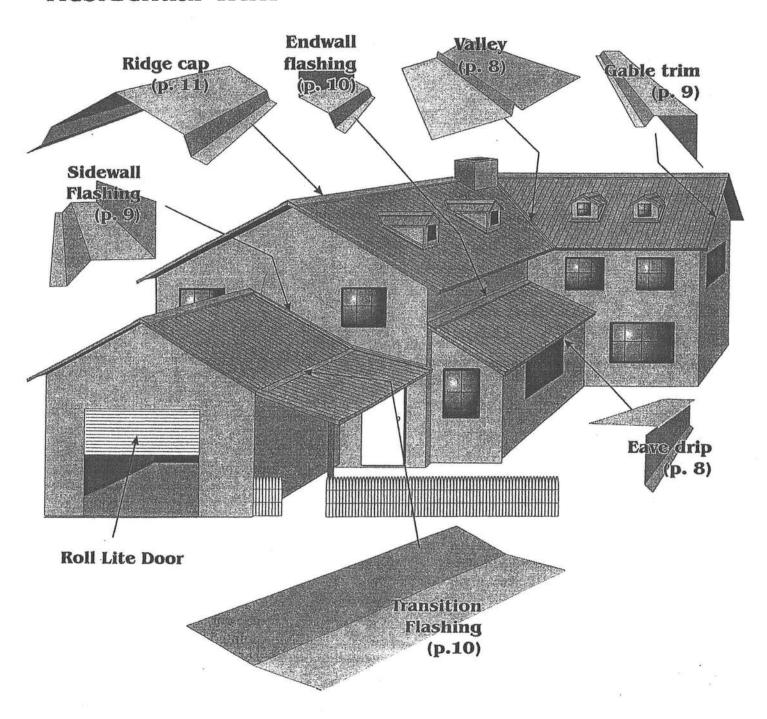


Figure 4 Roofing trims and flashings are named by the location or function of that particular piece on the building.

Ordering Roof Panels and Screws

Care should be taken to order panels of the correct length to avoid having to make corrective measures after purchase. Panel lengths should fall 2 to 3 inches short of the ridge what a vented ridge is desired, and should extend 2 to 3 inches past the eave to allow a sufficient drip edge (except as noted on pg. 3 concerning gutters). The Gulf Coast sales personnel are ready to assist customers with information specific to their particular roof.

Specially-washered screws applied through the flat of the metal is the most recommende method used to attach roofing panels. 1-inch screws can be used if penetration of only ¾ inch i either necessary or desired; otherwise, 1½ inch screws are usually recommended. 2½ inch screw are also available, and are often used by those who adhere to through-the-rib fastening, and for ridge-cap application. See page 6 for more information on screw spacing and ordering.

Ordering and Applying Trim

The most common flashing for metal roofing is the *ridge cap*, which is used at the peak o roof where two opposing roof slopes join. Other flashings include *transition flashing*, end wall and sidewall flashings, and valleys (see diagram on right for application). Eave flashings includ gable flashing and eave drip, either of which are often applied above fascia trim. When roof pit exceeds 5/12 (a 5 inch rise in 12 inches), the slope of the roof should be mentioned when ordering ridge caps, endwalls, and eave drip. When a steeper roof slope meets a lesser slope, both slopes should be mentioned when ordering transition flashing.

At the gable edge the use of gable trim adds to the appearance of the structure and protect the fly-rafter, and sidewall flashing is used where the *side* of a panel butts up against an adjacent wall. In either case, the installer should be careful to seal between the gable rake or sidewall ampanel with butyl sealant tape, and to fasten the rake every 6" to 12" up the slope of the roof with the appropriate screws. If eave drip is used on the gable, the number of 90 degree eave drip should be specified separately from that used on the drip edge when ordering.

To prevent penetration of water, insects, and debris at the ridge, outside closures may be inserted between the ridge cap and the top end of the panel*. Screws are applied through the rid cap, closure, and rib in at least every other rib of the panels. At least a 1½" (and up to a 2½") scresshould be used for attaching ridge caps. Self-drilling lap screws can also be used to attach ridge caps.

Keep Materials Dry!

Paint and finishes of Gulf Coast panels and trim are designed to withstand severe rain and wet weather conditions. Neither paint, galvanized, or Galvalume finishes, however, are designed to be in continuous contact with water for long periods of time. Damage will result if uninstalled panels or trim are allowed to remain wet in storage. Be sure to store material that will not be installed immediately in a dry location. Wet material should be air-dried and re-stacked if installation is not planned right away.

-11	12 inch	18 inch	24 inch	30 inc
50	270	180	135	108
100	540	360	270	216
200	1080	. 720	540	432
300	1620	1080	810	648
400	2160	1440	1080	864
500	2700	1800	1350	1080
600	3240	2160	1620	1296
700	3780	2520	1890	1512
800	4320	2880	2160	1728
900	4860	3240	2430	1944
1000	5400	3600	2700	2160
1100	5940	3960	2970	2376
1200	6480	4320	3240	2592

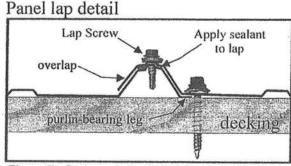


Figure 7 On low-pitched roofs butyl tape or caulk should be applied at the panel lap to keep water from overflowing the lap. Note that the *underlap* side of the panel has a short purlin-bearing leg that rests on the roof decking.

How to figure screws:

For 2-foot spacing between rows of screws, multiply the total linear feet of metal times 2.7

Example: your order is 1250 feet of Tuff-rib roofing. $1250 \times 2.7 = 3375$ screws

See table above for other spacings, or contact your Gulf Coast representative for a free estimate.

Gulf Coast Supply carries screws in 3 different lengths: 1 inch, 1½ inch, and 2½ inch. 1-inch screws will barely penetrate a 1x4, but the 1½ inch are the best all-purpose size. 1½- or 2½-inch screws are necessary for attaching ridge caps.

If care is taken, metal roofing application can be aided by pre-drilling panels, allowing screws to go quickly and accurately into the desired spacing. Pre-drilling will work provided that pilot holes <u>are placed accurately</u> in the proper locations on panels. Purlin spacing must be uniform and carefully measured.

To apply metal roofing over existing shingles, we recommend first overlaying the shingles with properly attached 1x4 purlins. If pressure treated purlins are used, felt paper should be applied over them in strips to prevent chemical interaction with the roofing panels. For solid decking, at least ½-inch plywood or its equivalent is required. For minimum penetration (such as might be desired over porches), 1-inch screws are recommended.

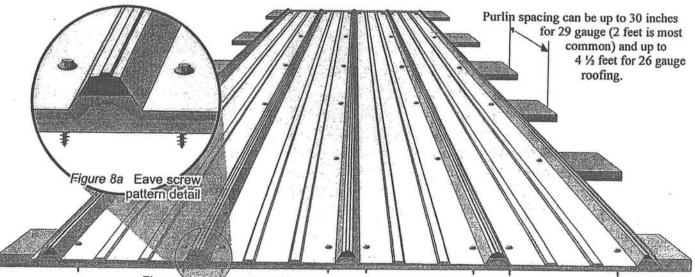


Figure 8 Screws should be placed on both sides of the ribs on the eave

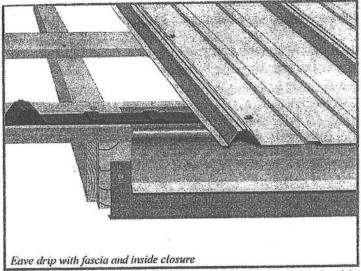
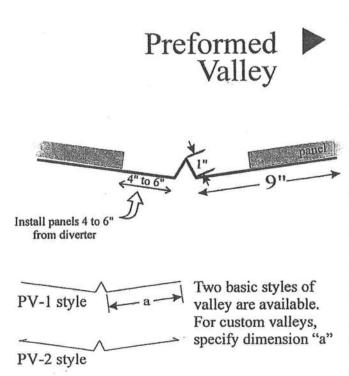


Figure 9 Eave drip and fascia give a finished look along the drip eave of the house, as well as providing protection for the materials they cover. The eave drip should completely cover the top edge of the fascia. Inside closures, which seal off the open ribs of the panels, are optional.

FHA Style Eave drip For custom eave drip, specify the amount of the eave that will be covered (dimension "a"), and, for steeper roofs, specify pitch. If fascia is desired, be sure that the dimension you order will be hidden by the eave drip.

Contraction of the Contract of



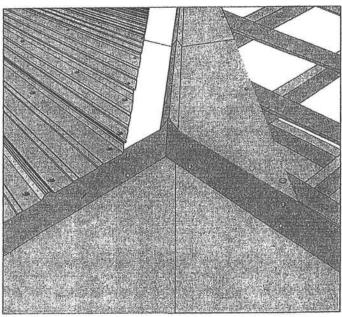
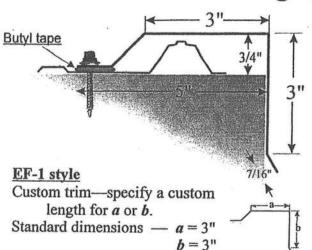


Figure 10 Pre-formed valleys use a diverter to prevent water from rushing under panels on the opposite side while meanwhile channeling water off the roof. Expanding foam closures are often used to assure a good seal.

Gable Flashing



GR-1 style

Custom trim—specify a custom length for a or b.

Standard dimensions — a = 3"

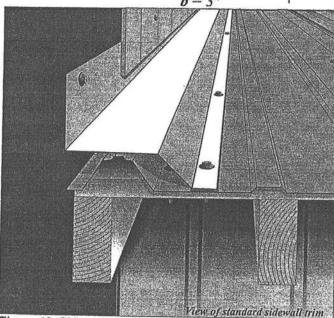


Figure 12 Sidewall flashing is applied when the side of the roof butts up against an adjacent wall. The wall-side of the flashing can either be covered over with siding or sealed with counterflashing. Butyl tape should be applied where the "foot" of the flashing attaches to the roof, and, if used, along the top edge of the counterflashing.

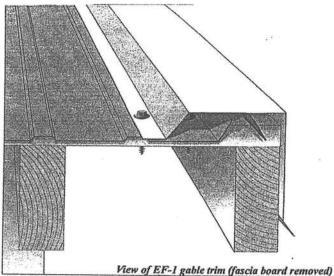
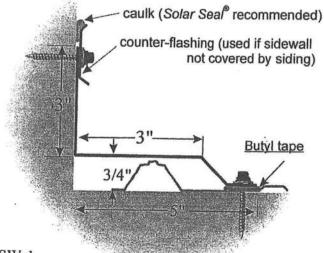


Figure 11 Gable flashing is used to trim the edge of th roofing panel at the gable end of the roof. It should mate the eave drip that extends along the drip edge of the roof. the panel is allowed to hang over the gable end, eave dri can be used instead. Butyl tape between the trim an panel eliminates leaks.

◀ Side-wall Flashing



SW-1
Custom trim—specify a custom length for a or b.
Standard dimensions — a = 3" b = 3"

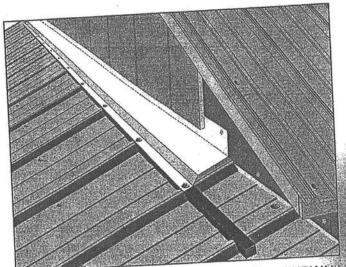
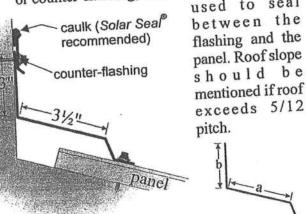


Figure 13 As with the ridge cap, the ENDWALL FLASHING above can be sealed using outside closures.

◀ End-wall Flashing

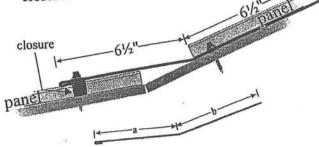
End-wall flashing is applied where the upward slope of a roof meets a wall. The wall side of the flashing can be covered with siding or counter-flashing, and outside closures are



For custom end-walls, specify roof pitch and dimensions "a" and "b".

Transition Flashing

TRANSITION FLASHING prevents leakage at the point where two different roof pitches meet. It is sealed on the lower side with outside closures, and can be sealed underneath the upper panels with inside closures.



For custom transition flashing specify the pitches of the two roof slopes and, if necessary, dimensions "a" and "b".

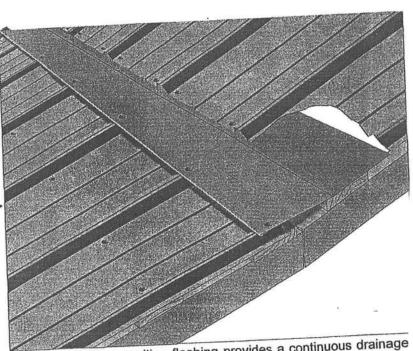


Figure 14 The transition flashing provides a continuous drainage where two slopes meet.

Ridge Cap

The Ridge Cap is used to seal the point at which two apward slopes meet This can be boild long the ridge of the roof as well a covering for the Either woodern or self-dridge ap TEK seed applied through the ribs of the roof.

Figure 15 Ridge cap with outside closures in place,

Decres, insects,

and boxing rain can find easy access under the ridge cap, so closures are often used to either completely or partially seal the opening.

Closure under ridge caps come in 3 types: solid, vented, and hip tape.

Source ("Outside Closures") are the same width as the panels.

The lock together in a row placed directly under the screws that

attach the ridge cap, and form a solid, water-tight, air-tight barrier.

(see Figure 14 on opposite page).

Profile Vent comes in 50 foot rolls, is 3 inches wide, and forms a waterretardant, insect resistant barrier that allows hot air to escape from the artic, and is superior to many more elaborate and expensive vent systems. Any length may be ordered.

Hip closure tape (*Peel and Seal**) is a sticky, adhesive-backed metallic tape that seals the hip roof. It is 6 inches wide and comes in 33½ foot rolls. Because it must be conformed to the rise and fall of the panel ridges, approximately 10% extra may be needed beyond the length of the hip being covered.

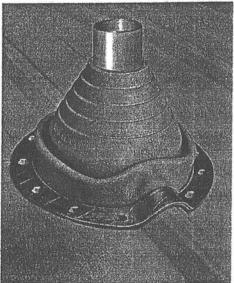


Figure 16 Pipe Boots provide a watertight seal around roof vents and come in a variety of sizes. They seal with caulk and conform to the shape of the panel ribs.

Standard 12-inch Ridge Caps

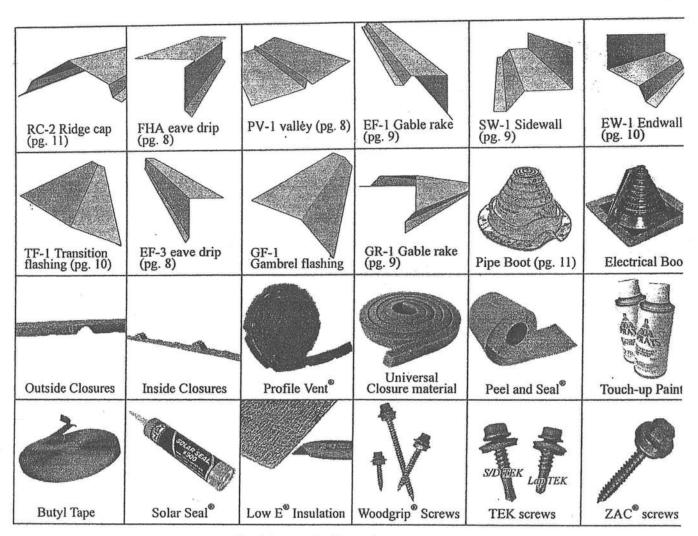
are economical and adequate for most of your roofing needs

Over-sized Ridge Caps

are available in 18-inch widths (hem to hem), or as a custom trim item in other widths

ridths (hem to hem), other widths

Available in total widths (2 times "a") of 14-, 16-, 18-, 20-, 22-, and 24-inch



Guide to Misc. Accessories

item	application
pipe boot	Fits over vent and heat pipes. Available also in heat-resistant boots.
electrical boot	Fits around pipes with inaccessible tops (such as weatherheads).
outside closures	Seals under ridge caps and transition and endwall flashings.
inside closures	Seals under panels, particularly on the eave.
Profile Vent®	Vented closure material surpassing many other venting systems.
universal foam	Seals irregular contact points (such as valleys).
Peel and Seal®	Seals hips under hip caps. Also, a general purpose sealing tape.
touch-up paint	Hides scratches and mars encountered in installation.
butyl tape	General purpose low-cost scalant, used on panel laps and under trim.
Solar Seal®	A superior general purpose caulk for all joints. Matches panel colors.
Low E® insulation	Greatly reduces radiant heat when installed under panels.
Woodgrip* screws	Used in all applications attaching metal to wood. 1", 1½", 2½" sizes.
TEK screws	Self-drilling TEK screws for metal purlins. Lap TEK screws draw
	together joints and attach trim.
ZAC screws	Heavy duty coated screws; available in woodgrip and self-drilling.



Gulf Coast Supply & Mfg. Inc.

352-498-0778

888-393-0335

FAX 352-498-7852

			ww	w.gulfcoas	tsupply.com	**************************************
Name:					For questions	on special
Address:		orders and all	your metal			
City,St.:			orders and all your metal roofing needs, contact your friendly Gulf Coast sales			
					representative	
Fax:					to 5 p.m.	Constant and the Constant of t
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NOTICE OF COMMENCEMENT FORM COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 26-45-16-03+85-015 HX

1.	Description of property: (I Lot 4 Blo	ycc Green A	orty and street address or 911 add	Iress) 30 -020
		21/07	Inst:200912002696 Date:2/20/2009	
			Inst:200912002696 Date:2/20/2009 Time:	11:53 AM inty Page 1 of 1 B:1167 P:1780 —
2.	General description of imp	provement: Re n		
3.	Owner Name & Address	Audrey Brown	162 SW Brava	Wou
	Lake City 7	2 32524	Interest in Property OWN	20
	Name & Address of Fee Sin	mple Owner (if other than ow	mer): NIA	
5.	Address PO BOX	Dis Walker Roof	m lie Phone Number 3 1 32038	86 497-1419
6.	Surety Holders Name	NIA	Phone Number	0)(0
	Address	IVIA		101H
	Amount of Bond	NA		
7.	Lender Name	n)\A	Phone Number	NA
	Address	NA	Filone Number	0114
8. sei	roa as provided by section	1 10.13 (1)(a) 1, Florida Statul	wner upon whom notices or otheres:	
	Name	4/0r	Phone Number	Ala
	Address	<i>A</i> 10		
9.	In addition to himself/herse	elf the owner designates	NA	of
	-	to receive a copy of	the Lienor's Notice as provided	in Section 713 13 (1) -
	(a) 7. Phone Number of the	e designee	Ulta	V. 4
10	. Expiration date of the Notice	e of Commencement (the ex	piration date is 1 (one) year from	the date of recording.
	(Unless a different date is s	specified)	NIA	
NO The	TICE AS PER CHAPTER 713 owner must sign the notice	, Florida Statutes: of commencement and no o	ne else may be permitted to sign	in his/her stead.
	Gulley Bri Signature of Owner	non	Sworn to (or affirmed) and day of FON UUNU NOT	d subscribed before 20 ARY PUBLIC STATE OF FLORIDA Shatonia Williams Commission # DD757258
E,	- 3-13-13-13-13-13-13-13-13-13-13-13-13-13		2.4	Expires: FEB. 10, 2012 EXPIRED THRU ATLANTIC BONDING CO., INC.

Signature of Notary