

ft. white

Need Data Plate

382.50

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 7-1-15)

Zoning Official

Building Official

AP#

43923

Date Received

10/30

By

Permit #

38957

Flood Zone

Development Permit

Zoning

Land Use Plan Map Category

Comments

See Computer for Details

FEMA Map#

Elevation

Finished Floor

River

In Floodway

☒ Recorded Deed or ☐ Property Appraiser PO ☐ Site Plan ☒ EH # 19-0800 ☐ Well letter OR

☒ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # ☐ STUP-MH ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment ☒ Out County ☒ In County ☒ Sub VF Form

Property ID # 29-65-16-03970-002 Subdivision Rolling Acres add'n Lot# 2

New Mobile Home ☐ Used Mobile Home ☒ MH Size 40x28 Year 1997

Applicant Hector Luis Martinez Phone # 352-222-0504

Address 160 SW Newport pl, Fort White, FL 32038

Name of Property Owner Hector Luis Martinez Phone# 352-222-0504

911 Address 160 SW Newport pl, Fort White, FL 32038

Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Duke Energy

Name of Owner of Mobile Home Hector Luis Martinez Phone # 352-222-0504

Address 160 SW Newport pl. Fort White, FL 32038

Relationship to Property Owner Owner

Current Number of Dwellings on Property 0

Lot Size 411.4' x 134.7' Total Acreage 1.24 acres

Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

Is this Mobile Home Replacing an Existing Mobile Home No Yes Already Replaced

Driving Directions to the Property From Fort White center, drive north on 47, turn right on Centerville ave., left on Newport Ln, property is second on the left.

Name of Licensed Dealer/Installer Ferman Jones Phone # 352-318-4711 or 4734

Installers Address 6795 SW 7th Ave Lake Butler, FL 32054

License Number IH1025418 Installation Decal # 63078

* JTW left msg 12.2.19
to spoke by Steven 11.7.19
JTW left msg 11.25.19 - RE: data sheet.

2 - TILISEN w/ Steven
RE: DP needed before
Permit is issued
11.25.19

Mobile Home Permit Worksheet

Installer: Fernon Jones License # TH1025418

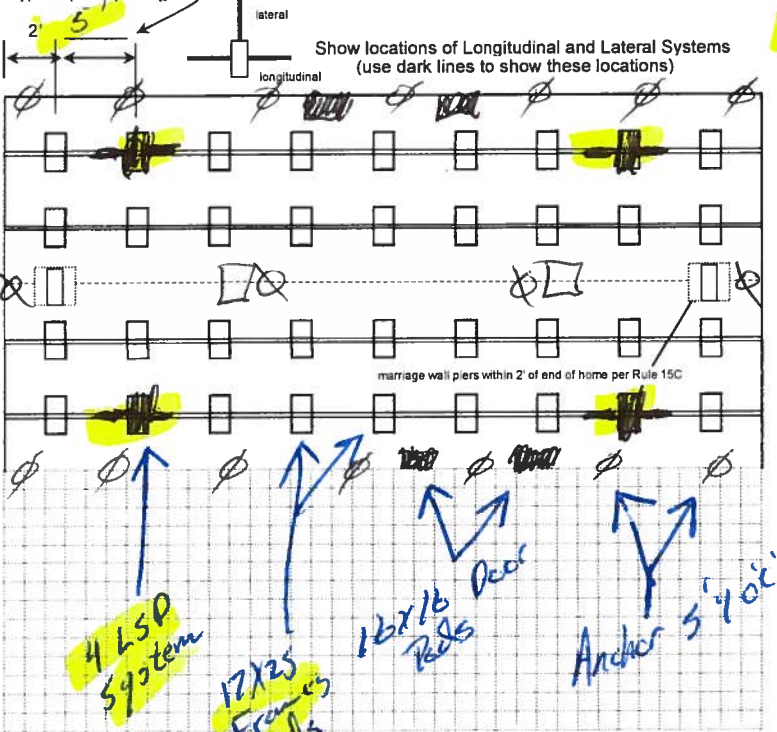
Address of home being installed _____

Manufacturer _____ Length x width 28' x 40'

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home
I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials F.J.

Typical pier spacing



Application Number: _____ Date: _____

New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 63078

Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" X 24" (576)*	26" x 26" (676)
1000 psf		3'	4'	5'	6'	7'	8'
1500 psf		4' 6"	6'	7'	8'	8'	8'
2000 psf		6'	8'	8'	8'	8'	8'
2500 psf		7' 6"	8'	8'	8'	8'	8'
3000 psf		8'	8'	8'	8'	8'	8'
3500 psf		8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 12x25

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.) 23x31

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 12' 0" or greater Pier pad size 23x31

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18 5/8 x 18 5/8	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft ☒ 5 ft ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer _____
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer _____

OTHER TIES

Number
Sidewall 11/16
Longitudinal 9
Marriage wall 2
Shearwall _____

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil _____ without testing.

x 1000 x 1000 x 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1000 x 1000 x 1000

TORQUE PROBE TEST

The results of the torque probe test is 276 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Installer's initials FJS

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Femon Jones

Date Tested 10/24/19

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15

Site Preparation

Debris and organic material removed _____
Water drainage: Natural _____ Swale _____ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: lag Length: 6" Spacing: 2' 1"
Walls: Type Fastener: SCB Length: 6" Spacing: 2' 1"
Roof: Type Fastener: lag Length: 6" Spacing: 2' 1"

For used homes min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials FJS

Type gasket rolled foam

Installed: _____
Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes _____ Pg. 12
Siding on units is installed to manufacturer's specifications. Yes _____
Fireplace chimney installed so as not to allow intrusion of rain water. Yes _____

Miscellaneous

Skirting to be installed. Yes ☒ No _____
Dryer vent installed outside of skirting. Yes ☒ N/A _____
Range downflow vent installed outside of skirting. Yes ☒ N/A _____
Drain lines supported at 4 foot intervals. Yes ☒ N/A _____
Electrical crossovers protected. Yes ☒ Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

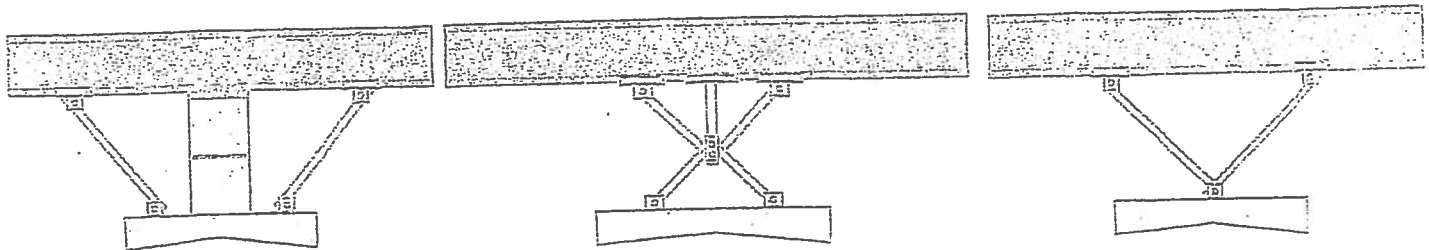
Installer Signature Femon Jones

Date 10/24/19

ANCHORS AND TIE-DOWNS

Longitudinal protection, continued

Other approved longitudinal stabilization are these types of steel mechanical systems called longitudinal stabilizing devices.

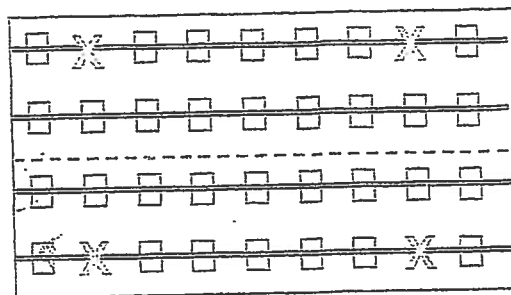
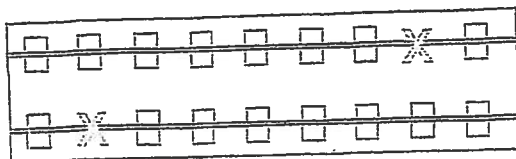


Longitudinal Protection using approved
Longitudinal Stabilizing Devices
(LSDs)

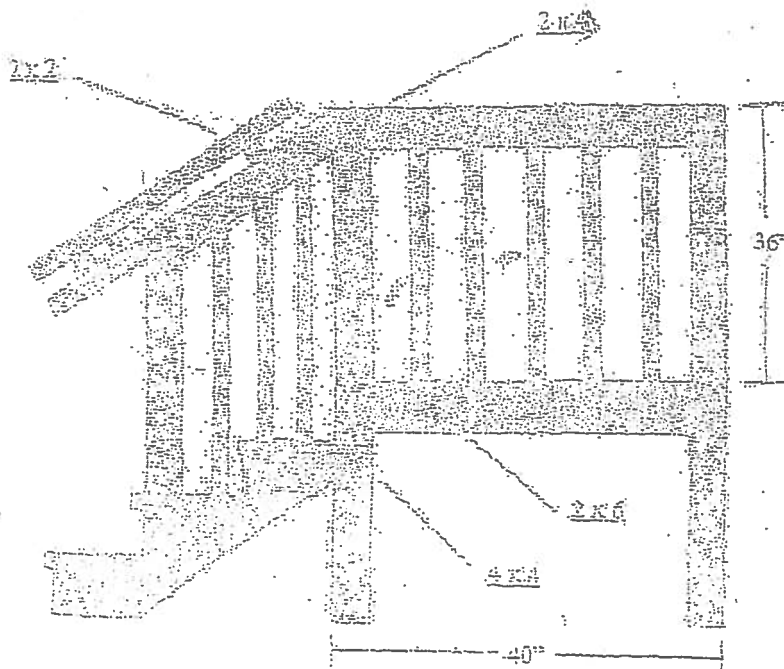
LSD systems may be used in place of the required longitudinal straps, anchors and stabilizer plates. Two systems are required per section of home. A single wide will get two LSDs and a double wide will require four and a triple wide will require six. For the correct placement of these systems see the diagram below.

Commonly found violations when using the lateral arm systems:

- The required self tapping screws were not installed or another type of screw was used.
- The LSD arms were not properly connected to the I-beam or galvanized pan.
- Five foot anchors were required by the home manufacturer and 4 foot anchors were installed.
- The LSD arms are installed at too steep an angle.
- The galvanized pan is not fully embedded into the soil.



Longitudinal Stabilizing Devices shown on typical blocking plans.



SUBMITTED BY HALL SERVICES, INC.

ALL STEPS ARE CONSTRUCTED FROM PRESSURE TREATED PINE.
 STEP PLATFORM IS 40" WIDE.
 PICKETS ARE NO MORE THAN 4" APART.
 THE SUM OF 1 TREAD AND 1 RISER ARE BETWEEN 10" AND 11".

FASTERERS USED:

#8x3" GAL. DECK SCREWS
 #10x6" GAL. DECK SCREWS
 1/2" GAL. RING SHANK NAILS

License Number: IH / 1025418 / 1 Name: FERMON JONES

Order #: 3966

Label #: 63078

Manufacturer:

NOBL

(Check Size of Home)

Homeowner:

Hector Luis Martinez

Year Model:

1997

Single

Address:

160 S.W. Newport Pl.

Length & Width:

28 x 40

Double

City/State/Zip:

FT. WORTH, FL 32058

Type Longitudinal System:

Triple

Phone #:

Type Lateral Arm System:

HUD Label #:

Date Installed:

New Home: _____ Used Home: _____

Soil Bearing / PSF:

Installed Wind Zone:

II

Data Plate Wind Zone:

II

Torque Probe / in-lbs:

1000
276

Permit #:

Note:

STATE OF FLORIDA
INSTALLATION CERTIFICATION LABEL

63078

LABEL #

DATE OF INSTALLATION

FERMON JONES

NAME

IH / 1025418 / 1

3966

LICENSE #

ORDER #

CERTIFIES THAT THE INSTALLATION OF THIS MOBILE HOME IS
IN ACCORDANCE WITH FLORIDA STATUTES 320.8249, 320.8325
AND RULES OF THE HIGHWAY SAFETY AND MOTOR VEHICLES.

INSTRUCTIONS

PLEASE WRITE DATE OF
INSTALLATION AND AFFIX
LABEL NEXT TO HUD LABEL.
USE PERMANENT INK PEN
OR MARKER ONLY.
COMPLETE INFORMATION
ABOVE AND KEEP ON FILE
FOR A MINIMUM OF 2 YEARS.
YOU ARE REQUIRED TO
PROVIDE COPIES WHEN
REQUESTED.

SITE PLAN CHECKLIST

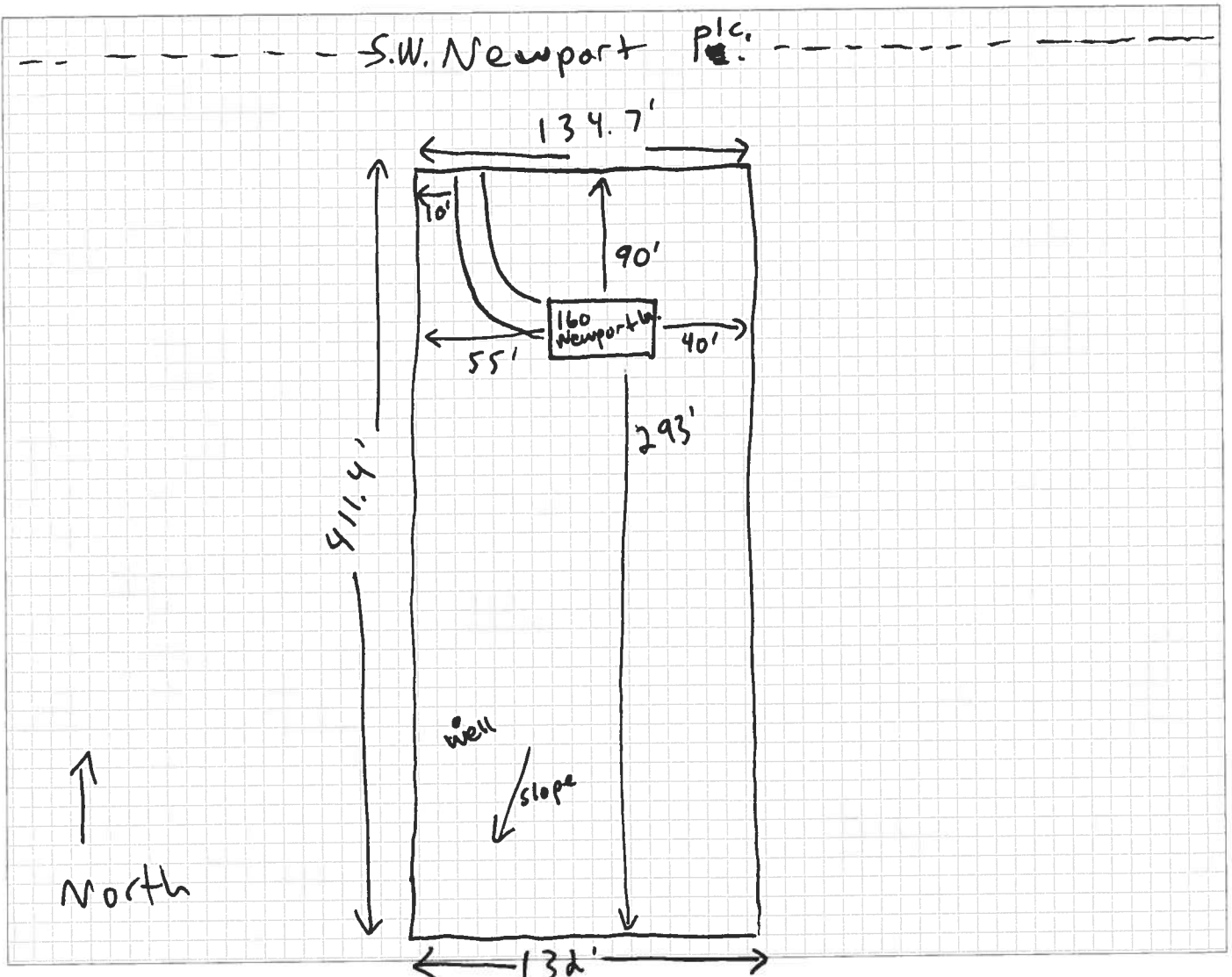
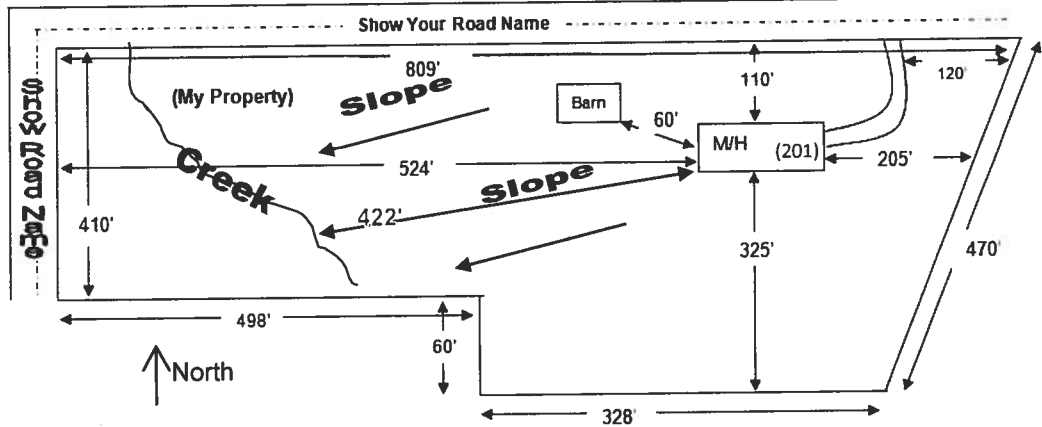
- ✓ 1) Property Dimensions
- ✓ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ✓ 3) Distance from structures to all property lines
- ✓ 4) Location and size of easements
- ✓ 5) Driveway path and distance at the entrance to the nearest property line
- ✓ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ✓ 7) Show slopes and or drainage paths
- ✓ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



Legend

2018Aerials



Parcels

Addresses

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

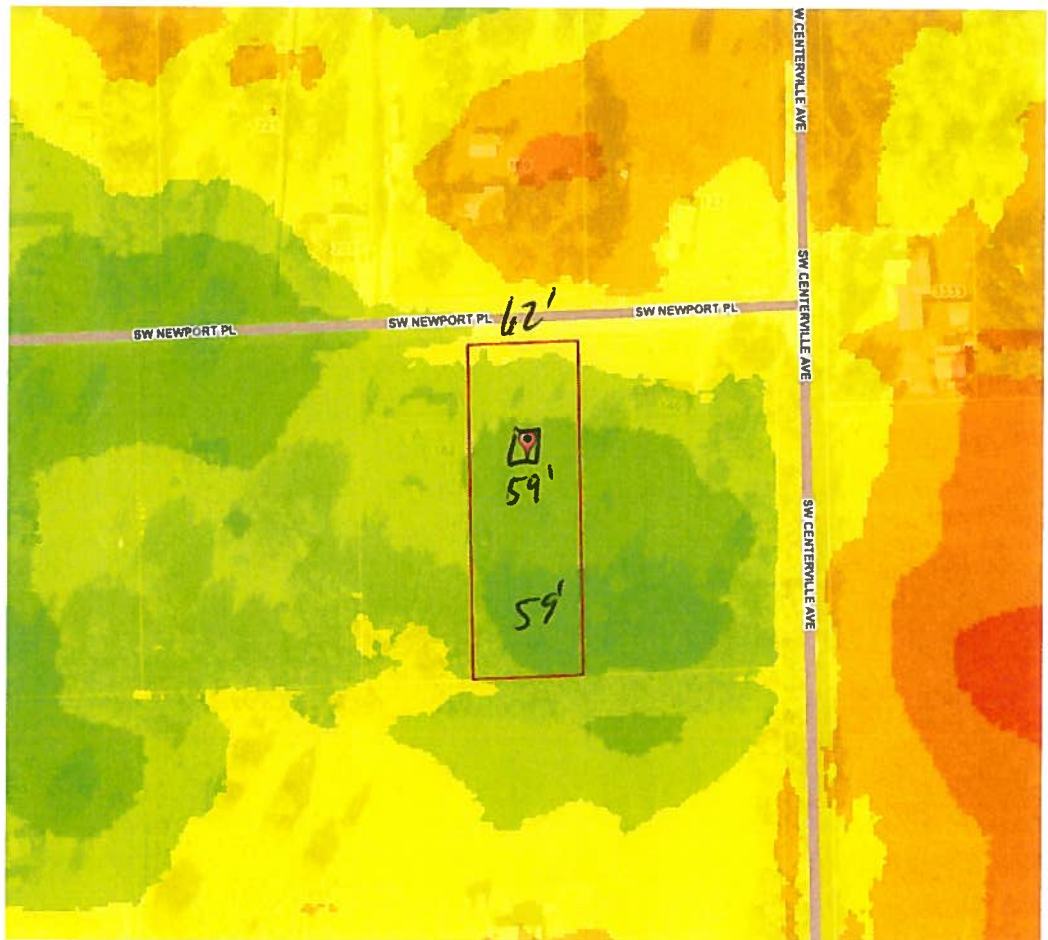
AH

LidarElevations



Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Nov 07 2019 15:41:06 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 29-6S-16-03970-002

Owner: RADZIMINSKI ASHLEY

Subdivision: ROLLING ACRES ADDITION

Lot: 2

Acres: 1.2388469

Deed Acres: 1.24 Ac

District: District 2 Rocky Ford

Future Land Uses: Agriculture - 3

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Rec. Fee \$18.50
Doc Stmp Fee \$140.00
Intang Tax _____
Total \$158.50

This Instrument Prepared by and Return to:

INGER McRAE

U.S. TITLE

2622-B2 NW 43rd Street

Gainesville, FL 32606

Our File No.: UG-16849

Property Appraisers Parcel Identification (Folio) Number: 29-6S-16-03970-002

Florida Documentary Stamps in the amount of \$140.00 have been paid hereon.

\$20,000.00 Space above this line for Recording Data _____

Inst: 201912024064 Date: 10/17/2019 Time: 9:56AM
Page 1 of 2 B: 1396 P: 1628, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp-Deed: 140.00

WARRANTY DEED

THIS WARRANTY DEED, made the 8th day of October, 2019 by Maria Radziminiski, a married woman, whose post office address is 6714 NW 16th St, Gainesville, FL 32653 herein called the Grantor, to Hector Luis Martinez and Dorcas Martinez, husband and wife whose post office address is 160 NEWPORT PL, FORT WHITE, FL 32038, hereinafter called the Grantees:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of a)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in COLUMBIA County, State of Florida, viz.:

The East 1/2 of Lot 2, Rolling Acres Addition, according to the Plat thereof, recorded in Plat Book 4, Page(s) 105 and 105A, of the Public Records of Columbia County, Florida.

Subject to easements, restrictions and reservations of record and taxes for the year 2019 and thereafter.

Grantor warrants that subject property is non-homestead property

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantees that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2018.

Columbia County Tax Collector

generated on 11/7/2019 3:19:02 PM EST

Tax Record

Last Update: 11/7/2019 3:17:07 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such

Account Number	Tax Type	Tax Year
R03970-002	REAL ESTATE	2019
Mailing Address RADZIMINSKI MARIA 6714 NW 16TH STREET, STE F GAINESVILLE FL 32653		
Property Address 160 NEWPORT SW FORT WHITE GEO Number 296S16-03970-002		
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail NO EXEMPTIONS Millage Code 003 Escrow Code Legal Description (click for full description) 29-6S-16 0700/02001.24 Acres E1/2 LOT 2 ROLLING ACRES ADD'N 419-239, 700-210, 873-1887, 935-1513, WD 1101-2074, AG 1167-810, WD 1270-770, WD 1333 -1249, WD 1349-1631, QC 1376- 777,		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Exemption Value Amount Taxable Value Taxes Levied
BOARD OF COUNTY COMMISSIONERS	8.0150	14,369 0 \$14,369 \$115.17
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	14,369 0 \$14,369 \$10.75
LOCAL	3.9880	14,369 0 \$14,369 \$57.40
CAPITAL OUTLAY	1.5000	14,369 0 \$14,369 \$21.56
SUWANNEE RIVER WATER MGT DIST	0.3840	14,369 0 \$14,369 \$5.52
LAKE SHORE HOSPITAL AUTHORITY	0.9620	14,369 0 \$14,369 \$13.82
Total Millage	15.5970	Total Taxes \$224.11
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
FFIR	FIRE ASSESSMENTS	\$219.98
GGAR	SOLID WASTE - ANNUAL	\$189.66
Total Assessments		\$409.64
Taxes & Assessments		\$633.75
If Paid By	Amount Due	
11/30/2019	\$608.40	
12/31/2019	\$614.74	
1/31/2020	\$621.07	
2/29/2020	\$627.41	
3/31/2020	\$633.75	

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 43923 CONTRACTOR Fenmon Jones PHONE 352.318.4711

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

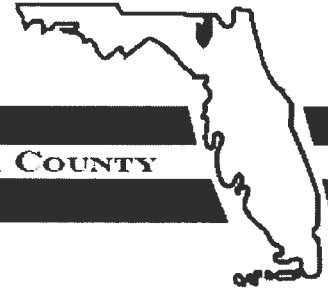
In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

✓ ELECTRICAL	<div>Print Name <u>Hector Martinez</u> Signature <u>[Signature]</u></div> <div>License #: _____ Phone #: <u>352-222-0504</u></div> <div>Qualifier Form Attached <input type="checkbox"/></div>
✓ MECHANICAL/ A/C	<div>Print Name <u>Hector Martinez</u> Signature <u>[Signature]</u></div> <div>License #: _____ Phone #: <u>352-222-0504</u></div> <div>Qualifier Form Attached <input type="checkbox"/></div>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: 10/29/2019 5:43:08 PM
Address: 160 SW NEWPORT PI
City: FORT WHITE
State: FL
Zip Code 32038

Parcel ID 03970-002

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0886
DATE PAID: 10/31/19
FEE PAID: 168.00
RECEIPT #: 1451023

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Hector L. Martinez

AGENT: _____

TELEPHONE: 352-222-0504MAILING ADDRESS: 160 SW Newport Place, Fort White, FL 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 2 BLOCK: _____ SUBDIVISION: Rolling Acres add'n PLATTED: 3/9/78

PROPERTY ID #: 29-65-16-03970-002 ZONING: residential I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 1.24 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 160 Newport Place, Fort White, FL 32038

DIRECTIONS TO PROPERTY: drive north on 47 from center of Fort White, turn right on Centerville ave, turn left on Newport lane, second lot on left.

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Mobile Home</u>	<u>2</u>	<u>1,120</u>	<u>ORIGINAL ATTACHED</u>
2				
3				
4				

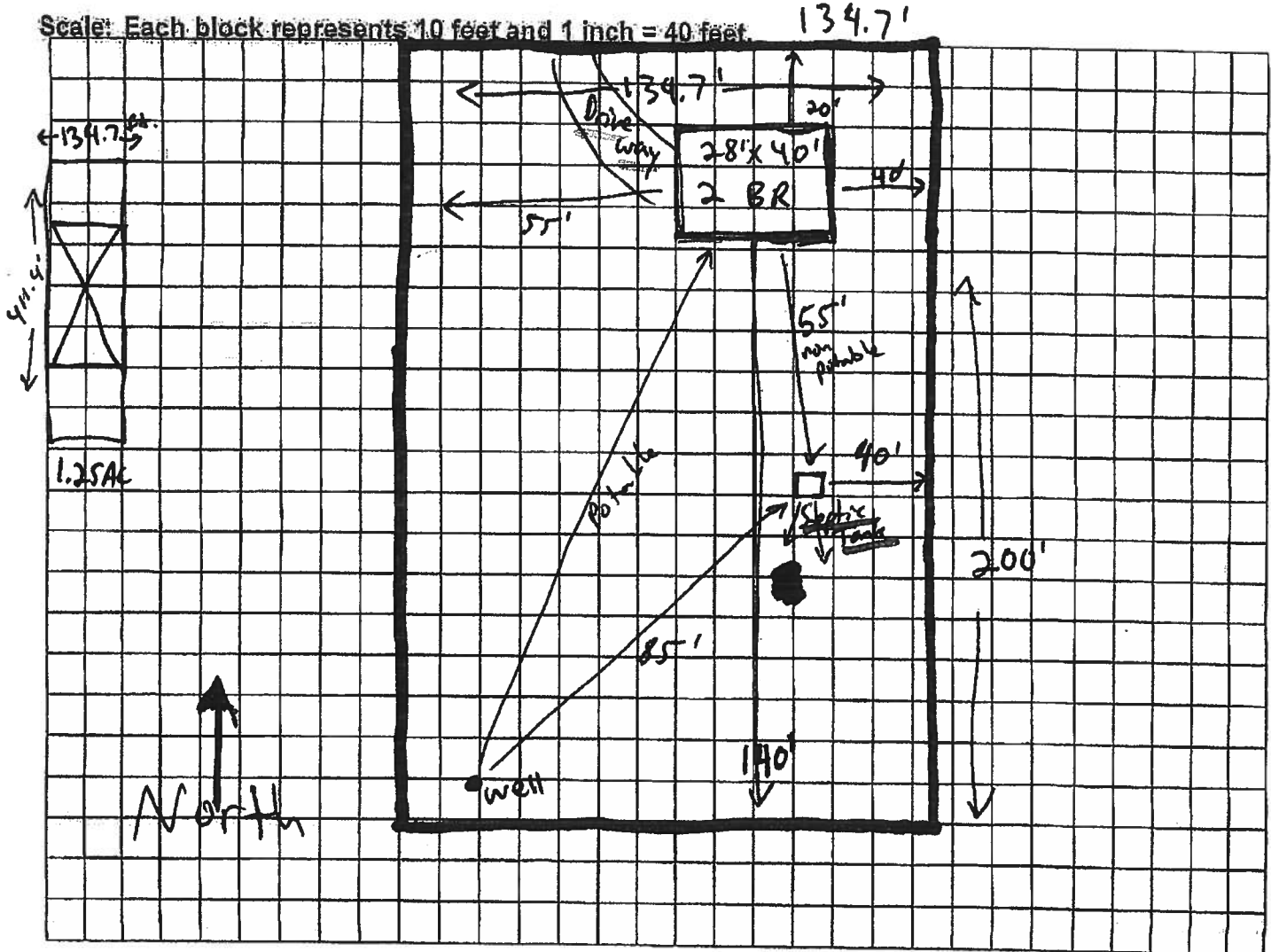
☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: [Signature]DATE: 10-29-2019

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0806

----- PART II - SITEPLAN -----



Notes: _____

Site Plan submitted by: Hector Luis Martinez TITLE _____ DATE: 10-29-2019

Plan Approved [Signature] Not Approved _____ Date 11/2/19

By [Signature] Calhoun County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS AGENT AUTHORIZATION

I, Fermon Jones, give this authority and I do certify that the below
Installers Name

referenced person(s) listed on this form is/are under my direct supervision and control and
is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Agents Company Name
<u>Steven Martinez</u>	<u>[Signature]</u>	
<u>Hector L. Martinez</u>	<u>[Signature]</u>	

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license
holder for violations committed by him/her or by his/her authorized person(s) through this
document and that I have full responsibility for compliance granted by issuance of such permits.

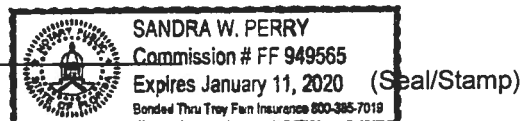
Fermon Jones
License Holders Signature (Notarized)
IH1025418
License Number
10-8-19
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Union

The above license holder, whose name is Fermon Jones,
personally appeared before me and is known by me or has produced identification
(type of I.D.) Personally known on this 8 day of October, 2019.

Sandra W. Perry
NOTARY'S SIGNATURE



CODE ENFORCEMENT DEPARTMENT
COLUMBIA COUNTY, FLORIDA
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM Suwannee county
OWNERS NAME Hector Luis Martinez PHONE 352-222-0504 CELL
INSTALLER Fernon Jones PHONE 352-318-9739 CELL 352-318-4711
INSTALLERS ADDRESS 6795 S.W. 21st Ave Lake Butler, FL

MOBILE HOME INFORMATION

MAKE NOBL YEAR 1997 SIZE 28 x 40
COLOR white/green trim SERIAL No. N88226A / N88226B
WIND ZONE 11 SMOKE DETECTOR yes - will be install

INTERIOR:

FLOORS good
DOORS good
WALLS good
CABINETS good
ELECTRICAL (FIXTURES/OUTLETS) good

EXTERIOR:

WALLS / SIDING good
WINDOWS good
DOORS good

INSTALLER: APPROVED yes NOT APPROVED

INSTALLER OR INSPECTORS PRINTED NAME Fernon Jones

Installer/Inspector Signature Fernon Jones License No. 1H1025418 Date 10/24/19

NOTES:

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.

ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-758-1008 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.

Code Enforcement Approval Signature [Signature] VM full - could not leave
a message - on Date 11/7/19

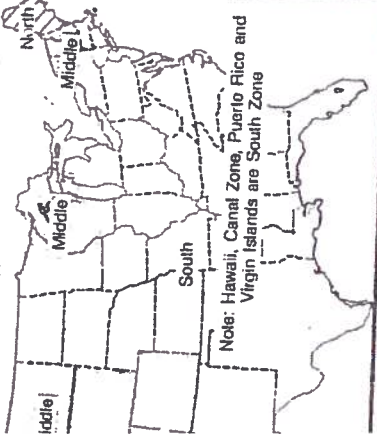
43923

Manufacturer Data Report

State of Florida
Department of Highway Safety and Motor Vehicles
Division of Motor Vehicles
Neil Kirkman Building, 2000 Apalachee Parkway (Room A 139) Tallahassee, FL 32399-0640
DESIGNATION (State) FLORIDA
SIZE 44'X 11'8" 44'X 11'8"
Unit A Unit B Unit C
☐ EXCLUDE HITCH ☒ INCLUDE HITCH

DEALER'S NAME PRESTIGE HOME CENTERS
ADDRESS ROUTE 13 BOX 650
LAKE CITY, FL 32055
City State Zip
DAPIA NAME HILBORN, WERNER, CARTER & ASSOC
ADDRESS 1627 S. MYRTLE AVENUE
CLEARWATER, FL 33516
City State Zip

ROOF LOAD ZONES
North 40 PSF ☒ South 20 PSF
Middle 30 PSF



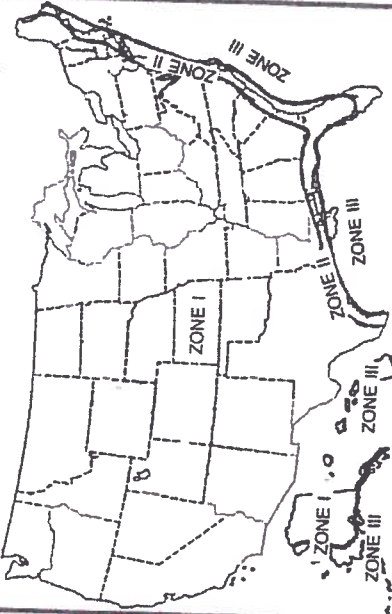
Manufacturer Model Designation

STATE SC130IFM960
FYNNETICS 1235E
BTU/hr. J BTU/hr.
GE JGBS03PPW1W
GE TBX14SAZBRW

LAHASSEE CENTRAL OFFICE USE ONLY **
REGION
CITY STATE ZIP

WIND ZONES

- ☐ Zone I 15 PSF Horizontal & 9 PSF Uplift
- ☒ Zone II 100 mph.
- ☐ Zone III 110 mph
- ☐ Exposure D



NOTE: See Section 3280.305(c)(2) for areas included in each Wind Zone.

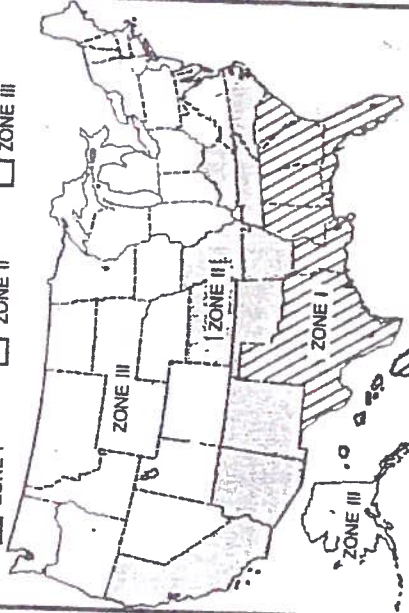
This home has ☐ has not ☒ (checked by manufacturer) been equipped with storm shutters or other protective coverings for windows and exterior door openings. For homes designed to be located in Wind Zones II and III, which have not been provided with shutters or equivalent covering devices, it is strongly recommended that the home be made ready to be equipped with these devices in accordance with the method recommended in the manufacturers printed instructions.

This home has ☐ has not ☒ been designed for the higher wind pressures and anchoring provisions required for ocean/coastal areas and should not be located within 1500' of the coastline in Wind Zones II and III, unless the home and its anchoring and foundation system have been designed for the increased requirements specified for Exposure D in ANSI/ASCE 7-88.

HEATING & COOLING DESIGNED CERTIFICATE

Design Winter Climate Zone
This mobile home has been thermally insulated to conform with the requirements of the Federal Manufactured Home Construction and Safety Standards for all localities within climatic:

- ☒ ZONE I ☐ ZONE II ☐ ZONE III



Manufacturer shall provide "U" factors as designed below.

- Walls (without windows & doors) "U" = .093
- Ceilings & roofs of light color "U" = .081
- Ceilings & roofs of dark color "U" = .048
- Floors "U" = .048
- Air Ducts in floor "U" = .152
- Air Ducts in ceiling "U" = .230
- Air Ducts installed outside "U" = .230

Heat transfer area to outside of home from air ducts located:

Inside Home Sq. Ft. 45
Outside Home Sq. Ft. 36.65

The heating equipment has the capacity to maintain an average 70° F temperature in this home at outdoor temperatures of °F. To maximize furnace operating economy and to conserve energy, it is recommended that this home be installed where the outdoor winter design temperature (97 1/2%) is not higher than °F.

The above information has been calculated assuming a maximum wind velocity of 15 MPH at standard atmospheric pressure. The supply air distribution system installed in this home is sized: ☐ Not designed for A/C ☒ A/C Ready ☐ A/C Installed

Agreed to comply with the Federal Manufactured Home Construction and Safety Standards in force at the time of manufacture.

Authorized Representative of Manufacturer

MICHAEL L. JONES - GENERAL MANAGER

JUL 10 1997

6-3-97

Type or Print Name