PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION For Office Use Only (Revised 6-23-05) Zoning Official 10-5-00 Building Official OK 71H 10-5-00 Date Received 10-4-0-6 By Permit # 25/25 0610-14 AP# Development Permit 10/A Zoning A 3 Land Use Plan Map Category Flood Zone Comments 5 STUP m+06 10-49 Finished Floor River In Floodway FEMA Map#_____ Elevation > Copy of Recorded Deed or Affidavit from land owner Letter of Authorization from installer Stup applied for OLD WIVE forest Str Unrec, Lot 21 Property ID # 13-65-16-03817-221 ____ Must have a copy of the property deed Year_2007 **New Mobile Home Used Mobile Home** Applicant NAIR bund ox Phone # 386-491) Kerh Address Name of Property Owner Kristopher Warks Phone# 386-623-1197 911 Address 332 SW Gall berry Court FortWhiteft 32028 Circle the correct power company -Clay Electric FL Power & Light (Circle One) -Suwannee Valley Electric **Progress Energy** Name of Owner of Mobile Home Phone # 56/-582-1249 Address 1320 LAKE GENEVA ER Relationship to Property Owner ______ / School moth Fin Current Number of Dwellings on Property Lot Size 660 +660 Total Acreage Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Walver (Circle one) Is this Mobile Home Replacing an Existing Mobile Home Driving Directions to the Property_ OLD WIRE RENAD

Name of Licensed Dealer/Installer <u>DAR HOUSTON</u> Phone # 386-X2-X8/4
 Installers Address 136 SW BALLS Glaw, LC, Ph. 32024

License Number TH-0000040 Installation Decal # 269268

4

Contacted on \$10/16/06 CH

Columbia County Property

Appraiser
DB Last Updated: 8/1/2006

Parcel: 13-6S-16-03817-221 HX

2006 Proposed Values

Tax Record

Property Card

Interactive GIS Map | Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	WEEKS KRISTOPHER R & JENNIFER
Site Address	GALLBERY
Mailing Address	332 SW GALLBERRY CT FT WHITE, FL 32038
Description	(AKA LOT 21 OLD WIRE FOREST S/D UNR) SW 1/4 OF SW 1/4 OF SW 1/4. ORB 989-2297, WD 996- 2092, DC AFFIDAVIT NORMAN OVERHOLSER 1054- 1205, WD 1054-1207.

Use Desc. (code)	MOBILE HOM (000200)
Neighborhood	14616.00
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	10.025 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (2)	\$66,160.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$56,880.00
XFOB Value	cnt: (1)	\$1,500.00
Total Appraised Value		\$124,540.00

Just Value		\$124,540.00
Class Value		\$0.00
Assessed Value		\$124,540.00
Exempt Value	(code: HX)	\$25,000.00
Total Taxable Value	:	\$99,540.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
7/27/2005	1054/1207	WD	I	Q		\$132,000.00
10/4/2003	996/2092	WD	V	U	04	\$100.00
9/9/2002	989/2297	CD	V	U	03	\$32,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	2003	Vinyl Side (31)	1860	1860	\$56,880.00
	Note: All S.F. calculation	ns are base	ed on exterior bu	uilding dimensio	ns.	

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	2003	\$1,500.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	10.025 AC	1.00/1.00/1.00/1.00	\$6,400.00	\$64,160.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

This Warranty Deed

27th day of July, 2005 by Made this DEANNA L. OVERHOLSER, ALSO KNOWN AS DEANNA SADDLER OVERHOLSER, UNMARRIED

hereinafter called the grantor, to
KRISTOPHER R. WEI

KRISTOPHER R. WEEKS AND JENNIFER WEEKS
HUSBAND AND WIFE
Inst:2005019073 Date:08/09/2005 Time:13:50

HUSBAND AND WIFE

Doc Stamp-Deed: 924.00 BKH DC,P.DeWitt Cason,Columbia County B:1054 P:1207

whose post office address is:

332 SOUTHWEST GALLBERRY COURT

FT. WHITE, FL 32038

hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuels, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, allens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz:

Lot 21 of OLD WIRE FOREST, an unrecorded subdivision in Columbia County, Florida; more particularly described as follows:

The Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 13, Township 06 South, Range 16 East, Columbia County, Florida. The East 30 feet of said lands being subject to an easement for ingress and egress.

TOGETHER with a 2003 CLAY doublewide mobile home, ID #WHC012654GAA and #WHC012654GAB.

Subject to covenants, restrictions, easements of record and taxes for the current year.

Parcel Identification Number:

R03817-221

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2004

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

resign Witness: (Signature)

Print Name Die

Witness: (Signature)
Print Name: Madenna

DEANNA L. OVERHOLSER 2422 EAST G AVENUE KALAMAZOO, MI 49004

somme

State of Michigan

County of Kalamazov

The foregoing instrument was acknowledged before me this 27 _ day of July, 2005, by DEANNA L. OVERHOLSER, a/k/a Deanna Saddler Gverholser, unmarried, who is gersonally known to me or who has produced drivers license as identification.

NOTARY PUBLIC (signature)

Print Name:

My Commission Expires:

Stamp/Seal:

Prepared by and Returned to:

Charlotte Dixon

Professionals' Title Company, LLC

4141 NW 37th PI Galnesville, FL 32606

File Number: 581050123

KANDIE R. WOOD Notary Public, State of Michigan County of Kalamazoo

My Commission Expires Nov. 27, 2010 Acting in the County of Kalauago

incident to the issuance of a title insurance contract. warrantydeed.dot rev. 01/24/05

STATE OF FLORIDA DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number___

	PART II - SITEPLAN	٧
Scale: 1 inch = 50 feet.	21	10
(c)	210 47 47 47 A	But Brown 82
In Santa	Existrate (30) 180 125 (30) 180 1435 (30)	SOUR SQ WELL WELL WELL WELL WELL WELL WELL WEL
	660 CAMBRELY	Ct
Notes:	1 of 10 Acris	
Site Plan submitted by:	Prelon 17 + I	MASTER CONTRACTOR
Plan Approved	Not Approved	Date
Ву		County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

RON E. BIAS WELL DRILLING

RT.2 BOX 5340 FT. WHITE, FLORIDA 32038 (904) 497-1045 MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer:	MAGE.	FACKSON
Located at Address: SW Gallbarry	GT, Fex	of Whim
	7	
1 hp - 1 1/4" drop over 86 gallon tank, 250 gallon eq	uivalent capti	ve with back flow

preventer. 35-gallon draw down with check valve pass requirements.

Ron Bias

LIMITED POWER OF ATTORNEY

I, <u>Dale Houston</u>, license # <u>IH-0000040</u> do herby authorize <u>Dale Burd</u>, <u>Kelly Ford</u> or <u>Rocky Ford</u> to be my representative and act on my behalf in all aspects of applying for a MOBILE HOME MOVE ON PEMIT to be placed in Madison County Florida.

Alle Howston	<u> </u>			
Signed				
9/26/06				
(Date)				
) /7		
Sworn and subscribed be	efore me this 🚄	_ day of _	SED)	, 2006
MA (/	
Notary Public		DA	LE R. BURD Comm# DD0559297	
•			Expires 7/16/2010	
Personally Known:			Flonda Notary Assn. Inc	
Produced ID (Type):		PLENEROSOSSOSSOS	**********************	•

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said License shall be renewed annually, and each licensee shall pay a fee of \$150.

I, DAKHOUSTEN	, license number I	н_0000040	do
herby state that the installation of			
DATE RAND on Roch Forel	_(customer name)	FACKSON	in
DATE BURDOR RochyFord Columbia	County will be done un	der my supervision.	
Signature Sworn to and subscribed before re Notary Public:		R. BURD Commit D00559297 Expires 7/16/2010 Conde Notary Assn. Inc	006.

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PERMIT NUMBER

Debris and organic mat	Water drainage: Nathura	
POCKET PENETROMETER TEST	The pocket penetrometer tests are rounded down to a check hare to declare 1000 lb. soil without testing.	×

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Fastering matt wide unit Ded. State Orange

erial femoved

Site Preparation

Q D

Spacing Spacing

Stran

Type Fastener: ype Fastener

Floor. Walls: Roof.

1ype Fastener: Length: Specing: M. 19x 2.4 "For used homes a min. 30 gauge, 8" wide, galvanized metal strip Length

well be contered over the peak of the roof and fastered with galv. roofing nails at 2" on center on both sides of the centerline

Gen lief ivestheproching requirement

a result of a poorly installed or no gasket being installed. I understand a strip nomes and that condensation, mold, melder and buckled marriage walls are undersland a property installed gasket is a requirement of all new and used of tape will not serve as a gasker

小路路

Bottom of ridgebeam Yes Between Walls Yes Between Floors inslalled

nstaller's initials

Meatherproofing

Freplace chimney installed so as not to allow intrusion of rain water. Siding on units is installed to manufacturer's specifications. The bottomboard will be repaired and/or taped. Yes

Miscallareous

Range downflow vent installed outside of skirting. Drain lines supported at 4 foot intervals. Yes Dryer very installed outside of skirting. Yes Electrical crossovers protected. Yes Skirting to be installed. Yes

ž

nstaller verifies all anormation given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15G-1 & 2 Installer Signature

POCKET PENETROMETER TESTING METHOD Test the perimeter of the home at 6 locations. reading and round down to that increment 2. Take the reading at the depth of the looter. Using 500 lb. increments, take the lowest

TORQUE PROBE TEST

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×

inch pounds or check showing 275 inch pounds or less will require 4 fool anchors here if you are declaring 5' anchors without testing the results of the torque probe test is

reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 to the directors. anchors are required at all centerline tie points where the torque lest anchors are allowed at the sidewal! locations. I understand 5 ft A state approved lateral arm system is being used and 4 fl. Note:

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

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nstaller Name

Date Tesled

2

C

electrical conductors between multi-wide units, but not to the main power This includes the bonding wire between mult-wide units. Po Connect SOURCE

Hastrica

Connect all sewer drains to an existing sewer tap or septic tank. Pig. $|m{V}|$ A

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

BOARTS WOBILE HOME INC

2Eb-52-5009 12:38

90/t0.9

MULTIPLE SECTION PIER LOADS

-	-			LICH L	ILK L	OADS	
37 E	XAMPLE SUBLE WIDE INITS						
27 0	NIS WIDE		14' WIDE	WITH MAX	. 14 INC	H OVERH	ANC
20 P	SF ROOF		(168" FL	OOR WITH M	AX. 14 INCH	OVERHANG)
MAX. PIE			MIN.	FOOTING AREA	(SO MAKE)	- 280 CO K	•
SPACING	IN POUND	5	FOR	SOIL BEARING	CAPACITY SPECI	FIED 230 SUL IN	KPIES MIN. 40
2,400		SOIL BEARING	1000 P	SF 1500 P	SF 2000 P	SF 2500 PS	F 3000 PS
4-0 D	2589		483	267	257		
50° 0.0			384 569	269	297		256 · 256 ·
7-0 0.0			分 669 7/73	431	317	255 **	
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TABULATE	D SPACING VALU	MAYRE EXCEEDED BY	T UP TO 10% SC	D LONG AS THE	AVERAGE SPACE	G TON EBOOL DA	CEED
			1 OPENIN	OG FOOT			W
I CAMPAGE		SIDEANYE	L OPENIN	GS FOOTIN	G AREAS		
MAXIMUM OPENING	PER LOADS	1	MN, F	DOTING AREA (:	SO. INCHES) . PACITY SPECIFIE	** 256 SD MC	UEC trat
15.25	STATE OF STREET	900 BEADING	FOR SI				Man Carrie
		SOL BEARING CAPACITY	1000 PSI	F 1500 PS	F 2000 PS	F 2500 PSF	3000 PSF
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8-0	880	2000年	258 **	256 =	256 **		256 **
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12'-0"	1319		259	256 =	256 **	255 **	258 🖛
14"0"	1539	Section of the	295	256 ↔	256 **	256 **	256 **
18'-0"	1759		330	258 **	256 **	256 **	256 ↔ 256 =
20'-0"	2799		385 400	256 **	2.6 **	256 **	235 🗝
-alexa di Meno		MAR	RIAGE WA	LL OPEN	256 PF	256 =	256 **
	-40-	, , , , , , , , , , , , , , , , , , ,	FOOTING	ABEAS OF EN	IIING2		
MAXIMUM	PIER LOADS		MAIN FOR	OTING AREA (SC	AMUER		
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16'-0"	2980	THE LE ROYMER	634	408	302	256 ≠ 256 ==	255 **
18'-0" 20'-0"	3240 B	2004年建設建立	702	454	334	254	256 ** 256 **
22'-0"	3960		770	434	355	288	256 **
24'-0"	4320		904	538 582	398	314	290
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26'-0" 30'-0"	5040 5400	144	1038	688	492	390	302
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34'-0"	3960	C.P.A.TY	1172	754	886	440	388
38'-0"	4320		1306	798 840	588 620	488 490	388
38-0	SARR N	1 / 2 6 25 1 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4		422		- 10V	406

1. THE SIDEWALL DIPEMING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLLIMINS (CLEAR SPAN ON ONE SIDE OF COLLIMINS ONLY).
FOR PIERS SUPPORTING CONTER STAD COLLIMINS AND THE CLEAR SPANS ON EACH SIDE OF CENTER COLLIMINS TOSETHER BEFORE USING THE TABLE TO DETERMINE THE REQUIRED PIER LOAD AND FOOTING AREA.

2. THE MARIBAGE WALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA.

2. THE MARIBAGE WALL OPENING CHART ABOVE SPECIFIES THE PIER LOAD AND MIN. FOOTING AREA REQUIRED FOR SUPPORTING END STUD COLLIANS (ONE SUE OF COLLIANS ONE.Y).

FOR PIERS SUPPORTING CONTER STUD COLLIANS AND THE CLEAR SPANS ON EACH SIDE OF GENTER COLLIANS TOGETHER BEFORE USING THE TABLE TO DETERLINE THE REQUIRED PER LOAD AND FOOTING AREA.

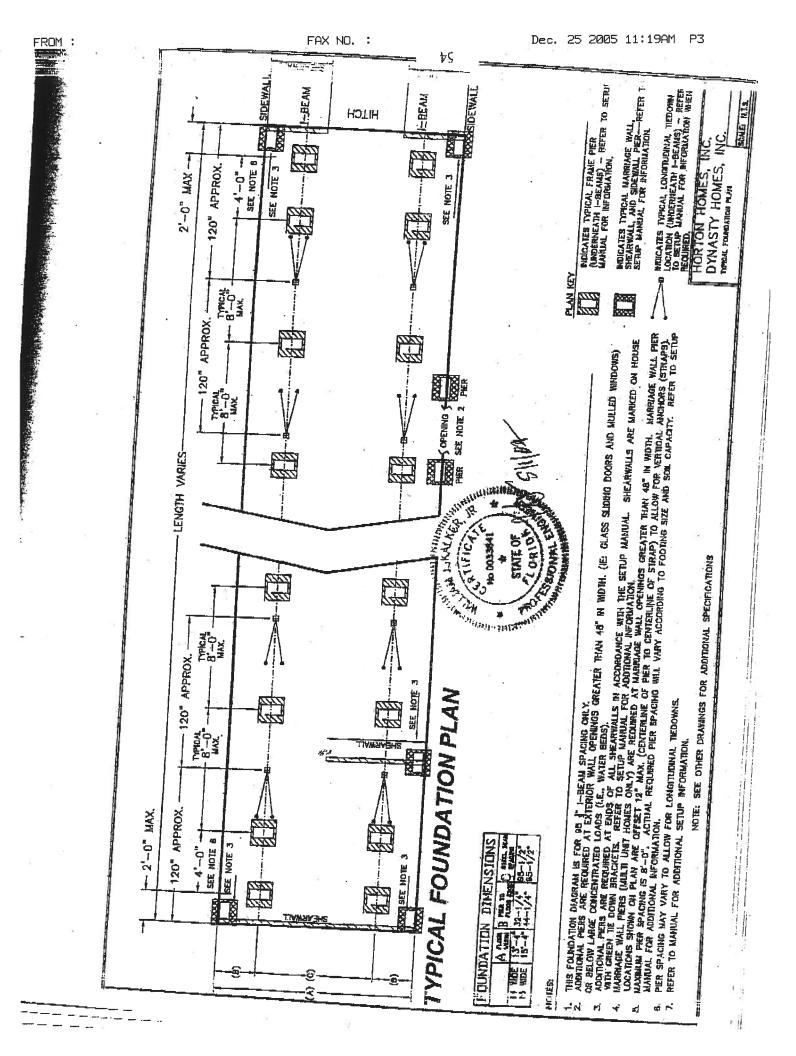
THE MARRIAGE WALL CHART ABOVE ASSIMES A COLUMN IS LOCATED IN BOTH HALFS OF THE DOUBLE WIDE HOME (LOAD IN THE TABLE & LOAD FROM EACH HALF COMBINED). FOR COLUMNS LOCATED IN ONLY ONE HALF OF THE DOUBLE WIDE DIVIDE THE CLEAR SPAN OR SUM OF CLEAR SPANS BY 2 SEFORE USING THE TABLE ABOVE.

3 SHEARWALL PIERS MUST BE DESIGNED TO SUPPORT A PIER LOAD OF 4000 POLINDS. FOR PLF LOADS THAT DO NOT EXCEED 300PLF, PIER LOADS MAYBE REDUCED TO 3000 POUNDS.

HARTON



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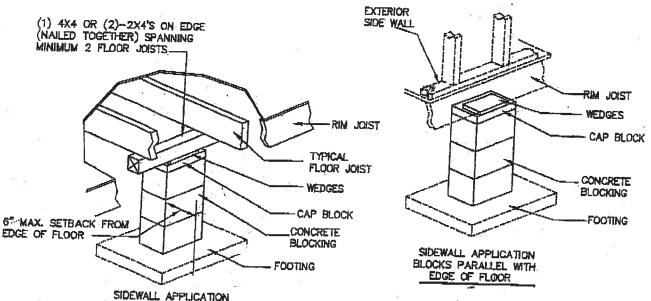


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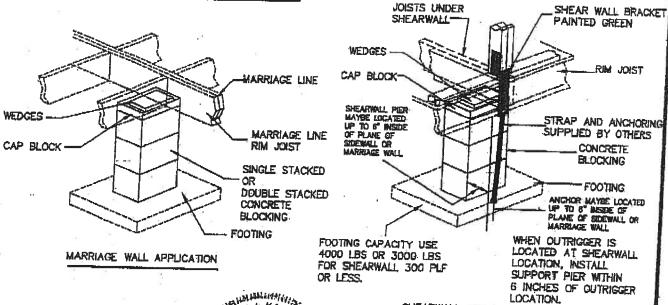


PIER APPLICATIONS

DYNASTY HOMES, INC.

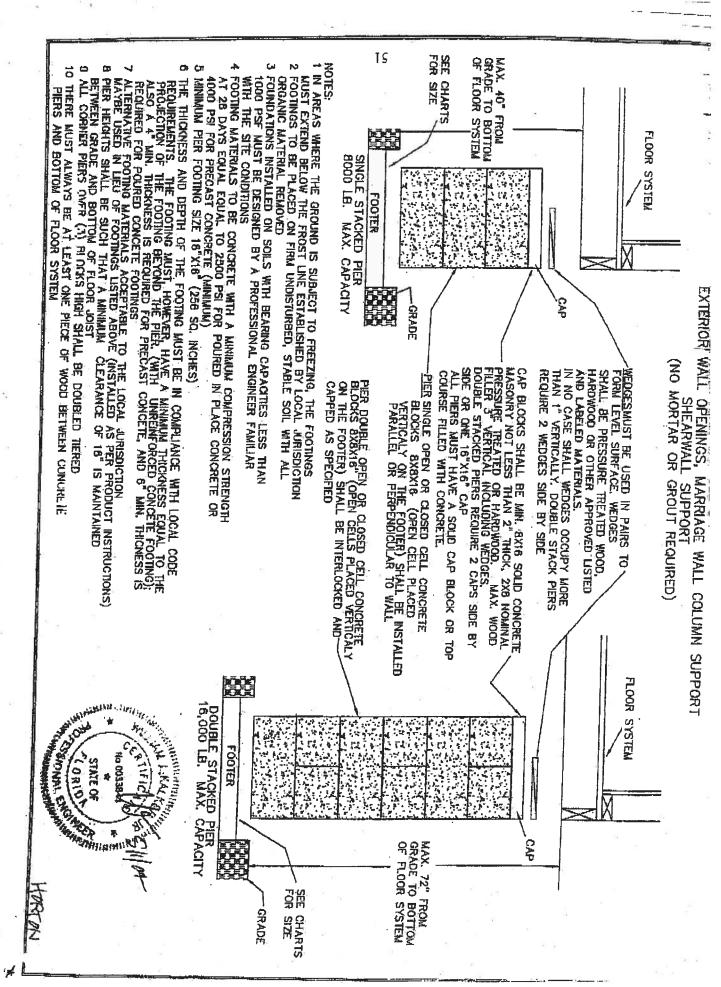


SIDEWALL APPLICATION BLOCKS PARALLEL AND RECESSED BACK FROM EDGE OF FLOOR



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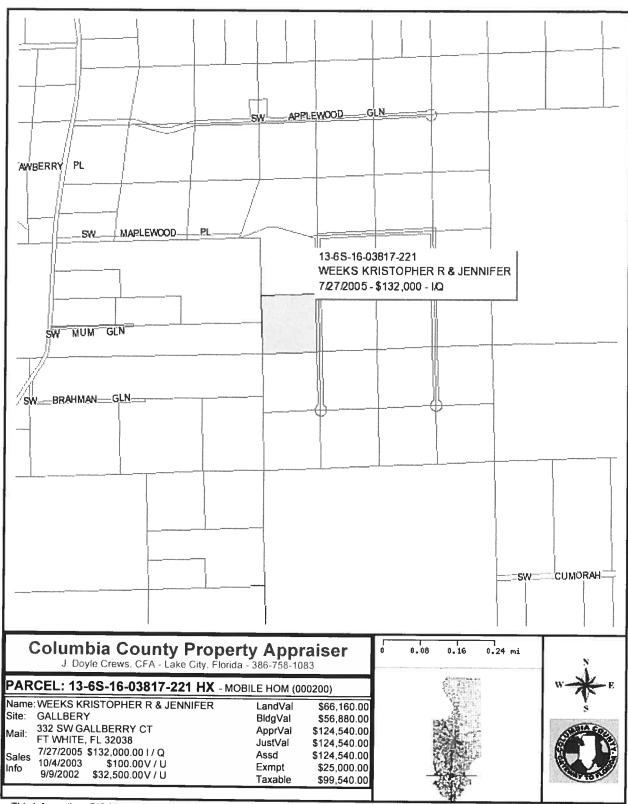
SHEARWALL PIER



LIMITED POWER OF ATTORNEY

I, <u>Kristopher Weeks</u>, do hereby authorize <u>Dale Burd</u>, <u>Rocky Ford or Kelly Ford</u> to be my representative and act on my behalf in all aspects of applying for a MOBILE HOME PERMIT to be installed in Columbia County, Florida.

(Signature)	
10=2-06	
(Date)	
Sworn and subscribed before me this	day of
Notary Public	DALE R. BURD Comm# DD0559297 Expires 7/16/2010
Personally Known: Produced ID (Type):	Florida Notary Assn. Inc



This information, GIS Map Updated: 10/4/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

COLUMBIA COUNTY, FLORIDA LAND DEVELOPMENT REGULATION ADMINISTRATOR SPECIAL PERMIT FOR TEMPORARY USE APPLICATION

Stup m# Permit No. 0610-49		Date
Fee <u>200.00</u>	Receipt No. 3528	

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

- 1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
- 2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
- 3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
- 4. In any zoning district: mobile homes or travel trailers used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
- 5. In any zoning district: mobile homes or travel trailers used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
- 6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.

7. In agricultural districts: In addition to the principal residential dwelling, one (1) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements, and shall not be located within required yard areas. Such mobile homes shall not be located within twenty (20) feet of any building. A temporary use permit for such mobile homes may be granted for a time period up to one (1) year. When the temporary use permit expires, the applicant may invoke the provisions of Section14.9, entitled Special Family Lot Permits.

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- 8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.
- 9. In any zoning district: A temporary business, as defined within these Land Development Regulations. At least sixty (60) days prior to the commencement date of the temporary permit, the applicant shall submit an application to the County, which shall include the following information.
 - a. the name and permanent address or headquarters of the person applying for the permit;
 - b. if the applicant is not an individual, the names and addresses of the business;
 - c. the names and addresses of the person or persons which will be in direct charge of conducting the temporary business;
 - d. the dates and time within which the temporary business will be operated;
 - e. the legal description and street address where the temporary business will be located;
 - f. the name of the owner or owners of the property upon which the temporary business will be located;
 - g. a written agreement containing the permission from the owner of the property for its use for a temporary business must be attached to and made a part of the application for the permit;

h. a site plan showing display areas, plans for access and egress of vehicular traffic, any moveable interim structures, tents, sign and banner location and legal description of the property must accompany the application for the temporary use permit; and

i. a public liability insurance policy, written by a company authorized to do business in the State of Florida, insuring the applicant for the temporary permit against any and all claims and demands made by persons for injuries or damages received by reason of or arising our of operating the temporary business. The insurance policy shall provide for coverage of not less than one million dollars (\$1,000,000.00) for damages incurred or claims by more than one person for bodily injury and not less than two million dollars (\$2,000,000.00) for damages incurred or claims by more than one person for bodily injury and fifty thousand dollars (\$50,000.00) for damages to property for one person and one hundred thousand dollars (\$100,000.00) for damages to property claimed by more than one person. The original or duplicate of such policy, fully executed by the insurer, shall be attached to the application for the temporary permit, together with adequate evidence that the premiums have been paid.

The sales permitted for a temporary business, as defined with these land development regulations, including, but not limited to, promotional sales such as characterized by the so-called "sidewalk "sale", "vehicle sale", or "tent sale", shall not exceed three (3) consecutive calendar days.

There must be located upon the site upon which the temporary business shall be conducted public toilet facilities which comply with the State of Florida code, potable drinking water for the public, approved containers for disposing of waste and garbage and adequate light to illuminate the site at night time to avoid theft and vandalism.

If the application is for the sale of automobiles or vehicles, the applicant shall provide with the application a copy of a valid Florida Department of Motor Vehicle Dealers license and Department of Motor Vehicle permit to conduct an "offsite" sale. If any new vehicles are to be displayed on the site, a copy of the factory authorization to do so will be required to be filed with the application.

No activities, such as rides, entertainment, food, or beverage services shall be permitted on the site in conjunction with the operation of the temporary business.

Not more than one (1) sign shall be located within or upon the property for which the temporary permits is issued, and shall not exceed sixteen (16) square feet in surface area. No additional signs, flags, banners, balloons or other forms of visual advertising shall be permitted. The official name of the applicant and its permanent location and street address, together with its

permanent telephone number, must be posted on the site of the property for which the temporary permit is issued and shall be clearly visible to the public.

Any applicant granted a temporary permit under these provisions shall also comply with and abide by all other applicable federal, State of Florida, and County laws, rules and regulations.

Only one (1) tent, not to exceed three hundred fifty (350) square feet in size shall be permitted to be placed on the site of the temporary business and such tent, if any, shall be properly and adequately anchored and secured to the ground or to the floor of the tent.

No person or entity shall be issued more than one (1) temporary permit during each calendar year.

The temporary permit requested by an applicant shall be issued or denied within sixty (60) days following the date of the application therefor is filed with the Land Development Regulation Administrator.

- 10. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.

A Comment of the Comm

- c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
- d. Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.
- e. Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

1. Name of Title Holder(s) Kristopher & FRANIFER WIEKS
Address 332 SW GAll BRANY CT City For White Zip Code 32038
Phone (386) 497 - 4050
NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator MUST be attached to this application at the time of submittal stating such appointment.
Title Holder(s) Representative Agent(s) Ah Burd on Rocky Fond
Address PO Box 39 City FAMTR Zip Code 32038
Phone 386 497-2311
2. Size of Property
3. Tax Parcel ID# 13-65-16-03817-221
4. Present Land Use Classification
5. Present Zoning District

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1

This Warranty Deed

Made this __2/12 day of July, 2005 by
DEANNA L. OVERHOLSER, ALSO KNOWN AS
DEANNA SADDLER OVERHOLSER, UNMARRIED

whose post office address is:

hereinafter called the grantor, to

KRISTOPHER R. WEEKS AND JENNIFER WEEKS
INST: 2005019073 Deta: 08/69/2005 Time: 13:50

Doc Stamp-Deed: 924.00

LLK H DC,P.Dewitt Casen, Equation County B: 1054 P: 1207

332 SOUTHWEST GALLBERRY COURT

FT. WHITE, FL 32038

hereinafter called the grantus:

references one gramme:
(Whenever used herein the term "grantor" and "grantoe" inolude all the parties to this instrument and the heire, legal representatives and
assigns of individuals, and the successors and essigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$16.00 and other valuable considerations, receipt whereof is
tereby acknowledged, hereby grants, bargaine, sets, aliens, remises, releases, conveys and confirms unto the grantes, all that certain land
attuate in COLUMBIA County, Florids, viz:

Lot 21 of OLD WIRE FOREST, an unrecorded subdivision in Columbia County, Florida; more particularly described as follows:

The Southwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 13, Township 08 South, Range 16 East, Columbia County, Florida. The East 30 feet of said lands being subject to an easement for ingress and egress.

TOGETHER with a 2003 CLAY doublewide mobile home, ID #WHC012654GAA and #WHC012654GAB.

Subject to advangate, restrictions, essements of record and taxes for the current year.

Parcel Identification Number:

R03817-221

Together with all the tenements, hereditements and appurtenences thereto belonging or in anywher appertaining.

Together with all the tenements, hereditements and appurtenances thereto belonging or in arrywise appertaining.

To Have and to Hold, the seme in fee simple forever.

And the prantic hereby coverants with said grantes that the grantor is lawfully saized of said land in fee simple; that the grantor has good right and lawfull authority to sail and convey said land; that the grantor hereby fully warrants the title-to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2004

In Witness Whereof, the said grantor has eighed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Withless: (Signature Print Name | Direction

Print Name: Madenna

2422 EAST G AVENUE KALAMAZOO, MI 49004

DEANNA L. OVERHOLSER

redodine Pennach

County of Solonia 200.

The foregoing instrument was acknowledged before me this 200 day of July, 2005, by DEANNA L. OVERHOLSER, aft/a Deanna Saddler Grantoleer, unmerried, who is psecinally known to me or who has produced drivers license as identification.

Print Name: My Commission Expine:

Prepared by and Returned to:

Charlotte Dixon
Professionals' Title Company, LLC

4141 NW 37th Pt Geineaville, FL 32606 File Number: 581088123 KANDIE R. WOOD
Natary Public, State of Michigen
County of Kalamazoo
My Commission Expires Nov. 27, 2010
Ading in the County of Addustance

nolders to the features of a title insurance contract. Williamlydwod rev. 01/24/05

ROYALS MOBILE HOME INC

P.02/08

Once you know the soil bearing capaciaty at the site you have selected for your home, use this chart determine the size of footing that will be needed. Refer to pier design load charts to obtain pier spanning, location and pier load applicable to your application.

								7/
	ļ			Mi	nimum Footi	ing Size	1	
Pier Load			A	lowal	ole Soil Bear	ing Capacity		
(LBS)	1000 PSF	1500 PSF	2000	PSF	2500 PSF	3000 PSF	3500 PSF	4000 PSF
500	16"X16"X4"	16"X16"X4	" 16"X	16"X4	" 16"X16"X4	" 16"X16"X4"		
1000	16"X16"X4	" 16"X16"X4"	16"X	16"X4	" 16"X16"X4	" 16"X16"X4"	16"X16"X4"	
1500	16"X16"X4"	16"X16"X4	' 16"X	16"X4"	' 16"X16"X4	" 16"X16"X4"	16"X16"X4"	
2000	18"X18"X4"	16"X16"X4"	16"X1	6"X4"	16"X16"X4"	' 16"X16"X4"	16"X16"X4"	16"X16"X4"
2500	20"X20"X4.5	5" 1 6" X16"X4"	16"X1	6"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
3000	22"X22"X5"	16"X18"X4.	5" 16 "X1	6"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
3500	24"X24"X5.5	" 1 9"X 19"X5"	16"X1	6"X4.	5" 16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
4000	26"X26"X5.5	" 20"X20 "X5.5	5" 18"X1	8"X5"	16"X16"X4.5	5" 16"X16"X4.5		•
4500	27"X27"X6"	22"X22"X5.5	5 19"X 1	9"X5 "	17"X17"X5"	T	" 16"X16"X4.5	1121-11-11
5000	29"X29"X6.5	" 23"X23"X 6"	20"X2)"X5.5	" 17 "X17"X 5"	16"X16"X5"	16"X16"X5"	16"X16"X4.5"
5500	30"X30"X6.5	' 24"X24"X6"	21"X2	"X 5"	18"X18"X5.5	5" 17 "X17 "X5.5	" 16"X16"X5.5	" 16"X16"X5"
6000	31"X31"X7"	25"X25"X6.5	" 21"X2	"X6"	19"X19"X6"	17 "X17"X 5,5	' 16"0(16"X5.5	' 16"X16"X5'
6500	33"X33"X7"	26"X26"X 6.5"	' 22"X22	"X6.5	" 20"X20"X6"	18"X18"X6"	17"Y17"Y9 5"	16'X16"X5.5"
7000	34"X34"X7.5"				21"X21"X6.5		17"X17"X6"	16"X16"X6"
7500	35"X35"X7.5"	26"X 28"X 7"	24 "X24	!	21"X21"X6.5	4	18"X18"X6"	17"X17"X6"
8000 .	36"X36"X8"	29"X 29"X7.5"	25"X25	'X7"	22"X22"X7"	20"X20"X6.5"	18"X18" X6. 5"	17"X17"X6"
8500	37"X 37"X8"	30" X30"X7 ,5	26"X26	X7.5"	23"X23"X7"	4	19"X19"X6.5	(N SES
9000	38"X38"X8.5" (31" X31"X8 "	26"X26'	X7.5"	2 3"X2 3" X 7.5"			18"X18"X6.5"
9500	40"X40"X8.5" :	32"X32"X8"	27"X27"	X8"	24"X24"X7.5"	22X22X7"	20"X20"X7"	19"X19"X7"
0000	41"X41"X9" 3	32"X32"X8.5"	28"X28"	K8"	25"X25"X7.5"	22"X22"X7.5"	21" X21"X7" -	19"X19"X7"



ROYALS MOBILE HOME INC

FAX NO. :

P.03/08

SHOULD YOU PREFER TO USE PLASTIC PIER PADS, THE CHART BELOW LISTS THE NECESSARY PIER SIZES BASED UPON SOIL AND PIER LOAD CAPACITY.

nart to

NOTES:

- 1. Pre-fabricated piers may be used as an alternate to the concrete footings specified in this manual.
- 2. Listed piers with a capacity meeting or exceeding the loads shown below may be substituted for the pier size listed in the set up manual.
- 3. The pre-fabricated pads are to be assembled and installed per the pad manufacturer installation instructions
- 4. All other requirements are to be adhered to as specified in this manual.

		80					
		1000 -> 1898	ij	2000 -> 2000		3000 -> 4000	
,	18" ± 12"	1000 lbs	N	2000 lbs		3000 lbs	
	13" x 13"	1174 lbs	1	2347 lbs	ľ.,	3521 lbs	
	14" x 14") 361 lbs	: ,	2722 lbs		4083 lbs	v
1	15" x 16"	1563 lbs		3125 lbs		4688 lbs	<u> </u>
1 2 3	16" x 16"	778 lbs	1/2	3556 lbs	2	5333 lbs	<u> </u>
8/ZE8	17" x 17"	2007 lbs	13	4014 the	Z	6021 1bs	REGUIREMENTS
	18" x 18"	2250 lbs		4500 lbs	2	6750 lbs	<u>#</u>
	18" x 18"	2507 lbs		5014 lbs	ı	7521 lbs	귤
FOOTING	20" x 20"	2778 lbs		5556 bs		. 8333 lbs	Ü
8	21" x 21"	3063 lbs		6125 lbs		9188 lbs	
	22" x 22"	3361 lbs	1	6722 lbs	\mathbb{Z}	10083 lbs	CAPACITY
MANUAL	23" x 23"	3674 lbs		7347 lbs	8	11021 lbs	3
3	24" x 24"	4000 lbs		8000 lbs	1	12000 lbs	ā.
3	25" x 25"	4340 lbs	1	8681 lbs	1/2	13021 lbs	. 5
	25" x 26"	4694 bs	3	9389 lbs	Z_i	14083 lbs	
9	27" x 27"	\$063 lbs	14	10125 lbs	3	15188 lbs	LOAD
-	28" x 28"	\$444 lbs	4	10889 lbs	\mathscr{L}	16333 lbs	ן א
, in	29" x 29"	\$840 lbs	%	11681 lbs	2	17521 lbs	OC ·
-	30" × 30"	6250 lbs		12500 lbs		18750 lbs	PIER
	31" x 31"	6674 lbs	3	13347 lbs	Z_{i}	20021 lbs	0
	32" x 32"	7111 lbs	1/2	14222 lbs	\mathscr{G}	21333 155	LISTED
	33" x 33"	7563 lbs		15125 58		22686 lbs	₩
	34" x 34"	8028 lbs	. ;	16056 lbs	\vec{Z}	24083 lbs	
	35" x 35"	8507 lbs	1%	17014 lbs		25521 fbs	
	36" x 36"	9000 ibs	4	18000 lbs	4	27000 lbs	
	37" × 37"	9507 lbs	7	19014 lbs		28521 lbs	
1	"BE x "BE	10028 lbs		20056 lbs	17	30083 lbs	
	39" x 39"	10563 lbs	1	21125 lbs		31686 ibs	
	40" × 40"	15111 Ros		22222 lbs	62	33333 lbs	
	41" x 41"	11674 lbs	14	23347 lbs	"	35021 lbs	
	42" x 42"	12250 lbs	Í	24500 lbs	14	36750 lbs	
	45" x 43"	12840 lbs	7	25661 ibs	4	38621 lbs	
	44" × 44"	13444 lbs	7	26889 lbs	4	40333 lbs	
	45" x 45"	14063 fbs	11	28125 lbs	4.	42168 lbs	



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ROYALS MOBILE HOME INC

P.04/08

Table 2 - Pier Design Loads with No Perimeter Blocking
Piers Located Under Main I-Beam

		Ret	Julied Pier C	apacity	553
Unit Width (feet)	Roof Load (PSF)	Mab 3	kimum Pier (Spacing (fee	
			7	. 6	· 8
12	20	1620	2160	3240	4000
	30	1830	2440	3860	4320
	40	2040	2720		4880
		2040	2120	4080	5440
14	20	1875	2500	0750	5000
	30	2115		3750	5000
	40		2820	4230	5640
	40	2355	3140	4710	6290
16	no.			Ţį.	
30	20	2130	2840	4260	5680
		2400	3200	4800	6400
	40	2670	3560	5340	7120
	i	220			

Table 3 - Pler Design Loads for use with Perimeter Blocking

		-	Re	equired Pis	r Capacity					
Unit Width	Roof Load		Maximum Pier Spacing (feet)							
(feet)	(PSF)	SIDEV	VALLS	MARRI	AGE LINE	I-BEAM				
		6	8	6	8	6	8			
12	20	2100	2665	3440	4450	1810	2280			
	30	2510	3210	4140	5385	10.5	EEUL			
	40	2920	3760	4840	6315					
14	20	2415	3085	4070	5290	1950	2460			
	30	2885	3710	4890	6385	1000	2-100			
	40	3355	4340	5760	7475					
16	20	2615	3355	4600	6000	2055	2610			
	30	3115	4020	5515	7220	2000	2010			
	40	3615	4690	6430	8450					
	€		- 1		Į					

^{1.} All Loads Listed are for piers located under the frame (Main I-Beam), except for perimeter piers in table 3.

Exami

Follov the m width ibs.

> Pier C or spa floors, Piers cated The b should adding setting

Piers under have

^{2.} When Determining pier loads for Multi-section units, calculate each section as a single unit.

Pier Design Loade at Marriage Line (Multi Section Units)

TABLE 4

		Min	imum Pier C	apacity (pou	nda)
Unit Width (feet)	Roof Load (PSF)		klmum Marri	age Wall Op	ening (feet) 20
		5	10	i j	<u> </u>
24	20	1395	2370	3350	4325
- 32	30	1790	3080	4370	5660
	40	2155	3730	5310	6885
28	20	1590	2720	3855	498 6
	30	2055	3550	5050	65 45
	40	2480	4315	6150	7 98 5
32	20	1750	3010	4270	5530
	30	2275	3940	5610	7280
	40	2790	4800	6860	8895

Example:

28 foot section width

30 psf roof live load

18 foot wide marriage wall opening

Follow down the "Unit width" column to 28 feet. Follow across to 30 psf in the Roof load column. Since the marriage wall opening is 18 feet wide, follow across to the column headed 20. (For any opening with that is not shown, use the next highest number on the chart.) The required pier capacity is 6545 lbs.

Construction - The most important part of the foundation is proper pier installation. Incorrect size, location pacing may cause serious structural damage to your home. In addition, other problems such as sagging walls and doors will not open and close securely.

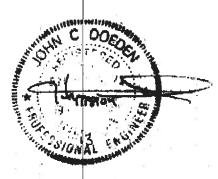
may be concrete blocks, adjustable metal stands, or prefabricated concrete piers. Metal stands & prefabripiers shall be listed or labeled for the required load capacity.

The metal pier must be relatively wide with respect to the height when supporting the home. The metal pier did be high enough so that the riser will only be extended 2" - 3" when in place. This may be accomplished by a placed under the base to adjust the height. The pier should have a pad placed under the pier to minimize go r tipping. These pads shall be at least 16" x 16" x 4" or larger if the soil is particularly soft or unstable.

shall be located under the main I-Beams. In addition to these piers, double wides shall have additional piers for the marriage wall at openings greater than 4'-0" and at support columns. Both double and single homes shall piers at each side of door openings, recessed entries, patio or chateau doors and bay window openings.

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ROYALS MOBILE HOME INC.

P. 06/08

Foundations- Your home will require support and fiedowns to resist snow and windloads. Support will keep home level, while anchoring is required to keep your home from sliding and/or overloading.

We have provided one design for your foundation and anchoring system. If your Dealer or Contractor deviates our specifications, such as installations over a basement or installations at heights greater than those address this manual, it is your responsibility to assure that the foundation is designed by a Professional Engineer Registerd Architect.

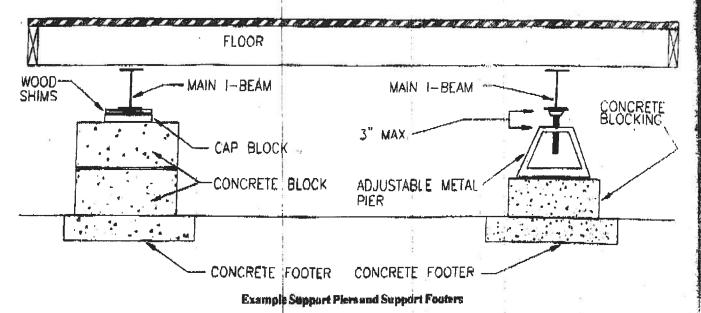
Pier Design Loads - In order to properly size your support piers and footings, a design load must be determined pier will have an individual design load which may be determined by Tables 2, 3, and 4. To determine a load, you need to know your homes width (or half width for multiple sections), the roof load, and pier spacin marriage wall opening.

Footings and Foundations

Footings carry and distribute the weight of the home, which is transmitted to them, through the piers, to the ed

The bottom of the footings must be below the frost line in areas where the soil is subject to freezing and than Footings must be supported on undisturbed soil or compacted fill having a minimum bearing capacity of 1000 c (Undisturbed soil is soil that has it's natural compaction, has not been tilled in the last five years and has all organized removed.)

Sixteen wide homes with 2 x 8 floor joists spaced at 24" on center, and certain other floor framing conditions, in require perimeter blocking. Perimeter blocking must be spaced a maximum of 8"0" on center. Pier spacing under I-Beams will remain as required in this manual. Blocking of openings such as doors, recessed entries or of openings 4"0" or more is also still required. Check the data plate located on the inside of the cabinet door below to kitchen sink for the following statement: "This Home Requires Perimeter Blocking."



Pier

ROYALS MOBILE HOME INC

P.07/08

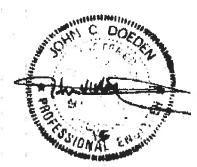
ceep yo The following rules for pier placement are

ates from ressed: near or

- Blocking is required on each side of all wall openings greater than 48 inches.
- Blocking is required at all exterior doors.
- Reference pages 10, 12 and 13 for footer requirements.
- Blocking is recommended under large fireplaces.

termine ine a pk. pacing (

Blocking is recommended at each end of large bay windows.

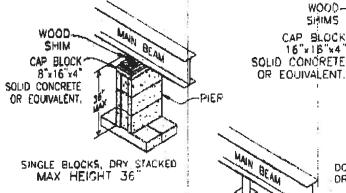


10 soil,

thawing 000 PS Il organ

ons, ma under the or other selow this

PIER CONFIGURATIONS





DOUBLE BLOCKS, INTERLOCKED.

DRY STACKED MAX HEIGHT 80"

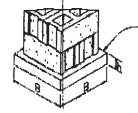
NOTE 4" x 6" WOOD SHIMS MUST BE DRIVEN IN TIGHTLY AND MUST NOT OCCUPY MORE THAN I " OF VERTICAL SPACE

STEEL OR CONCRETE PIERS LISTED OR LABELED FOR THE REQUIRED LOAD CAPACITY AND MAXIMUM HEIGHT

PIER HEIGHTS OVER 80" IN HEIGHT SHALL BE DESIGNED AND CONSTRUCTED PER DRAWINGS AND SPECIFICATIONS OF A REGISTERED ENGINEER OR REGISTERED ARCHITECT

FOOTINGS:

REFER TO PAGE 10 FOR MINIMUN SIZE OF FOOTING



CONCRETE CAST IN PLACE MINIMUM COMPRES-SIVE STRENGTH 3000 PSI (28 DAY) OPTION SOLID CONCRETE BLOCK IF MINIMUM SIZE ON PAGE 10 AND 3000 PSI MINIMUM COM-PRESSIVE STRENGTH

Typical Pier Construction Details

Noting - Pier spacing shall not exceed 8'-0". Refer to pages 16 and 18 for pier layouts.

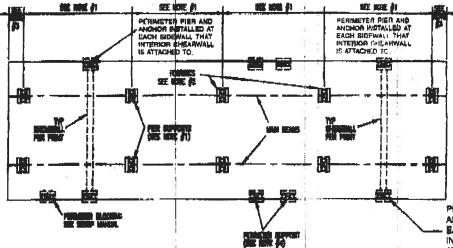
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ROYALS MOBILE HOME INC

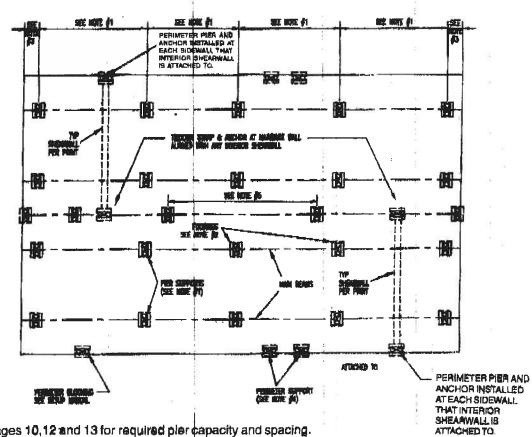
P.08/08

DOE





PERIMETER PIER AND ANCHOR INSTALLED AT BACH BIDEWALL THAT INTERIOR SHEARWALLIS ATTACHED TO.



NOTES:

- 1. See pages 10,12 and 13 for required pler capacity and spacing.
- 2. See page 10 manual for footing requirements.
- 3. Piers shall be located at a maximum of 2 feet from each end.
- 4. Plers shall be located at each side of each perimeter opening (4) feet or widor in width. This will include doors, windows, recessed antries, porches, etc.
- 5. See page 13 for pier capacities at marriage line openings.
- 6. Piers shall be installed at each interior shearwall location as indicated above.

STATE OF FLORIDA DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0878/V

Scale: 1 inch = 50 feet.	T II - SITEPLAN
LICE HOLTH LICE HOLTH ENSTAND ISO BENESON FASSIMAN FASSIMAN	10 47 10' WELL 75' 1680 SQ 72' NORTH
Notes:	Albray Co
Site Plan submitted by: Plan Approved By Not A	MASTER CONTRACTOR Approved Date_ICI310 to Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



COLUMBIA COUNTY, FLORIDA

and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code. Department of Building and Zoning Inspection
This Certificate of Occupancy is issued to the below named permit holder for the building

Parcel Number 13-6S-16-03817-221 Building permit No. 000025125

Permit Holder DALE HOUSTON

Owner of Building KRISTOPHER WEEKS & J. GALLBERY(JACKSON, J

Location: 332 SW GALLBERRY COURT, FT. WHITE, FL

Date:

11/20/2006

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)