

DATE 02/21/2012

## Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000029950

APPLICANT JAMES H. JOHNSTON PHONE 386-365-5999  
ADDRESS 419 SW LAKEVIEW AVE LAKE CITY FL 32055  
OWNER HABITAT FOR HUMANITY OF LC/COL. CO. PHONE 386-365-5999  
ADDRESS 363 SE LOMOND AVE LAKE CITY FL 32055  
CONTRACTOR JAMES H. JOHNSTON PHONE 386-365-5999  
LOCATION OF PROPERTY BAYA AVE, L LOMOND AVE, 3 BLOCKS ON THE RIGHT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA 1348.00 TOTAL AREA HEIGHT 15.00 STORIES 1  
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 5/12 FLOOR SLAB  
LAND USE & ZONING RSF-2 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 33-3S-17-06610-000 SUBDIVISION MELROSE PARK S/D LOTS 5,6 & 7  
LOT 5,N6 BLOCK A PHASE UNIT TOTAL ACRES 0.35

CRC1328128  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTNG 12-0068-N BK TC N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

NOC ON FILE

NO CHARGE FOR PERIT PER RANDY JONES, BUILDING OFFICIAL,TOTAL AREA 1460 Check # or Cash NO CHARGE

## FOR BUILDING &amp; ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 0.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 2/21/2012 DATE ISSUED: 2/21/2012

### ENHANCED 9-1-1 ADDRESS:

363 SE LOMOND AVE  
LAKE CITY FL 32025

### PROPERTY APPRAISER PARCEL NUMBER:

33-3S-17-06610-000

### Remarks:

NORTH HALF OF PARCEL, LOT 5 AND NORTH HALF OF LOT 6.

Address Issued By: SIGNED: / RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



Plans  
☒ INC DOCUMENT

☒ PERMITS W/C, E, L, A, B  
Columbia County Building Permit Application

Larry Lee:  
☒ 2nd Page: Signature

For Office Use Only	Application #	1202-39	Date Received	2/20	By	JW	Permit #	29950	
Zoning Official	B2K	Date	21 FEB 2012	Flood Zone	X	Land Use	RES. LOW DENS	Zoning	RSF-2
FEMA Map #	N/A	Elevation	N/A	MFE	1/4	River	N/A	Plans Examiner	J.C.
Comments	NO Charge for Permit Per Randy Jones 2-21-12								
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> DEH <input type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input checked="" type="checkbox"/> Well letter <input checked="" type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel #									
<input type="checkbox"/> Dev Permit # <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter									
IMPACT FEES: EMS _____ Fire _____ Corr _____ <input checked="" type="checkbox"/> Sub VF Form									
Road/Code _____ School _____ = TOTAL (Suspended) <input checked="" type="checkbox"/> App Fee Paid									

Septic Permit No. 12-0068-N Fax \_\_\_\_\_

Name Authorized Person Signing Permit James A. Johnston Phone 386-365-5999

Address 419 SW Lakeview Ave, LC, FL 32055

Owners Name Habitat for Humanity of LC / Col. County Phone 386-365-5999

911 Address 363 383 SE Lamond Ave, LC, FL 32025

Contractors Name James H. Johnston Phone 386-365-5999

Address 419 SW LAKEVIEW AVE, LC, FL 32055

Fee Simple Owner Name & Address Habitat for Humanity of LC / Col. County Inc.

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Freeman Design Group

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 33-38-17-06610-000 Estimated Cost of Construction 35,000

Subdivision Name Melrose Park Lot 5-67 Block A Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions Baya Ave to Lamond St, IL will be 3 blocks on Right.

Number of Existing Dwellings on Property 0

Construction of 1 NFD Total Acreage 35 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14 ft 10

Actual Distance of Structure from Property Lines - Front 25 ft Side 25 ft Side 25 ft Rear 17

Number of Stories 1 Heated Floor Area 1348 Total Floor Area 1460 SF Roof Pitch 5-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.**



Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.


**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

  
Owners Signature

(Owners Must Sign All Applications Before Permit Issuance.)

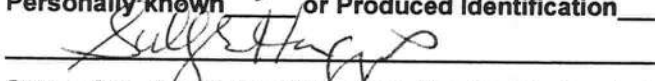
**OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

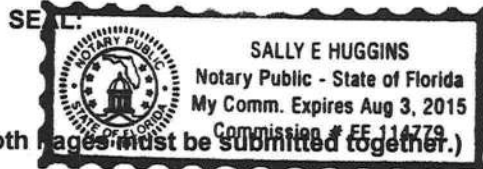
**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

  
Contractor's Signature (Permitee)

Contractor's License Number CRC 1328128  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 15<sup>th</sup> day of February 2012.  
Personally known ☒ or Produced Identification \_\_\_\_\_

  
State of Florida Notary Signature (For the Contractor)







**City of Lake City  
Distribution, Collection & Construction  
205 N Marion Ave.  
Lake City, FL 32055  
(386) 758-5492**

February 21, 2012

To whom it may concern,

This is to verify that we will be connecting Habitat for Humanity home located at 383 SE Lomond Ave. to City water. The work is scheduled to be completed tomorrow, Wednesday, February 15, 2012.

If you have any questions, please feel free to contact me at 758-5492.

Thank you.

Brian Scott  
Superintendent of Maintenance Operations



NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 33-35-17-06610-000

1. Description of property: (legal description of the property and street address or S11 address)

Lot 5 & N1/2 of Lot 6 Blk A Melrose Park Subdiv.

Inst/201212001685 Date:2/3/2012 Time:12:43 PM  
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1229 P:558

2. General description of improvement: New Home

3. Owner Name & Address Habitat for Humanity Lake City/Col City

Interest in Property

Fee Simple title

4. Name & Address of Fee Simple Owner (if other than owner):

Columbia City P.O. Box 487 Lake City, FL 32056

5. Contractor Name

Habitat for Humanity

Phone Number

386-590-0800

Address P.O. Box 487 Lake City, FL 32056

6. Surety Holders Name

Habitat for Humanity

Phone Number

386-755-0014

Address P.O. Box 487 Lake City, FL 32056

Amount of Bond

N/A

7. Lender Name

N/A

Phone Number

Address

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 713.13 (1)(a) 7; Florida Statutes:

Name Habitat for Humanity

Phone Number

386-755-0014

Address P.O. Box 487 Lake City, FL 32056

9. In addition to himself/herself the owner designates

Sally Higgins

of

to receive a copy of the Lender's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee

362-3433

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) 1 year

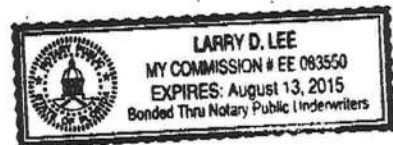
NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

George L. Brumby  
(Signature of Owner)

Sworn to (or affirmed), and subscribed before  
day of 3 day February 20 12

NOTARY STAMP/SEAL





This instrument prepared by  
Robert F. Jordan  
Jordan Law Firm, PLLC  
934 N.E. Lake DeSoto Circle  
Lake City, Florida 32055

Inst: 201112000185 Date: 1/6/2011 Time: 10:00 AM  
Doc Stamp-Deed: 0.70  
DC, P DeWitt Cason, Columbia County Page 1 of 2 B: 1207 P: 1970

### Special Warranty Deed

This Special Warranty Deed to be effective the 31<sup>st</sup> day of December, 2010, by **FIRST FEDERAL BANK OF FLORIDA**, whose post office address is 4705 West Highway 90, Lake City, Florida 32025, hereinafter called the Grantor, to **HABITAT FOR HUMANITY OF LAKE CITY/COLUMBIA COUNTY, INC.**, whose post office address is c/o George W. Burnham, President, \_\_\_\_\_, Lake City, Florida 32024, hereinafter called the Grantee:

**(wherever used herein the terms "grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations)**

**WITNESSETH:** That the Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, CConveys and confirms unto the Grantee, all that certain land situate in Columbia County, Florida, viz:

**Parcel 1:**

**Lots 5, 6, and 7, Block A, Melrose Park Subdivision, Columbia County, Florida**

**Property ID #33-3S-17-06610-0000**

**Parcel 2:**

**Lot 12, Block B, Melrose Park Subdivision, Columbia County, Florida**

**Property ID #33-3S-17-06618-0000**

**TOGETHER** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND** the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through, or under



Grantor; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2010.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, Sealed and Delivered  
in the presence of:

FIRST FEDERAL BANK OF  
FLORIDA

Stacey Gamble  
Witness

Pam Hitt  
By: Pam Hitt (SEAL)

Stacey Gamble  
Print/Type Name of Witness

Pat Nodes  
Witness

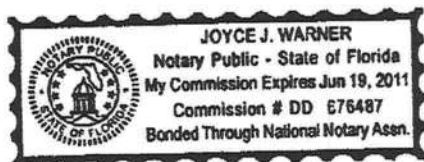
Pat Nodes  
Print/Type Name of Witness

STATE OF FLORIDA  
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally he/she acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily.

WITNESS my hand and official seal in the County and State last aforesaid this  
29 day of December, 2010.

(NOTARIAL SEAL)



Joyce J. Warner  
Notary Public, State of Florida

Joyce J. Warner  
Print of Type Name of Notary



COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL CHECK LIST REQUIREMENTS

6-25-09

MINIMUM PLAN REQUIREMENTS FOR THE  
FLORIDA BUILDING CODE RESIDENTIAL 2007 EFFECTIVE 1 MARCH 2009 & 2009  
SUPPLEMENTS EFFECTIVE 1 MARCH 2009, ONE (1) AND TWO (2) FAMILY DWELLINGS  
with Supplements and Revision, OF THE NATIONAL ELECTRICAL 2008

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007  
FLORIDA BUILDING CODES RESIDENTIAL EFFECTIVE 1 MARCH 2009 & 2009  
SUPPLEMENTS EFFECTIVE 1 MARCH 2009. ALL PLANS OR DRAWINGS SHALL  
PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND  
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE  
STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE  
STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY  
DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER  
FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind  
speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH  
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH  
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:  
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-  
Each Box shall be  
Circled as  
Applicable

			Yes	No	N/A		
1	Two (2) complete sets of plans containing the following:		✓				
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		✓				
3	Condition space (Sq. Ft.)	1348	Total (Sq. Ft.) under roof	1460	IIIIIIII	IIIIIIII	IIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.			✓
7	Provide a full legal description of property.	✓		



**Wind-load Engineering Summary, calculations and any details required**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIII	IIIII	IIIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

**Elevations Drawing including:**

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	✓		
18	Location and size of skylights with Florida Product Approval	✓		
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

**Floor Plan including:**

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBCR 613.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		



**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
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**FBCR 403: Foundation Plans**

		YES	NO	N/A	
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓			✓
30	All posts and/or column footing including size and reinforcing	✓			✓
31	Any special support required by soil analysis such as piling.			✓	✓
32	Assumed load-bearing value of soil <u>95 %</u> Pound Per Square Foot	✓			✓
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	✓			✓

**FBCR 506: CONCRETE SLAB ON GRADE**

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓			✓
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓			✓

**FBCR 320: PROTECTION AGAINST TERMITES**

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Sub mit other approved termite protection methods. Protection shall be provided by registered termiticides	✓			✓
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**FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

37	Show all materials making up walls, wall height, and Block size, mortar type	✓			✓
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			✓	✓

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

**Floor Framing System: First and/or second story**

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	✓			✓
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers				✓
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	✓			
42	Attachment of joist to girder	✓			
43	Wind load requirements where applicable	✓			
44	Show required under-floor crawl space				✓



N/A

45	Show required amount of ventilation opening for under-floor spaces				✓
46	Show required covering of ventilation opening				✓
47	Show the required access opening to access to under-floor spaces				✓
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing				✓
49	Show Draftstopping, Fire caulking and Fire blocking				✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309				✓
51	Provide live and dead load rating of floor framing systems (psf).				✓

### **FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

### **FBCR :ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

### **FBCR 802:Conventional Roof Framing Layout**

N/A

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		
68	Provide dead load rating of rafter system			✓

### FBCR Table 602.3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

### FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assemblies covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering	✓		

### FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			
74	Attic space	✓		
75	Exterior wall cavity	✓		
76	Crawl space			✓

### HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	✓		
78	Exhaust fans shown in bathrooms <b>Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required</b>	✓		
79	Show clothes dryer route and total run of exhaust duct	✓		

### Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	✓		
81	Show the location of water heater	✓		

### Private Potable Water

82	Pump motor horse power		✓	
83	Reservoir pressure tank gallon capacity		✓	
84	Rating of cycle stop valve if used		✓	

N/A CITY  
↓



**Electrical layout shown including**

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	✓			✓
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by <b>Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A</b>	✓			
87	Show the location of smoke detectors & Carbon monoxide detectors	✓			
88	Show service panel, sub-panel, location(s) and total ampere ratings	✓			
89	<p>On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.</p> <p><b>For structures</b> with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3</p>	✓			
90	Appliances and HVAC equipment and disconnects	✓			
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed <b>Combination arc-fault circuit interrupter</b> , Protection device.	✓			

**Disclosure Statement for Owner Builders** *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

**Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<b>GENERAL REQUIREMENTS:</b> APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
--	--

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

		YES	NO	N/A	
92	<b>Building Permit Application</b> A current Building Permit Application form is to be completed and submitted for all residential projects	✓			✓
93	<b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓			✓
94	<b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058	✓			✓
95	<b>City of Lake City</b> A permit showing an approved waste water sewer tap	✓			✓
96	<b>Toilet facilities shall be provided for all construction sites</b>	✓			
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓	✓



98	<b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	<b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the base flood elevation (100 year flood) has been established			✓
100	A development permit will also be required. Development permit cost is <b>\$50.00</b>			✓
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit ( <b>\$25.00</b> ) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver ( <b>\$50.00</b> ). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			✓
102	<b>911 Address:</b> If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125			✓

#### **Section R101.2.1 of the Florida Building Code Residential:**

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

#### **Time limitation of application.**

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

#### **Single-family residential dwelling.**

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

#### **Permit intent.**

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.



**If work has commenced.**

**Section 105.4.1.1:** If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

**New Permit.**

**Section 105.4.1.2:** If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

**Work Shall Be:**

**Section 105.4.1.3:** Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

**The Fee:**

**Section 105.4.1.4:** The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

**When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department**

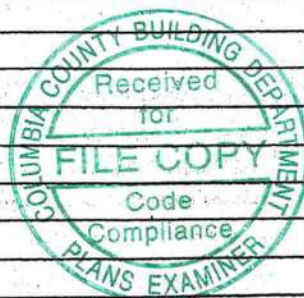


Location:

Project Name:

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number
A. EXTERIOR DOORS			FL 4242-1
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			FL 5108
2. Horizontal Slider			FL 5451
3. Casement			
4. Double Hung			
5. Fixed			FL 5418
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			FL 889-R
2. Soffits			FL 4899
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			FL 3820-R
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles		FL 5444	FL 586-R2
2. Underlayments			FL 1814-R1
3. Roofing Fasteners			
4. Non-structural Metal Rf			FL 7518.1
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			





FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: New Residence		Builder Name: James Johnston	
Street:		Permit Office: Columbia	
City, State, Zip: Lake City, FL,		Permit Number: 29950	
Owner:		Jurisdiction: 22100C	
Design Location: FL, Gainesville			

1. New construction or existing		New (From Plans)	
2. Single family or multiple family		Single-family	
3. Number of units, if multiple family		1	
4. Number of Bedrooms		4	
5. Is this a worst case?		No	
6. Conditioned floor area (ft²)		1387	
7. Windows		Description	
a. U-Factor:		Sgl, U=0.55	
SHGC:		SHGC=0.60	
b. U-Factor:		N/A	
SHGC:		ft²	
c. U-Factor:		N/A	
SHGC:		ft²	
d. U-Factor:		N/A	
SHGC:		ft²	
e. U-Factor:		N/A	
SHGC:		ft²	
8. Floor Types		Insulation	
a. Slab-On-Grade Edge Insulation		R=0.0	
b. N/A		R=	
c. N/A		R=	

9. Wall Types		Insulation	
a. Frame - Wood, Exterior		R=13.0	
b. N/A		R=	
c. N/A		R=	
d. N/A		R=	
10. Ceiling Types		Insulation	
a. Under Attic (Vented)		R=30.0	
b. N/A		R=	
c. N/A		R=	
11. Ducts		Area	
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 277.4 ft²		1248.00 ft²	
12. Cooling systems		Cap: 24.0 kBtu/hr	
a. Central Unit		SEER: 13	
13. Heating systems		Cap: 24.0 kBtu/hr	
a. Electric Heat Pump		HSPF: 7.7	
14. Hot water systems		Cap: 40 gallons	
a. Electric		EF: 0.92	
b. Conservation features		None	
15. Credits		Pstat	

Glass/Floor Area: 0.087

Total As-Built Modified Loads: 28.29

Total Baseline Loads: 34.61

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: 2-17-12

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]

DATE: 2-20-12

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_

[Seal of the State of Florida]

- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with N1110.A.3.



## PROJECT

Title: New Residence	Bedrooms: 4	Address Type: Street Address
Building Type: FLAsBuilt	Conditioned Area: 1387	Lot #
Owner:	Total Stories: 1	SubDivision:
# of Units: 1	Worst Case: No	PlatBook:
Builder Name:	Rotate Angle: 0	Street:
Permit Office:	CrossVentilation:	County: Columbia
Jurisdiction:	Whole House Fan:	City, State, Zip: Lake City , FL ,
Family Type: Single-family		
New/Existing: New (From Plans)		
Comment:		

## CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

## FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	160 ft	0	1387 ft²	0.2	0.2	0.6

## ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or shed	Composition shingles	1551 ft²	348 ft²	Medium	0.96	No	0	26.6 deg

## ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	1387 ft²	N	N

## CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	1387 ft²	0.11	Wood

## WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	400 ft²		0.23	0.75
_____	2	S	Exterior	Frame - Wood	13	432 ft²		0.23	0.75
_____	3	E	Exterior	Frame - Wood	13	208 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	208 ft²		0.23	0.75



## DOORS

✓	#	Ornt	Door Type	Storms	U-Value	Area
_____	1	N	Wood	None	0.460000	17 ft²
_____	2	W	Wood	None	0.460000	17 ft²

## WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation	Int Shade	Screening
_____	1	N	Metal	Single (Clear)	Yes	0.55	0.6	N	45 ft²	1 ft 6 in 1 ft 6 in	HERS 2006	None
_____	2	S	Metal	Single (Clear)	Yes	0.55	0.6	N	45 ft²	1 ft 6 in 1 ft 6 in	HERS 2006	None
_____	3	W	Metal	Single (Clear)	Yes	0.55	0.6	N	15 ft²	1 ft 6 in 1 ft 6 in	HERS 2006	None
_____	4	W	Metal	Single (Clear)	Yes	0.55	0.6	N	15 ft²	8 ft 0 in 1 ft 6 in	HERS 2006	None

## INFILTRATION & VENTING

✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM Exhaust CFM		Run Time Fraction	Fan Watts
_____	Default	0.00036	1310	7.08	71.9	135.2	0 cfm	0 cfm	0	0

## COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
_____	1	Central Unit	None	SEER: 13	24 kBtu/hr	720 cfm	0.75	sys#1

## HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Ducts
_____	1	Electric Heat Pump	None	HSPF: 7.7	24 kBtu/hr	sys#1

## HOT WATER SYSTEM

✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
_____	1	Electric	0.92	40 gal	70 gal	120 deg	None

## SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
_____	None	None			ft²		

## DUCTS

✓	#	---- Supply ----		---- Return ----		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
_____	1	Location	R-Value Area	Location	Area						
		Attic	6 277.4 ft	Attic	69.35 ft	Default Leakage	Interior	(Default)	(Default) %		

## TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours											
		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS:

Lake City, FL,

PERMIT #:

**INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX\* = 82

The lower the EnergyPerformance Index, the more efficient the home.

, Lake City, FL,

1. New construction or existing	New (From Plans)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Frame - Wood, Exterior	R=13.0	1248.00 ft <sup>2</sup>
3. Number of units, if multiple family	1	b. N/A	R=	ft <sup>2</sup>
4. Number of Bedrooms	4	c. N/A	R=	ft <sup>2</sup>
5. Is this a worst case?	No	d. N/A	R=	ft <sup>2</sup>
6. Conditioned floor area (ft <sup>2</sup> )	1387	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Under Attic (Vented)	R=30.0	1387.00 ft <sup>2</sup>
a. U-Factor:	Sgl, U=0.55	b. N/A	R=	ft <sup>2</sup>
SHGC:	SHGC=0.60	c. N/A	R=	ft <sup>2</sup>
b. U-Factor:	N/A	11. Ducts		
SHGC:		a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,	277.4 ft <sup>2</sup>	
c. U-Factor:	N/A	12. Cooling systems		
SHGC:		a. Central Unit	Cap: 24.0 kBtu/hr	
d. U-Factor:	N/A		SEER: 13	
SHGC:		13. Heating systems		
e. U-Factor:	N/A	a. Electric Heat Pump	Cap: 24.0 kBtu/hr	
SHGC:			HSPF: 7.7	
8. Floor Types	Insulation	14. Hot water systems		
a. Slab-On-Grade Edge Insulation	R=0.0	a. Electric	Cap: 40 gallons	
b. N/A	R=		EF: 0.92	
c. N/A	R=	b. Conservation features		
		None		
		15. Credits		Pstat

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_

Date: 2-20-12

Address of New Home: \_\_\_\_\_

383 SE 2nd Avenue City/FL Zip: LAKE CITY  
FL 32025



\*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at [energygauge.com](http://energygauge.com) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

\*\*Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.



# Annual Energy Summary

Lake City, FL,  
Registration #:

Title: New Residence  
FLAsBuilt

TMY City: FL\_GAINESVILLE\_R  
Elec Util: Florida Average  
Gas Util: Florida Average  
Run Date: 02/17/2012 11:32:15

End-Use	Energy Consumption	Annual Cost
Cooling (24 kBtu/hr)	1776 kWh	\$160
Cooling Fan	371 kWh	\$33
Mechanical Vent Fan	0 kWh	\$ 0
Total Cooling	<b>2147 kWh</b>	<b>\$193</b>
Heating (24 kBtu/hr)	306 kWh	\$28
Heating Fan/Pump	49 kWh	\$4
Mechanical Vent Fan	0 kWh	\$ 0
Total Heating	<b>355 kWh</b>	<b>\$32</b>
Hot Water	3034 kWh	\$273
Hot Water Pump	0 kWh	\$0
Total Hot Water	<b>3034 kWh</b>	<b>\$273</b>
Ceiling Fans	0 kWh	\$0
Clothes Washer	0 kWh	\$0
Dishwasher	0 kWh	\$0
Dryer	891 kWh	\$80
Lighting	1565 kWh	\$141
Miscellaneous	1154 kWh	\$104
Pool Pump	0 kWh	\$0
Range	447 kWh	\$40
Refrigerator	775 kWh	\$70
Total (kWh)	10368 kWh	\$933
Total (Therms)	0 Therms	\$0
Total (Oil Gallons)	0 Gallons	\$0
Total (Propane Gallons)	0 Gallons	\$0
PV Produced (kWh)*	0 kWh	\$0
* Assumes net metering		
Total Cost		\$933

# Residential System Sizing Calculation

## Summary

Project Title:  
New Residence

Lake City, FL

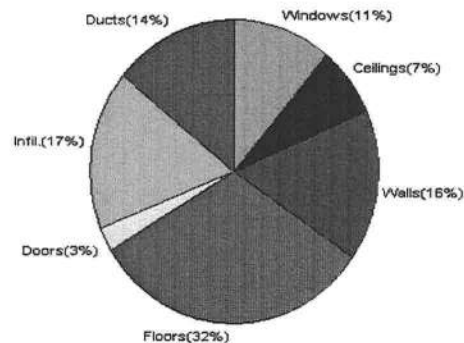
2/17/2012

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M)					
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature(MJ8 99%)	33	F	Summer design temperature(MJ8 99%)	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
<b>Total heating load calculation</b>	<b>22088</b>	<b>Btuh</b>	<b>Total cooling load calculation</b>	<b>20969</b>	<b>Btuh</b>
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	108.7	24000	Sensible (SHR = 0.75)	108.2	18000
Heat Pump + Auxiliary(0.0kW)	108.7	24000	Latent	138.4	6000
			Total (Electric Heat Pump)	114.5	24000

## WINTER CALCULATIONS

Winter Heating Load (for 1387 sqft)

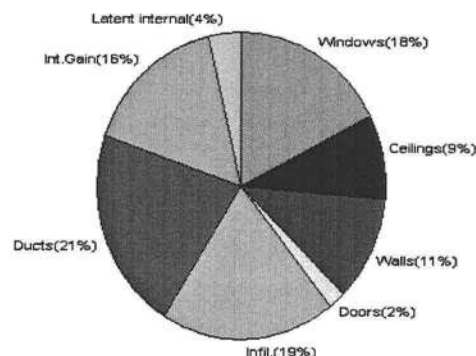
Load component			Load	
Window total	120	sqft	2442	Btuh
Wall total	1094	sqft	3593	Btuh
Door total	34	sqft	579	Btuh
Ceiling total	1387	sqft	1634	Btuh
Floor total	1387	sqft	6986	Btuh
Infiltration	92	cfm	3745	Btuh
Duct loss			3109	Btuh
<b>Subtotal</b>			<b>22088</b>	<b>Btuh</b>
Ventilation	0	cfm	0	Btuh
<b>TOTAL HEAT LOSS</b>			<b>22088</b>	<b>Btuh</b>



## SUMMER CALCULATIONS

Summer Cooling Load (for 1387 sqft)

Load component			Load	
Window total	120	sqft	3696	Btuh
Wall total	1094	sqft	2282	Btuh
Door total	34	sqft	438	Btuh
Ceiling total	1387	sqft	1855	Btuh
Floor total			0	Btuh
Infiltration	74	cfm	1377	Btuh
Internal gain			3320	Btuh
Duct gain			3665	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
<b>Total sensible gain</b>			<b>16632</b>	<b>Btuh</b>
Latent gain(ducts)			833	Btuh
Latent gain(infiltration)			2703	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			800	Btuh
<b>Total latent gain</b>			<b>4337</b>	<b>Btuh</b>
<b>TOTAL HEAT GAIN</b>			<b>20969</b>	<b>Btuh</b>



8th Edition

EnergyGauge® System Sizing

PREPARED BY: Delanie Moss

DATE: 2-17-12



# System Sizing Calculations - Winter

## Residential Load - Whole House Component Details

Project Title:  
New Residence  
Building Type: User

Lake City, FL

2/17/2012

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

### Component Loads for Whole House

Window	Panes/Type	Frame	U	Orientation	Area(sqft)	X	HTM=	Load
1	1, NFRC 0.60	Metal	0.55	N	45.0		20.4	916 Btuh
2	1, NFRC 0.60	Metal	0.55	S	45.0		20.4	916 Btuh
3	1, NFRC 0.60	Metal	0.55	W	15.0		20.4	305 Btuh
4	1, NFRC 0.60	Metal	0.55	W	15.0		20.4	305 Btuh
	Window Total				120.0(sqft)			2442 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area X		HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	338		3.28	1110 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	387		3.28	1271 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	208		3.28	683 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	161		3.28	529 Btuh
	Wall Total				1094(sqft)			3593 Btuh
Doors	Type	Storm	Ueff.		Area X		HTM=	Load
1	Wood - Exterior,	n	(0.460)		17		17.0	289 Btuh
2	Wood - Exterior,	n	(0.460)		17		17.0	289 Btuh
	Door Total				34(sqft)			579Btuh
Ceilings	Type/Color/Surface		Ueff.	R-Value	Area X		HTM=	Load
1	Vented Attic/L/Shing		(0.032)	30.0/0.0	1387		1.2	1634 Btuh
	Ceiling Total				1387(sqft)			1634Btuh
Floors	Type		Ueff.	R-Value	Size X		HTM=	Load
1	Slab On Grade		(1.180)	0.0	160.0 ft(perim.)		43.7	6986 Btuh
	Floor Total				1387 sqft			6986 Btuh
	Envelope Subtotal:							15233 Btuh
Infiltration	Type		ACH	Volume(cuft)	Wall Ratio		CFM=	Load
	Natural		0.50	11096	1.00		92.5	3745 Btuh
Duct load	Average sealed, R6.0, Supply(Att), Return(Att) (DLM of 0.164)							3109 Btuh
All Zones	Sensible Subtotal All Zones							22088 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Lake City, FL

Project Title:  
New Residence  
Building Type: User

2/17/2012

### WHOLE HOUSE TOTALS

<b>Totals for Heating</b>	Subtotal Sensible Heat Loss	22088 Btuh
	Ventilation Sensible Heat Loss	0 Btuh
	Total Heat Loss	22088 Btuh

### EQUIPMENT

1. Electric Heat Pump	#	24000 Btuh
-----------------------	---	------------

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)  
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)

U - (Window U-Factor)

HTM - (ManualJ Heat Transfer Multiplier)



Version 8



# System Sizing Calculations - Summer

## Residential Load - Whole House Component Details

Project Title:  
New Residence

Lake City, FL

2/17/2012

Reference City: Gainesville, FL

Temperature Difference: 17.0F(MJ8 99%)

Humidity difference: 54gr.

### Component Loads for Whole House

Window	Type*						Overhang		Window Area(sqft)			HTM		Load		
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded			
1	1 NFRC	0.60, 0.55	B-L	No	N		1.5ft	1.5ft	45.0	0.0	45.0	16	16	699	Btuh	
2	1 NFRC	0.60, 0.55	B-L	No	S		1.5ft	1.5ft	45.0	45.0	0.0	16	20	699	Btuh	
3	1 NFRC	0.60, 0.55	B-L	No	W		1.5ft	1.5ft	15.0	0.0	15.0	16	49	733	Btuh	
4	1 NFRC	0.60, 0.55	B-L	No	W		8.0ft	1.5ft	15.0	15.0	0.0	16	49	233	Btuh	
Excursion														1332	Btuh	
Window Total									120 (sqft)					3696 Btuh		
Walls	Type		U-Value		R-Value		Area(sqft)		HTM		Load					
1	Frame - Wood - Ext		0.09		13.0/0.0		338.0		2.1		705 Btuh					
2	Frame - Wood - Ext		0.09		13.0/0.0		387.0		2.1		807 Btuh					
3	Frame - Wood - Ext		0.09		13.0/0.0		208.0		2.1		434 Btuh					
4	Frame - Wood - Ext		0.09		13.0/0.0		161.0		2.1		336 Btuh					
Wall Total							1094 (sqft)					2282 Btuh				
Doors	Type		U-Value		R-Value		Area (sqft)		HTM		Load					
1	Wood - Exterior						17.0		12.9		219 Btuh					
2	Wood - Exterior						17.0		12.9		219 Btuh					
Door Total							34 (sqft)					438 Btuh				
Ceilings	Type/Color/Surface				U-Value		R-Value		Area(sqft)		HTM		Load			
1	Vented Attic/Light/Shingle				0.032		30.0/0.0		1387.0		1.34		1855 Btuh			
Ceiling Total							1387 (sqft)					1855 Btuh				
Floors	Type				R-Value		Size		HTM		Load					
1	Slab On Grade				0.0		1387 (ft-perimeter)		0.0		0 Btuh					
Floor Total							1387.0 (sqft)					0 Btuh				
	Envelope Subtotal:												8271 Btuh			
Infiltration	Type				ACH		Volume(cuft)		Wall Ratio		CFM=		Load			
SensibleNatural				0.40		11096		1094		92.5		1377 Btuh				
Internal gain					Occupants		Btuh/occupant		Appliance		Load					
				5		X 230		+		2400		3550 Btuh				
	Sensible Envelope Load:												13197 Btuh			
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)												(DGM of 0.283)		3665 Btuh	
	Sensible Load All Zones												16862 Btuh			

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Project Title: Climate: FL\_GAINESVILLE\_REGIONAL\_A  
New Residence

Lake City, FL

2/17/2012

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>12967 Btuh</b>
	Sensible Duct Load	3665 Btuh
	<b>Total Sensible Zone Loads</b>	<b>16632 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>16632 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	2703 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	833 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4337 Btuh</b>
	<b>TOTAL GAIN</b>	<b>20969 Btuh</b>

### EQUIPMENT

1. Central Unit	#	24000 Btuh
-----------------	---	------------

\*Key: Window types (Panels - Number and type of panes of glass)  
(SHGC - Shading coefficient of glass as SHGC numerical value)  
(U - Window U-Factor)  
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))  
- For Blinds: Assume medium color, half closed  
For Draperies: Assume medium weave, half closed  
For Roller shades: Assume translucent, half closed  
(IS - Insect screen: none(N), Full(F) or Half(½))  
(Ornt - compass orientation)



Version 8



# System Sizing Calculations - Winter

## Residential Load - Room by Room Component Details

Lake City, FL

Project Title:  
New Residence  
Building Type: User

2/17/2012

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

### Component Loads for Room/Zone #1: Main

Window	Panes/Type	Frame	U	Orientation	Area(sqft)	X	HTM=	Load
1	1, NFRC 0.60	Metal	0.55	N	45.0		20.4	916 Btuh
2	1, NFRC 0.60	Metal	0.55	S	45.0		20.4	916 Btuh
3	1, NFRC 0.60	Metal	0.55	W	15.0		20.4	305 Btuh
4	1, NFRC 0.60	Metal	0.55	W	15.0		20.4	305 Btuh
	Window Total				120.0(sqft)			2442 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area	X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	338		3.28	1110 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	387		3.28	1271 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	208		3.28	683 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	161		3.28	529 Btuh
	Wall Total				1094(sqft)			3593 Btuh
Doors	Type	Storm	Ueff.		Area	X	HTM=	Load
1	Wood - Exterior,	n	(0.460)		17		17.0	289 Btuh
2	Wood - Exterior,	n	(0.460)		17		17.0	289 Btuh
	Door Total				34(sqft)			579Btuh
Ceilings	Type/Color/Surface		Ueff.	R-Value	Area	X	HTM=	Load
1	Vented Attic/L/Shing		(0.032)	30.0/0.0	1387		1.2	1634 Btuh
	Ceiling Total				1387(sqft)			1634Btuh
Floors	Type		Ueff.	R-Value	Size	X	HTM=	Load
1	Slab On Grade		(1.180)	0.0	160.0 ft(perim.)		43.7	6986 Btuh
	Floor Total				1387 sqft			6986 Btuh
Zone Envelope Subtotal:								15233 Btuh
Infiltration	Type		ACH	Zone Volume	Wall Ratio	CFM=		
	Natural		0.50	11096	1.00	92.5		3745 Btuh
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)						(DLM of 0.164)	3109 Btuh
Zone #1	Sensible Zone Subtotal							22088 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Lake City, FL

Project Title:  
New Residence  
Building Type: User

2/17/2012

### WHOLE HOUSE TOTALS

<b>Totals for Heating</b>	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	22088 Btuh 0 Btuh 22088 Btuh
---------------------------	--	------------------------------------

### EQUIPMENT

1. Electric Heat Pump	#	24000 Btuh
-----------------------	---	------------

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)  
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)  
U - (Window U-Factor)  
HTM - (ManualJ Heat Transfer Multiplier)



Version 8



# System Sizing Calculations - Summer

## Residential Load - Room by Room Component Details

Project Title:  
New Residence

Lake City, FL

2/17/2012

Reference City: Gainesville, FL

Temperature Difference: 17.0F(MJ8 99%)

Humidity difference: 54gr.

### Component Loads for Room/Zone #1: Main

Window	Type*						Overhang		Window Area(sqft)			HTM		Load				
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded					
1	1 NFRC	0.60,	0.55	B-L	No	N	1.5ft	1.5ft	45.0	0.0	45.0	16	16	699	Btuh			
2	1 NFRC	0.60,	0.55	B-L	No	S	1.5ft	1.5ft	45.0	45.0	0.0	16	20	699	Btuh			
3	1 NFRC	0.60,	0.55	B-L	No	W	1.5ft	1.5ft	15.0	0.0	15.0	16	49	733	Btuh			
4	1 NFRC	0.60,	0.55	B-L	No	W	8.0ft	1.5ft	15.0	15.0	0.0	16	49	233	Btuh			
Window Total									120 (sqft)					2364 Btuh				
Walls	Type						U-Value		R-Value		Area(sqft)		HTM		Load			
									Cav/Sheath									
1	Frame - Wood - Ext						0.09		13.0/0.0		338.0		2.1		705 Btuh			
2	Frame - Wood - Ext						0.09		13.0/0.0		387.0		2.1		807 Btuh			
3	Frame - Wood - Ext						0.09		13.0/0.0		208.0		2.1		434 Btuh			
4	Frame - Wood - Ext						0.09		13.0/0.0		161.0		2.1		336 Btuh			
Wall Total												1094 (sqft)		2282 Btuh				
Doors	Type										Area (sqft)		HTM		Load			
1	Wood - Exterior										17.0		12.9		219 Btuh			
2	Wood - Exterior										17.0		12.9		219 Btuh			
Door Total												34 (sqft)		438 Btuh				
Ceilings	Type/Color/Surface						U-Value		R-Value		Area(sqft)		HTM		Load			
1	Vented Attic/Light/Shingle						0.032		30.0/0.0		1387.0		1.34		1855 Btuh			
Ceiling Total												1387 (sqft)		1855 Btuh				
Floors	Type								R-Value		Size		HTM		Load			
1	Slab On Grade								0.0		1387 (ft-perimeter)		0.0		0 Btuh			
Floor Total												1387.0 (sqft)		0 Btuh				
Zone Envelope Subtotal:														6939 Btuh				
Infiltration	Type						ACH		Volume(cuft)		Wall Ratio		CFM=		Load			
	SensibleNatural						0.40		11096		1.00		74.0		1377 Btuh			
Internal gain							Occupants		Btuh/occupant		Appliance		Load					
							4		X 230		+		2400		3320 Btuh			
Sensible Envelope Load:														11635 Btuh				
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)														(DGM of 0.283)		3288 Btuh	
Sensible Zone Load														14924 Btuh				

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Project Title: Climate:FL\_GAINESVILLE\_REGIONAL\_A  
New Residence

Lake City, FL

2/17/2012

The following window Excursion will be assigned to the system loads.

<b>Windows</b>	July excursion for System 1	Excursion Subtotal:	1332 Btuh 1332 Btuh
<b>Duct load</b>			376 Btuh
		<b>Sensible Excursion Load</b>	<b>1709 Btuh</b>



# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Project Title: Climate:FL\_GAINESVILLE\_REGIONAL\_A  
New Residence

Lake City, FL

2/17/2012

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>12967 Btuh</b>
	Sensible Duct Load	3665 Btuh
	<b>Total Sensible Zone Loads</b>	<b>16632 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>16632 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	2703 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	833 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4337 Btuh</b>
	<b>TOTAL GAIN</b>	<b>20969 Btuh</b>

### EQUIPMENT

1. Central Unit	#	24000 Btuh
-----------------	---	------------

\*Key: Window types (Panels - Number and type of panes of glass)  
(SHGC - Shading coefficient of glass as SHGC numerical value)  
(U - Window U-Factor)  
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))  
- For Blinds: Assume medium color, half closed  
For Draperies: Assume medium weave, half closed  
For Roller shades: Assume translucent, half closed  
(IS - Insect screen: none(N), Full(F) or Half(½))  
(Ornt - compass orientation)



Version 8

## Laurie Hodson

---

**From:** Ron Croft  
**Sent:** Thursday, October 18, 2012 10:43 AM  
**To:** Laurie Hodson  
**Subject:** 363 SE Lomond Ter

Spoke to Larry, told him we are not changing address. Would put out of range for other locations on street and could cause issue with response.

Ron

*Ronal N. Croft*

Columbia County 911 Addressing / GIS Department

P.O. Box 1787

Lake City, FL 32056-1787

Phone: 386-758-1125

Fax: 386-758-1365

E-Mail: [ron\\_croft@columbiacountyfla.com](mailto:ron_croft@columbiacountyfla.com)



## Laurie Hodson

---

**From:** Ron Croft  
**Sent:** Thursday, October 18, 2012 10:27 AM  
**To:** Laurie Hodson  
**Subject:** RE: ADDRESS  
**Attachments:** 363\_SE\_LOMOND\_AVE.pdf

I show 3 addresses on this parcel. Two of the structures are gone. Addresses to those were 375 (approximately center of the parcel) and 383 (south end of the parcel). 363 SE Lomond Ave, Lake City, FL 32025 was issued 21 February 2012 and is for the current structure on the north end of the parcel. Copy of assignment attached.

Tried to call Larry, waiting for callback.

I do not intend to change the address.

Ron

*Ronal N. Croft*

Columbia County 911 Addressing / GIS Department  
P.O. Box 1787  
Lake City, FL 32056-1787  
Phone: 386-758-1125  
Fax: 386-758-1365  
E-Mail: [ron\\_croft@columbiacountyfla.com](mailto:ron_croft@columbiacountyfla.com)

---

**From:** Laurie Hodson  
**Sent:** Friday, October 12, 2012 5:25 PM  
**To:** Ron Croft  
**Subject:** ADDRESS

Ron,

Larry Lee called and wanted to verify the address on 06610-000. We show 363 SE Lomond Ave, LC, FL 32025. He is requesting the address be made 383 SE Lomond Ave, LC, FL 32025, he has applied for Government assistance and used 383 now they won't help him because our CO is 363. Call him at 386-752-2031 (Growth Management) for clarification on this site. Let us know so we can change the CO.

Thanks,  
Laurie

## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER \_\_\_\_\_

CONTRACTOR

JAMES JOHNSTON

PHONE

365-5999

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> <b>ELECTRICAL</b> <u>234</u>	Print Name <u>Michael Connor</u> License #: <u>ER 13013192</u>	Signature <u>Michael S Connor</u> Phone #: <u>386-965-9005</u>
<input checked="" type="checkbox"/> <b>MECHANICAL/A/C</b> <u>13</u>	Print Name <u>Derrick Williams</u> License #: <u>CR 1816963</u>	Signature <u>Derrick Williams</u> Phone #: <u>386-754-1987</u>
<input checked="" type="checkbox"/> <b>PLUMBING/GAS</b> <u>510</u>	Print Name <u>Maurice E Perkins</u> License #: <u>CRC 1426278</u>	Signature <u>Maurice E Perkins</u> Phone #: <u>(386) 364-4439</u>
<input checked="" type="checkbox"/> <b>ROOFING</b>	Print Name <u>James Johnston</u> License #: <u>CRC 1328128</u>	Signature <u>James Johnston</u> Phone #: <u>365-5999</u>
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	—	—	—
CONCRETE FINISHER	<u>CRC 1328128</u>	<u>JAMES H. JOHNSTON, III</u>	<u>[Signature]</u>
FRAMING	"	"	"
INSULATION	"	"	"
STUCCO	<u>N/A</u>	—	—
DRYWALL	<u>CRC 1328128</u>	<u>JAMES H. JOHNSTON, III</u>	<u>[Signature]</u>
PLASTER	"	"	"
CABINET INSTALLER	"	"	"
PAINTING	"	"	"
ACOUSTICAL CEILING	—	—	—
GLASS	—	—	—
CERAMIC TILE	—	—	—
FLOOR COVERING	—	—	—
ALUM/VINYL SIDING	—	—	—
GARAGE DOOR	—	—	—
METAL BLDG ERECTOR	—	—	—

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

George L. Burch  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

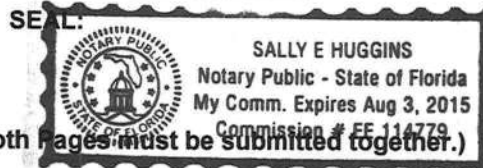
**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]  
Contractor's Signature (Permitee)



Contractor's License Number CRC 1328128  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 15<sup>th</sup> day of February 2012.  
Personally known ☒ or Produced Identification \_\_\_\_\_

[Signature]  
State of Florida Notary Signature (For the Contractor)





FLORIDA DEPARTMENT OF STATE DIVISION OF CORPORATIONS					
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Entity Name Search

Submit

No Events   No Name History

---

## Detail by Entity Name

### Florida Non Profit Corporation

HABITAT FOR HUMANITY OF LAKE CITY/COLUMBIA COUNTY, INC.

### Filing Information

**Document Number** N01000005978  
**FEI/EIN Number** 593736063  
**Date Filed** 08/20/2001  
**State** FL  
**Status** ACTIVE

### Principal Address

7416 65TH DRIVE  
LIVE OAK FL 32060  
Changed 01/05/2011

### Mailing Address

PO BOX 487  
LAKE CITY FL 32056  
Changed 02/10/2003

### Registered Agent Name & Address

BURNHAM, GEORGE L JR  
7416 65TH DRIVE  
LIVE OAK FL 32060 US  
Name Changed: 01/05/2011  
Address Changed: 01/05/2011

### Officer/Director Detail

**Name & Address**

Title CD  
HUGGINS, SALLY  
643 SW LEGION DRIVE  
LAKE CITY FL 32024

Title CD  
ROBERT, JORDAN  
934 NE LAKE DE SOTO CIRCLE  
LAKE CITY FL 32055

Title CD  
FATZINGER, CARL  
506 SW WALTER AVENUE  
LAKE CITY FL 32024

Title CD  
MELUM, MARY  
678 NW EMERALD LAKES DRIVE  
LAKE CITY FL 32055

# Columbia County Property Appraiser

DB Last Updated: 1/17/2012

2011 Tax Year

Parcel: 33-3S-17-06610-000

&lt;&lt; Next Lower Parcel Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

## Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	HABITAT FOR HUMANITY OF		
<b>Mailing Address</b>	LAKE CITY/COLUMBIA COUNTY INC C/O GEORGE W BURNHAM P O BOX 487 LAKE CITY, FL 32056		
<b>Site Address</b>	383 SE LOMOND AVE		
<b>Use Desc. (code)</b>	MISC RES (000700)		
<b>Tax District</b>	2 (County)	<b>Neighborhood</b>	33317
<b>Land Area</b>	0.351 ACRES	<b>Market Area</b>	06
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.  LOTS 5, 6 & 7 BLOCK A MELROSE PARK S/D. ORB 519-539, 682-527 687-185, 743-1984, 925-1944, 925-1945, CT 1160-904		



## Property & Assessment Values

2011 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$12,347.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (1)	\$15,718.00
<b>XFOB Value</b>	cnt: (1)	\$2,772.00
<b>Total Appraised Value</b>		\$30,837.00
<b>Just Value</b>		\$30,837.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$30,837.00
<b>Exempt Value</b>	(code: 12)	\$30,837.00
<b>Total Taxable Value</b>	Cnty: \$0 Other: \$0   Schl: \$0	

## 2012 Working Values

**NOTE:**  
2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
12/31/2010	1207/1970	WD	I	U	12	\$100.00
10/1/2008	1160/904	CT	I	U	01	\$100.00
4/30/2001	925/1945	WD	I	U	03	\$25,000.00
4/19/2001	925/1844	WD	I	U	01	\$100.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0031	BARN,MT AE	1992	\$2,772.00	0001680.000	40 x 42 x 0	(000.00)

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value



STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

12-0068

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.

SEE  
ATTACHED

Notes:

Site Plan submitted by:

Plan Approved

By

Signature

Not Approved

Agent  
Title

Date

2-6-12

Sally Ford Env Health  
Director - Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844

Florida Engineering Certificate of Authorization Number: 0 278

Florida Certificate of Product Approval # FL1999

Page 1 of 1 Document ID:1UJH487-Z0210154757

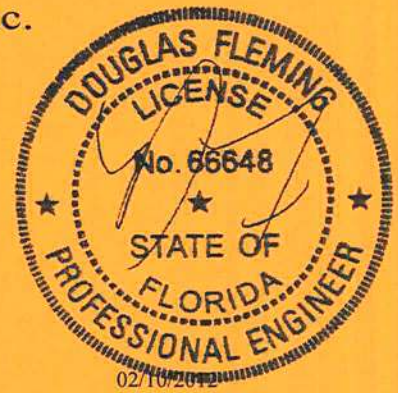
Truss Fabricator: Anderson Truss Company  
Job Identification: 12-030--Fill in later HOMETOWN HOMES/HABITAT -- , \*\*  
Truss Count: 5  
Model Code: Florida Building Code 2007 and 2009 Supplement  
Truss Criteria: FBC2007Res/TPI-2002(STD)  
Engineering Software: Alpine Software, Version 10.03.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-05 -Closed

## Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: A1101505-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	30794--A		12041004	02/10/12
2	30795--AGE		12041005	02/10/12
3	30796--AGE1		12041006	02/10/12
4	30797--B		12041007	02/10/12
5	30798--BGE		12041008	02/10/12



Douglas Fleming  
-Truss Design Engineer-

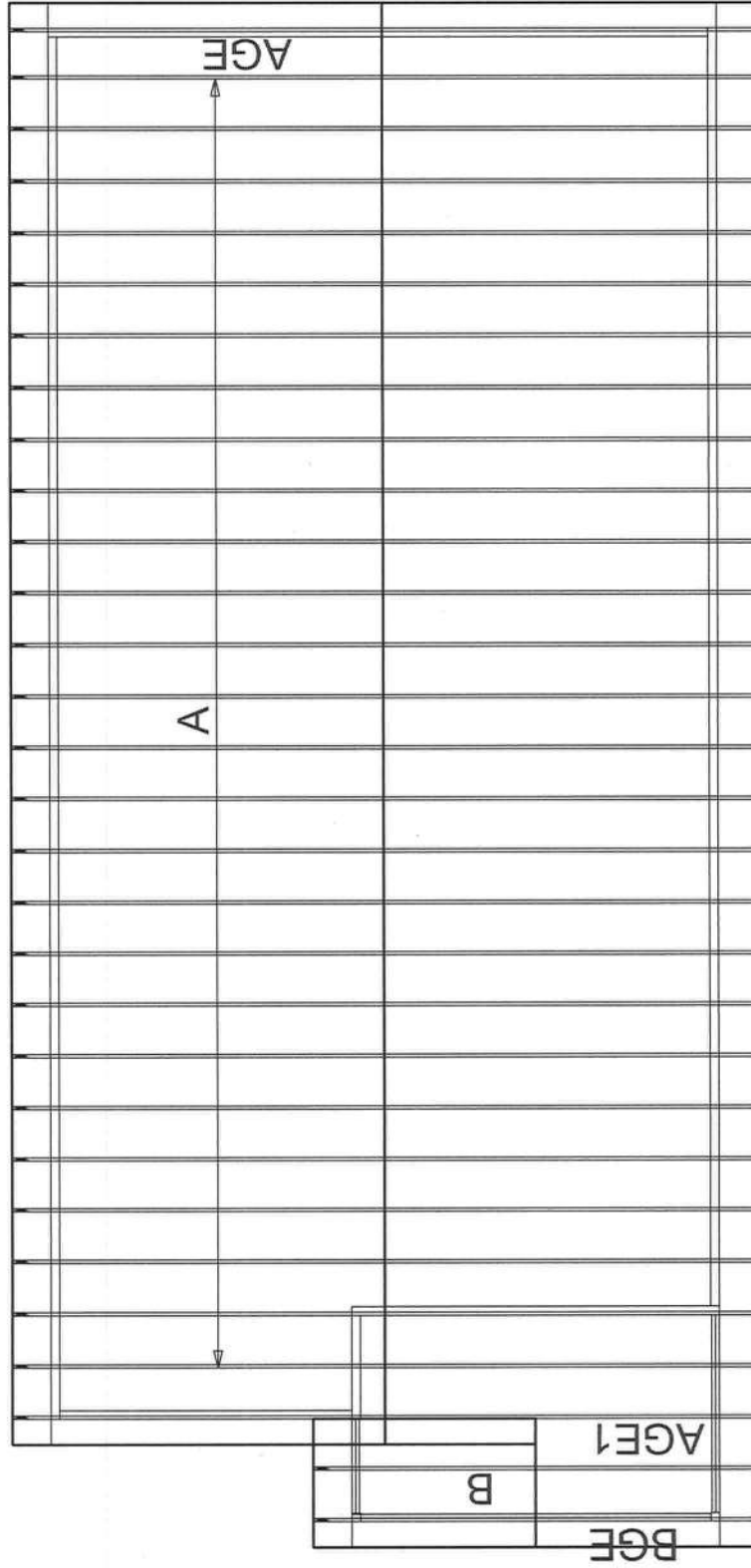
1950 Marley Drive  
Haines City, FL 33844



Roof Plane Sheathing Area = 1844 sq. ft

54'

14'3"8 11'8"8



HOMETOWN HOMES/ HABITAT FOR HUMANITY





(12-030--Fill in later HOMETOWN HOMES/HABITAT --, \*\* - AGE)

Top chord 2x4 SP #1  
Bot chord 2x4 SP #1  
Webs 2x4 SP #3  
:Stack Chord SC1 2x4 SP #1::Stack Chord SC2 2x4 SP #1:

Roof overhang supports 2.00 psf soffit load.

See DWGS A11015050109 & 6BLLETIN0109 for more requirements.

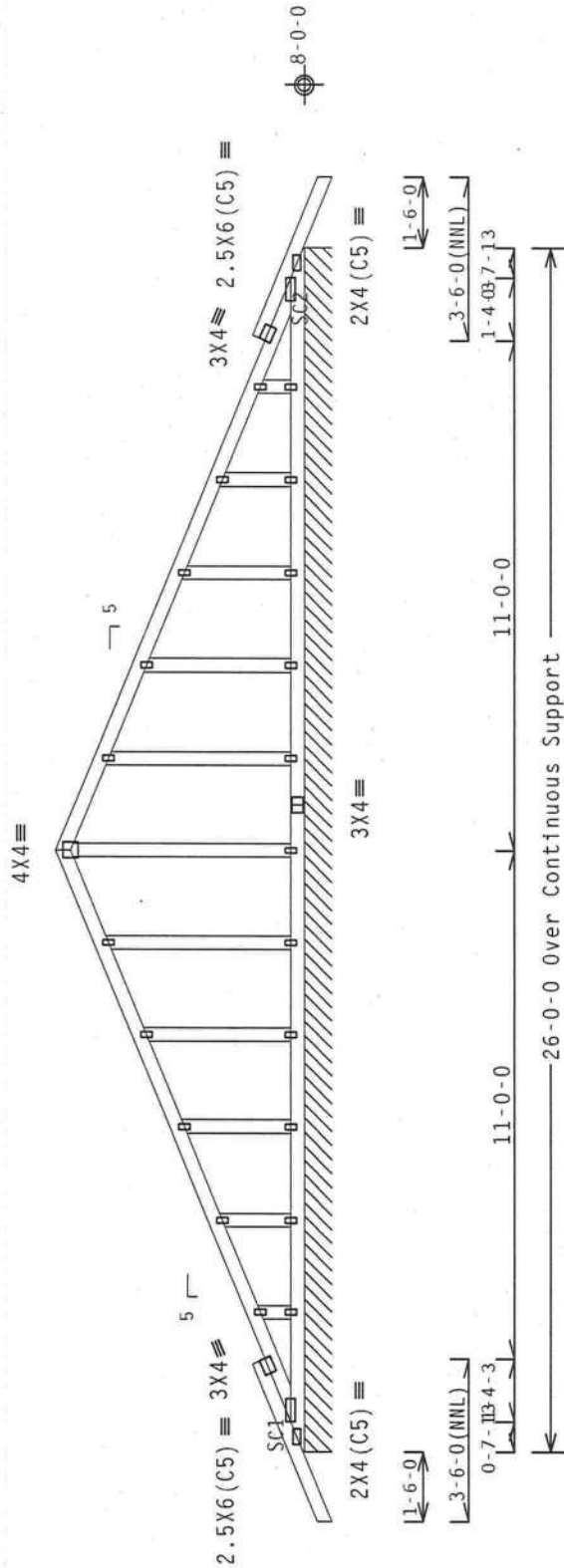
Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/180 live and L/120 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCPI(+/-)=0.18

Wind loads and reactions based on MMFRS with additional C&C member design.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



R-120 PLF U=9 PLF W=26-0-0  
RL-5/-5 PLF

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

FT/RT=10%(0%)/0(0)

FL/-4/-1-/R/-

Scale = .25"/Ft.

<div><div>ALPINE</div><div>ITW Building Components Group Inc.</div><div>Haines City, FL 33844</div><div>FL COA #0278</div></div>	<div>No. 66648</div> <div>STATE OF FLORIDA</div> <div>PROFESSIONAL ENGINEER</div> <div>02/10/2012</div>		TC LL	20.0 PSF	REF	R487--	30795
			TC DL	10.0 PSF	DATE	02/10/12	
			BC DL	10.0 PSF	DRW	HCUSR487	12041005
			BC LL	0.0 PSF	HC-ENG	DF/DF	
			TOT.LD.	40.0 PSF	SEQN-	268827	
			DUR.FAC.	1.25			
		SPACING	24.0"				JREF- 1UJH487_Z02

(12-030--Fill in later HOMETOWN HOMES/HABITAT --, \*\* - AGEI)

Top chord 2x4 SP #1  
Bot chord 2x4 SP #1  
Webs 2x4 SP #3 :W3 2x4 SP #1:  
:Stack Chord SC1 2x4 SP #1:

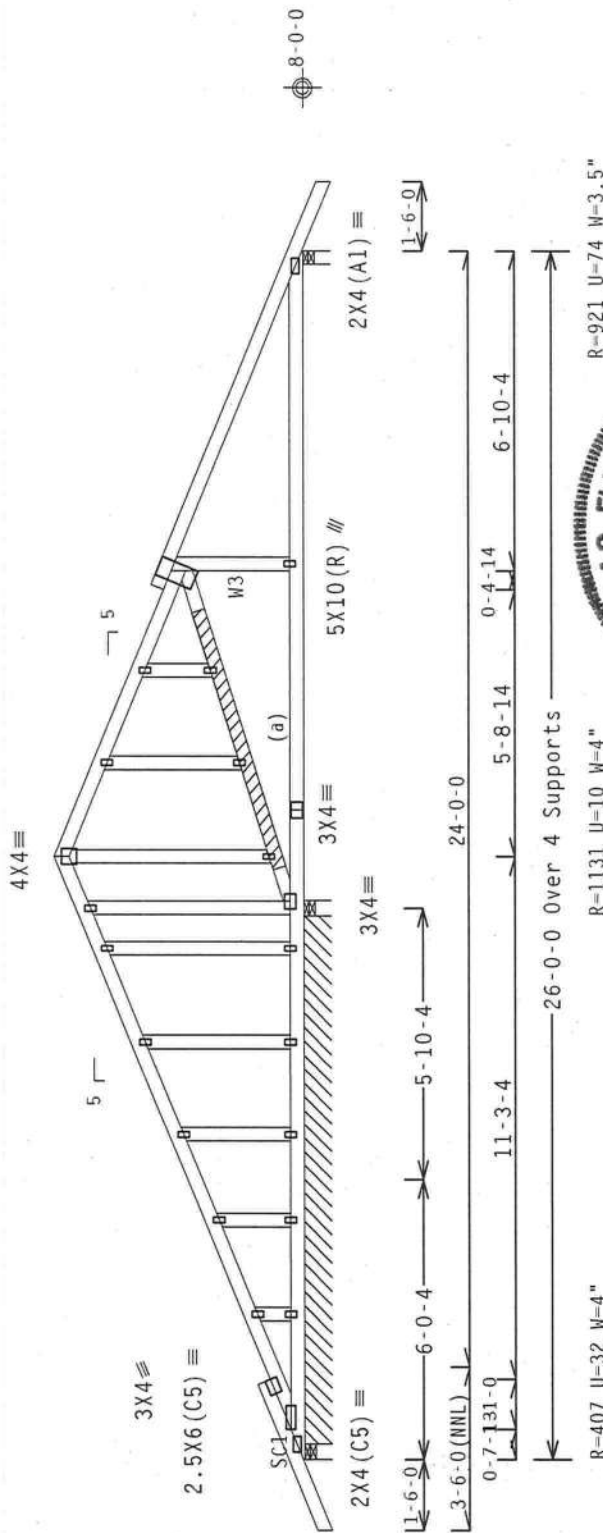
Roof overhang supports 2.00 psf soffit load.  
Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in noticable area using 3x6.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.  
(a) #3 or better scab brace. Same size & 80% length of web member. Attach with 10d Box or Gun (0.128"x3", min.) nails @ 6" OC.  
Bottom chord checked for 10.00 psf non-concurrent live load.  
Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL-5.0 psf, wind BC DL-5.0 psf. 1w-1.00 GCpi(+/-)-0.18

Wind loads and reactions based on MWFRS with additional C&C member design.



R=1131 U=10 W=4"

R-921 U=74 W=3.5"

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002 (STD)

PLT TYP. Wave

Scale = .25"/Ft.

FL/-/4/-/-/R/-

TC LL 20.0 PSF

TC DL 10.0 PSF

BC DL 10.0 PSF

BC LL 0.0 PSF

TOT.LD. 40.0 PSF

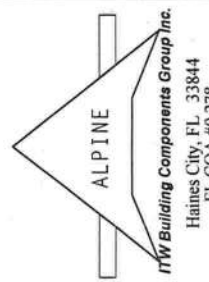
DUR.FAC. 1.25

SPACING 24.0"

JREF- 1UJH487\_Z02



**\*\*WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET.  
**\*\*IMPORTANT\*\*** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.  
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by TPI and NICA) for best practices prior to performing these functions. Installers shall provide temporary bracing per details, unless noted otherwise. Top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of web shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.  
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installing, bracing of trusses. Apply plates to each face of truss and position as shown above and on the joint details, unless noted otherwise. Refer to drawings 160A-2 for standard plate positions. No seal on the bottom chord. The responsibility for the design shown, the suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This Job's general notes page: ITW-BCG: www.itwbcg.com; TPI: www.tpinet.org; NICA: www.sbcindustry.com; ICC: www.iccsafe.org



(12-030--Fill in later HOMETOWN HOMES/HABITAT -- , \*\* - B)

Top chord 2x4 SP #1  
Bot chord 2x4 SP #1  
Webs 2x4 SP #3

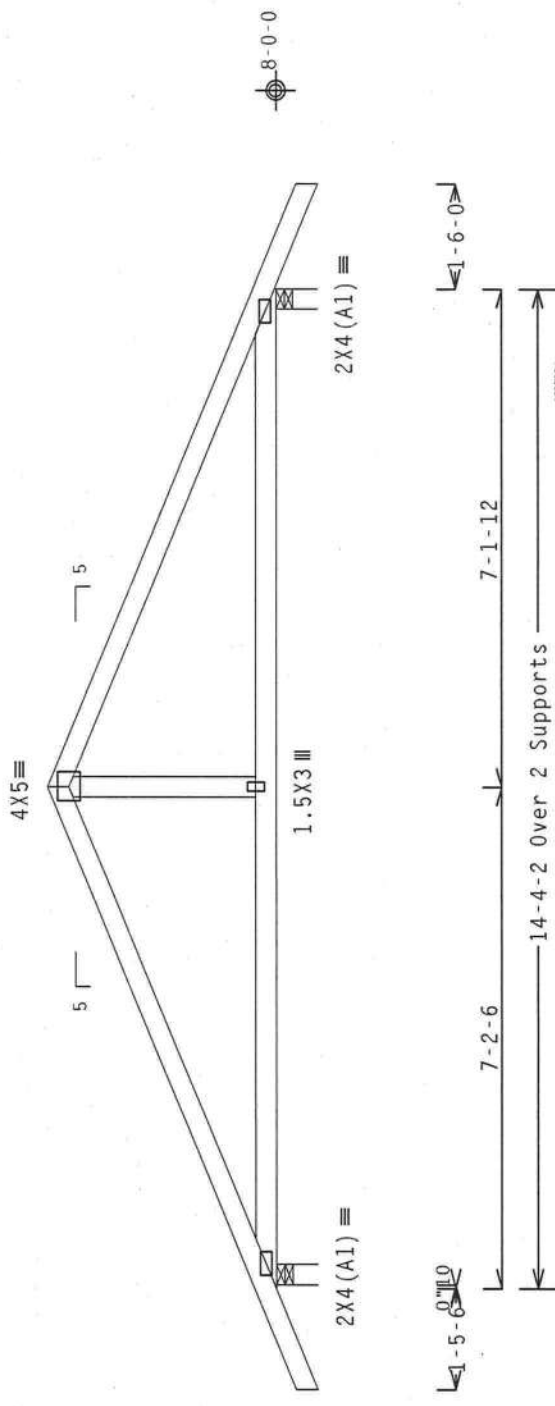
Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof. CAT II, EXP B, wind TC DL-5.0 psf, wind BC DL-5.0 psf. lw-1.00 GCpi(+/-)-0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load.



R=676 U-71 W-3.5  
RL-78/-78

Design Crit: FBC2007Res/TPI-2002 (STD)  
FT/RT=10%(0%)/0(0)

Scale = .375"/Ft.

PLT TYP. Wave	FL/-4/-/-R/-	TC LL	20.0 PSF	REF	R487--	30797
		TC DL	10.0 PSF	DATE	02/10/12	
		BC DL	10.0 PSF	DRW	HCUSR487	12041007
		BC LL	0.0 PSF	HC-ENG	DF/DF	
		TOT.LD.	40.0 PSF	SEQN-	268833	
		DUR.FAC.	1.25			
		SPACING	24.0"	JREF-	1UJH487_Z02	



**\*\*WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET.  
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.  
**\*\*IMPORTANT\*\*** Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by TPI and HICA) for best practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of top chord shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.  
LW Building Components Group Inc. (LWBCG) shall not be responsible for any deviation from this design for any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation, bracing of trusses. Apply plates to each face of truss and position as shown above and on the joint details, unless noted otherwise. Refer to drawings 100P-2 for standard plate positions. The seal on this drawing is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This Job's general notes page: LTN-BCG: www.ltnbcg.com; TPI: www.tpinet.org; HICA: www.sbcindustry.com; ICC: www.icc-afe.org

ALPINE  
ITW Building Components Group Inc.  
Haines City, FL 33844  
FL COA #0278



(12-030--Fill in later HOMETOWN HOMES/HABITAT -- \*\* - BGE)

Top chord 2x4 SP #1  
Bot chord 2x4 SP #1  
Webs 2x4 SP #3

:Stack Chord SC1 2x4 SP #1::Stack Chord SC2 2x4 SP #1:

Roof overhang supports 2.00 psf soffit load.

See DWGS A11015050109 & 6BLLETIN0109 for more requirements.

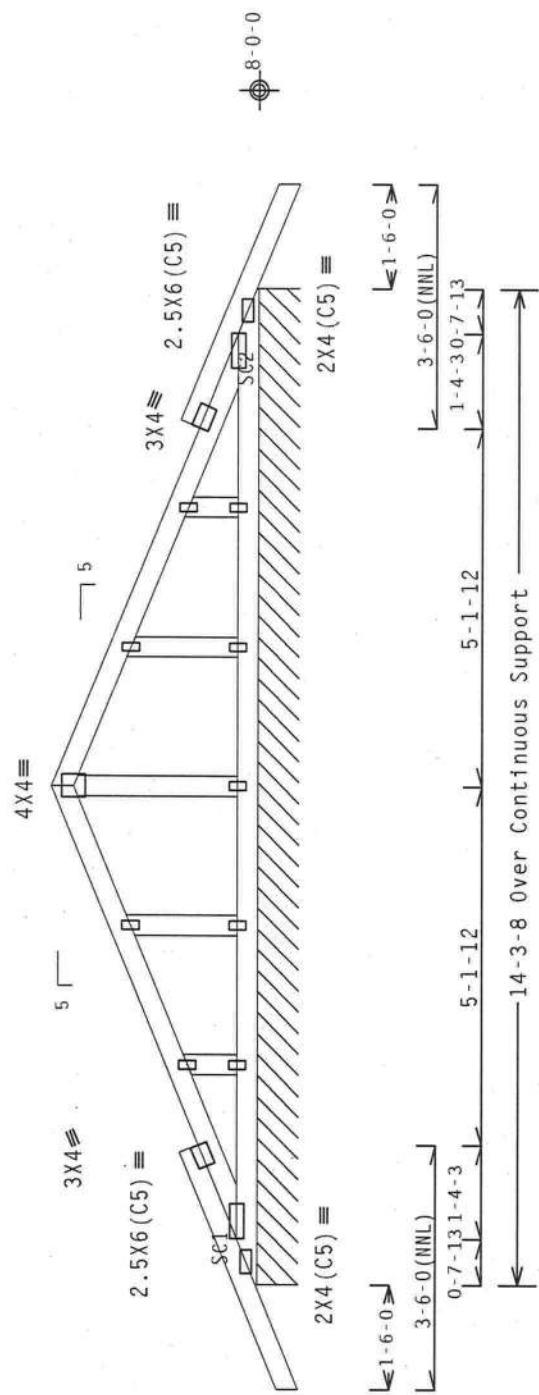
Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/180 live and L/120 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP 8, wind TC DL=5.0 psf, wind BC DL=5.0 psf.  $I_w=1.00$  GCPI(+/-)=0.18

Wind loads and reactions based on MMFRS with additional C&C member design.

Stacked top chord must NOT be notched or cut in area (NML). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in noticable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in noticable area using 3x6.




R-115 PLF U-10 PLF W-14-3-8  
RL-5/-5 PLF

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002 (STD)  
FT/RT=10% (0%)/0 (0)

PLT TYP. Wave

FL/-4/-1-/R/-  
Scale = .375"/Ft.

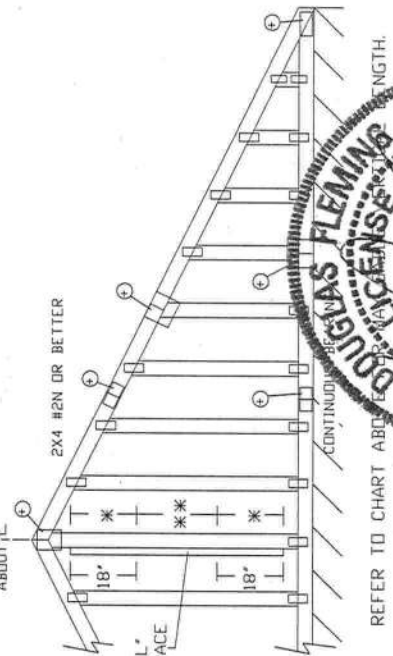
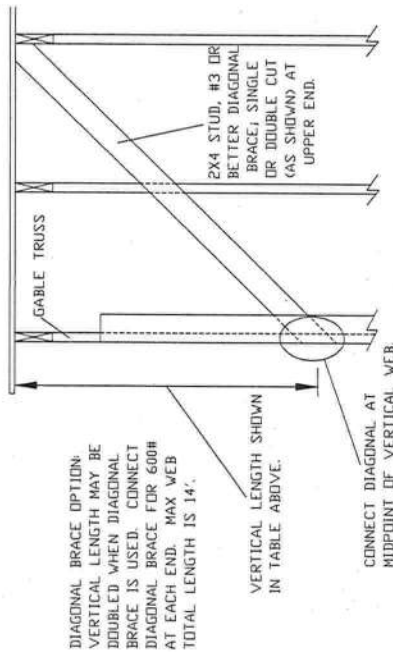
 ALPINE <b>iTW Building Components Group Inc.</b> Haines City, FL 33844 FL COA #0278	<b>**HARRING**</b> READ AND FOLLOW ALL NOTES ON THIS SHEET! FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.		TC LL	20.0 PSF	REF	R487 - -	30798
	<b>**IMPORTANT**</b> Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by TPI and NICA) for details. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.		TC DL	10.0 PSF	DATE	02/10/12	
	IITW Building Components Group Inc. (IITWBCG) shall not be responsible for any deviation from the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job's general notes page: IITW-BCG: www.iitwbcg.com; TPI: www.tpiinst.org; NICA: www.sbcindusry.com; ICC: www.iccsafe.org		BC DL	10.0 PSF	DRW	HCUSR487	12041008
			BC LL	0.0 PSF	HC-ENG	DF/DF	
			TOT.LD.	40.0 PSF	SEQN-	268836	
			DUR.FAC.	1.25			
			SPACING	24.0"	JREF - 1UJH487_Z02		

# GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

2X4 GABLE VERTICAL SPACING		BRACE		(1) 1X4 'L' BRACE		(2) 2X4 'L' BRACE		(1) 2X6 'L' BRACE		(2) 2X6 'L' BRACE	
GABLE VERTICAL SPACING	GRADE	BRACE	NO BRACES	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
12" D.C.	SPF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"
	HF	#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"
	STUD	#1	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"
	STANDARD	#1	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"
16" D.C.	SPF	#2	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"
	HF	#3	4' 2"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"
	STUD	#1	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"
	STANDARD	#1	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"
24" D.C.	SPF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
	HF	#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"
	STUD	#1	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"
	STANDARD	#1	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"
12" D.C.	SPF	#2	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"
	HF	#3	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"
	STUD	#1	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"
	STANDARD	#1	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"
16" D.C.	SPF	#2	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"
	HF	#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"
	STUD	#1	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"
	STANDARD	#1	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"
24" D.C.	SPF	#2	5' 4"	9' 1"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"
	HF	#3	5' 3"	8' 5"	8' 5"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"
	STUD	#1	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"
	STANDARD	#1	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"

SYMM ABOUT C



REFER TO CHART ABOVE FOR MAXIMUM LENGTH.

BRACING GROUP SPECIES AND GRADES:

GROUP A:	
SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2
STANDARD	STANDARD
#3	#3

GROUP B:	
DOUGLAS FIR-LARCH	SOUTHERN PINE
#1	#3
STANDARD	STANDARD
#2	#2

BRACING GROUP SPECIES AND GRADES:

GROUP A:	
SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2
STANDARD	STANDARD
#3	#3

GROUP B:	
DOUGLAS FIR-LARCH	SOUTHERN PINE
#1	#3
STANDARD	STANDARD
#2	#2

GABLE TRUSS DETAIL NOTES:

- LIVE LOAD DEFLECTION CRITERIA IS L/240.
- PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING 45 PSF TO DEAD LOAD.
- GABLE END SUPPORTS LOAD FROM 4' 0" OUTLEADERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
- ATTACH EACH 'L' BRACE WITH 10d NAILS.
- \* FOR (1) 'L' BRACE: SPACE NAILS AT 2' O.C. IN 18" END ZONES AND 4' O.C. BETWEEN ZONES.
- \* FOR (2) 'L' BRACES: SPACE NAILS AT 3' O.C. IN 18" END ZONES AND 6' O.C. BETWEEN ZONES.
- 'L' BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	25X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET! Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow BCSI (Building Component Safety Information, by TPI and VITAC) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached rigging locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI Sections B3 & B7. See this job's general notes page for more information.

\*\*\*IMPORTANT\*\*\* FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ITV Building Components Group Inc. (ITVBCG) shall not be responsible for any deviation from this design, any failure to build the trusses in conformance with TPI, or fabricating, handling, shipping, or installing the trusses. BCSI Component Plates are made of 2318/1824 (10/31/03) A572 50 steel, grade 37/40/60 (60/2/1/33) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.

A seal on this drawing or cover page indicates acceptance and professional engineering responsibility for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

ITV-BCG \*\*\*itvbcg.com TPI \*\*\*tpi.com VITAC \*\*\*vitacindustry.com IBC \*\*\*ibcsafe.org



Earth City, MO 63045

MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF ASCE 7-05-GABI015  
DATE 1/1/09  
DRWG A11015050109





**BLOCK  
CORNER**



DESCRIPTION: THE SOUTH 1/2 OF LOT 6 IN BLOCK "A" OF "MELROSE PARK" AS PER THE PLAT OF LOT 7, AND THEREOF RECORDED IN PLAT BOOK 3, PAGE 4 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE BEARING BASIS AS SHOWN HEREON.
3. IT IS APPARENT THAT THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NUMBER 12023C0331C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

SYMBOL LEGEND:	
■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
×	X' CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊕	NAIL & DISK
⊗	POWER POLE
+	SIGN POST
▲	WATER METER
⊙	UTILITY BOX
⊛	WELL
⊙	SANITARY MANHOLE
⊙	CENTERLINE
---	SECTION LINE
-E-	ELECTRIC LINES
-X-	WIRE FENCE
-O-	CHAIN LINK FENCE
-□-	WOODEN FENCE
(PLAT)	AS PER A PLAT OF RECORD
(DEED)	AS PER A DEED OF RECORD
(CALC.)	AS PER CALCULATIONS
(FIELD)	AS PER FIELD MEASUREMENTS
P.R.M.	PERMANENT REFERENCE MARKER
P.C.P.	PERMANENT CONTROL POINT

CERTIFIED TO:  
HABITAT FOR HUMANITY

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

01/10/12	01/13/12
FIELD SURVEY DATE	DRAWING DATE

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

FIELD BOOK: SEE PAGE(S): FILE

BRITT SURVEYING  
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 7593

830 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(386)752-7163 FAX (386)752-5573

[www.brittsurvey.com](http://www.brittsurvey.com)

WORK ORDER # L-22004B



# Notice of Treatment 29950

Applicator: **Florida Pest Control & Chemical Co. (www.flapest.com)**

Address: 536 SE BAY

City LAKE CITY Phone 752 1703

Site Location: Subdivision \_\_\_\_\_

Lot # \_\_\_\_\_ Block# \_\_\_\_\_ Permit # \_\_\_\_\_

Address 383 SE LOMOND S

## Product used

## Active Ingredient

## % Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ \_\_\_\_\_

## Type treatment:

☒ Soil

## Area Treated

## Square feet

## Linear feet

## Gallons Applied

DWELLING

1460

168

100

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_.

2-20-12

Date

1:06

Time

DAVID FULLER

Print Technician's Name

Remarks: \_\_\_\_\_

Applicator - White

Permit File - Canary

Permit Holder - Pink