ABBREVIATIONS

, (DDI)	(E V I) (110110
A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
вот	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
НВ	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
	A/C ADJ AFF AHU ALUM BLK BOT BRG CJ CLG CONC CONT CPT DIA DN DWG EA ELEC EQ FF FTG HB HDR HGT MAX MIN NTS

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

area tabulation 'b'

GARAGE	401	SF
FRONT PORCH	108	SF
REAR PATIO	72	SF
FLOOR 1 LIVING	1,607	SF
TOTAL LIVING	1,607	SF

Covington

38' - 1607 - RH Florida Region (Frame)

INDEX

SIM

VLT

UNO

ARCHITECTURAL

SIMILAR

TYPICAL

UNLESS NOTED OTHERWISE

- GENERAL NOTES & LEGENDS
- **EXTERIOR ELEVATIONS**
- SLAB PENETRATION PLAN
- FLOOR PLANS
- **SECTIONS & DETAILS**
- INTERIOR DETAILS
- **ROOF PLAN**
- ELECTRICAL PLANS
- CONSTRUCTION DETAILS

area tabulation 'a'

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF

5.7 SQUARE FEET

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES. FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70



Reserve at Jewel Lake 174 SW Bre Lane Lake City, FL 32024

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RELEASE DATE: 08.30.2021 PLAN NUMBER: 33811607

MODEL: COVINGTON

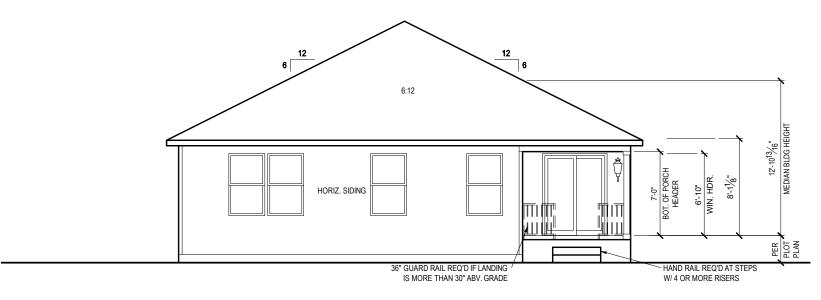
SHEET NO:

REVISIONS

Keynotes | Legend

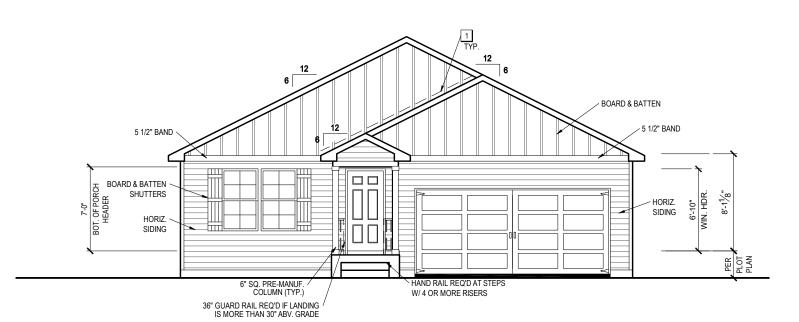
- CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS. CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP. STONE WAINSCOT WITH SLOPED STONE CAP.

- 3 1/2" VINYL TRIM SURROUND 36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







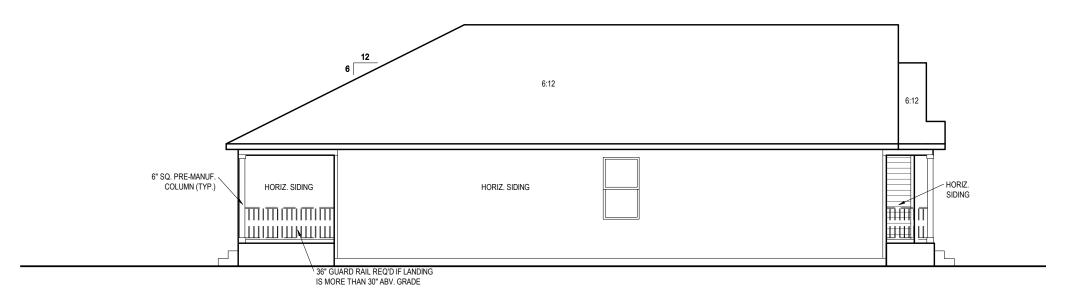
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MODEL:	PLAN NUMBER:	
COVINGTON	33811607	
DRAWING TITLE:	RELEASE DATE:	
EXTERIOR ELEVATIONS - STEMWALL	08.30.2021	

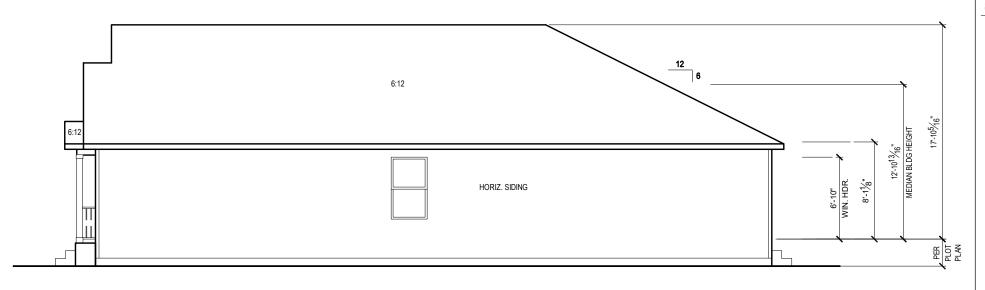
SHEET NO:

1.1-A1s



LEFT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



RIGHT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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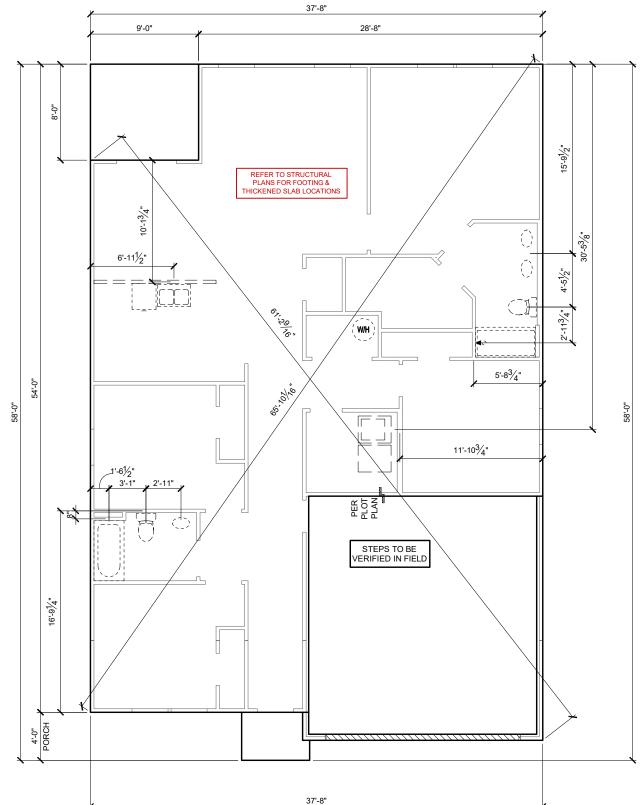
RELEASE DATE: 08.30.2021 PLAN NUMBER: 33811607

DRAWING TITLE: EXTERIOR ELEVATIONS - STEMWALL MODEL:
COVINGTON

1.2-A1s

GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'A1' 1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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DRAWING TITLE:
SLAB PENETRATION MODEL:
COVINGTON

SHEET NO:

2.1-A

NOTES & LEGENDS

- 1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS
- 2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.
- 3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.
- 4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

2X4 FRAME WALL

BALLOON FRAME WALL (PER STRUCTURALS)

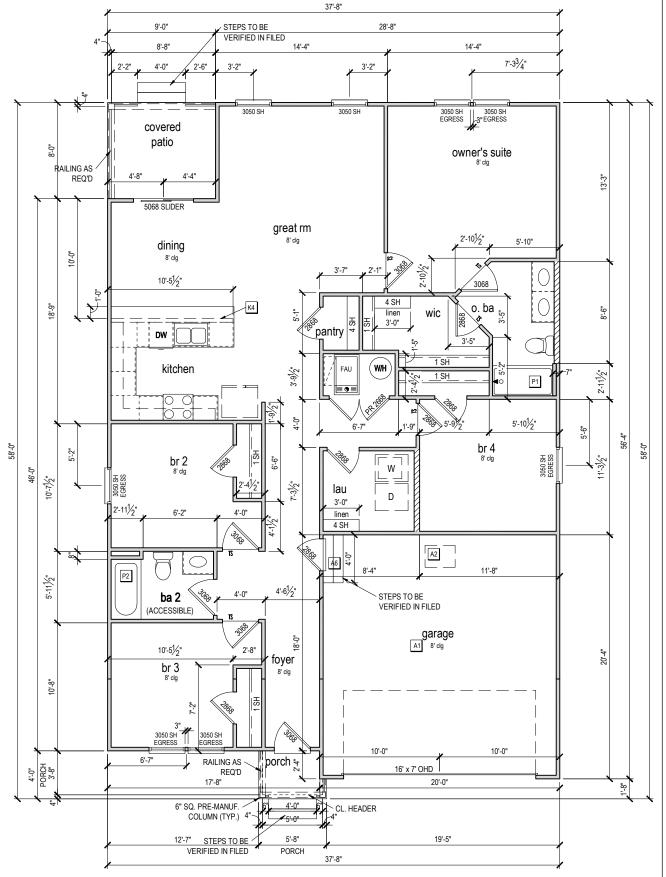
KEYNOTES

- A1 GARAGE CEILING 5/8" TYPE X DRYWALL
 VERTICAL SURFACE WALLS 1/2" DRYWALL
 A2 22"X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X
 AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT
 A3 PROVIDE 6" MIN. FLAT CLG AT A

- A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION
 A4 PULL DOWN STAIRS 255" x 6"
 A5 TEMPERED SAFETY GLASS PER IRC R308.4
 A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20
 MINUTE RATED DOOR PER IRC 302.5.1
 A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION.
 VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS
 A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS
 A9 LOUVERED DOOR W/ GAS FURNACE
- D1 DRYWALL SOFFIT 12" DROP FROM CEILING LINE
- D2 DRYWALL SOFFIT 8" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS
- K2 38" KNEE WALL WITH 1x CAP
- K3 46" KNEE WALL WITH CAP PER SPECS
- K4 34 1/2" KNEE WALL
- K5 42" KNEE WALL WITH 1x CAP
- K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 30" X 60" SHOWER ENCLOSURE PER SPECS P2 30"X60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP
- S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD
- S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF



FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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RELEASE DATE: 08.30.2021 33811607

FLOOR PLAN MODEL: COVINGTON FIRST

SHEET NO:

3.1-As

ATTIC VENT CALCULATION

ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTIL/	ATION CAL	CULATIONS			
ROOF AREA	2,296 SF				
TOTAL NET FREE AREA REQ'D (1 TO 300)	1102.1 SQ. IN.				
MAIN HOUSE INLET (SOFFIT) VENTILATION	MAIN HOUSE INLET (SOFFIT) VENTILATION 95.0 LF x 6.4 SQ. IN / LINEAR FT = 608.0 SQ. IN.				
POD VENT(S) REQUIRED WITH BASE HOUSE 8 VENTS AT 70.0 SQ. IN EA. = 560.0 SQ. IN.					
LOWER VENTING PROVIDED (551.0 SQ. IN. REQ'D)	608.0 SQ. IN	52.1%			
UPPER VENTING PROVIDED (551.0 SQ. IN. REQ'D)	560.0 SQ. IN	47.9%			

NOTE: TYPICAL VENTILATION INCLUDES:

SOFFIT VENTS

(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770* ATTIC VENT LOCATED 12" MIN. FROM RIDGE

(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.

	10-1	
	2;5	
	6:12	11-0" TYP.
	6:12	

ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34







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морец:	PLAN NUMBER:	
COVINGTON	33811607	Century (
DRAWING TITLE:	RELEASE DATE:	Commu
ROOF PLAN	08.30.2021	nities.

ELECTRICAL LEGEND

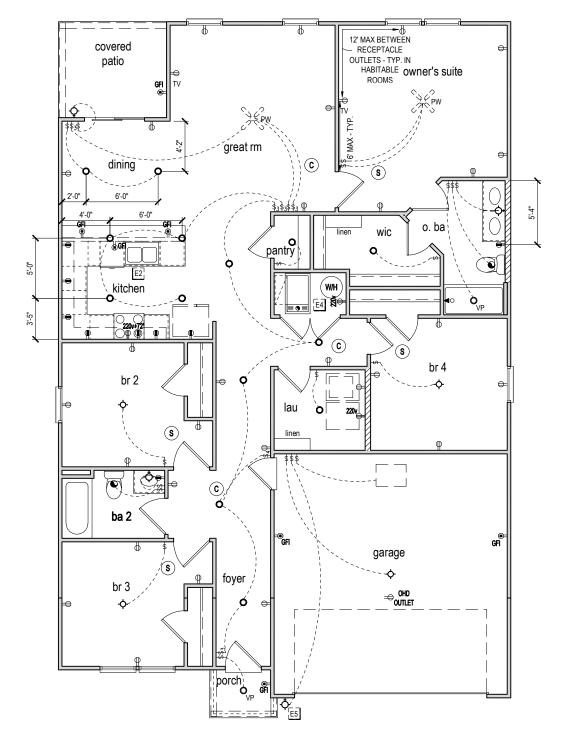
\$	SWITCH	\rightleftharpoons	110v RECEPTACLE
\$3	3 WAY SWITCH	\rightleftharpoons	110v SWITCHED RECEPTACLE
\$4	4 WAY SWITCH	C	110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY
I -⇔-	WALL MOUNTED LIGHT	—	110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL
		GFI⊕	GFI OUTLET
	LED DOWNLIGHT VP=VAPOR PROTECTED	220v	220v RECEPTACLE
	DISCONNECT	igorphi	110v FLOOR RECEPTACLE
ᅵᄉ	CEILING FIXTURE OUTLET B = BRACE FOR FUTUR	F FAN	DISPOSAL
ΙΫ́	H = HANGING	••	CHIME
	P = OPT. PENDANT	•	BATH EXHAUST FAN
(s)	SMOKE DETECTOR	\$1.2	CEILING FAN PREWIRE WITH BRACING FOR
(c)	SMOKE/CARBON MONOXIDE ALARM	76	FUTURE FAN
▶ PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING LINITS			

- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM)
- HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

 DWGS. ARE DIAGRAMMATICAL 8 INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17 1/4" = 1'-0" @ 22x34



1-14-2022

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_	CCII	tury oc	//////u	mucs.
PI AN NI IMBER	00044000	33811607	RELEASE DATE:	08.30.2021
				SICAL

FIRST FLOOR ELECTR MODEL: COVINGTON SHEET NO:

E1.1

REVISION SUMMARY

ABBREVIATIONS

A.B.	Anchor Bolt	FIr. Sys.	Floor System	PSF	Pounds per square foo
Abv.	Above	F.O.M.	Face Of Masonry	P.T.	Pressure Treated
Adj.	Adjustable	Ft.	Foot / Feet	Rad.	Radius
A.F.F.	Above Finished Floor	Ftg.	Footing	Reg'd.	Required
ALT.	Alternate	Galv.	Galvanized	Rm.	Room
Bm.	Beam	G.C.	General Contractor	Rnd.	Round
B/Beam	Bottom of Beam	G.F.I.	Ground Fault Interrupter	S.F.	Square Ft.
Brg.	Bearing	G.T.	Girder Truss	SHT	Sheet
Cant.	Cantilever	Hdr.	Header	S.L.	Side Lights
Cir.	Circle	Hgt.	Height	S.P.F.	Spruce Pine Fir
Clg.	Ceiling	Int.	Interior	Sq.	Square
CĴ	Control Joint	K/Wall	Kneewall	S.Y.P.	Southern Yellow Pine
Col.	Column	L.F.	Linear Ft.	Thik'n.	Thicken
Cont.	Continuous	Mas.	Masonry	T.O.B.	Top of Block
Dbl.	Double	Max	Maximum	T.O.M.	Top of Masonry
Dia.	Diameter	Min	Minimum	T.O.P.	Top of Plate
Ea.	Each	M.L.	Microlam	Trans.	Transom Window
E.W.	Each Way	Mir.	Mirror	Typ.	Typical
Elec.	Electrical	Mono	Monolithic	U.N.O.	Unless Noted Otherwis
Elev.	Elevation	N.T.S.	Not to Scale	Vert.	Vertical
E.O.R	Engineering or Record	O.C.	On center	V.L.	Versalam
Ext.	Exterior	Opn'g.	Opening	VTR	Vent through Roof
Exp.	Expansion	Opt.	Optional	W	Washer
F.B.C.	Florida Bldg. Code	Pc.	Piece	W/	With
Fin. Flr.	Finished Floor	P.L.	Parallam	W.A.	Wedge Anchor
Flr.	Floor	PLF	Pounds per linear foot	Wd	Wood
Fdn.	Foundation	Plt. Ht.	Plate Height	WP	Water Proof

CENTURY COMPLETE 38-1607 COVINGTON A RH

GENERAL STRUCTURAL NOTES

SECTION R318 PROTECTION AGAINST TERMITES

ESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVEI ETHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW

TERMITE SPECIFICATIONS

- METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON PILE WITH THE BUILDING DEPARTMENT. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED
- PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

- - NOTICE TO BUILDER AND ALL SUBCONTRACTORS-

FIS THE INTENT OF THE ENGINEER LISTED IN THE TITLEBLOCK OF THESE DOCUMENTS THAT THESE OCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY TTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE

- JURIEU 10:
 REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER ARE NOT RESPONSIBLE FOR ANY PLAN ERFOMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER SHALL STRICTLY OBSERVE ALL APPLICATION CODES DURING THE COURSE OF CONSTRUCTION.
- INCLUDING ALL STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS PRIOR TO
- COMMENCEMENT OF WORK.

 THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
 THE ARCHITECT / ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEAN:
 AND METHODS OF CONSTRUCTION, TECHNOLOGIES, OR THE CONTRACTION TO CARRY OUT THE
 WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OR RELATED CODES.
 THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM AND IS THE RESPONSIBILITY OF THE
 TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER
 (DELEGATED DERIGNEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS
 PROFILE. AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS
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- PROVIDE NATION OF THE OFFICE OF RECORD FOR REVIEW PRIOR TO FABRICATION ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGH TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO
- CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE ALL CUNSTRUCTION MUST BE IN ACCORDANCE THE INFORMATION FOUND IN THESE PLANS SHOULD DOCUMENTS. ANY QUESTION REGARDING THE INFORMATION FOUND IN THESE PLANS SHOULD BE DIRECTED TO DUR QUALITY ASSURANCE MANSAGER AT 321-97-9491 IMMEDIATELY. NO BACK CHARGES WILL BE CONSIDERED FOR REIMBURSAMERT AT 321-97-9491 IMMEDIATELY. NO BACK ADVANCED NOTIFICATION AND APPROVAL BY THE ENGINEER. PAYMENTS WILL BE MADE IN ACCORDANCE TO THE TERMS OF THE AGREEMENT.

HOME MAINTENANCE & INSPECTIONS

YEARLY MAINTENANCE AND INSPECTIONS BY THE BUILDER/HOMEOWNER ARE NECESSARY FOR THE FUTURE LIFE OF THIS HOME. CARE MUST BE TAKEN TO CHECK WINDOWS AND DOORS FOR CALILKING REMOVE LEAVES AND DEBRIS OFF ROOFS, MAKE SURE THAT WATER FLOW IS AWAY FROM THE HOUSE AND HAVE YOUR HOME REPAINTED EVERY 3 - 5 YEARS TO PROTE HOUSE AND HAVE YOUR HOME REPAIN LED EVERY 3 - 5 YEARS 10 PROTECT THE COATINGS. THE DESIGNER AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR THE UPKEEP OF THE HOME AND WILL NOT BE HELD LIABLE FOR INSTANCES THAT MAY OCCUR OVER THE NORMAL LIFE OF THE HOME WITHOUT PROPER MAINTENANCE.

CAST IN PLACE REINFORCED CONCRETE

- PLUS OR MINUS 1*, AND HAVE 2 TO 5% AR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.63
 HONGS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOPB BARS OF BEAMS.
 HORIZONTAL FOOTING BARS SHALL BE BENT 25* AROUND CORNERS OR CORNER BARS WITH A 25* LAP PROVIDED EA WAY.
 CONCRETE COVER MIN. 3* "WHEN EXPOSED TO EARTH OR 1 12* TO FORM LIN. OF.
 FIBER MESH LENGTH SHALL BE ½" TO 2", DOSAGE AMOUNT SHALL BE FROM 1.0 TO 1.5 LBS PER CUBIC YARD IN ACCORDANCE WITH THE
 MANUFACTURERS AND SHALL COMPLY WITH ASTAIL C1116
 ALL REINFORCING STEEL / STIRRUPS AND TIES SHALL BE NEW DOMESTIC DEFORMED BARS FREE FROM RUST SCALE & OIL & SHALL MEET ASTM A615/
 AS15M GRADE OIL NO. REINFORCING FOR FOOTING SHALL DE SUPPORTED ON PRE-CAST CONCRETE PADS. STEW RICE OR PLAYS TO REINFORCING SHALL BE FOUTING SHALL BE SECURED IN REINFORGING SHALL BE POSITIVELY SUPPORTED BY TEMPORARY STRINGERS. DOWELS FOR COLUMNS & FILLED CELLS SHALL BE SECURED IN PLACE BY USING ADDITIONAL COSS.—REINFORGING TED TO FOOTING REINFORGINS, SPLICES IN REINFORGING WHERE PERMITTED SHALL BE AS PER DETAIL MS0501.

 HIGH STRENGTH SIMPSON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EPOXY, THEY
- HIGH STRENGTH SIMPSON SET EPOXY-TIE WAS USED IN THE DESIGN OF THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EFFORT, THE THIS PRODUCT. IF CONTRACTORS WISH TO USE A DIFFERENT EFFORT, THE THIS PRODUCT FOR THE FLORIDA BUILDING CODE THE EDITION (2020) RESIDENTIAL IS TO BE INFLEMENTED. PAGE A CONCRETE STRENGTH IN THESE AREAS ARE TO BE A MINIMUM OF 300 P.S.I. THEREFORE, ANY AND ALL NOTES ON THESE PLANS THAT INDICATE 2500 P.S.I. SHALL BE REPLACED WITH 3000 P.S.I. FOR THE CONCRETE STRENGTH.

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM 050-014, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (Tim = 2000 PSI) (Tim = 2000

- ALL EXTERIOR WOOD STUDS WALLS, BEARING WALLS, SHEAR WALLS, AND MISC. STRUCTURAL WOOD FRAMING MEMBERS (JE. BLOCKING OR GABLE END BRACING) SHALL BE EITHER AS SPECIFIED IN PLAN OR IN DETAILS, IF CONFLICTS OCCUR BETWEEN PLAN AND DETAILS, THE STRONGEST MATERIAL BLUE SUED. AT A MINNIMM, ALL WOOD STRUCTURAL FRAMING MEMBERS SHALL BE SFF #2.

 ALL LIMBER SPECIFIED ON DRAWINGS ARE INTENDED FOR DRY USE ONLY (MOISTURE CONTENT 19% OR LESS), JUNO, ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE THE RESPRONSIBILITY OF THE CONTRACTOR HAND ARE TO BE DESIGNED AND DETAILS OF THE SHALL HAVE STUD PROTECTION OF THE STUD UP TO TIDA. SHALL HAVE STUD PROTECTION SHELDS. ALL HOLES OVER TIV DIAL FOR THE SHEAR SHALL SH
- CBA-A OR CA-B REQUIRE HOT-DIPPED GALVANIZED OR STAINLESS STELE FASTENERS. DOT SODIUM BORATE (SBX) DOES NOT.

 ALL EXPOSED WOOD OR WOOD IN CONTACT WITH HEARTH OR CONCRETE TO BE PRESSURE TREATED.

 UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS
 WITHOUT WOOD DEN TOP PLATES.

 SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

 SEE PLAN FOR STUD PACK AND BEAM NAILING PATTERNS.

 ALL ENGINEERED LUMBER TO HAVE THE FOLLOWING MIN VALUES U.N.O.

 PARALLAM COLLIMIS: 18E Fb = 2400 PSI

 MICROLAM (LV) BEAMS: SUE Fb = 2500 PSI

 GILLAM BEAMS: SIPSP 24F-VS LAYUP (1.7 EF B=2400 PSI) MIN.

 SEE PLAN NOTE FOR ADDITIONAL ROOF, WALL, SHEAR WALL AND FLOOR SHEATHING REQUIREMENTS ALONG WI NAILING INFORMATION OTHERWISE:

 ROOF DECK PL WOOD C-CLO. EXTERIOR OR OSE.

 PLAN OF A GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.

 PLAN OF BEATHINGS: TAS GO GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR OR WALL FACE.

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 PLAN OF BEATHINGS: TAS GO GROUP 1 APA PARIED (824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR OR WALL FACE.

- 2. FLOOR SHEATHING: T&G AC GROUP 1 APA RATED (4824) SHEATHING SHALL FINISH FLUSH TO EXTERIOR WALL FACE.
 WALL SHEATHING: "A" STRUCTURAL 10S BEYPOSURE 1 GO SEPOSURE 1 (5PECIFIC GRAVITY, GG-50, MIN.). A MINIMUM X" SPACE IS RECOMMENDED BETWEEN PANELS AT EDGE AND END JOINTS TO ALLOW FOR EXPANSION. PER R604.3 SHEATHING SHALL NOT BE USED AS WEATHER RESISTANCE BARRIER UNLESS SPECIFIED.
 LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED TO WOOD SHEATHING WITH LY" LONG, 11 GAGE NAILS HAVING A X", "HEAD, OR 1 ½" LONG, 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1062 OR C1787, OR AS OTHERWISE APPROVED (RFE. 2020 FBC-R7703.7.1).

STRUCTURAL STEEL

- MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50 KSI TUBE STEEL (HSS): ASTM A500, GRADE 8, Fy = 46 KSI PIPE STEEL: ASTM F3125, TYPE E OR S, Fy = 35 KSI ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy=36 KSI STRUCTURAL CONNECTIONS: ALL STRUCTURAL OTHER STRUC
- WELDS SHALL BE $\frac{3}{16}$ " UNO. SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP

- A CERTIFIED TESTING AGENCY SHALL BE ENGAGED TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HUBRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN
 PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LUFE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
 BRIDGING FOR PRE-ENSINEERED TRUSSES SHALL BE AS REQUIRED BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
 TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS.
 TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS.
 THE PREVIOUS PLATE INSISTIMATE TO THE PROPERTY OF THE PROP LOCATIONS, AND PERMANENT BRACING ANDOR BRIGOING AS REQUIRED FOR RECEION AND FOR THE PERMANENT STRUCTURE. EACH SUBMITTAL SHALLBE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

- MISSED "J" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE BINDER FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HD BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DETH'A TFLOOR STEPS.
 FOR MISSED VERT. DOWELS, DRILL A 3/4" DIAMETER HOLE 6" DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #5 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE
- MANUFACTURERS INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN HE NORMAL WAY DURING BOND BEAM POUR.

 OR MORTAR JOINTS LESS THAN 1/4", PROVIDE (1) #5 VERT. IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO
- FOOTING).

 MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON MTSM16 TWIST STRAP WI (4) ½"x 2½" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1660#). IF CORNER STRAP IS MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS.

 MISSED, CONTRACTOR IS TO INSTALL (2) SIMPSON HGAM10 WI (4) 14" x 1 1/2" SDS SCREWS AND (5) 1/4" x 2 14" TITENS ONE EACH SIDE OF TRUSS. CONNECTION
- MISSED, CONTRACTOR 19 TO MIS ALE, 25 SIMPSON PROMISED AND MISSED, CONTRACTOR AND CONTRACTOR AND

STRUCTURAL DESIGN CRITERIA

- FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
- FLORIDA BUILDING CODE ACCESSIBILITY 7TH EDITION (2020)
- NEPA 70-17 NATIONAL ELECTRICAL CODES (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14)
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13).
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2018 EDITION
- WOOD FRAMED CONSTRUCTION MANUAL 2018 EDITION.
- APA PLYWOOD DESIGN SPECIFICATION E30-16
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16

GENERAL ROOF LOADING

	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)	ROOF (PSF)
TOP CHORD LL TOP CHORD DL	20 10	20 10	20 15	20 25
BOTTOM CHORD LL* BOTTOM CHORD DL	0 10	0 10	0 10	0 10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT) ATTICS W/ LIMITED STORAGE ATTICS W/ HEAVY STORAGE * ATTICS W/ NO STORAGE	20 50 10			

GENERAL FLOOR LOADING

TOP CHORD LL TOP CHORD DL	40 (PSF) 10 (PSF)	COMMENTS:
BOTTOM CHORD LL BOTTOM CHORD DL	0 (PSF) 5 (PSF)	

SPECIAL FLOOR LOADING

GAME ROOM / READING ROOMS	60 (PSF)	COMMENTS:
BALCONIES/ DECKS	40(PSF)	d. A SINGLE CONCENTRATED LOAD
BALCONIES OVER 100 SQ:FT	100(PSF)	APPLIED IN ANY DIRECTION AT ANY
JIGHT STORAGE	125(PSF)	POINT ALONG THE TOP.
GUARDRAILS AND HANDRAILS	200(LBS)(d)	f. BALUSTERS AND PANELS FILLERS
GUARDRAIL IN-FILL COMPONENTS		SHALL BE DESIGNED TO WITHSTAN
STAIRS / NON SLEEPING ROOMS	40 (PSF)	A HORIZONTALLY APPLIED NORMA
SLEEPING ROOMS	30 (PSF)	LOAD OF 50 POUNDS ON AN AREA
JIBRARIES - STACK ROOMS	150(PSF)	EQUAL TO 1 SQ. FT.
HABITABLE ATTICS SERVED		

WIND LOADING CRITERIA

OTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND FO

ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 60 ft

WIND AREA (SQ FEET)	(+) VALUE DEN (-) VALUE DEN	OTES P	RESSURE	WIND PRESSURE AND SUCTION DIAGRAM
AREA	4		⑤	_
10 - 19.99	(+) 25.5 (-) 26.6	B	(+) 25.5 (-) 33.6	
20 - 49.99	© (+) 24.4 (-) 26.6	0	(+) 24.4 (-) 30.8	
50 - 99.99	(+) 22.8 (-) 23.8	Ð	(+) 22.8 (-) 28.0	(S)
> 100	G (+) 21.7 (-) 23.8	Θ	(+) 21.7 (-) 26.6	(4) (5) (6) (8) (8) (8) (8) (8) (8) (8) (8) (8) (8
GARA	AGE DOORS*		SOFFIT	
9'-0" x 7'-0"	' 16'-0" x 7'-0"			kaja l
(+) 22.5 (-) 25.5	① (+) 21.7 (-) 24.1	K)	(+) 25.5 (-) 33.6	DIAGRAM

GENERAL PRESSURE NOTES

<u>ILES:</u> MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND

- GREATER AND IS CONSIDER TO BE IN THE WIND-BOURNE DEBRIS AREA. CONTRACTOR TO PROVIDED ADDITIONAL INFO AS REQUIRED FOR

Su	NOTES & SCHEDULES	
S1	FOUNDATION PLAN	
S2	ROOF FRAMING PLAN	
SN	NOTES & SCHEDULES	
D1	FOUNDATION DETAILS	
D2	FRAMING DETAILS	
D3	FRAMING DETAILS	
D4	FRAMING DETAILS	
D5	FRAMING DETAILS	



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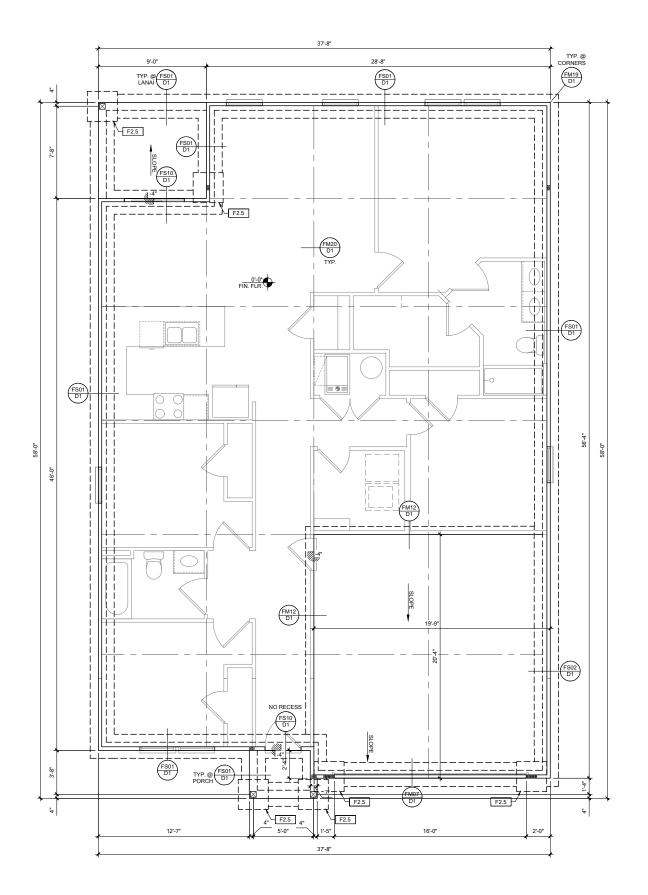


LOT 12 ESERVE @ JEWEL LAKI 174 SW BRE LANE

PLAN NUMBER: 33811607

COVINGTON

SHEET



FOUNDATION PLAN A

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17

FOL	JNDATION LEGEND	
YMBOL	DESIGN DESCRIPTION	
F#.#	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.	
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE \(\) x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12'x12" SQUARE MAXIMUM	
#-#"	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1	į
0'-0" FIN. FLR.	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 W/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN	SEANTON AND CONTRINED OF THE SEASON OF THE S
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB	THE DOLUMETER PROMUEDOE, INFO CHILDIA AND AND AND AND AND AND AND AND AND AN

GENERAL NOTES:

1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1

2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP
DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENT:

PLAN KEY NOTES



BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES
SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN
PROFESSIONAL FOR CLARIFICATION PRIOR TO
COMMENCEMENT OF CONSTRUCTION

	WALL TYPE
SYMBOL	DESIGN DESCRIPTION
	2x_INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	2x WOOD FRAME EXTERIOR WALL

LOT 12 RESERVE @ JEWEL LAKE 174 SW BRE LANE LAKE CITY, FL 32024

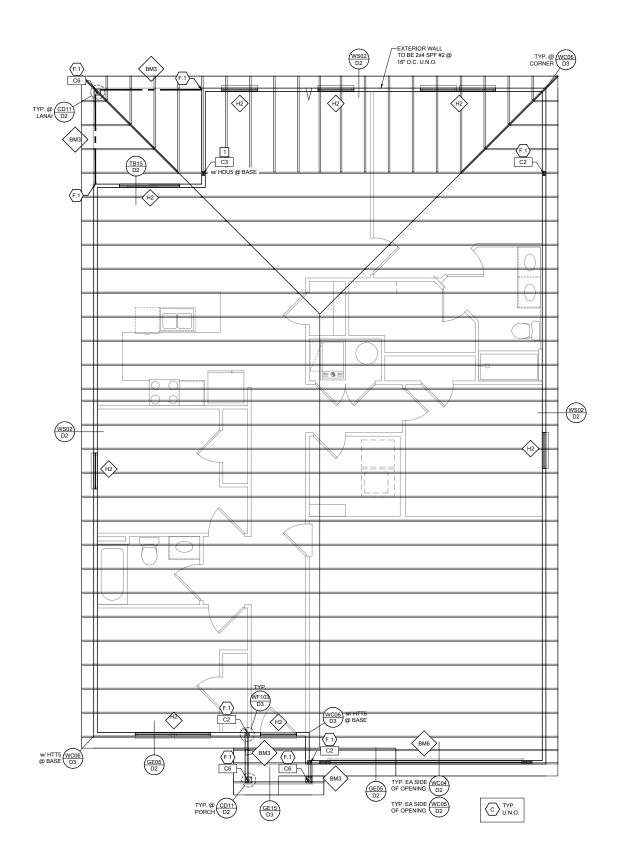
PLAN NUMBER: 33811607 RELEASE DATE: 08.03.2020

COVINGTON

DRAWING
TITLE:
FOUNDATION PLAN A & B

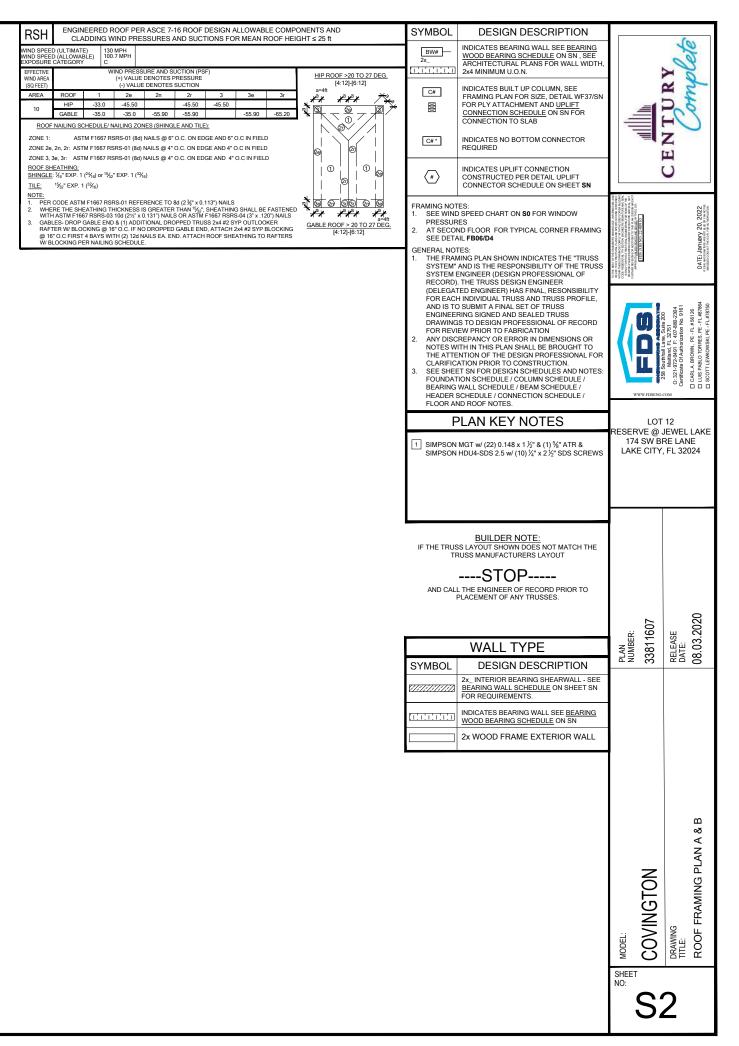
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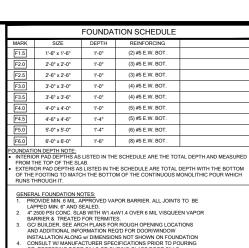
S1



ROOF FRAMING PLAN A

SCALE: 1/4" = 1'-0" @ 22x34 SCALE: 1/8" = 1'-0" @ 11x17





GC/BUILDER, SEE ARCH PLANS FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION RECOP FOR DOORNINDOW INSTALLATION ALONG WIDINENSIONS NOT SHOWN ON FOUNDATION CONSULT WIN AMAURACTURES PECEIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS OR SUBJION GLASS DOOR SILLS. OR SUBJION GLASS DOOR SUBJION GL

	COLUMN SCHEDULE							
MARK	COLUMN SIZE	FIRST FLOOR BASE CONNECTIONS, SEE PLAN FOR SECOND FLOOR CONNECTIONS	UPLIFT(lb)					
C1	(3) 2x #2 SPF	(4)12d TOENAILS	NO UPLIFT					
C2	(3) 2x #2 SPF	DTT2Z W/ ½" ATR & (8) ¼" X 1 ½" SDS SCREWS	1835					
C3	(3) 2x #1 SYP	(4)12d TOENAILS	NO UPLIFT					
C4	(3) 2x #1 SYP	DTT2Z w/ ½" ATR & (8) ¼" x 1½" SDS SCREWS	1835					
C5	4x4 P.T.#2 SYP POST	ABU44 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 6665 U = 1782					
C6	6x6 P.T. #2 SYP POST	ABU66 w/ 5/8" ATR & (12)16d NAILS FIRST/SECOND FLOOR CONN.	G = 12000 U = 2070					
C7	8x8 P.T. #2 SYP POST	ABU88 w/(2)5%" ATR & (18)16d FIRST/SECOND FLOOR CONN.	G = 24335 U = 2088					
C8	3.5" x 3.5" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) ½"x2½" SDS WOOD SCREWS	5080					
C9	3.5" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU5-SDS2.5 w/ 5%" ATR AND (14) 1/4" x2 1/2" SDS WOOD SCREWS	5080					
C10	3.5" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ %" ATR AND (20) ½"x2½" SDS WOOD SCREWS	6372					
C11	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082					
C12	5.25" x 5.25" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ ½" ATR AND (20) ½"x2 ½" SDS WOOD SCREWS	7082					
C13	5.25" x 7" P.L. 1.8E Fb=2400 PSI (WOLMANIZED IF EXT.)	HDU8-SDS2.5 w/ 1/8" ATR AND (20) 1/4" x2 1/2" SDS WOOD SCREWS	7082					

WF17

GENERAL COLUMN NOTES:

1. ALL STRUCTURAL LUMBER TO BE SYP#2 OR SPF#2 UNO ON PLAN.

2. MINIMUM BOLT EMBEDMENT: 5' EMBEDMENT FOR 1/2' ATR. 6'
EMBEDMENT FOR 5/6' ATR. 6' EMBEDMENT FOR 7/6' ATR.

3. P.L. COL. TO BRG DIRECTLY ON FOUNDATION. CUT BASE PLATE AS
REQO'. G.C. TO PROVIDE MOISTURE BARRIER

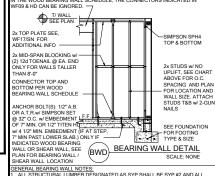
4. IF COL. 15 CALLED OUT ON 2ND FLOOR. THE BASE CONNECTION IS NOT
REQO'. SEE PLANS FOR BASE CONNECTION

5. VALUES HAVE BEEN REDUCED FOR NARROW FACE APPLICATION. ECTIONS SHALL BE INSTALLED ON NARROW OR WIDE FACE PER SIMPSON TC-SCLCLM

	WOOD BEARING WALL SCHEDULE					
MARK	STUD		TION & FASTENERS	LUMBER	UPLIFT	
	SPACING	TOP	BOTTOM	SPECIES	CAP. [plf]	
BW1	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SPF	NO UPLIFT	
BW2	16"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	402	
BW3	16"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	804	
BW4	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SYP	NO UPLIFT	
BW5	16"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	439	
BW6	16"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	878	
BW7	12"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SPF	NO UPLIFT	
BW8	12"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	535	
BW9	12"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	1070	
BW10	12"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d END OR BOX NAILS	#2 SYP	NO UPLIFT	
BW11	12"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	585	
BW12	12"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	1170	
	SIMPSO	CROS ON SP1 / USP SP	SS REFERENCE CHART PT22 SIMPSON SP2	/ USP SPT2	4	
(2) 2x HE	ADER (U.)	N.O.) SEE FLOO	R PLAN FOR MIN. SIZE, SEE	HD/SN FOR	3	

OPENING SIZE 1'-0" - 3'-11" 4'-0" - 8'-11"

2) 2X HEADER (U.N.C). SEE FLOOR PLAN FOR MIN. SIZE. SEE HIJSIN FOR CONNECTION INFO. IF HEADER IS WITHIN A WALL W<u>I NO UPLIFT</u> AS INDICATED IN THE WOOD BEARING WALL SCHEDULE, THE CONNECTORS INDICATED IN WF09 & HD CAN BE IGNORED.



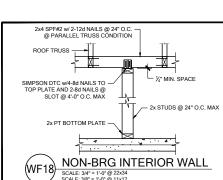
HEAR WALL LOCATION

WERFAL BEARING WALL NOTES:
ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SYP #2 AND ALL
STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SYP #2 AND ALL
STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 U.O.
SEE FLOOR PLAN FOR WALL SIZE ASSUME 24 STUDS USED UNO.
OSNECTIONS TO DE INSTALLED TO EACH STUD AS INDICATED
CONNECTOR TO DE INSTALLED TO EACH STUD AS INDICATED
CONTACT E.O. R. IF SPR4. SPP6. OR SPP8. CONNECTORS ARE SUBSTITUTED, T.
VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS.
IF "BW" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO BE IGNORED.
SEE WYRO 8AND PERSOR ON INDICATED ON SECOND FLOOR ROSE CONNECTION FOR
2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY
PROJECTS ON THE STRUCTURE OF THE STORY
PROJECTS ON THE STRUCTURE OF THE STRUCTURE OF THE STORY
PROJECTS ON THE STRUCTURE OF THE STRUCTURE

END FLOOR OF HAS TELOOR COINNECTIONS, (NOTE: THIS IS FOR 25 TON FOOLECTS ONLY) F 'SW' IS INDICATED ON PLAN THE WALL IS CONSIDERED A SHEAR WALL AN REQUIRES MIN. 7/16" OSB / PLYWOOD w8d NAILS @ 4" O.C. IN FIELD AND EDG TO ONE SIDE OF WALL. U.N.O. ON PLANS.

LL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOO

STUDS. F THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UP THE STUDS ARE TOE NAILED TO THE PLATE AND THE 2X PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIF ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDU



CONNECTOR & FASTENERS VERIFY W/ PLAN CORRECT LENGTH OF HEADER REQUIRE IF HEADER IS ON THE 1ST FLOOR SEE PLAN FOR BEARING WALL TYPE AND FOLLOW INSTRUCTIONS WITHIN BEARIN WALL SCHEDULE FOR REQUIRED CORRECTIONS U.N.O. O 535 565 H2.5A w/ (10)8d NAILS H10A w/(18)10d x 1 1/2" 1015 1040
0A-2 w/(18)10d x 1 1/2" AT 2 PLY TRUSSES 930 1080 FRAME H HAMBE PIUG-ZWI (13) UD X 11/2 / AT ZYT. THOUSE PRAME TO
FRAME LOCATION INCLUDE (3) 124 TOENALS.)

FRAME TO LOCATION INCLUDE (3) 124 TOENALS.

LOCATION INCLUDE (3) 124 TOENALS.

FRAME TO (14752 W (124) 103 X 11/2 / AT EXTERIOR FRAME LOCATION INCLUDE (3) 124 TOENALS.

FRAME TO (14752 W (148) 103 X 11/2 / AT EXTERIOR FRAME LOCATION INCLUDE (6) 124 TOENALS. CONNECTIONS.
ALL HEADER JACK AND KING STUDS SHALL BE FASTENED TO EACH PER DETAIL WF375N.
FASTEN ALL MULTI-PLY HEADERS TOGETHER W (2) ROWS 124 COMMON NAILS AT 12" O.C. OR (3) ROWS IF 2x10 OR LARGER TYP. EACH SIDE OR (2) ROWS 14" x 31" ZS DS WOOD SCREWS, @16" O.C. TYP. EACH SIDE.
FASTEN ALL HEADERS TO KING STUDS W (3) 104 TOENALS PER SIDE.

IF HEADER IS NOT SPECIFIED CONTACT E.O.R. HU410 OPT HUC410 w/ (18) 16d & (10) 10d JACKS EA END KINGS EA END JACKS EA END KINGS EA EN (12) BEAM TO MASONRY FRAME (12) 1/4" x 2 3/4" TITEN (TO MAS.) OR (12) 16d & (6) 10d (FOR FRAME) (3) H10S w/ (24) 10d x1 1/2" NAILS GT w/ (16) 1/4"x3" SDS WOOD SCREWS & X FRAME TO FRAME HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" Ø A.T.R.

"PROVIDE (3) 2x CRIPPLE STUDS BELLOW ANY GINUHE HINUSS BEARING OVER INCLU-CONNECT G.T. TO STUD M/2) SIMPSON HTS20 STRAPS AND CONNECT BOTTOM OF STUD TO HEADER M/2) SIMPSON HTS20 STRAPS, U.N.O. (IF STUD IS LESS THAN 10" TALL THEN USE SIMPSON CSIS INSTALLED FROM BOTTOM OF HEADER, UP STUD. OVER TOP PLATE 8 BACK DOWN OTHER SIDE OF WALL TO BOTTOM OF HEADER. ASTEN STRAP w/ (2) 10d NAILS @ 3" O.C.)

HEADER SCHEDULE

(2) 2x6 #2 SYP w/ 7/16" FLITCH PL (2) 2x8 #2 SYP

(2) 2x8 #2 SYP w/716* FLITCH PLATI (2) 2x10 #2 SYP w/716* FLITCH PLATE (2) 2x12 #2 SYP w/716* FLITCH PLATE (2) 13/4* x 111/4* LVL 2.0E Fb=2600 (2) 13/4* x 91/4* LVL 2.0E Fb=2800

HEADER NOTE

DOWN-SET SIMPSON SP4 w/ (6) 10d NAILS @ 24" O.C. (SP6-FOR 2"x6", SP8 FOR 2"x8") ""CONNECT GIRDER TRUSS DIRECTLY TO HEADER w/ (2) SIMPSON HTS20, U.N.O. OPENING) OPENING | HTT4 w/ (18) 16d x 2 1/2" NAILS & 5/8"¢ A.T.R. EPOXIED w/ 6" MIN. EMBEDMENT (MIN.) BASE CONNECTION AT EACH SIDE U.N.O. ON PLANS (IF AT STEP, 6" MIN. EMBEDMENT PAST

NOTES:

1. OPENINGS GREATER THAN 4'-0" PROVIDE (2) 2x SILL PLATE w. A35 CLIPS EACH SIDE.

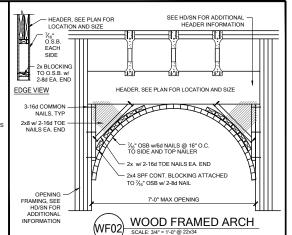
2. NO TOP PLATE SPLICES SHALL OCCUR OVER OR WITHIN 2 FEET OF HEADER.

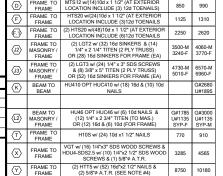
3. HOLD DOWN CONNECTIONS NOT REQUIRED AT BEARING WALLS WITHOUT UPLIFT. SIMPSON SP4 / USP SPT4 SIMPSON SP6 / USP SPT6 SIMPSON SP8 / USP SPT8

(HD) TYPICAL FRAMING CONNECTIONS AT OPENINGS
SCALE-NONE

٠,			BEAM SCHEDULE				
	MARK	BEAM SIZE	FASTENING SCHEDULE				
OD	BM1	(2) 2x8 SYP #2 w/ 7/16" OSB FLITCH PLATE			LAN		LAN
_	BM2	(2) 2x10 SYP #2 w/ 7/16" OSB FLITCH PLATE.	(2) ROWS OF 12d @ 12" O.C. TYP. EACH SIDE		FRAMING PLAN	0	FRAMING PLAN
E	ВМЗ	(2) 2x12 SYP #2 w/ 7/16" OSB FLITCH PLATE.			£		E
	BM4	(2) 1 3/4"x11 1/4" LVL 2.0E Fb=2600			HTS20		HTW20
1	BM5	(2) 1 3/4"x11 7/8" LVL 2.0E Fb=2600		LECTOR	POST: (2) LSTA18 OR (2) HTS20 CMU COLUMN: (2) HETA16	USP CONNECTOR	WOOD POST: (2) LSTA18 OR (2) HTW20 CMU COLUMN: (2) HTA16
١	BM6	(2) 1 3/4"x16" LVL 2.0E Fb=2600	(2) ROWS 14" x 3 1/2" SDS WOOD SCREWS @ 16" 0.C TYP. EACH SIDE OR (2) ROWS OF 12d NAILS @ 12" O.C. TYP. EACH SIDE	SIMPSON CONNECTOR OST: (2) LSTA18 OR (2 NU COLUMN: (2) HETA:	(2) LSTA		
	ВМ7	(3) 2x10 SYP #2 w/ (2) 7/16" OSB FLITCH PLATES		SIMPS	WOOD POST:		
	BM8	(3) 1 3/4"x9 1/4" LVL 2.0E Fb=2600			woo		WOOD
١	€M10						
ı		RAL BEAM NOTES:	BRECT LENGTH OF BEAMS REOLUBED (MIN 4" BE	ΔRIN	G FACE		

END)
SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS
BEAMS ARE NOT TO BE DRILLED OR NOTCHED IN ANY WAY WITHOUT WRITTEN
APPROVAL FROM THE E.O.R.





SIMPSON - CONNECTOR SCHEDULE

IENERAL CONNECTOR NOTES:

CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS W/ (2) 12d TOENAILS.

ALL TRUSS TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER, U.N.O ON PLAN.

G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS, SEE FRAMING PLAN FOR CONNECTOR CAL

OUT. FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VERTICAL WEB w/ (2) ROWS

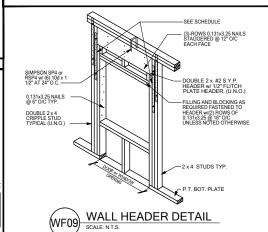
A MINIMAL CONNECTOR UNO ON FRAMING PLAN

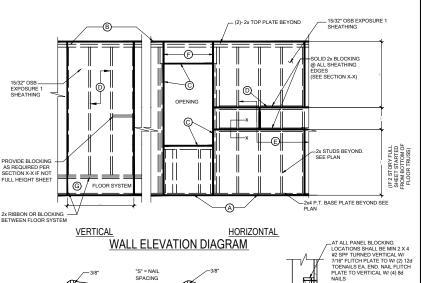
CONNECTION FOR ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS/ LINTELS/ ICF WALLS UNO ON

CUNNECTION FOR ALL ROOT / LOOK SETTIONS FOR ALL FLOOR TRUSSES PARALLEL TO MASONRY WALLS SEED BETAIL EB 12/103 FOR MORE INFORMATION CONNECTION FOR ALL HEI JACK GORNER JOKO TO MASONRY WALLS SICE DETAIL EB 12/103 FOR MORE INFORMATION CONNECTION FOR ALL HE JACK (CORNER JOKO TO MASONRY WALLSICE WALLSJUNTELS CONNECTION FOR ALL CONTINUOUS RIM BOARD TO TOP DE MASONRY AT 32° D.C. MAX. W. (2) AT EACH CORNER G.C. TO VERBIY LOCATION DOES NOT CONFLICT WITH (IF APPLICABLE) LAYOUT CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL/BEAMS W. (2) 12d TOENAILS

B) MINIMAL CONNECTOR UNO ON FRAMING PLAN CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM

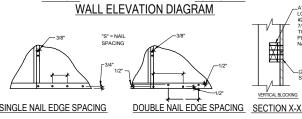
C MINIMAL CONNECTOR UNO ON FRAMING PLAN CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS





VERTICAL BLOCKING

-(2) 8d NAILS @ 3" O.C. STAGGERED FOR SHEATHING



CH PER NAILING SCHEDULE. PANEL EDGES WILL NEED TO BE TACHED TO STUD AND OR BLOCKING AT ALL EDGES. A MINIMUM ½" ACE IS RECOMMENDED BETWEEN PANELS AT EDGES AND END NETRATE SURFACE MORE THAN 1/4".

A NAIL AT BASE 2 ROWS @ 4" O.C. w/ 8d COMMON NAIL

(B) NAIL AT TOP PLATE TWO ROWS @ 4" O.C. w/ 8d COMMON NAIL

(C) NAIL OPENING PERIMETER w/ (2) ROWS @ 4" O.C. w/ 8d COMMON NAIL

NAIL INTERIOR AT 6" O.C. W/ 8d COMMON NAIL.

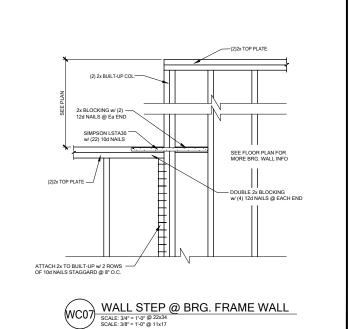
E STAGGER ALL VERTICAL JOINTS & NAIL @ 4" O.C. W 8d COMMON NAIL.

PLYWOOD SPLICES @ HEADER - NAIL SHEATHING TO HEADER w/ 8d COMMON NAILS @ 4* O.C. (2) ROWS @ TOP & BOTT.

 $\begin{tabular}{ll} \begin{tabular}{ll} \beg$

TE: 8d NAILS FOR WALL SHEATHING MUST BE MIN .131" X 2 NOT OVERDRIVE NAILS: FASTENERS SHALL NOT PENETRATE RFACE MORE THAN ½"

TB13\ WALL SHEATHING INSTALL & NAILING SCHEDULE







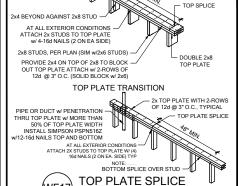
LOT 12 RESERVE @ JEWEL LAKE 174 SW BRE LANE LAKE CITY, FL 32024

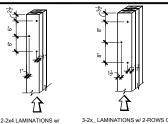
RELEASE DATE: 08.03.2020 PLAN NUMBER: 33811607

COVINGTON

DRAWING TITLE: NOTES 8

SHEET NO:





2-2x4 LAMINATIONS w/
-ROW OF STAGGERED 10d
-SOMMON WIRE NAILS
D = 0.148°, L= 3°) OR EQUAL

(DE 1.148°, L= 3°) OR EQUAL

ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF TH COLUMN.
ALL NAILS PENETRATE AT LEAST ¾" OF THE THICKNESS OF THE LAST LAMINATION

REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFO.

MULI-PLY FASTENING (WF37) SCALE: 3/4" = 1'-0" @ 22x34 SCALE: 3/8" = 1'-0" @ 11x17

