

DATE 02/08/2011

## Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000029169

APPLICANT WAYNE CARNER PHONE 386-438-4437  
ADDRESS 1269 SW HIGH FIELD TERRACE LAKE CITY FL 32024  
OWNER WAYNE CARNER & BELVA CARNER PHONE 438-4437  
ADDRESS 1269 SW HIGHFIELD TERR LAKE CITY FL 32024  
CONTRACTOR BERNIE THRIFT PHONE 386.623.0046  
LOCATION OF PROPERTY C- 131-S TO MEADOWLANDS DRIVE,TR, TO HIGH FIELDS TERRACE,TR  
TO THE END ON RIGHT.  
TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT 30  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 25.00 SIDE  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 36-5S-16-03761-153 SUBDIVISION MEADOWLANDS  
LOT 53 BLOCK PHASE 4 UNIT TOTAL ACRES 5.16

IH10251551  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 11-0053-E BLK HD N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ELEVATION CONFIRMATION LETTER REQUIRED BEFORE PERMANENT POWER. FINISH  
FLOOR ELEVATION TO BE @ 79.00'.

Check # or Cash 5165

## FOR BUILDING &amp; ZONING DEPARTMENT ONLY

Temporary Power date/app. by Foundation date/app. by Monolithic (footer/Slab) date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 51.36 WASTE FEE \$ 134.00  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 560.36  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION # 26247

**For Office Use Only** (Revised 1-10-08) Zoning Official BLK 08-02-11 Building Official AD 2-7-11

AP# 1102-02 Date Received 2/2 By JW Permit # 2969

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments Elevation confirmation letter required for permanent power

EMA Map# N/A Elevation N/A Finished Floor 7.5 feet River N/A In Floodway N/A

☐ Site Plan with Setbacks Shown ☒ EH # 1KUS3E per plat ☐ EH Release ☐ Well letter ☒ Existing well

☒ Recorded Deed or Affidavit from land owner ☐ Letter of Auth. from installer ☐ State Road Access

☐ Parent Parcel # ☐ STUP-MH ☐ F W Comp. letter

IMPACT FEES: EMS                      Fire                      Corr                      Road/Code IV 9th sheet

School                      = TOTAL                      Impact Fees Suspended March 2009 IV VF

Serial #

Property ID # 36-55-16-0376-153 Subdivision MEADOW LANDS ESTATE Phase 4 Lot 53

☒ New Mobile Home ☐ Used Mobile Home                      MH Size 28x52 Year 2010

Applicant BELVA WAYNE CARNER Phone # 386-438-4434

Address 1269 SW High Field Terrace, L.C., FL 32028

Name of Property Owner BELVA K CARNER Phone # 256-531-6605

911 Address 1269 SW High Field Terrace, L.C. FL 32028

Circle the correct power company - FL Power & Light - Clay Electric

(Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home WAYNE CARNER Phone # 386-438-4434

Address 1269 SW High Field Terrace, L.C., FL 32028

Relationship to Property Owner SPOUSE

Current Number of Dwellings on Property                     

Lot Size 5.16 Acres Total Acreage 5.16

Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)

(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

Is this Mobile Home Replacing an Existing Mobile Home NO - OWEL (as per Jax Conf. City)

Driving Directions to the Property CR 131 (TUSTANUGREE) 6 miles

PAST FLASHING LIGHT AT CR 240, TURN RIGHT OFF OF CR 131

ON MEADOWLANDS DR - GO APPROX 1 MILE TO

SW High Field TERR - GO TO END LOT ON RIGHT.

Name of Licensed Dealer/Installer Bernie Thiff Phone # 623 0046

Installers Address 5557 NW Fallen Creek Rd White Springs FL

License Number 1025155-1 Installation Decal # 1960 320



# COLUMBIA COUNTY PERMIT WORKSHEET

These worksheets must be completed and signed by the installer. Submit the originals with the packet.

Installer Bernard Thairt License # 1025153/1

11 Address where home is being installed 1269 SW High Field Terrace

Manufacturer Palm Harbor Length x width 52X28

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewalls exceed 5 ft 4 in.

Installer's initials BT

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footprint 16' x 16' (256)	16' 1/2" x 18' (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	28' x 26' (676)
1500 df	3'	4'	5'	6'	7'	8'
1500 df	4'	5'	6'	7'	8'	9'
2000 df	5'	6'	7'	8'	9'	10'
2500 df	6'	7'	8'	9'	10'	11'
3000 df	7'	8'	9'	10'	11'	12'
3500 df	8'	9'	10'	11'	12'	13'

\* Interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 17X25  
Perimeter pier pad size 13X26  
Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 12' Pier pad size 23X31

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) \_\_\_\_\_  
Manufacturer \_\_\_\_\_  
Manufacturer Model Model 1010 Oliver

## OTHER TIES

Number \_\_\_\_\_  
Siderail \_\_\_\_\_  
Longitudinal \_\_\_\_\_  
Shearwall \_\_\_\_\_

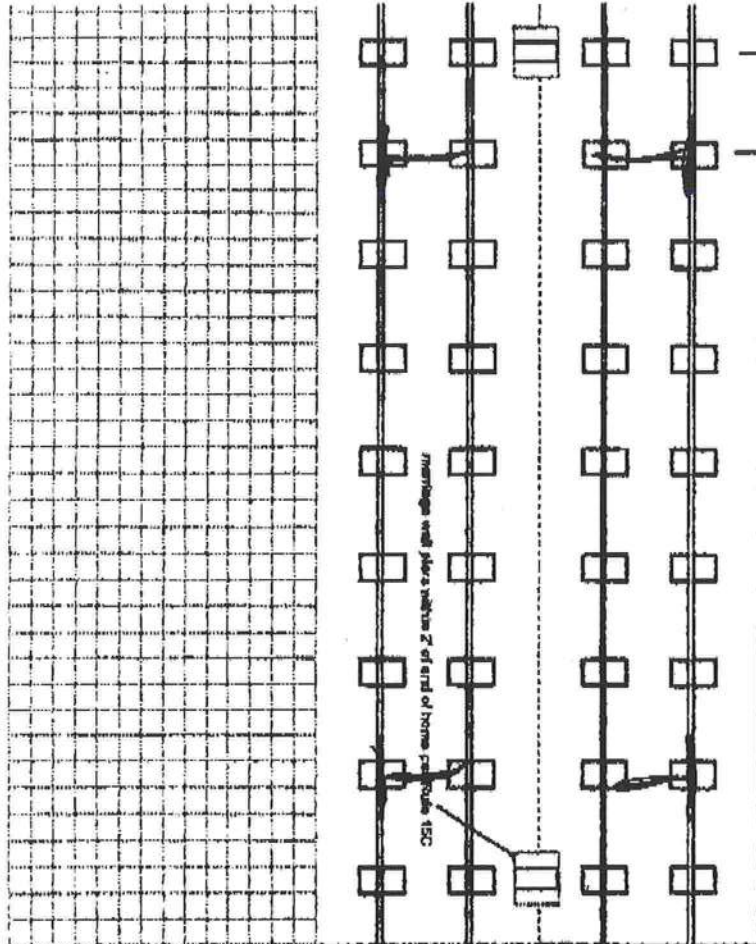
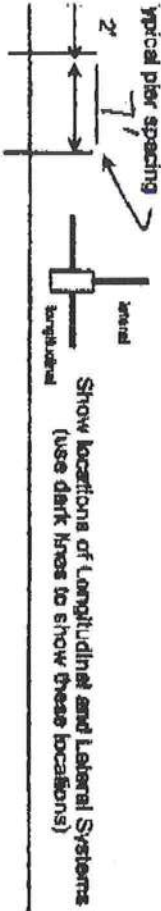
## FRAME TIES

within 2' of end of home spaced at 5' 4" oc

## ANCHORS

4 R \_\_\_\_\_ 5 R \_\_\_\_\_

Pad Size	Sq in
16 x 16	256
18 x 18	324
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 28 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676



# COLUMBIA COUNTY PERMIT WORKSHEET

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2009-02-25 20:53

SHOWCASE HOMES

3867586889

Page 2

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 2000 psi or check here to declare 1000 psi soil without testing.

X 2000 X 2500 X 2500

### POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 2500 X 2000 X 2000

## TORQUE PROBE TEST

The results of the torque probe test to 290 ft inch pounds of check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A blade approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Bernard Thrift

Date Tested

2-1-11

## Electrical

Install electrical conductors between multi-wide units, but not to the main power pole. This includes the bonding wire between multi-wide units. Pg. 5

## Pumbing

Install all sewer drains to an existing sewer tap or septic tank. Pg. 5

Install all potable water supply piping to an existing water meter, water tap, or other permanent water supply system. Pg. 5

## Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☐

Water drainage: Natural ☒ Swale ☒ Pad ☒ Other ☐

## Fastening multi-wide units

Floor: Type Fastener: 3/8" Lags Length: 5" Spacing: 24"  
Walls: Type Fastener: 3/8" screws Length: 5" Spacing: 32"  
Roof: Type Fastener: 3/8" Lags Length: 5" Spacing: 32"

For used homes a min. 30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with gable roofing nails at 2' on center on both sides of the centerline.

## Gable Roofs: Roofing nails

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

BT

Type gasket: Factory Installed

Installed:

Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of Ridgebeam Yes ☒

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 5  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

## Miscellaneous

Skirting to be installed. Yes ☒ No ☐  
Dryer vent installed outside of skirting. Yes ☒ N/A ☐  
Range downflow vent installed outside of skirting. Yes ☒ N/A ☐  
Drain lines supported at 4 foot intervals. Yes ☒ N/A ☐  
Electrical crossovers protected. Yes ☒ N/A ☐  
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Bernard Thrift

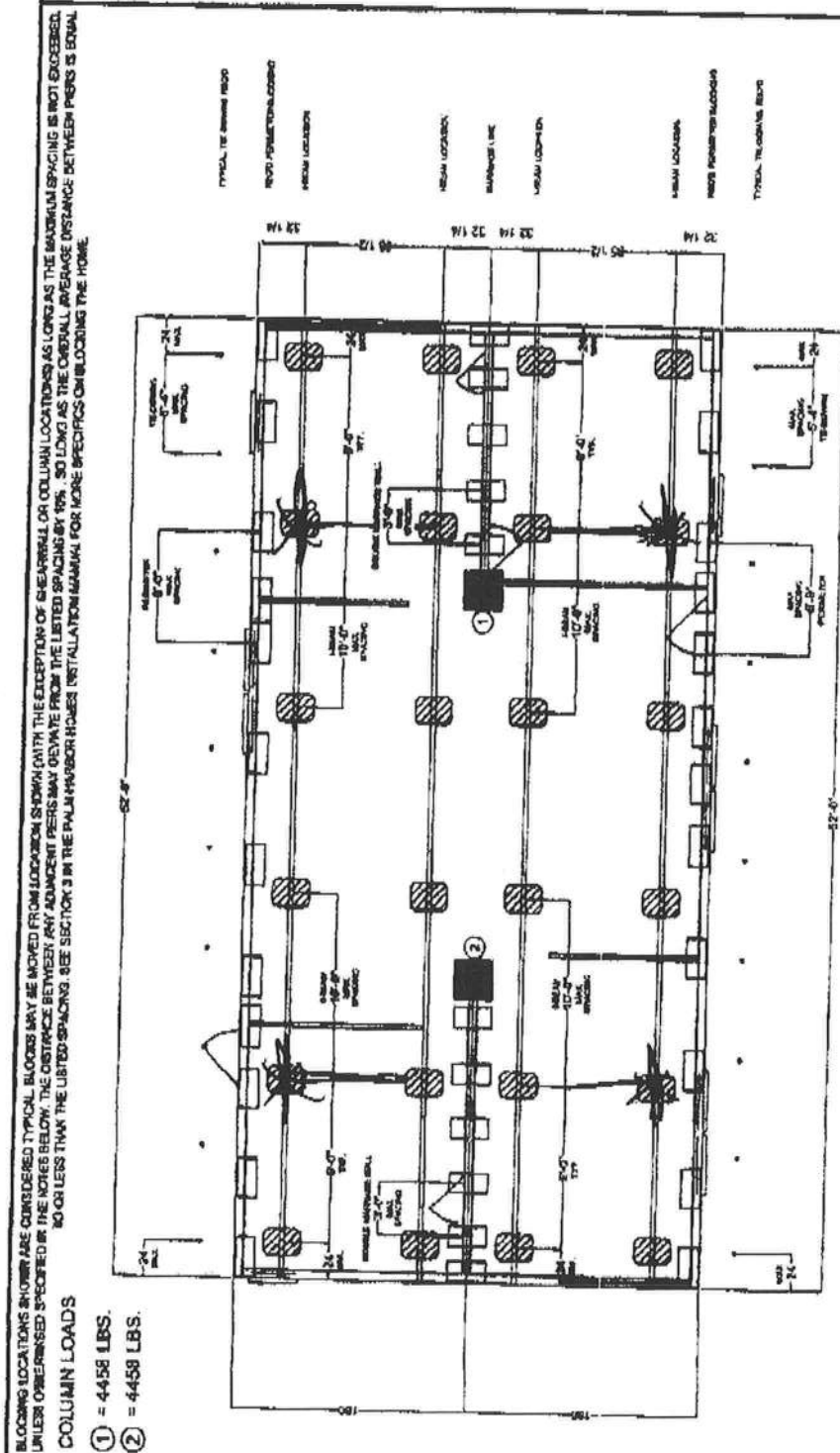
Date 2-3-11

2009-02-25 21:20

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P 4/4

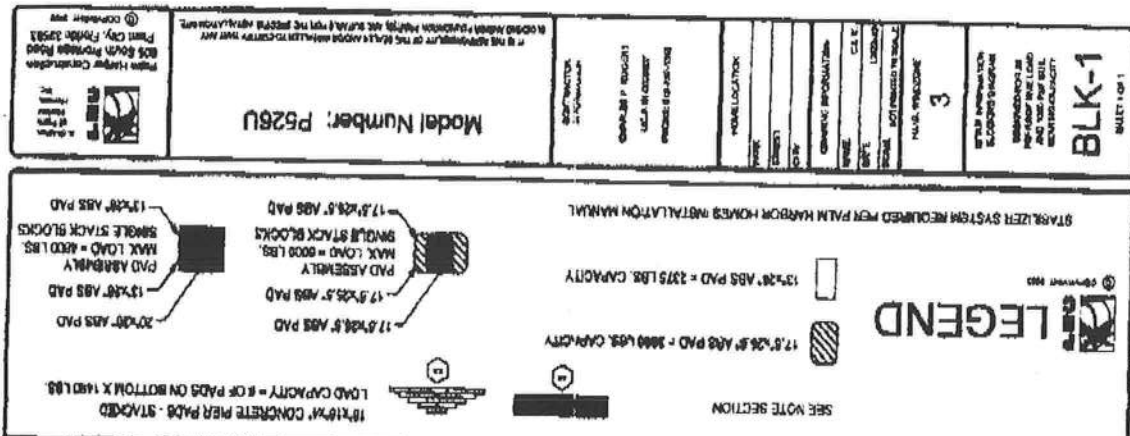




INSTALLING A PRIME CAN BE VERY DANGEROUS, ONLY QUALIFIED PERSONNEL SHOULD EVER ATTEMPT TO WORK ON

1. BLOCKING SPACING BASED ON 200PSI LBS (1000 OUNCES) AND 100 PSIES ACIAL BEARING CAPACITY.
2. COMPLETE BLOCKS ARE ONLY WIDENED AT JOINT POSITIONS, AND POUNDING PRESS OR HIGH-IMPACT BE BE DOABLE BLOCKS.
3. BLOCKING REQUIRED AT OPENINGS LESS THAN 4' BEING IN ONLY TO MAKE NON-OPERATIONAL.
4. BLOCKS OPERATIONAL, MINIMUM 12" SLIP JOINTS ARE REQUIRED FOR EACH SIDE OF ALL OPENINGS GREEN THIN AT 1/8" SLIPING GLASS BLOCKS, BOW AND WIDENINGS, RECESSED BATTERIES, ETC. (REFER TO THE INSTALLATION MANUAL FOR MORE SPECIFICS).
5. MANUFACTURE LINE BLOCKING ONLY REQUIRED UNDER WALLS, REQUIRED UNDER THE SHEARWALLS WHERE FOR WIND ZONE 1. MIN 4" INSTALLATIONS, WINDS ARE REQUIRED UNDER THE SHEARWALLS WHERE THEY ATTACH TO THE SILEWALL. THESE SHEARWALLS ARE REQUIRED AS UNDESIGNED WALLS ON THE FLOOR PLANS.
6. AS PER PAR 3.05 AND CALCULATION BASED ON INFORMATION PROVIDED BY MANUFACTURED HOUSE INC. (FOR MORE INFORMATION).

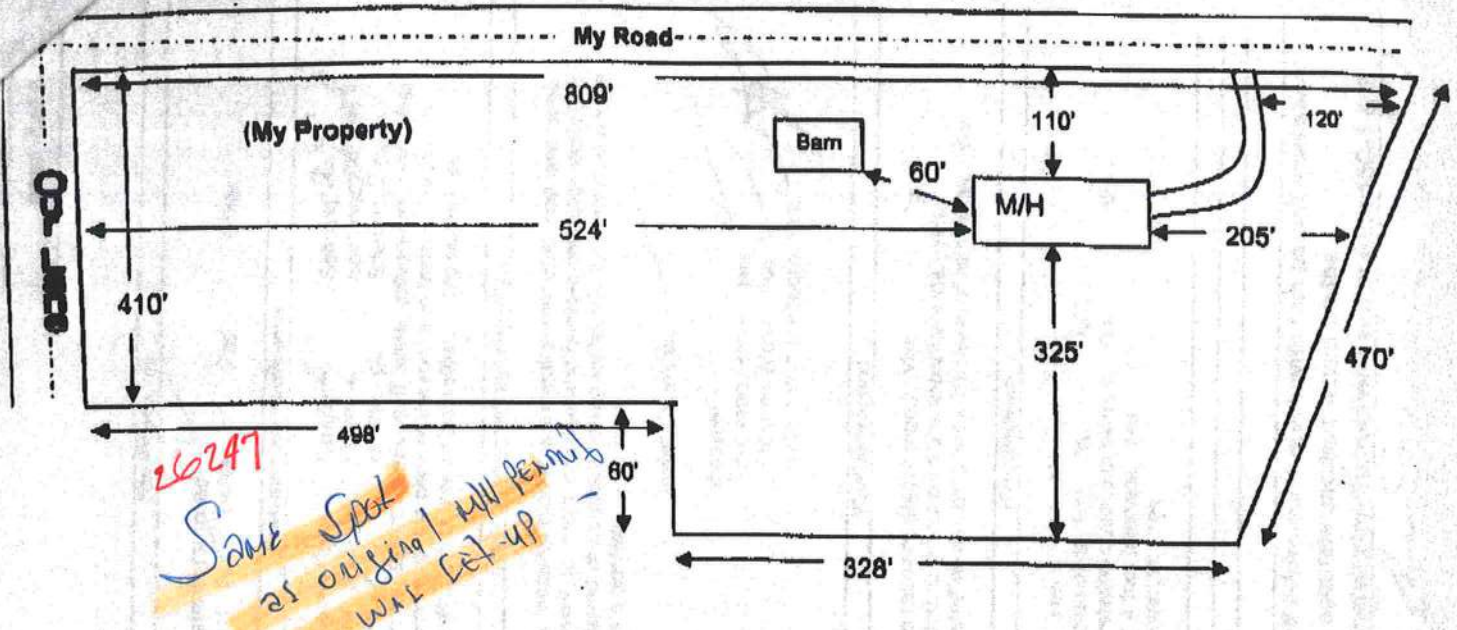
Model 1101 v 01, over Systems  
2000 PSD 5011



**COLUMN LOADS**

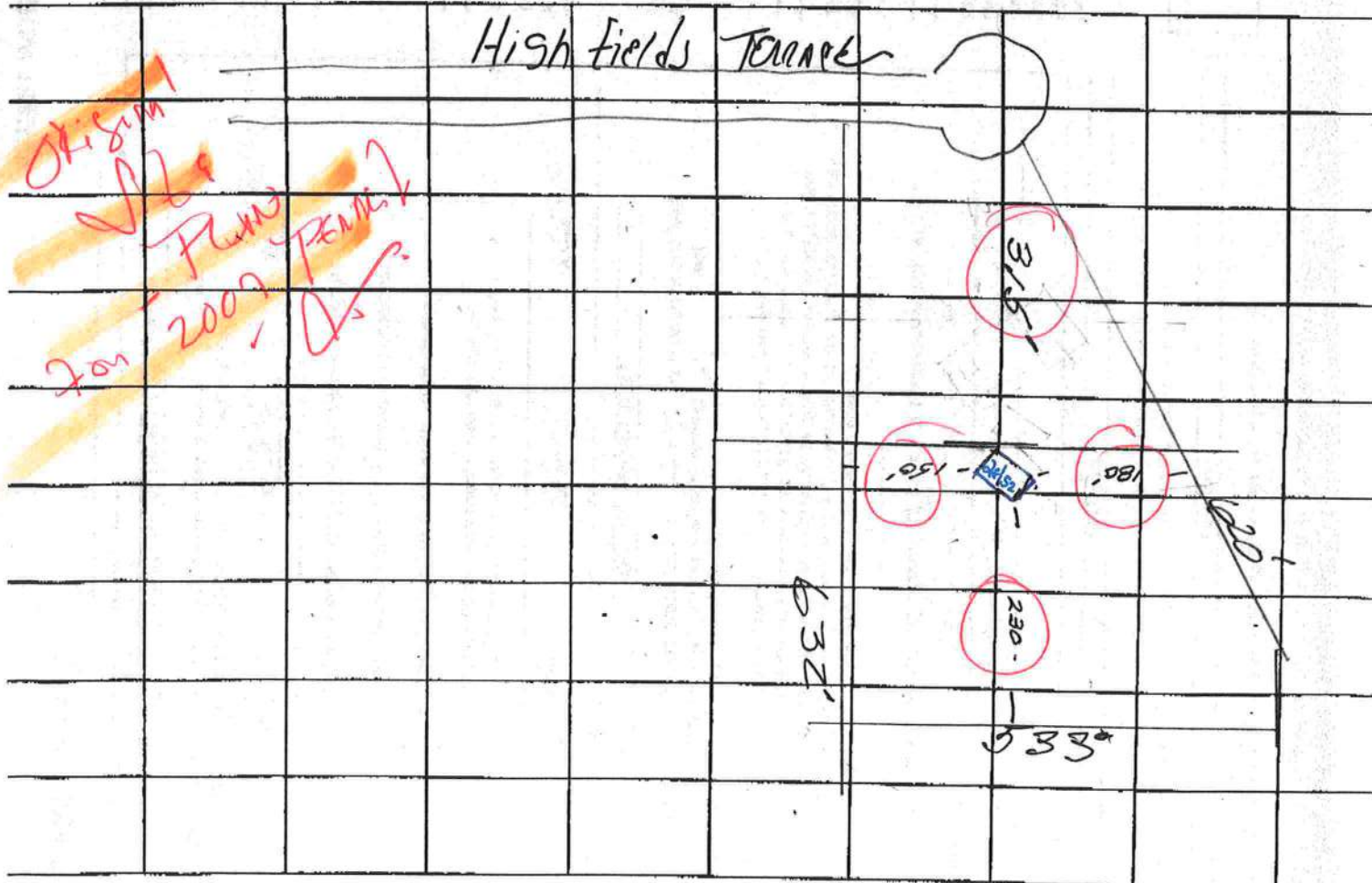
UNLESS OTHERWISE SPECIFIED OR THE NOTES BELOW, THE DISTANCE BETWEEN ANY ADJACENT PERGOLA BEAMS OR COLUMN LOCATIONS AS LONG AS THE MAXIMUM SPACING IS NOT EXCEEDED, NO OR LESS THAN THE LISTED SPACING, 80% SO LONG AS THE OVERALL AVERAGE SPACING BETWEEN PERGOLA BEAMS IS EQUAL TO OR LESS THAN THE LISTED SPACING. SEE SECTION 3 IN THE PALM HARBOR HOUSE INSTALLATION MANUAL FOR MORE SPECIFICS ON BEAM LOCATING THE HOME.

## SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.

High fields Terrace



## **COLUMBIA COUNTY 9-1-1 ADDRESSING**

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

### **Addressing Maintenance**

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

**DATE REQUESTED:** 9/7/2007 **DATE ISSUED:** 9/10/2007

#### **ENHANCED 9-1-1 ADDRESS:**

1269 SW HIGH FIELD TER

LAKE CITY FL 32024

#### **PROPERTY APPRAISER PARCEL NUMBER:**

36-5S-16-03761-153

#### **Remarks:**

LOT 53 MEADOWLANDS S/D PHASE 4

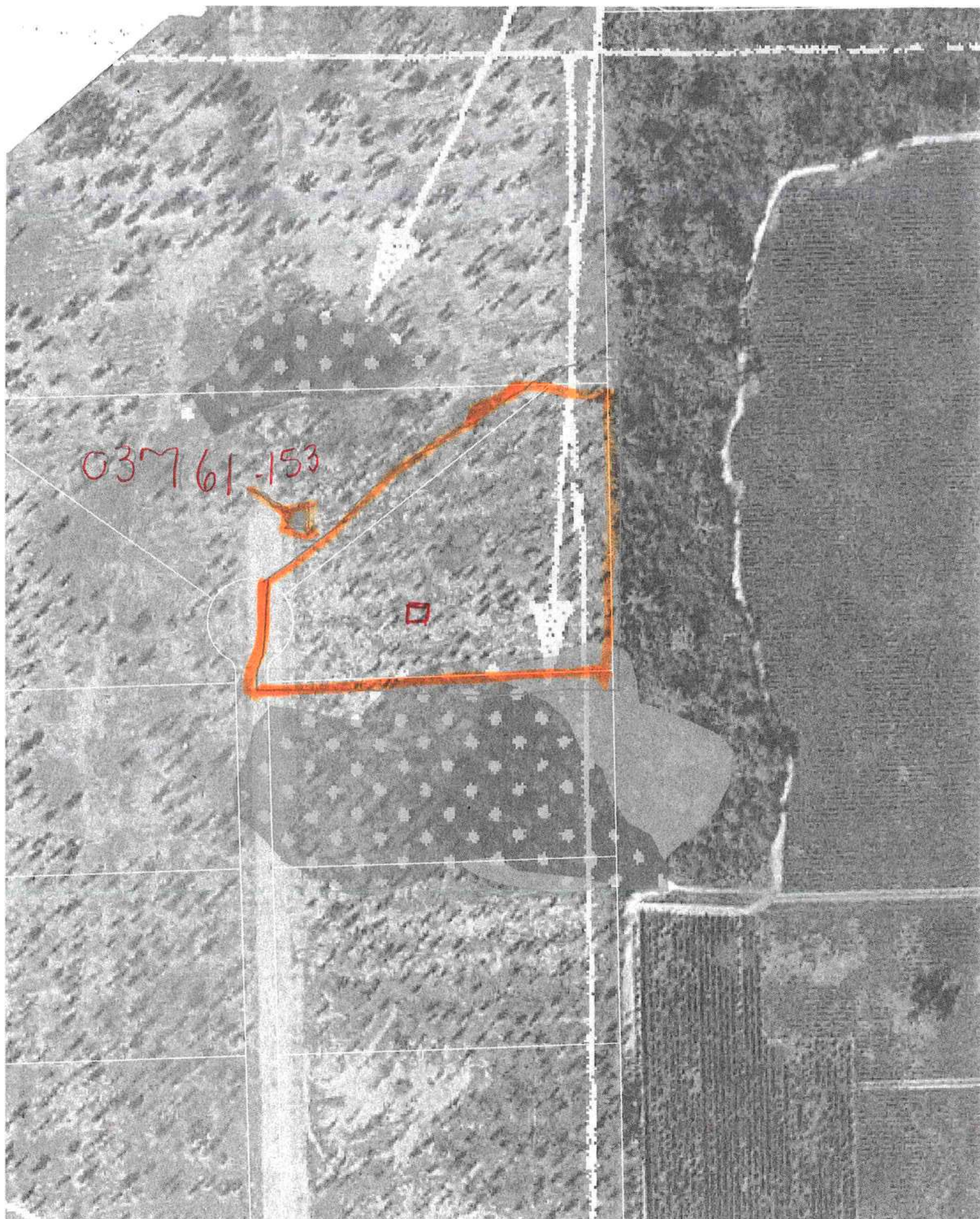
**Address Issued By:**

Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

948





03761-153





## Columbia County Property Appraiser

DB Last Updated: 1/6/2011

**2010 Tax Year****Parcel:** 36-5S-16-03761-153

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

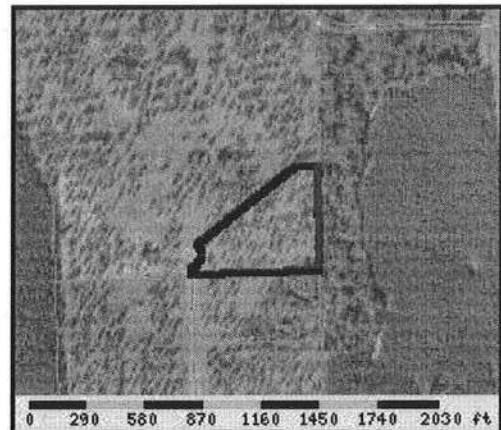
Interactive GIS Map

Print

**Owner & Property Info**

Search Result: 1 of 1

Owner's Name	CARNER BELVA KAY ROGERS		
Mailing Address	3918 CR 8 HANCEVILLE, AL 35077		
Site Address	1269 SW HIGH FIELD TER		
Use Desc. (code)	MISC RES (000700)		
Tax District	3 (County)	Neighborhood	1616
Land Area	5.160 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 53 MEADOWLANDS S/D PHASE 4 AG 1053-1842, WD 1130-1003 WD 1130-1005			

**Property & Assessment Values**

2010 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$36,473.00
<b>Ag Land Value</b>	cnt: (2)	\$0.00
<b>Building Value</b>	cnt: (1)	\$42,140.00
<b>XFOB Value</b>	cnt: (1)	\$3,456.00
<b>Total Appraised Value</b>		\$82,069.00
<b>Just Value</b>		\$82,069.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$82,069.00
<b>Exempt Value</b>	(code: HX)	\$50,000.00
<b>Total Taxable Value</b>	Cnty: \$32,069 Other: \$32,069   Schl: \$57,069	

**2011 Working Values**

**NOTE:**  
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

**Sales History**

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/4/2007	1130/1003	WD	V	U	04	\$0.00
9/4/2007	1130/1005	WD	V	Q		\$63,000.00
2/21/2005	1053/1842	AG	V	U	08	\$50,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	2007	\$3,456.00	0000288.000	12 x 24 x 0	(000.00)
0070	CARPORT UF	2010	\$600.00	0000001.000	0 x 0 x 0	(000.00)

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000700	MISC RES (MKT)	1 LT - (0000005.160AC)	1.00/1.00/1.00/1.00	\$34,473.60	\$34,473.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00



# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06)

Zoning Official afg 9/12/07Building Official DKJTH 9-10-07AP# 0702 18Date Received 9/7By JWPermit # 1452/ 26247Flood Zone XDevelopment Permit —Zoning A-3Land Use Plan Map Category A-3

Comments \_\_\_\_\_

FEMA Map# \_\_\_\_\_

Elevation \_\_\_\_\_

Finished Floor \_\_\_\_\_

River \_\_\_\_\_

In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☒ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☐ Letter of Authorization from installer

☐ State Road Access ☐ Parent Parcel # \_\_\_\_\_

☐ STUP-MH \_\_\_\_\_
Property ID # 36-55-16-03761-153 Subdivision MEADOWLANDS - Lot 53 <sup>Tha</sup> 4
☒ New Mobile Home ☐ Used Mobile Home \_\_\_\_\_ Year 2008
Applicant WAYNE L. CARNER Phone # 386-438-4437 CELLAddress 182 TOTEM GLN FT. WHITE FL. 32038Name of Property Owner BELVA K. ROGERS Phone# 438-4437911 Address 1269 SW Highfield Terrace, L.C. 32024

Circle the correct power company -

FL Power &amp; Light

Clay Electric

(Circle One) -

Suwannee Valley Electric

Progress Energy

Name of Owner of Mobile Home WAYNE CARNER OR BELVA ROGERS Phone # 438-4437Address 182 TOTEM GLN FT. WHITE FL. 32038Relationship to Property Owner "FIANCEE"Current Number of Dwellings on Property 0Lot Size \_\_\_\_\_ Total Acreage 5.13 ACRESDo you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)Is this Mobile Home Replacing an Existing Mobile Home NO (Dues)Driving Directions to the Property CR 131 SOUTH TO CR 240CROSSING CONTINUE ON CR 131 APPROX 6 MILESTO ENTRANCE TO "MEADOWLANDS" SUBDIVISIONPROCEED APPROX 1 MILE TO HIGH FIELDS TERR TURN RGO TO CUL-DE-SAC - LOT #53 - ON RIGHTName of Licensed Dealer/Installer KONNIE NORTH Phone # 752 3871Installers Address RT 1004 SW CHATTAHOOCHEELicense Number TH0000049 Installation Decal # 289964

JW Received 9.17.07 (Mr. GANA)

The applicant Mr. CARNER 9.12.07



DATE 09/17/2007

**Columbia County Building Permit**

This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT****000026247**

APPLICANT WAYNE CARNER PHONE 386-438-4437  
 ADDRESS 182 SW TOTEM GLEN FT. WHITE FL 32038  
 OWNER WAYNE CARNER/BELVA ROGERS PHONE 438-4437  
 ADDRESS 1269 SW HIGHFIELD TERR LAKE CITY FL 32024  
 CONTRACTOR RONNIE NORRIS PHONE 752-3871  
 LOCATION OF PROPERTY CR 131, TR ON MEADOWLANDS DRIVE, TR ON HIGH FIELDS TERR,  
TO THE END ON RIGHT  
 TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
 HEATED FLOOR AREA 0.00 TOTAL AREA 0.00 HEIGHT 0.00 STORIES 0  
 FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_  
 LAND USE & ZONING A-3 MAX. HEIGHT 0  
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
 NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 36-5S-16-03761-153 SUBDIVISION MEADOWLANDS  
 LOT 53 BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT 0 TOTAL ACRES 5.13

000001452 \_\_\_\_\_ IH0000049 \_\_\_\_\_  
 Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
CULVERT 07-741 BK JH Y  
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROADCheck # or Cash 4540**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
 date/app. by date/app. by date/app. by  
 Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
 date/app. by date/app. by date/app. by  
 Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
 date/app. by date/app. by  
 Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
 date/app. by date/app. by  
 Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
 date/app. by date/app. by date/app. by  
 Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
 date/app. by date/app. by date/app. by  
 Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing 10/01/2007 RJ  
 date/app. by date/app. by date/app. by  
 Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_  
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00





COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

# MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

1. Bernard Thrift  
Installer License Holder Name

give this authority for the job address show below

only, 1269 SW High Field Terr Lake City, FL 32024  
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
<u>Belva Carner</u>	<u>Belva Carner</u>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
<u>WAYNE CARNER</u>	<u>Wayne Carner</u>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Bernard Thrift  
License Holders Signature (Notarized)

1025155/1  
License Number

10/11  
Date

## NOTARY INFORMATION

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Bernard Thrift personally appeared before me and is known by me or has produced identification (type of I.D.) personal known on this 2 day of Feb, 2011.

J. Howell  
NOTARY'S SIGNATURE

(Seal/Stamp)

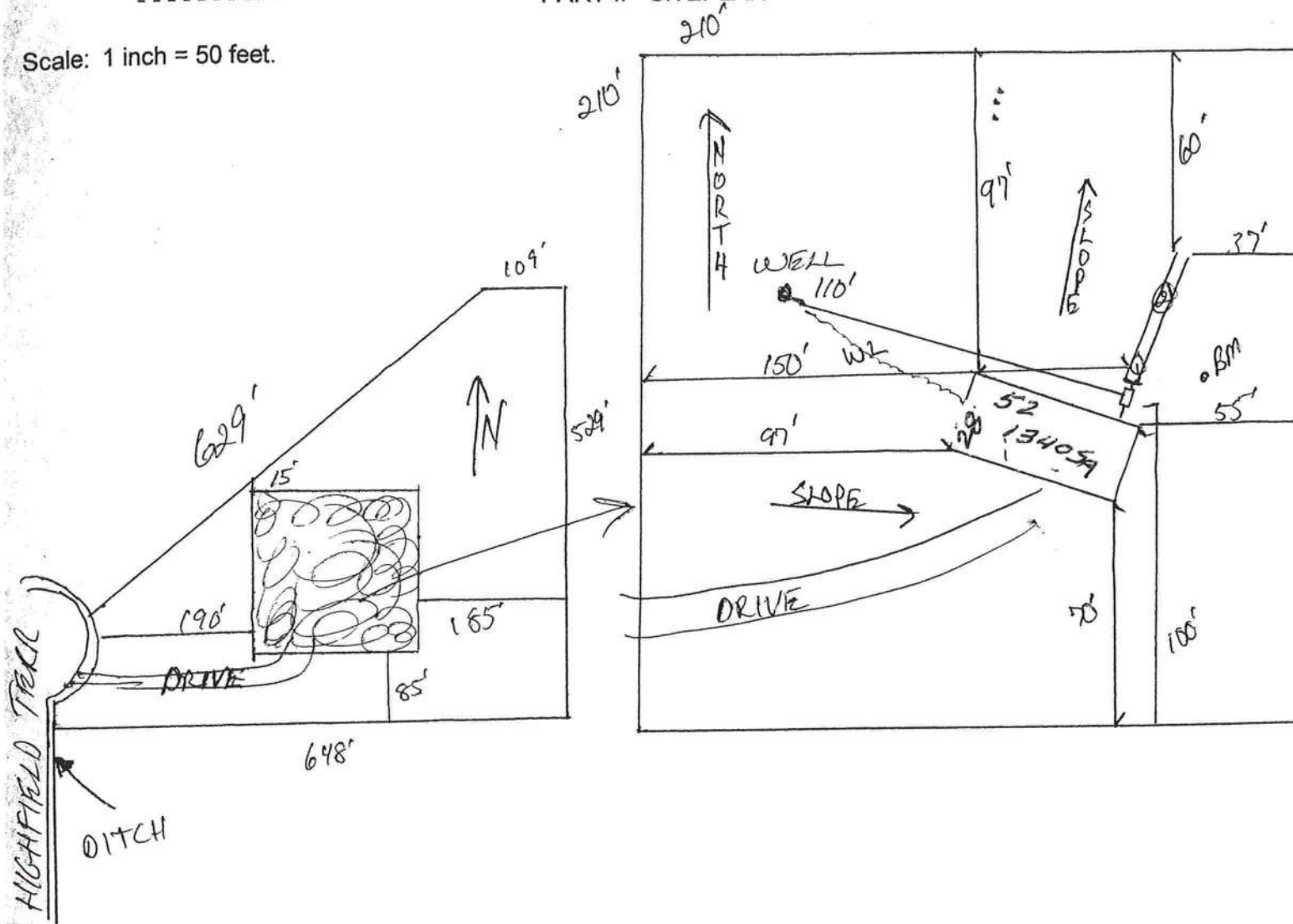


J. HOWELL  
MY COMMISSION # DD 750213  
EXPIRES: January 17, 2012  
Bonded Thru Budget Notary Services

## Permit Application Number:

11-0053E

Scale: 1 inch = 50 feet.



Notes:

1 of 5 ACRES

Site Plan submitted by:

Plan Approved

By Sally J. Ad. Director Columbus

MASTER CONTRACTOR

Date 2/7/11

County Health Department

DH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)  
 (Stock Number: 5744-002-4015-6)





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

11-0053E  
PERMIT NO. 992404  
DATE PAID: 2/2/11  
FEE PAID: 135.00  
RECEIPT #: 1560096

APPLICATION FOR:

[ ] New System [X] Existing System [ ] Holding Tank [ ] Innovative  
[ ] Repair [ ] Abandonment [ ] Temporary [ ]

APPLICANT: BELVA K CARVER

AGENT: WAYNE & BELVA CARVER TELEPHONE: 386-438-4437

MAILING ADDRESS: 1269 SW High Field Terrace

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 53 BLOCK: NA SUBDIVISION: MEADOWLANDS PH4 PLATTED: 2/18/05

PROPERTY ID #: 36-55-16-03761-153 ZONING: R9 I/M OR EQUIVALENT: [ Y / N ] (N)

PROPERTY SIZE: 5.1 ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] (N) DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 1269 SW High Field Terrace, Lake City FL 32024

DIRECTIONS TO PROPERTY: SOUTH ON CR131 TO MEADOWLANDS ESTATES  
TR ON MEADOWLANDS DR, 901 MILE TR ON SW High Field TERR  
90 TO END, PROPERTY ON RIGHT

BUILDING INFORMATION [X] RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>DWIMH</u>	<u>3</u>	<u>1340</u>	ORIGINAL ATTACHED
2			<u>(1386)</u>	
3				
4				

[ ] Floor/Equipment Drains [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: Wayne & Belva Carver DATE: Feb 2, 2011

# MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1102 CONTRACTOR Bernie Thrift PHONE 623-0096

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name <u>CRAIG'S ELEC. SERVICE</u> Signature <u>[Signature]</u> License #: <u>ER 0014642</u> Phone #: <u>386 391 3810</u>
<b>MECHANICAL/ A/C</b> <input checked="" type="checkbox"/>	Print Name <u>David Hall's Inc.</u> Signature <u>[Signature]</u> License #: <u>CACO 57424</u> Phone #: <u>386 755 9792</u>
<b>PLUMBING/ GAS</b> <input checked="" type="checkbox"/>	Print Name <u>Bernard Thrift</u> Signature <u>[Signature]</u> License #: <u>1025155/1</u> Phone #: <u>386 623 0046</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

**F. S. 440.103 Building permits; Identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



29169



## Donald F. Lee & Associates, Inc.

140 NW Ridgewood Avenue  
Lake City, Florida 32055

PH 386-755-6166 FAX 386-755-6167  
email: donald@dfa.com  
website: www.dfa.com

- Highway & Route Surveys
- Topographic Surveys
- Land & Subdivision Surveys
- Control Surveying

Since 1984

**Monday, February 21, 2011**

**TO: Columbia County Building Department**

**CC: Wayne Carner**

**RE: Floor Elevation Check – Lot 53, Meadowlands Phase 4**

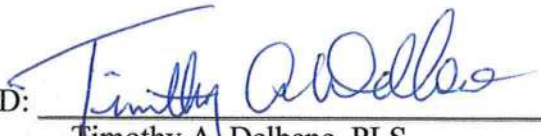
Elevations (based on a local benchmark) were obtained on the finished floor for a mobile home placed on the above referenced property. The results are as follows:

**Building Floor: 85.47'**

This information's datum matches the elevations used in the engineering design of the development (Meadowlands Phase 4).

The engineer for this development has established the 100 year flood elevation at this lot to be 74.5 feet and the Minimum Floor elevation to be 79.0 feet. Both elevations are a part of the recorded subdivision plat.

SIGNED: \_\_\_\_\_

  
Timothy A. Delbene, PLS  
Florida Reg. Cert. No. 5594

DATE: 2/21/2011

03761-153

## ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

### SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name Wayne Carner		For Insurance Company Use:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1269 SW High Field Terrace		Policy Number
City Lake City State FL ZIP Code 32055		Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 53, Meadowlands Phase 4 in Sec. 36, T-5-S, R-16-E		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>30°00.43'N</u> Long. <u>82°39.65'W</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>5</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft		
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>		
c) Total net area of flood openings in A8.b <u>N/A</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
A9. For a building with an attached garage:		
a) Square footage of attached garage <u>N/A</u> sq ft		
b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>		
c) Total net area of flood openings in A9.b <u>N/A</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

### SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Columbia County, Florida 120070		B2. County Name Columbia		B3. State Florida	
B4. Map/Panel Number 12023C0395	B5. Suffix C	B6. FIRM Index Date 2/4/09	B7. FIRM Panel Effective/Revised Date 2/4/09	B8. Flood Zone(s) X,A	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 74.5
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input checked="" type="checkbox"/> Other (Describe) <u>Per development's engineer - see Sec. D</u>					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

### SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.  
Benchmark Utilized Locak Vertical Datum NAVD1988  
Conversion/Comments N/A

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>85.47</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>81.6</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>82.3</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

☐ Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No

Certifier's Name Timothy A. Delbene		License Number LS 5594	
Title Land Surveyor & Mapper		Company Name Donald F. Lee & Associates, Inc.	
Address 140 NW Ridgewood Ave.		City Lake City	State FL ZIP Code 32055
Signature <u>Timothy A. Delbene</u>		Date <u>2/21/11</u>	Telephone <u>386 755 6166</u>

PLACE  
SEAL  
HERE



**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

1269 SW High Field Terrace

City Lake City State FL ZIP Code 32055

For Insurance Company Use:

Policy Number

Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Dwelling is a Mobile Home. No AC unit or other machinery currently installed.

100 yr Flood Elevation of 74.5, shown hereon as BFE, was determined by the engineer for the development and placed on the record plat of the subdivision. The same project engineer established a Minimum Floor Elevation for this lot of 79.0 feet.

Signature

Date 2/21/2011

☐ Check here if attachments**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Timothy Delbene

Address 140 NW Ridgewood Ave

City Lake City

State FL

ZIP Code 32055

Signature

Date 2/21/2011

Telephone 386-755-6166

Comments Donald F. Lee &amp; Associates, Inc. - Land Surveyors

☐ Check here if attachment**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number

G5. Date Permit Issued

G6. Date Certificate Of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial ImprovementG8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_G10. Community's design flood elevation \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum \_\_\_\_\_

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

## Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1269 SW High Field Terrace	For Insurance Company Use:
City Lake City State FL ZIP Code 32055	Policy Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.	
Company NAIC Number	



FRONT VIEW OF HOUSE



REAR VIEW OF HOUSE



**GERMANIC CARPENTRY**  
**OF**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 36-5S-16-03761-153

Building permit No. 000029169

Permit Holder BERNIE THRIFT

Owner of Building WAYNE CARNER & BELVA CARNER

Location: 1269 SW HIGHFIELD TERRACE

Date: 02/28/2011



*Harvey Lee Jr.*

Building Inspector

**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*