

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

area tabulation 'b'

GARAGE	401 SF
FRONT PORCH	108 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF

Covington

38' - 1607 - RH

Florida Region (Frame)

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70



256 Southrail Lane, Suite 200
O 321.972-2491 F 407.880-2304
Certificate Of Authorization No. 9161

☐ CARLA A. BROWN, PE - FL #58108
☐ LUIS PABLO TORRES, PE - FL #27184

Reserve at Jewel Lake
Lot 012
174 SW Bre Lane
Lake City, FL 32024

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INDEX

ARCHITECTURAL

CS	GENERAL NOTES & LEGENDS
A1	EXTERIOR ELEVATIONS
A2	SLAB PENETRATION PLAN
A3	FLOOR PLANS
A4	SECTIONS & DETAILS
A5	INTERIOR DETAILS
A6	ROOF PLAN
E1	ELECTRICAL PLANS
CD	CONSTRUCTION DETAILS

REVISIONS

NUMBER	DATE	DESCRIPTION
01	03.04.2021	Added Elevations A1 & B1
02	06.14.21	Added outlet to O.Suite & noted outlets to meet 6' max from wall break & 12' max between outlet spacing at habitable rooms (E1.1)
03	07.08.21	Added floor break transition strips to plan
04	07.20.21	Added elevations A4 & B4
05	08.02.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
06	08.30.21	Added stemwall options, called out GFI at outlets within 6'-0" of Kitchen sink
07	09.08.21	Carbon / smoke alarm moved 3' min away from bathroom door/opening with tub/shower

MODEL: COVINGTON

DRAWING TITLE: COVER SHEET

SHEET NO: CS

PLAN NUMBER: 33811607

RELEASE DATE: 08.30.2021

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

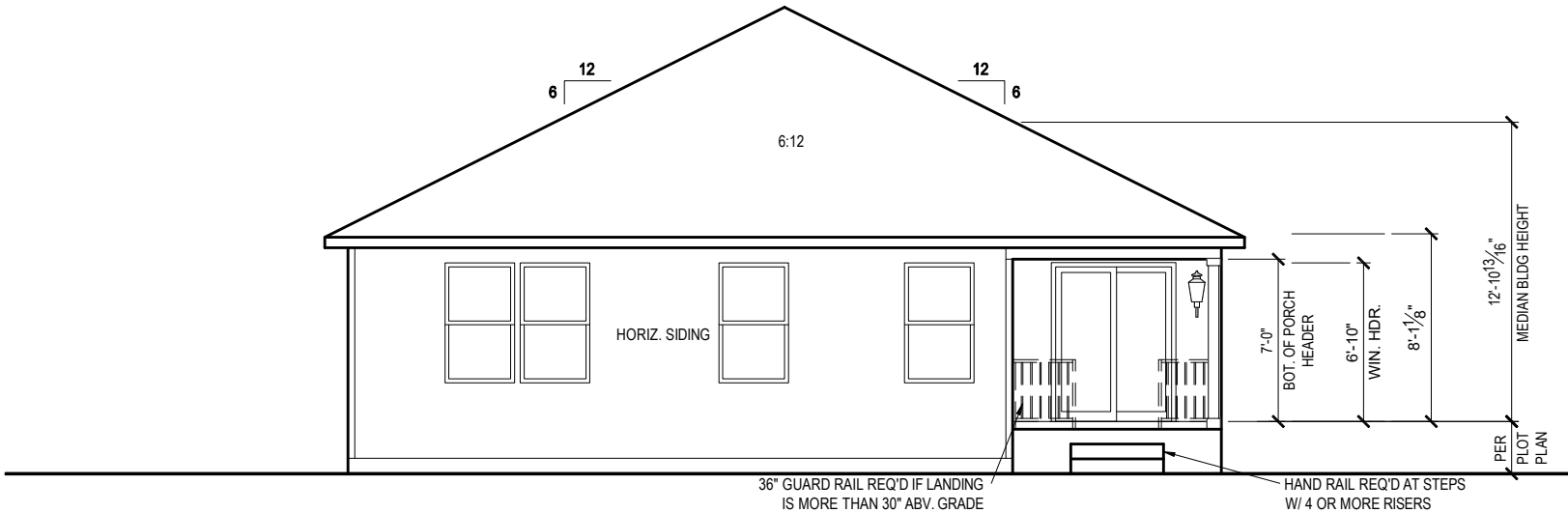
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

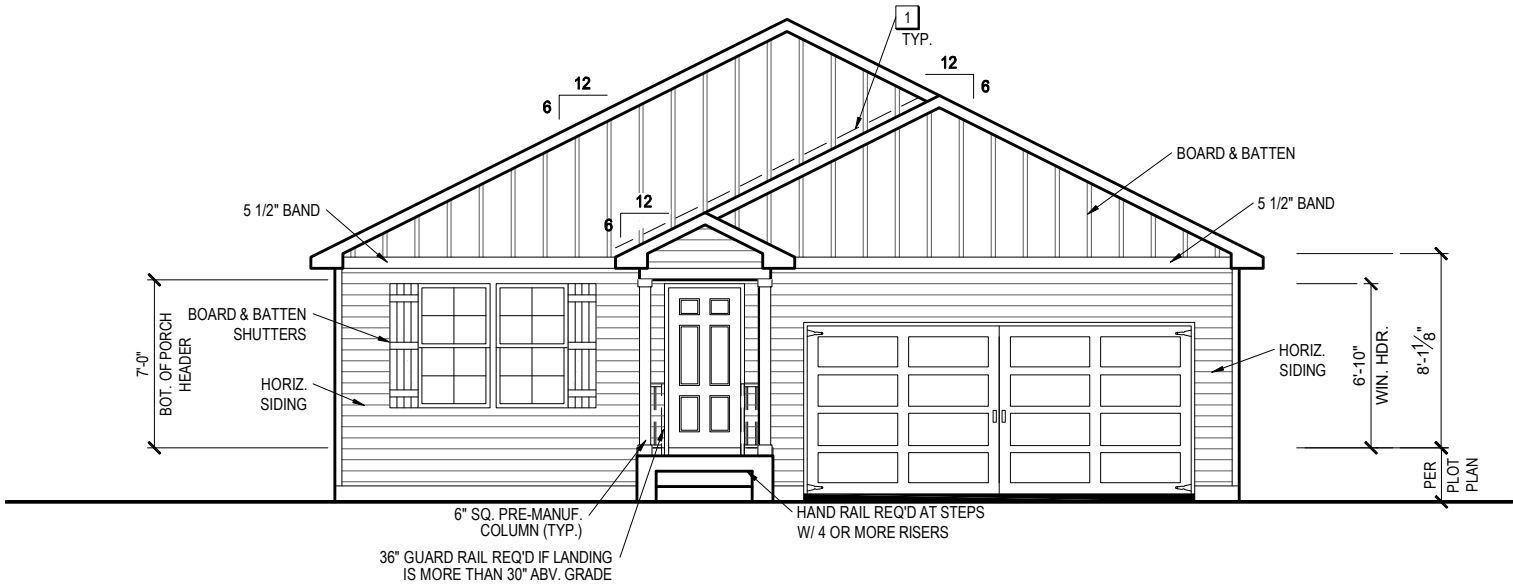
36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



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1-14-2022



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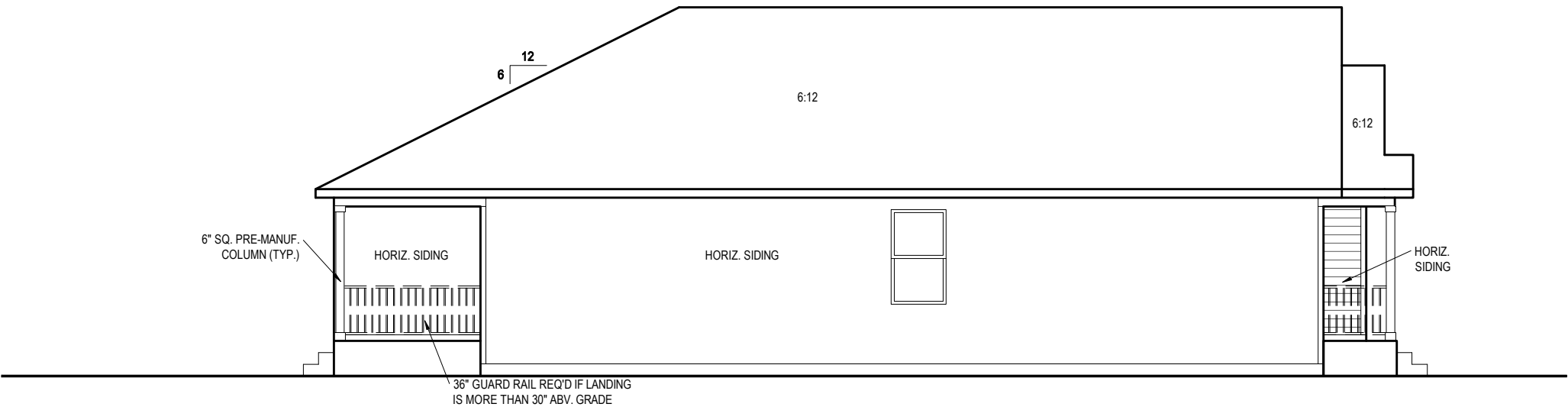
RELEASE DATE:
08.30.2021

MODEL:
COVINGTON

DRAWING TITLE:
EXTERIOR ELEVATIONS - STEMWALL

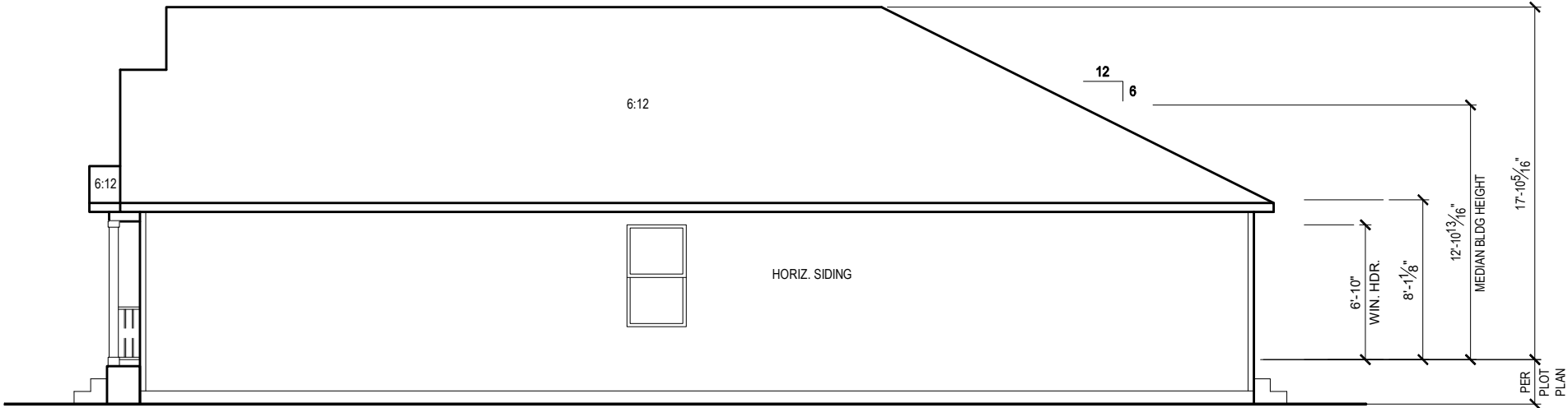
SHEET NO:

1.1-A1s




LEFT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022

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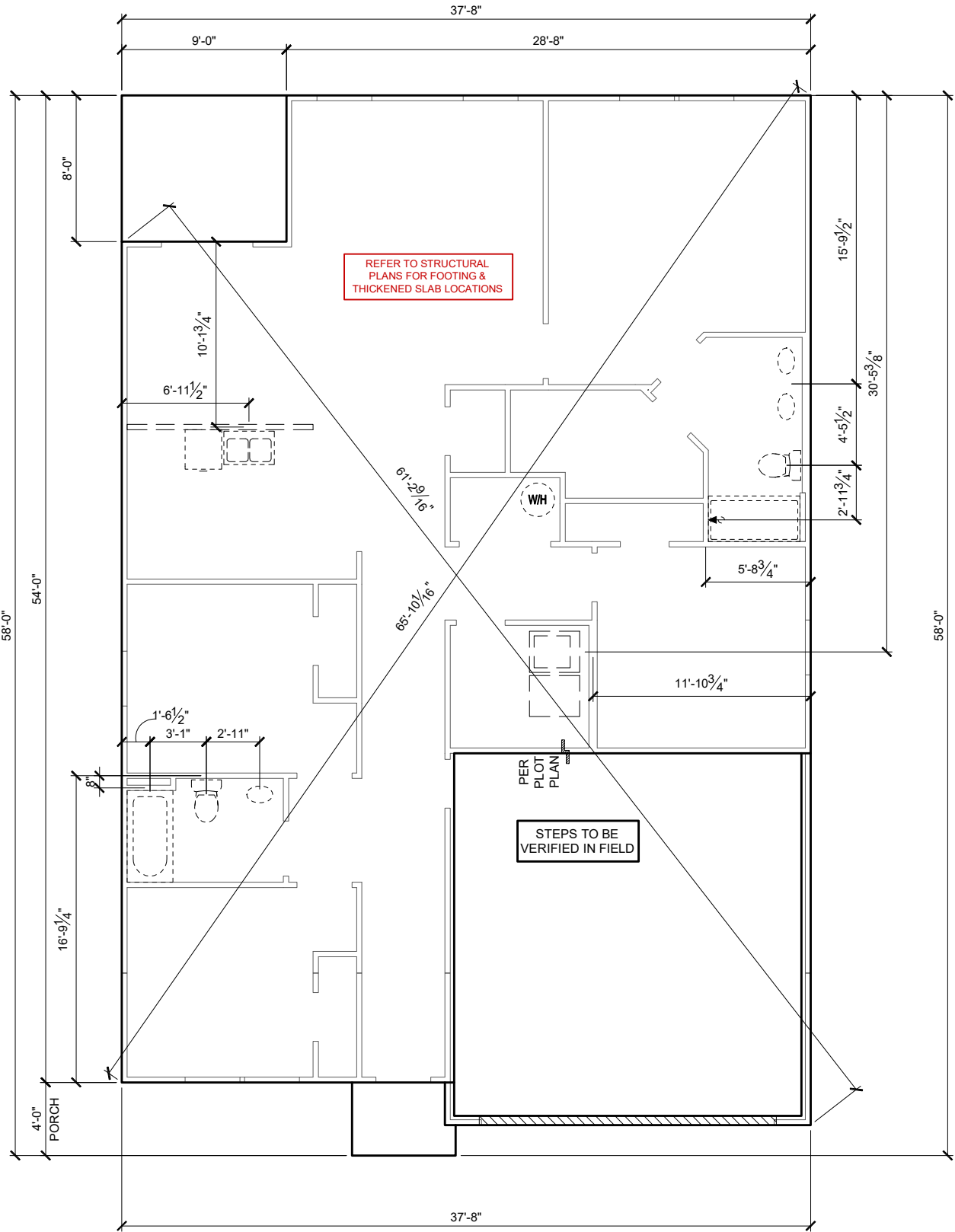
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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021
MODEL:	COVINGTON	DRAWING TITLE:	EXTERIOR ELEVATIONS - STEMWALL
SHEET NO:			

1.2-A1s

GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

1-14-2022

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MODEL:
COVINGTON

DRAWING TITLE:
SLAB PENETRATION PLAN

PLAN NUMBER:
33811607

RELEASE DATE:
08.30.2021

SHEET NO:
2.1-A

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR
- OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

- A1 GARAGE CEILING - 5/8" TYPE X DRYWALL
VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR w/ GAS FURNACE
- D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE
- K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING
- P1 30" X 60" SHOWER ENCLOSURE PER SPECS

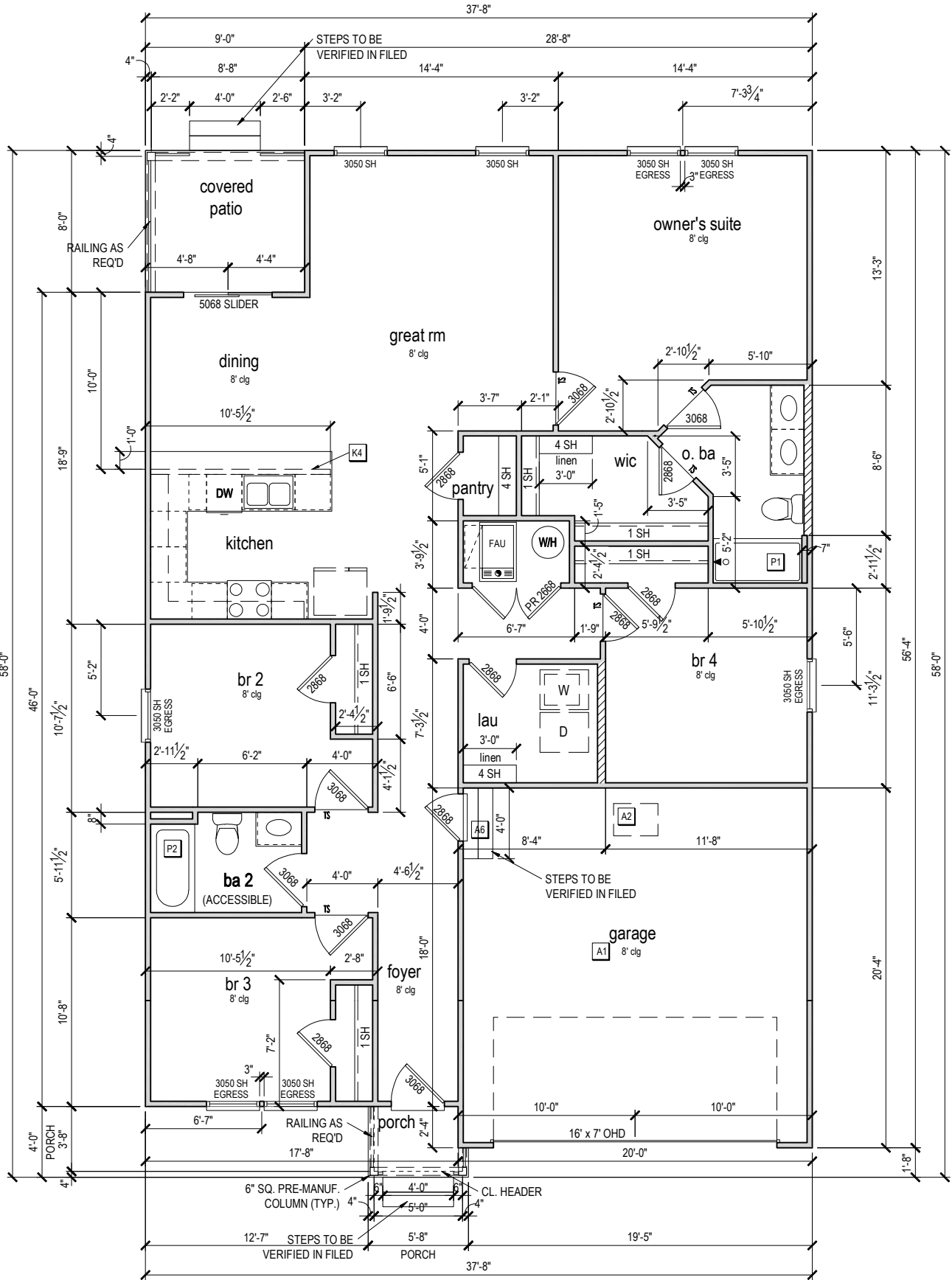
P2 30"x60" TUB PER SPECS
- S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	401 SF
FRONT PORCH	21 SF
REAR PATIO	72 SF
FLOOR 1 LIVING	1,607 SF
TOTAL LIVING	1,607 SF



FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022



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PLAN NUMBER: 33811607
RELEASE DATE: 08.30.2021

MODEL: COVINGTON
DRAWING TITLE: FIRST FLOOR PLAN

SHEET NO:

3.1-As

ATTIC VENT CALCULATION

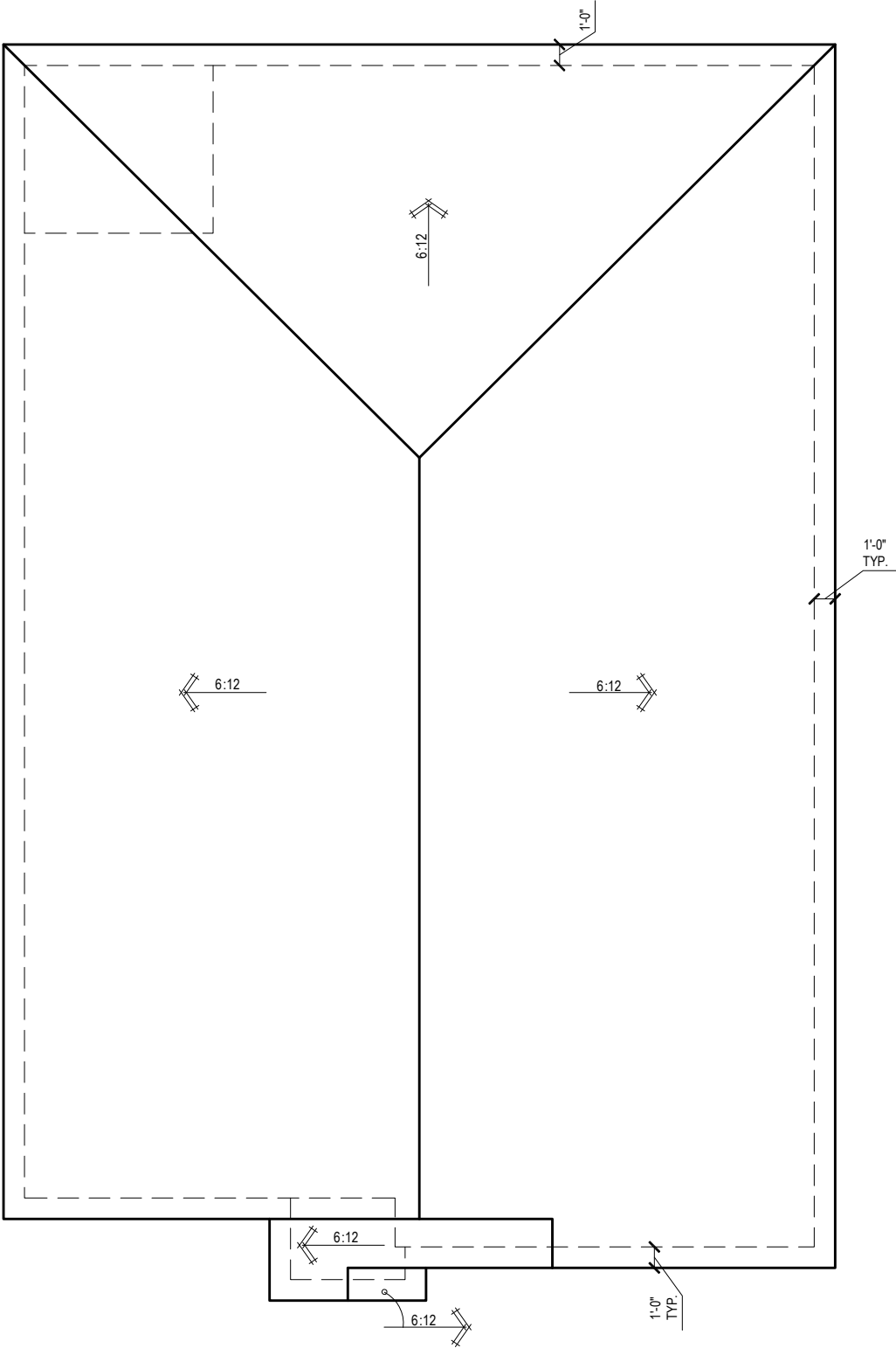
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS			
ROOF AREA	2,296 SF		
TOTAL NET FREE AREA REQ'D (1 TO 300)	1102.1 SQ. IN.		
MAIN HOUSE INLET (SOFFIT) VENTILATION	95.0 LF x	6.4 SQ. IN / LINEAR FT =	608.0 SQ. IN.
POD VENT(S) REQUIRED WITH BASE HOUSE	8	VENTS AT 70.0 SQ. IN EA. =	560.0 SQ. IN.
LOWER VENTING PROVIDED (551.0 SQ. IN. REQ'D)	608.0 SQ. IN	52.1%	
UPPER VENTING PROVIDED (551.0 SQ. IN. REQ'D)	560.0 SQ. IN	47.9%	


NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17


1/4" = 1'-0" @ 22x34



THIS SET OF PLANS COMPLIES WITH THE F.B.C. RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

1-14-2022

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PLAN NUMBER:	33811607	RELEASE DATE:	08.30.2021
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MODEL:	COVINGTON	DRAWING TITLE:	ROOF PLAN
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SHEET NO:

6.1-A

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

SMOKE DETECTOR

SMOKE/CARBON MONOXIDE ALARM

VP=VAPOR PROTECTED

B = BRACE FOR FUTURE FAN
H = HANGING
P = OPT. PENDANT

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

PW

• PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS

• INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G

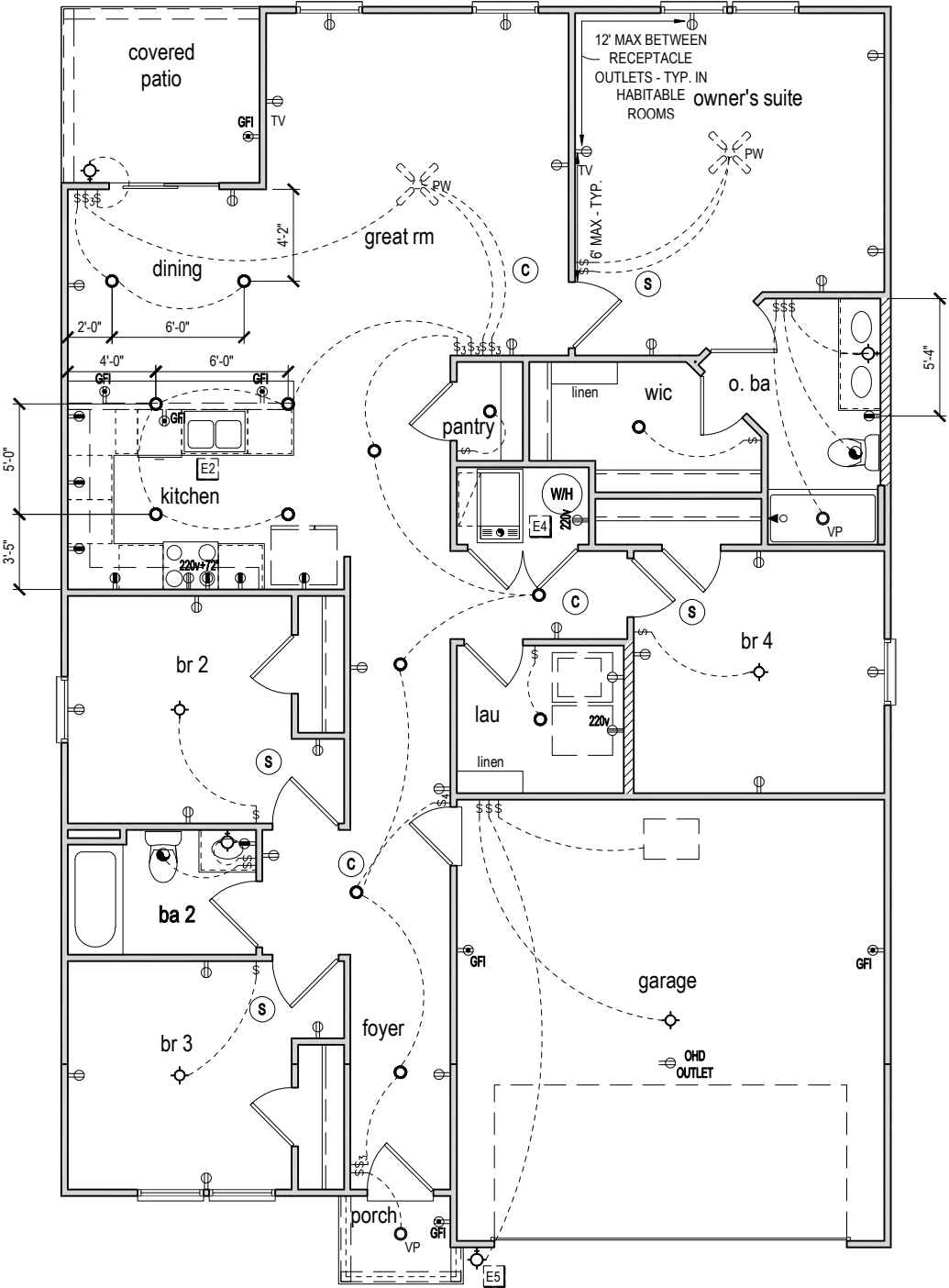
• ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT

• IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

• DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



1-14-2022

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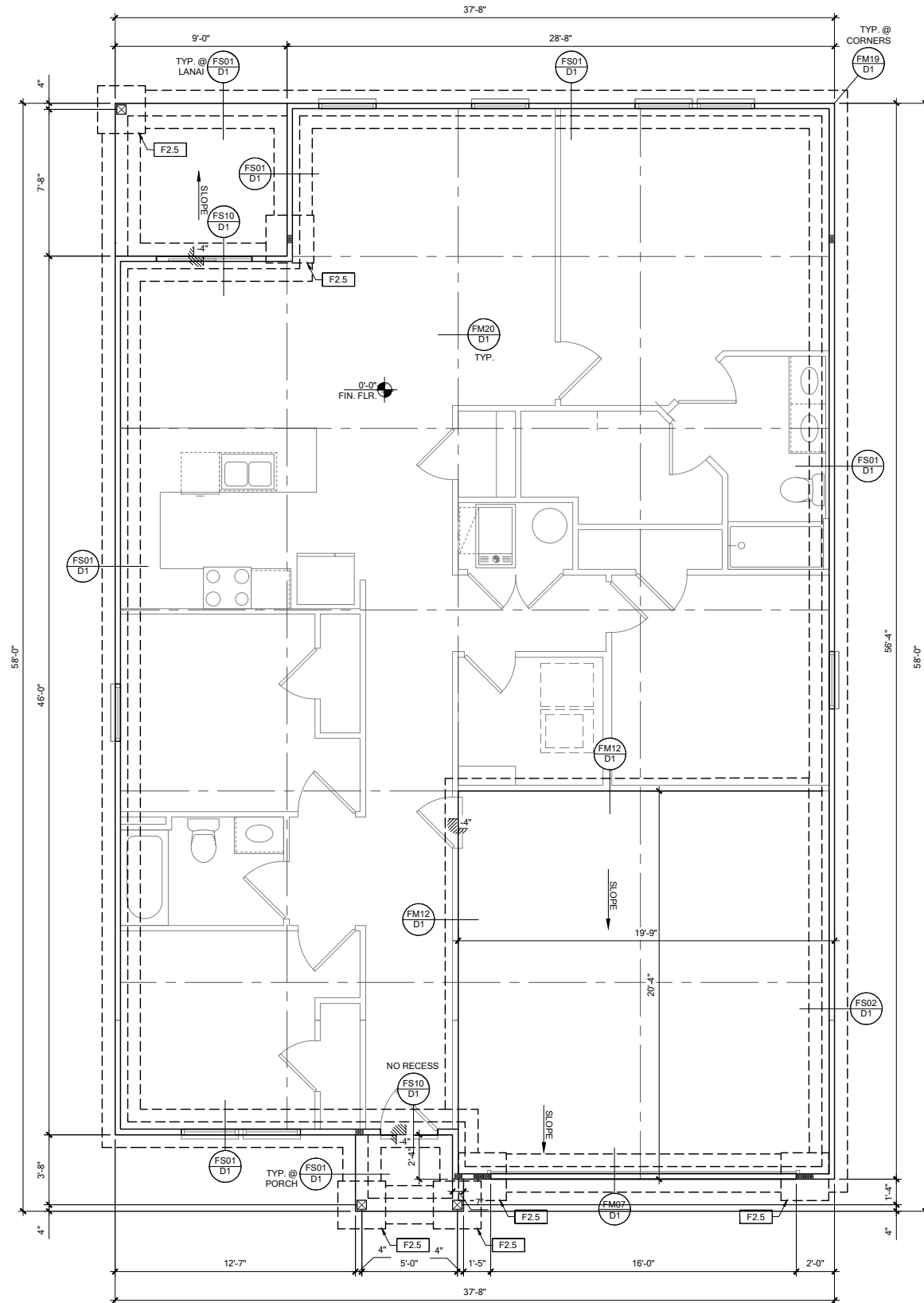
RELEASE DATE:
08.30.2021

MODEL:
COVINGTON

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1



FOUNDATION PLAN A
SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

FOUNDATION LEGEND	
SYMBOL	DESIGN DESCRIPTION
	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12"x12" SQUARE MAXIMUM
	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB

GENERAL NOTES:
1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1
2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.

PLAN KEY NOTES

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	2x WOOD FRAME EXTERIOR WALL

DATE: January 20, 2022
PROJECT: LOT 12 RESERVE @ JEWEL LAKE
DRAWING: FOUNDATION PLAN A & B
SHEET NO: S1

LOT 12
RESERVE @ JEWEL LAKE
174 SW BRE LANE
LAKE CITY, FL 32024

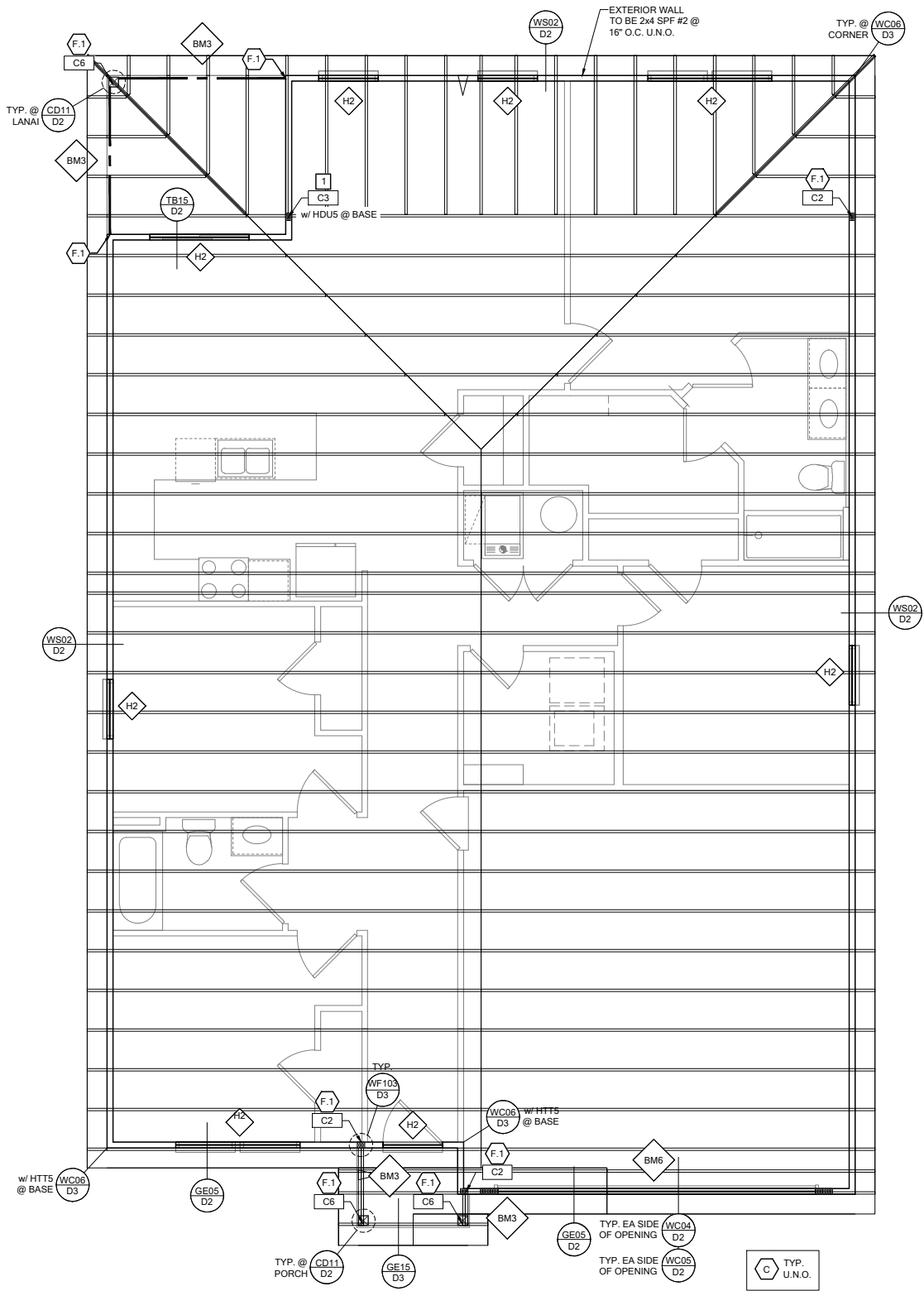
MODEL: COVINGTON

PLAN NUMBER: 33811607

RELEASE DATE: 08.03.2020

DRAWING TITLE: FOUNDATION PLAN A & B

SHEET NO: S1



ROOF FRAMING PLAN A

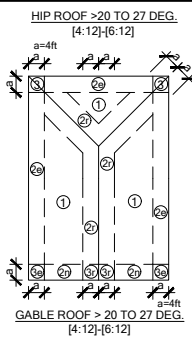
SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

RSH ENGINEERED ROOF PER ASCE 7-16 ROOF DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 25 ft

WIND SPEED (ULTIMATE) 130 MPH
WIND SPEED (ALLOWABLE) 100.7 MPH
EXPOSURE CATEGORY C

EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF)							
	(*) VALUE DENOTES PRESSURE							
	(-) VALUE DENOTES SUCTION							
AREA	ROOF	1	2e	2n	2r	3	3e	3r
10	HIP	-33.0	-45.50		-45.50	-45.50		
	GABLE	-35.0	-35.0	-55.90	-55.90		-55.90	-65.20

ROOF NAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE):
ZONE 1: ASTM F1667 RSR-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C IN FIELD
ZONE 2e, 2n, 2r: ASTM F1667 RSR-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD
ZONE 3, 3e, 3r: ASTM F1667 RSR-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD
ROOF SHEATHING:
SHINGLE: $\frac{1}{8}$ " EXP. 1 ($\frac{2}{3}$) EXP. 1 ($\frac{2}{3}$)
TILE: $\frac{1}{2}$ " EXP. 1 ($\frac{2}{3}$)
NOTE:
1. PER CODE ASTM F1667 RSR-01 REFERENCE TO 8d (2 $\frac{1}{2}$ " x 0.113") NAILS
2. WHERE THE SHEATHING THICKNESS IS GREATER THAN $\frac{1}{8}$ ", SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSR-03 10d (2 $\frac{1}{2}$ " x 0.131") NAILS OR ASTM F1667 RSR-04 (3" x .120") NAILS
3. GABLES- DROP GABLE END & (1) ADDITIONAL DROPPED TRUSS 2x4 #2 SYP OUTLOOKER RAFTER W/ BLOCKING @ 16" O.C. IF NO DROPPED GABLE END, ATTACH 2x4 #2 SYP BLOCKING @ 16" O.C FIRST 4 BAYS WITH (2) 12d NAILS EA. END. ATTACH ROOF SHEATHING TO RAFTERS W/ BLOCKING PER NAILING SCHEDULE.



SYMBOL	DESIGN DESCRIPTION
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN. SEE ARCHITECTURAL PLANS FOR WALL WIDTH, 2x4 MINIMUM U.O.N.
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB
	INDICATES NO BOTTOM CONNECTOR REQUIRED
	INDICATES UPLIFT CONNECTION CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET SN

- FRAMING NOTES:
- SEE WIND SPEED CHART ON S0 FOR WINDOW PRESSURES
 - AT SECOND FLOOR FOR TYPICAL CORNER FRAMING SEE DETAIL FB06/D4

- GENERAL NOTES:
- THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL, RESONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION
 - ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
 - SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.

PLAN KEY NOTES

- 1 SIMPSON MGT w/ (22) 0.148 x 1 $\frac{1}{2}$ " & (1) $\frac{3}{8}$ " ATR & SIMPSON HDU4-SDS 2.5 w/ (10) $\frac{1}{4}$ " x 2 $\frac{1}{2}$ " SDS SCREWS

BUILDER NOTE:
IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT

-----STOP-----

AND CALL THE ENGINEER OF RECORD PRIOR TO PLACEMENT OF ANY TRUSSES.

WALL TYPE

SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	2x WOOD FRAME EXTERIOR WALL



DATE: January 20, 2022
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



LOT 12
RESERVE @ JEWEL LAKE
174 SW BRE LANE
LAKE CITY, FL 32024

PLAN NUMBER: 33811607
RELEASE DATE: 08.03.2020

MODEL: COVINGTON
DRAWING TITLE: ROOF FRAMING PLAN A & B

SHEET NO: S2

WOOD BEARING WALL SCHEDULE					
MARK	STUD SPACING	CONNECTION & FASTENERS		LUMBER SPECIES	UPLIFT CAP. [kN]
		TOP	BOTTOM		
[BW1]	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d end OR BOX NAILS	#2 SPF	NO UPLIFT
[BW2]	16"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	402
[BW3]	16"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	804
[BW4]	16"	(2)16d TOENAILS	(3) 12d TOENAILS OR (2) 12d end OR BOX NAILS	#2 SYP	NO UPLIFT
[BW5]	16"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	439
[BW6]	16"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SYP	878

SIMPSON - CONNECTOR SCHEDULE					
MARK	TYPE	CONNECTOR & FASTENERS	SPF	SPF	SYR
(B)	FRAME TO FRAME	H2 5A w/ 108g NAILS	535	565	
(C)	FRAME TO FRAME	H10A w/ (8)10d x 1 1/2"	1015	1040	
(D)	FRAME TO FRAME	H10A-2 w/ (10)1d x 1 1/2" AT PLY TRUSSES	930	1080	
(E)	FRAME TO FRAME	MTS12 w/ (14)10d x 1 1/2" (AT EXTERIOR LOCATION) (3) 12d TOENAILS	850	990	
(F)	FRAME TO LOCATION	HTS20 w/ (24)10d x 1 1/2" (AT EXTERIOR LOCATION) (3) 16d SINKERS	1125	1310	
(F)	FRAME TO FRAME	H12S w/ (48)10d x 1 1/2" (AT EXTERIOR LOCATION) (16) 2d TOENAILS	2260	2620	
(G)	FRAME TO MASONRY / CONCRETE	(2) LGTW (32) 16d SINKERS & (14) 1" x 2 1/4" (14) TIEIN (2 PLY TRUSSES)	3500-M 3240-F	4060-M 3770-F	
(H)	FRAME TO	C1 (37) w/ (16) 16d SINKERS & (16) 16d SINKERS			

Diagram illustrating a cross-section of a wall assembly. The assembly includes a top plate, sheathing, and solid 2x blocks. Key components and callouts are labeled:

- (2) - 2x TOP PLATE BEYOND
- 15/32" OSB SHEATHING
- SOLID 2x BLOCK @ ALL SHEATHING EDGES (SEE SECTION X)
- Callout F points to a horizontal reinforcement bar.
- Callout G points to a vertical reinforcement bar.
- Callout D points to a vertical reinforcement bar.
- Callout J points to a vertical reinforcement bar.

BW7	12"	(2) 10d TOENAILS	(2) 10d TOENAILS & (2) 12d END OR BOX NAILS	#2 SPF	750 UPLIFT
BW8	12"	SP2 w/ (6)10d NAILS	SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	535
BW9	12"	(2) SP2 w/ (6)10d NAILS	(2) SP1 w/ (6) 10d NAILS & ANCHOR BOLTS	#2 SPF	1070

J3	MASONRY / FRAME	& (8) 3/8" x 5" TITEN (2 PLY TRUSS) OR (52) 16d SINKERS FOR FRAME (EA)	4/30-M 5010-F	6570-M 6960-F
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(K)	BEAM TO BEAM	HU410 OPT HUC410 w/ (18) 16d & (10) 10d NAILS	G#2680 U#1895	
(L2)	BEAM TO MASONRY / FRAME	HU46 OPT HUC46 w/ (6) 10d NAILS & (12) 1/4" x 2 3/4" TITEN (TO MAS.) OR (12) 16d & 10d (FOR FRAME)	G#1785 U#1135 SY-P-F	G#3000 U#1135 SY-P-M
(T)	FRAME TO	H10S w/ (24) 10d x 1 1/2" NAILS	770	910

(X)	FRAME TO FRAME	VG11 w/ (16) 1/4"x3" SDS WOOD SCREWS & HDU4-SDS2.5 w/ (10) 1/4"x2 1/2" SDS WOOD SCREWS & (1) 5/8" A.T.R.	3285	4565
(Y)	FRAME TO FRAME	(2) HTT5 w/ (52) 16d"x2 1/2" NAILS & (2) 5/8" A.T.R. (SEE NOTE #4)	8750	10180

GENERAL CONNECTOR NOTES:

CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALLS / BEAMS /
ALL TRUSSES TO EXTERIOR CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER.
C.G.C. MAY USE EITHER SIMPSON OR USP CONNECTIONS, SEE FRAMING PLAN FOR
OUT.

FOR SINGLE PLY TRUSSES, SCAB ON FULL HEIGHT SYP #1 2"x4" TO TRUSS VER-
OF 10d NAILS @ 3' O.C. STAGGERED.

MINIMUM A.F.T.R. EMBEDMENT = 6" EMBEDMENT FOR 1/2" A.F.T.R. 6" EMBEDMENT FOR
EMBEDMENT FOR 7/8" A.F.T. (IF STEP. DEPTH IS FROM LOWER SLAB).

(A) MINIMAL CONNECTOR UNO ON FRAMING PLAN

CONNECTION FOR ALL ROOF / FLOOR TRUSSES TO MASONRY WALLS / LINTELS
PLAN

CONNECTION AT 24" OR 32" O.C. PENDING VERTICALS FOR ALL FLOOR TRUSSES
MASONRY WALLS SEE DETAIL FB1203 FOR MORE INFORMATION

CONNECTION FOR ALL ROOF JACK CORNER JACK TO MASONRY WALLS / SCF
CONNECTION FOR ALL CONTINUOUS RIM BOARD TO TOP OF MASONRY WALL
EACH CORNER. G.C. TO VERIFY LOCATION DOES NOT CONFLICT W/31 (IF APPLIC.)

CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL/BEAMS w/
C.G.C.

(B) MINIMAL CONNECTOR UNO ON FRAMING PLAN

CONNECTION FOR JACK TRUSS TO WOOD WALL OR BEAM

1. CONNECTION FOR ALL TRUSSES TO INTERIOR/EXTERIOR BEARING WOOD WALLS AND/OR BEAMS

SEE SCHEDULE

(3)-ROWS 0.1
STAGGERED
EACH FACE

SIMPSON SP4 or RSF4 w/ (6) 131 x 1 1/2" AT 24" O.C.
 131x3.25 NAILS @ 6" O/C TYP.
 DOUBLE 2 x 4 CRIPPLE STUD TYPICAL (U.N.D.)
 DOUBLE 2 x 4 HEADER w/ PLATE HEADER
 FILLING AND REQUIRED FASTENERS @ 131x3.25 @ 24" O.C. UNLESS NOTED
 2 x 4 STUDS
 P.T. BOLT PL.
 DOOR/CORRIDOR OPENING

WF09

WALL HEADER DETAIL
 SCALE: N.T.S.

BEARING WALL LOCATION

GENERAL BEARING WALL NOTES:

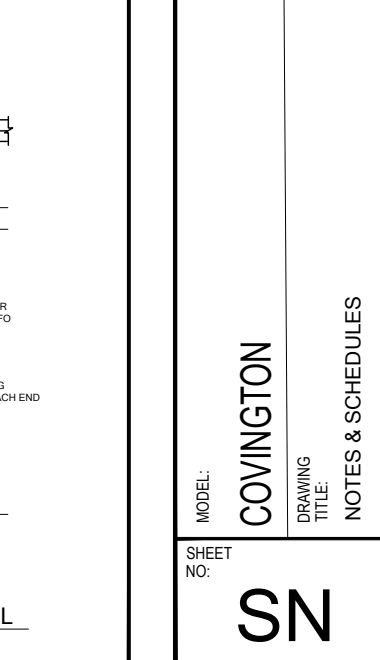
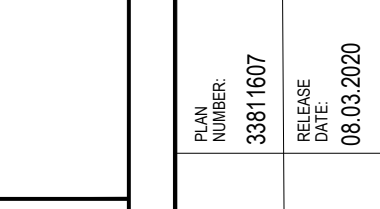
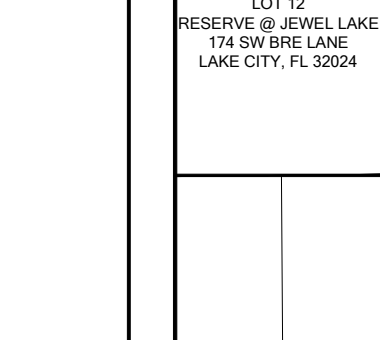
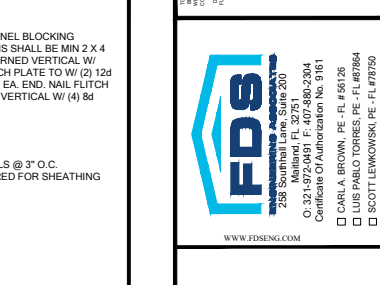
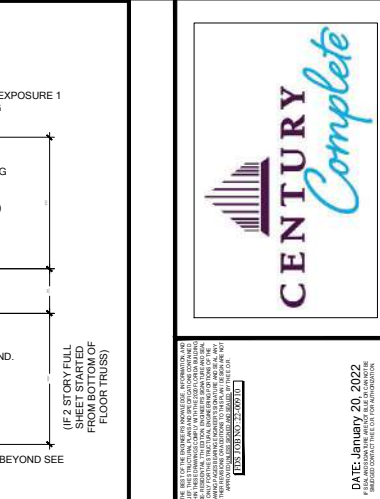
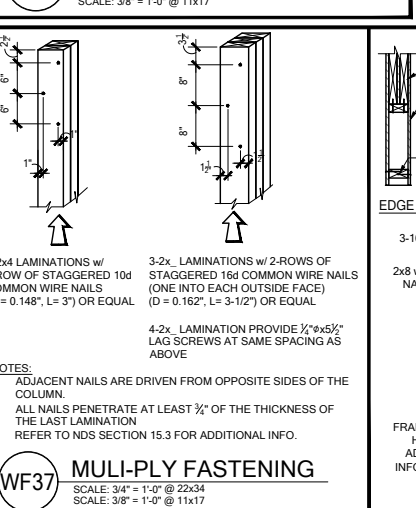
1. ALL STRUCTURAL LUMBER DESIGNATED AS SYP SHALL BE SPF #2* AND ALL STRUCTURAL LUMBER DESIGNATED AS SPF SHALL BE SPF #2 U.O.
2. SEE FLOOR PLAN FOR WALL SIZE. ASSUME 2x4 STUDS USED UNO.
3. CONNECTIONS TO BE INSTALLED TO EACH STUD AS INDICATED
4. CONTACT E.O.R. IF SPF#4S, SP#8S OR SP#9S CONNECTORS ARE SUBSTITUTED, TO VERIFY THEY MEET THE STRUCTURAL REQUIREMENTS
5. IF "BW" IS INDICATED ON SECOND FLOOR BASE CONNECTION TO BE IGNORED. SEE WP06 AND FB06 OR INDICATED DETAIL FOR PROPER CONNECTIONS FOR 2ND FLOOR TO FIRST FLOOR CONNECTIONS. (NOTE: THIS IS FOR 2 STORY PROJECTS ONLY)
6. IF "SW" IS INDICATED ON PLAN THE WALL IS CONSIDERED A SHEAR WALL AND REQUIRE MIN. 7/16" OSB / PLYWOOD w/8d NAILS @ 4" O.C. IN FIELD AND EDGE TO EACH MIN. 1/4" NAIL U.O. ON PLANS.
7. ALL 2x4 EXTERIOR WALLS w/ SHEATHING ATTACHED PER NAILING SCHEDULE TB13/3N ACTS AS SHEAR WALLS. SEE PLAN AND WALL SECTIONS FOR STUD SPACING AND GRADE.
8. ALL TOP PLATES AND SILL PLATES SHALL BE THE SAME SPECIES AS THE WOOD STUDS.
9. IF THE BEARING WALL IS INDICATED WITH THE BW1, BW4, BW7, BW10, THESE WALLS ARE ONLY SUPPORTING THE FLOOR LOAD AND DO NOT HAVE UPLIFT. THE STUDS ARE TOE NAILLED TO THE FLOOR AND THE 2x4 PLATE CAN BE ATTACHED WITH HARD CASED NAILS (GUN NAILS) AND WILL NOT REQUIRE THE ANCHOR BOLT ATTACHMENT INDICATED IN THE BEARING WALL SCHEDULE.

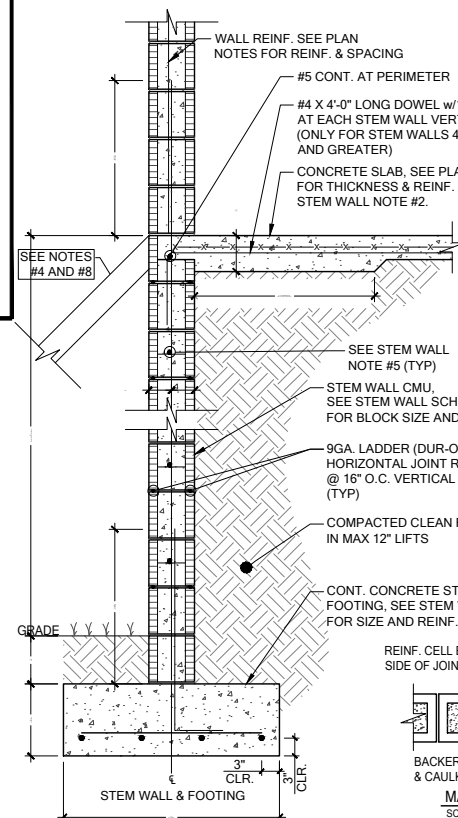
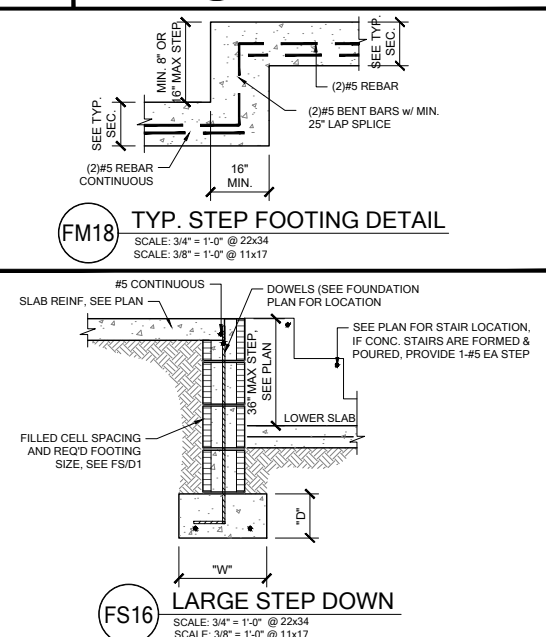
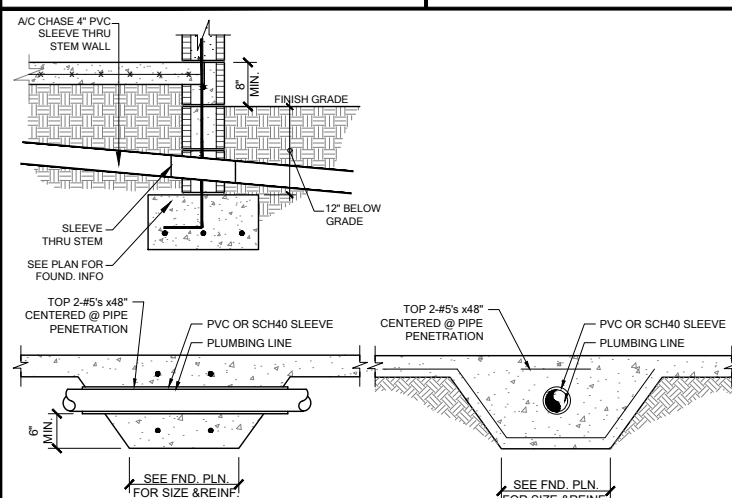
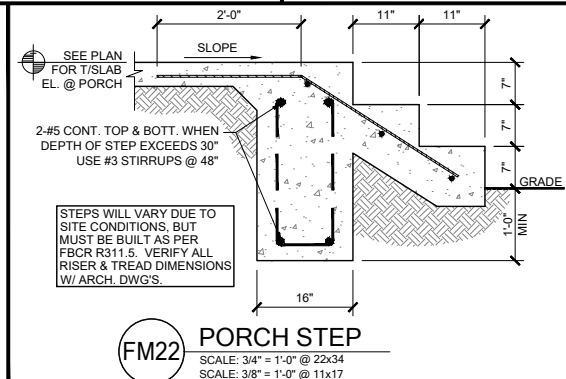
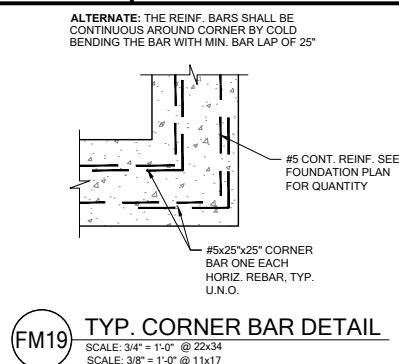
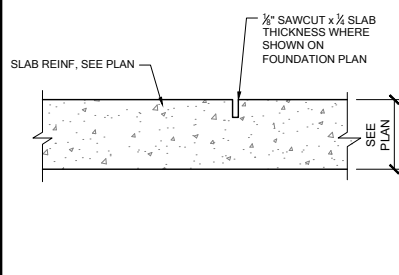
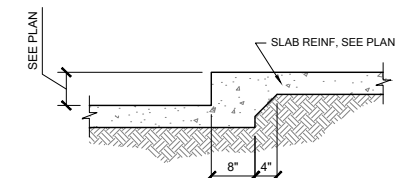
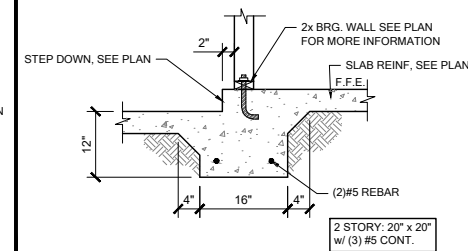
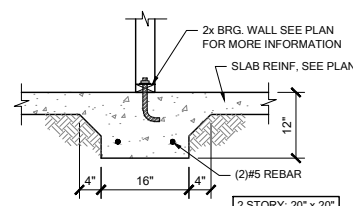
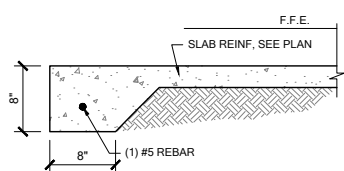
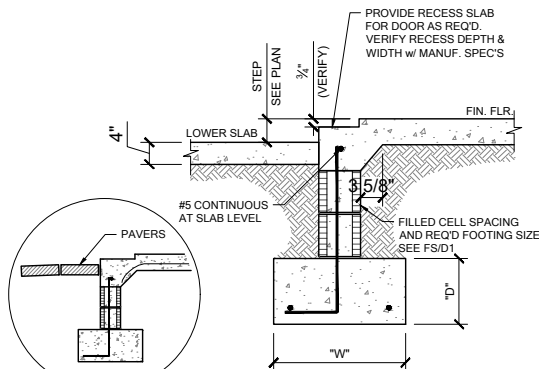
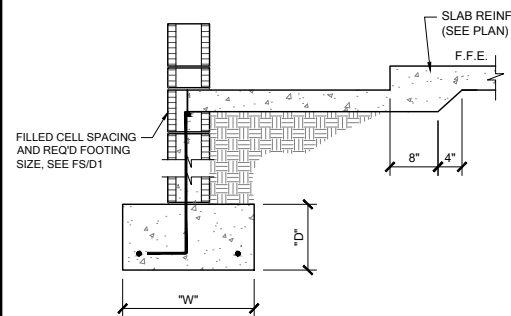
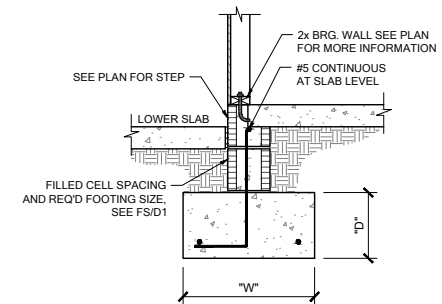
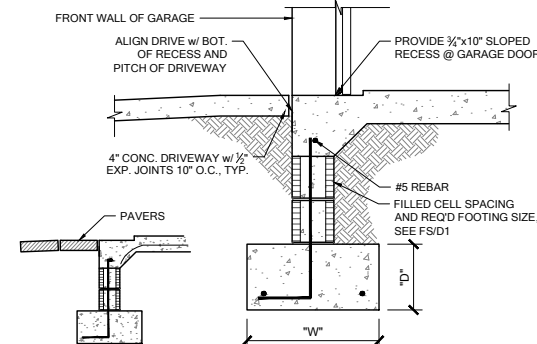
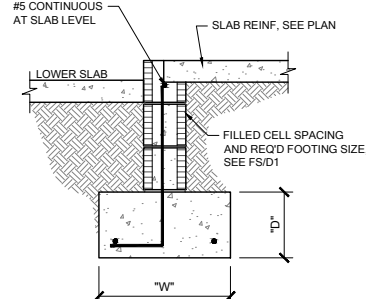
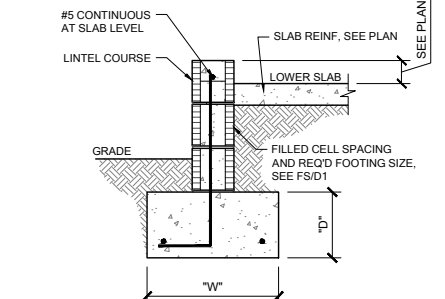
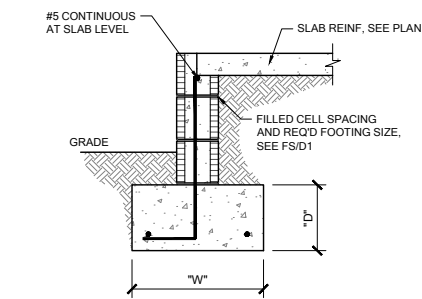
2x4 SPF#2 w/ 2-12d NAILS @ 24" O.C.
@ PARALLEL TRUSS CONDITION

ROOF TRUSS

SIMPSON DTC w/ 4-8d NAILS TO TOP PLATE AND 2-8d NAILS @ SLOT @ 4'-0" O.C. MAX

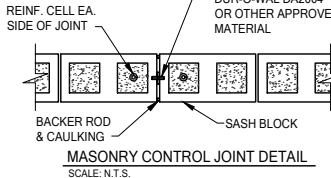
1/2" MIN. SPACE

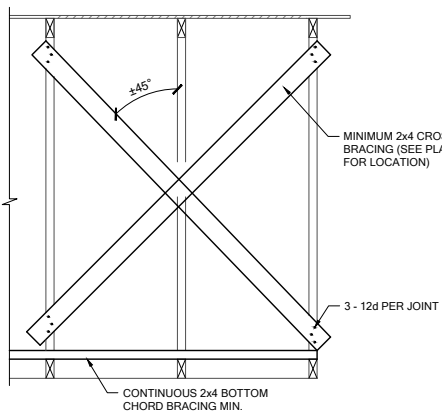




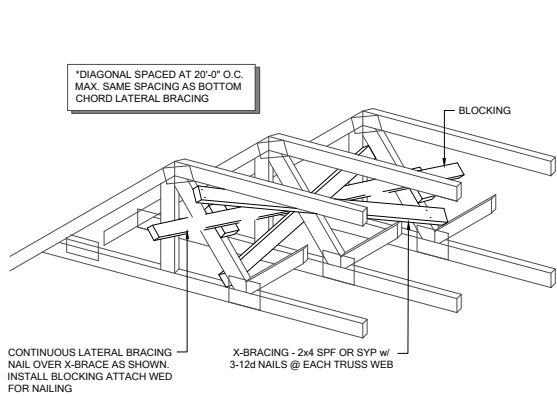
- STEM WALL NOTES:**
1. VERTICAL REINFORCING IN SOLID GROUTED CELLS (3,000 PSI CONCRETE) AT ALL CORNERS, JAMBS, WALL INTERSECTIONS, BELOW GIRDER TRUSS LOCATIONS, AND AT THE MAXIMUM SPACING STATED IN SCHEDULE.
 2. A. 6x6 - W1.4 x W1.4 W.W.M. IS REQUIRED TO MAKE ADEQUATE CONNECTION BETWEEN SLAB AND WALL WHEN STEM WALL EXCEEDS 4'-0" TALL.
B. FIBERMESH CONCRETE CAN NOT BE USED.
C. #4 TURN BARS ARE REQUIRED AT EACH FILLED CELL LOCATION.
D. EACH BAR TO TIE INTO VERTICAL STEM WALL REINFORCING BAR AND EXTEND OUT A MINIMUM OF 4'-0" INTO SLAB.
 3. IF STEM WALL IS REQUIRED TO BE HIGHER THAN 12 FEET (18 COURSES), CONTACT ENGINEER OF RECORD PRIOR TO CONSTRUCTION FOR MORE INFORMATION.
 4. GENERAL CONTRACTOR TO PROVIDE ADEQUATE BRACING OF STEM WALL WHEN UNEVEN BACK FILLING IS TAKING PLACE.
 5. A. WHEN STEM WALL IS LESS THAN 4'-0" TALL, PROVIDE (1) - #5 HORIZONTAL CORNER BARS WITH 4'-0" x 4'-0" LEGS IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY. (TYPICAL AT ALL CORNERS).
B. WHEN STEM WALL IS 4'-0" TALL AND GREATER, PROVIDE CORNER BAR MENTIONED ABOVE AND (1) - #5 CONTINUOUS HORIZONTAL BAR IN KNOCKOUT BLOCK SPACED @ 16" O.C. VERTICALLY. GROUT ENTIRE WALL AND SLAB.
C. ALL STEM WALLS GREATER THAN (4) COURSES, SHALL BE GROUTED SOLID WITH 3,000 PSI CONCRETE.
 6. IF STEM WALL IS WITHIN 5'-0" OF POOL OR WATER FEATURE, FOUNDATIONS TO BE A MINIMUM 12" BELOW BOTTOM OF POOL OR WATER FEATURE.
 7. R 403.1.4 MINIMUM DEPTH: ALL EXTERIOR FOOTINGS (BOTTOM) SHALL BE PLACED NOT LESS THAN 12" BELOW THE FINISHED GRADE OF GROUND SURFACE. WHERE APPLICABLE, THE DEPTH OF FOOTINGS SHALL ALSO CONFORM TO SECTION R403.1.4.1.
 8. EXTERIOR SHORING BY CONTRACTOR AS REQUIRED WHEN STEM IS OVER 4'-0" TALL.
 9. CONTROL JOINTS TO BE LOCATED AT 20' O.C. MAX AND AT ALL CHANGES IN WALL WIDTHS.

STEM WALL SCHEDULE								
STEM WALL HEIGHT (h)	COURSES OF BLOCKS	BLOCK SIZE	FOOTING DIMENSION (d) & (w)				NUMBER/SIZE OF BOTTOM BARS IN CONT. FOOTING	MAXIMUM VERTICAL FILED CELL SPACING IN STEM WALL CENTERED (IN U.O.)
			(d) 1 STRY.	(d) 2 STRY	(w) 1 STRY.	(w) 2 STRY.		
0'-0" - 2'-0"	1 - 3	8"	8"	10"	16"	20"	(2) - #5 BARS	#5 @ 80" O.C.
2'-8" - 3'-4"	4 - 5	8"	10"	10"	20"	24"	(3) - #5 BARS	#5 @ 64" O.C.
4'-0"	6	8"	12"	12"	32"	32"	(4) - #5 BARS	#5 @ 48" O.C.
4'-8" - 5'-4"	7 - 8	8"	16"	16"	40"	40"	(4) - #5 BARS CONT. & #5 AT 24" O.C. TRANSV.	#5 @ 32" O.C.
6'-0" - 6'-8"	9 - 10	8"	16"	16"	48"	48"	(4) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 32" O.C.
7'-4" - 8'-0"	11 - 12	8"	16"	16"	48"	48"	(5) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 16" O.C.
8'-8" - 10'-0"	13 - 15	12"	16"	16"	54"	54"	(5) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	#5 @ 8" O.C.
10'-8" - 12'-0"	16 - 18	12"	16"	16"	54"	54"	(6) - #5 BARS CONT. & #5 AT 12" O.C. TRANSV.	(2) - #5 @ 16" O.C. SPACED 4' APART IN CELL

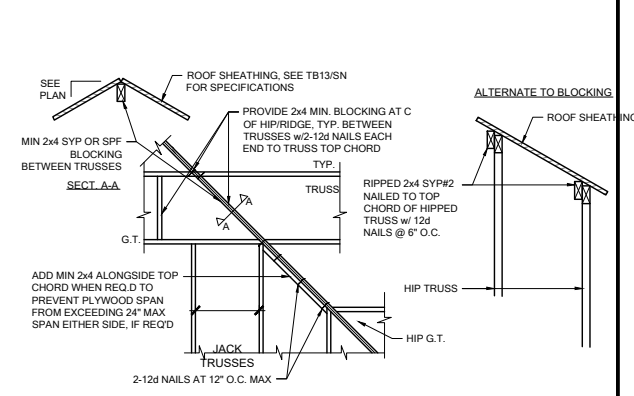




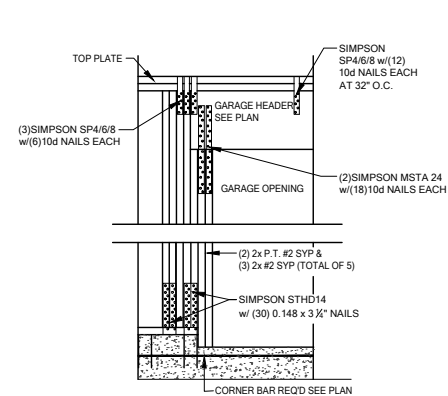
TB01 CROSS BRACING, TYP.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



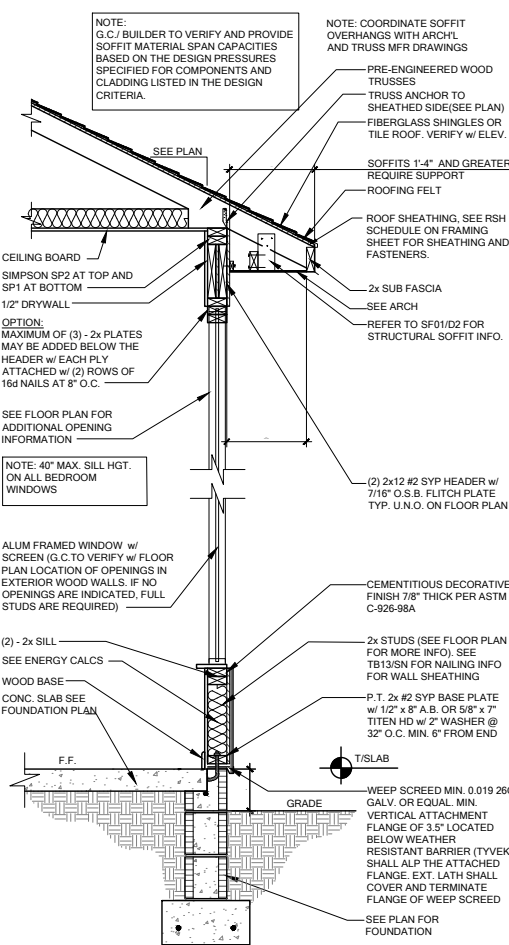
TB02 CROSS BRACING TYPICAL
SCALE: N.T.S.



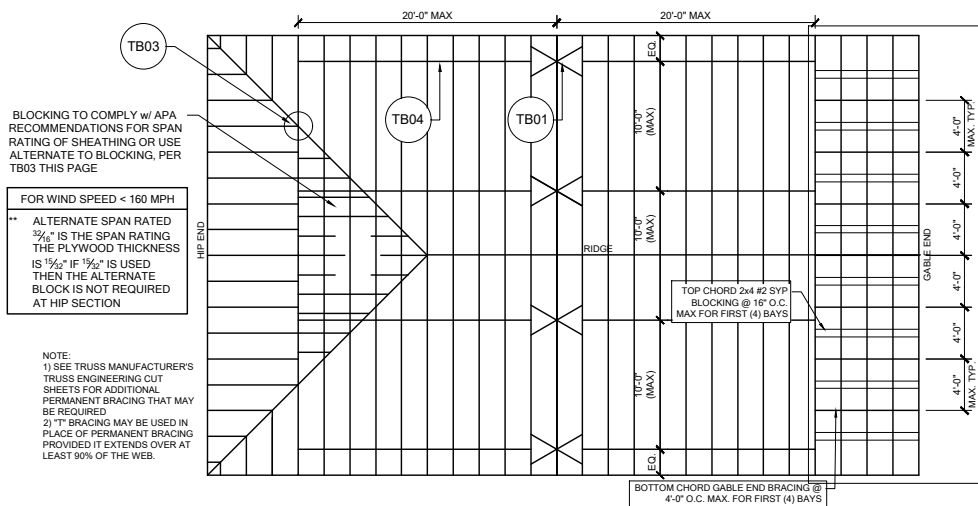
TB03 HIP/RIDGE BLOCKING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



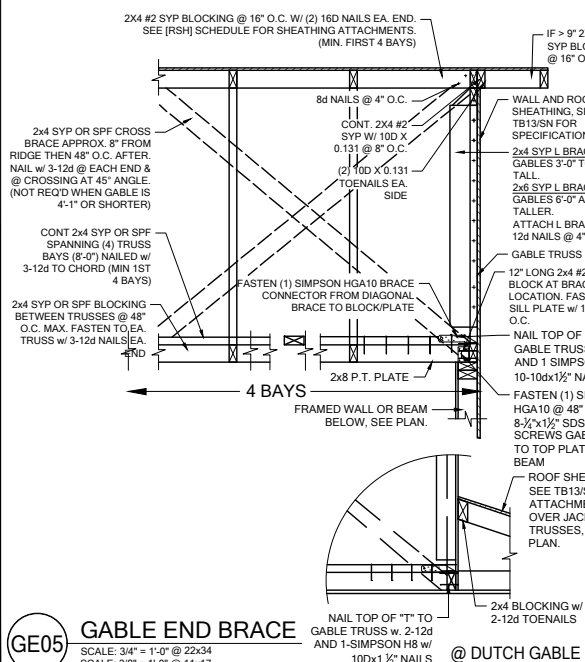
WC04 GARAGE HEADER ANCHOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



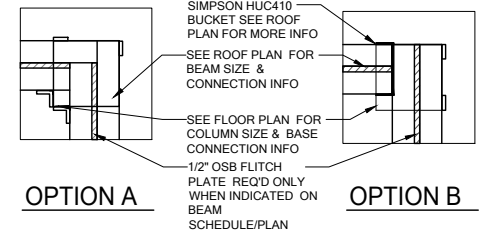
WS02 TYP. WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



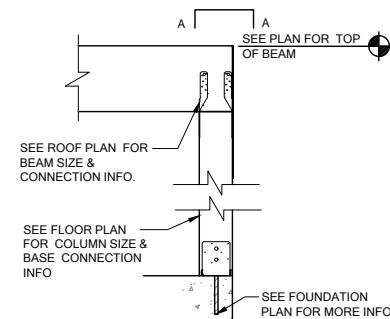
TB05 REQUIRED MIN. PERMANENT TRUSS BRACING PLAN
SCALE: N.T.S.



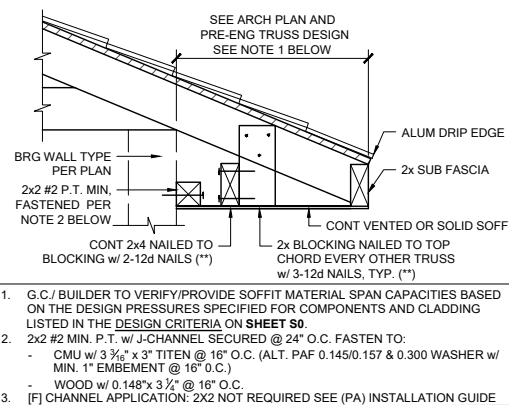
GE05 GABLE END BRACE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



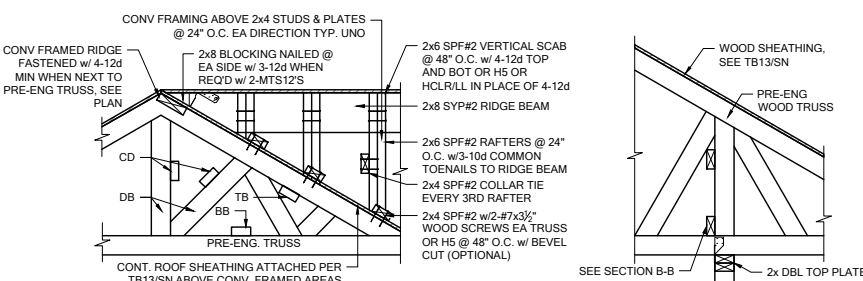
A COMMON BM. TO POST ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



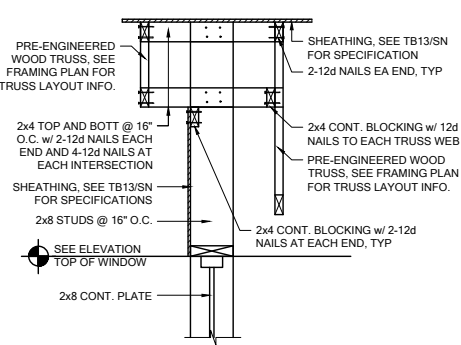
CD11 COMMON BM. ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



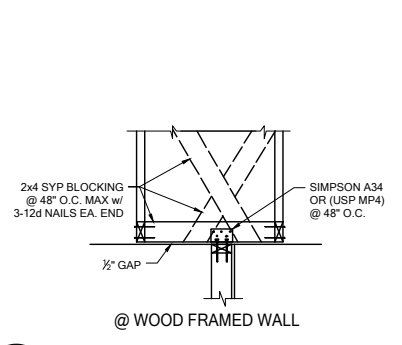
SF01 STRUCTURAL SOFFIT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17
NOT REQUIRED. VINYL SOFFITS >1'-0" SHALL HAVE MID BLOCKING PER R704.2.1
REFER TO THE PRODUCT APPROVAL FOR INSTALLATION DETAILS.



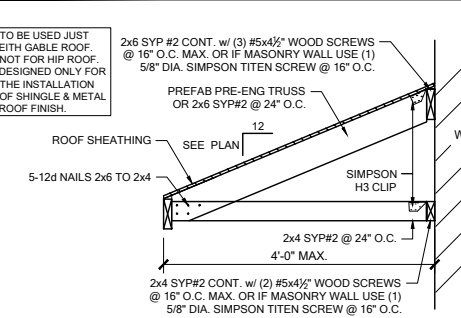
TB06 BLOCKING/CONV. FRAME DETAILS
SCALE: 1/2" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



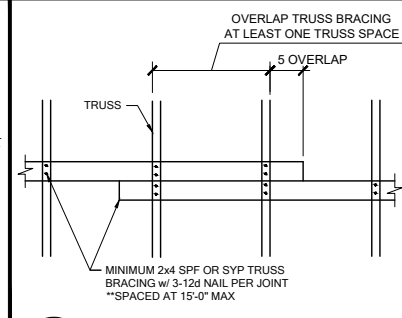
WF27 KNEEWALL @ ENTRY
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



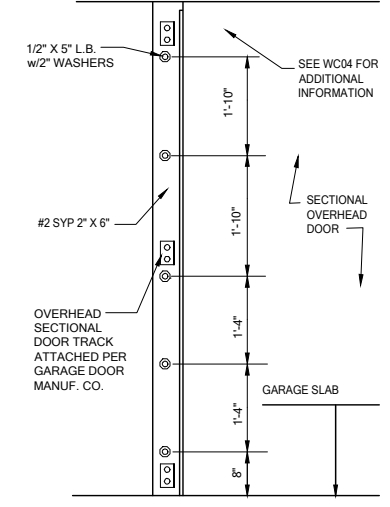
TB15 NON-BEARING EXTERIOR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



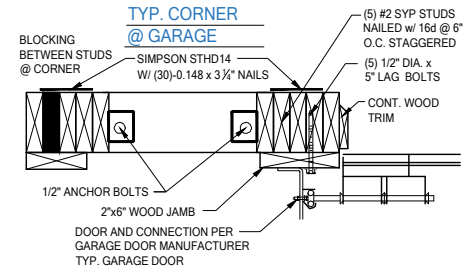
SR01 SHED ROOF CONNECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



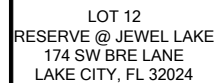
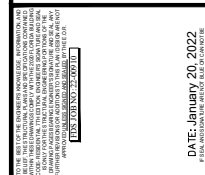
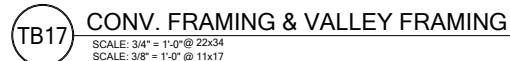
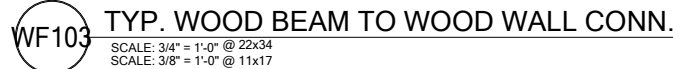
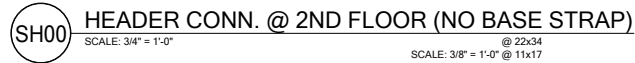
TB04 TRUSS BRACING OVER LAP
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WC05 SECT. OVERHEAD GAR. DOOR INSTALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



TYP. CORNER @ GARAGE



PLAN
NUMBER:
33811607

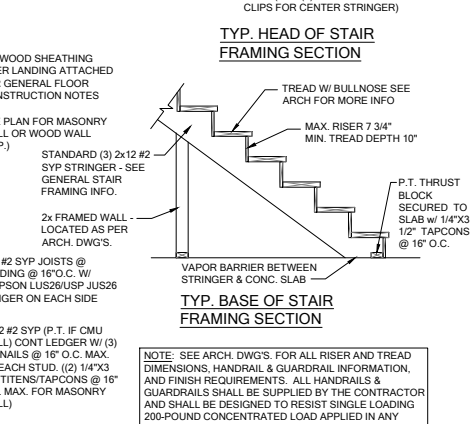
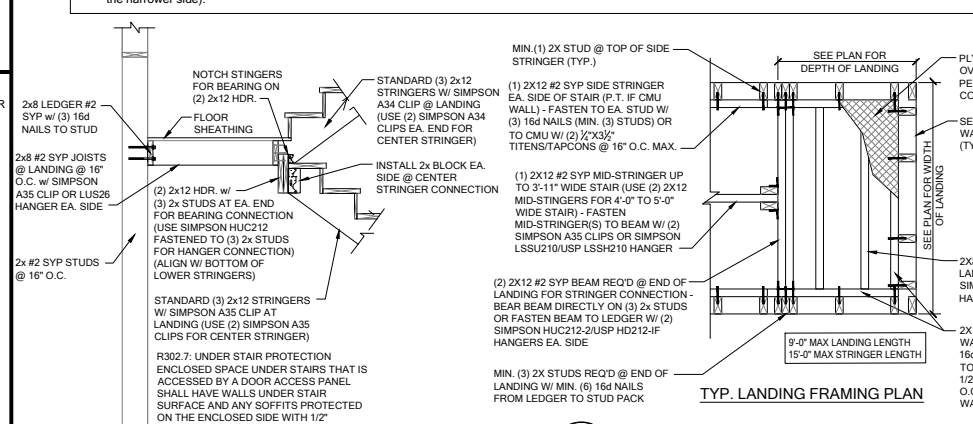
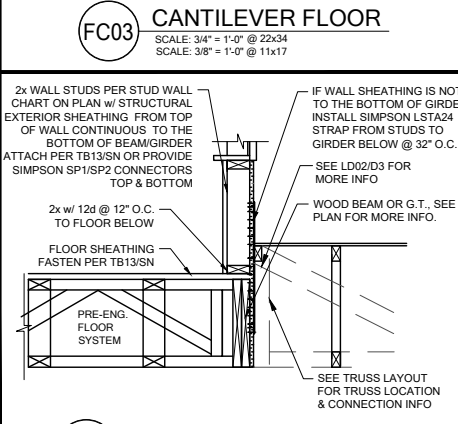
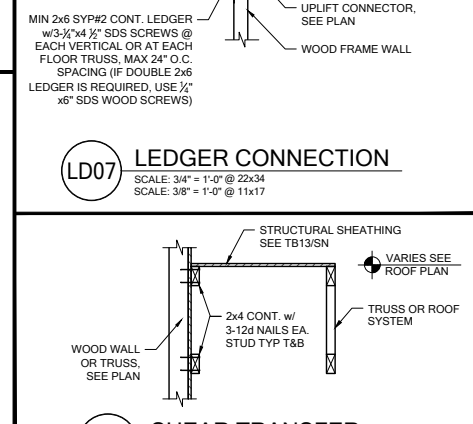
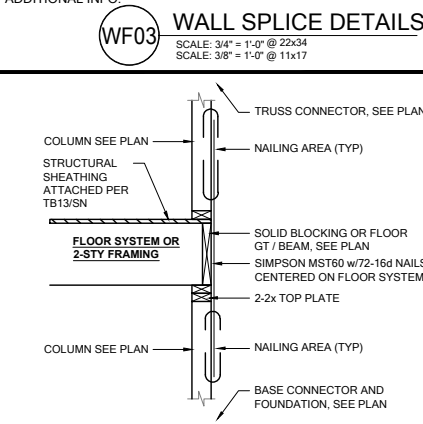
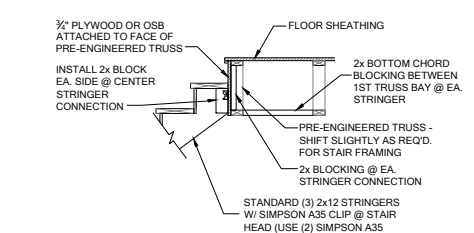
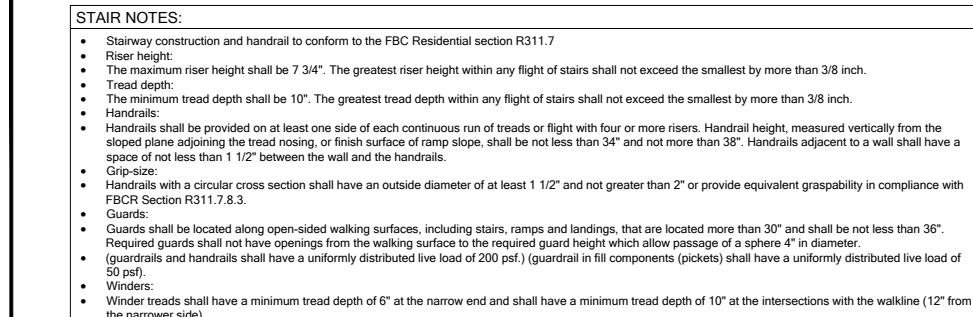
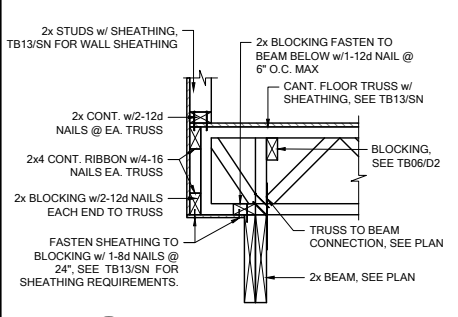
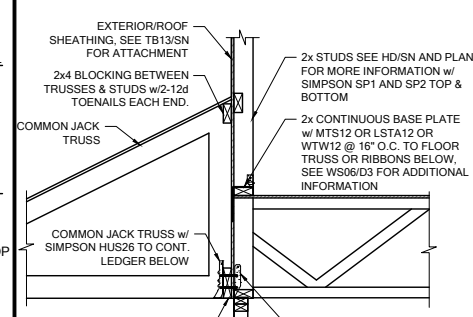
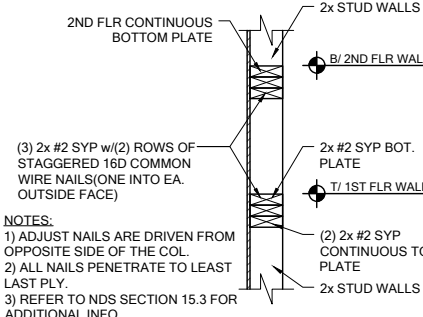
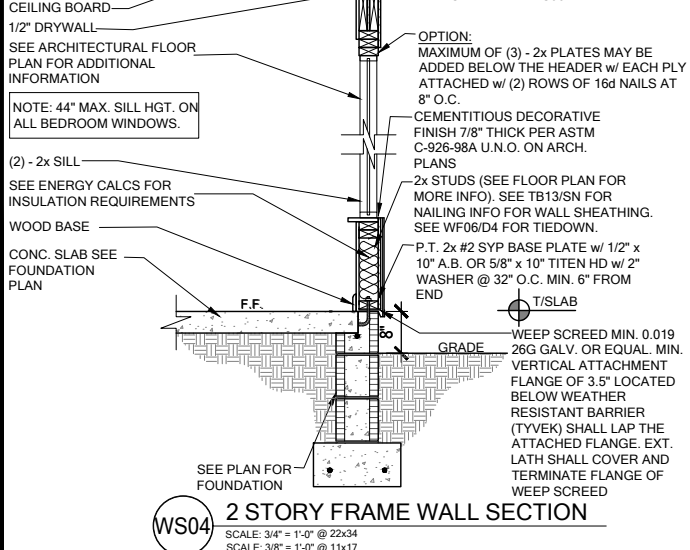
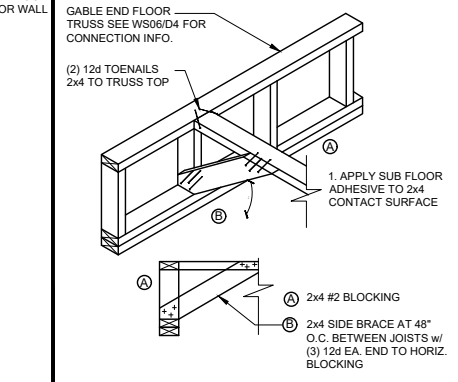
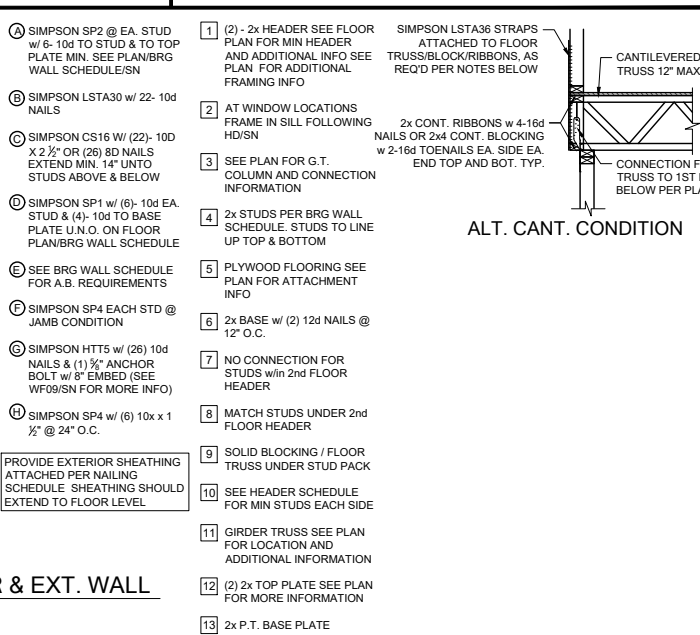
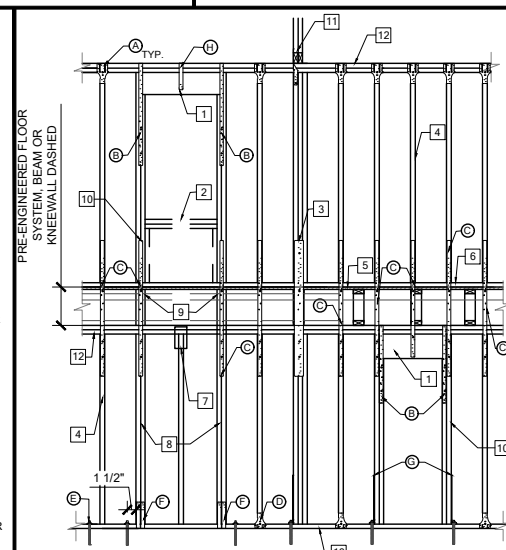
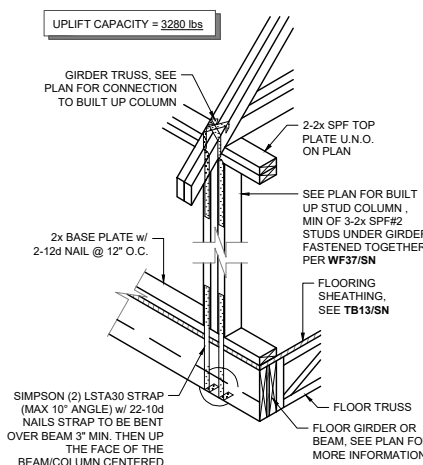
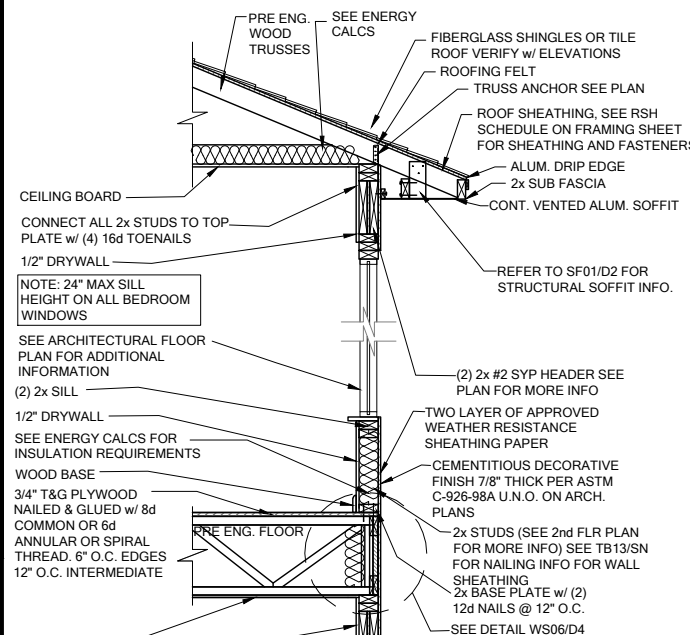
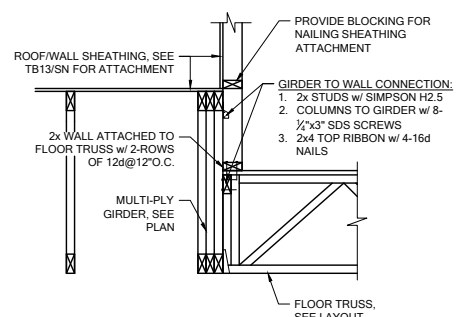
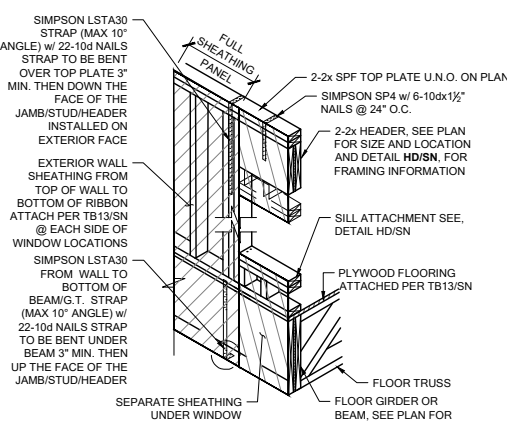
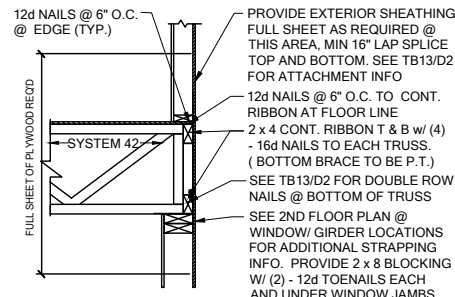
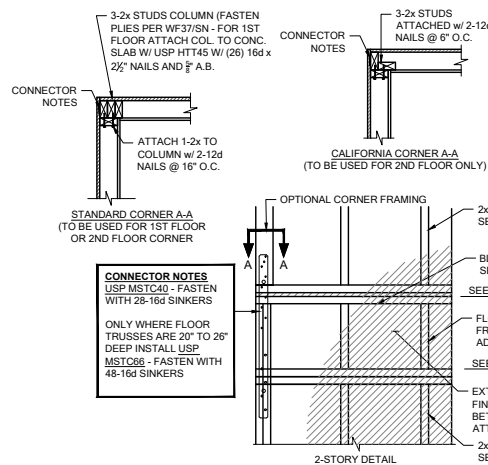
RELEASE
DATE:
08.03.2020

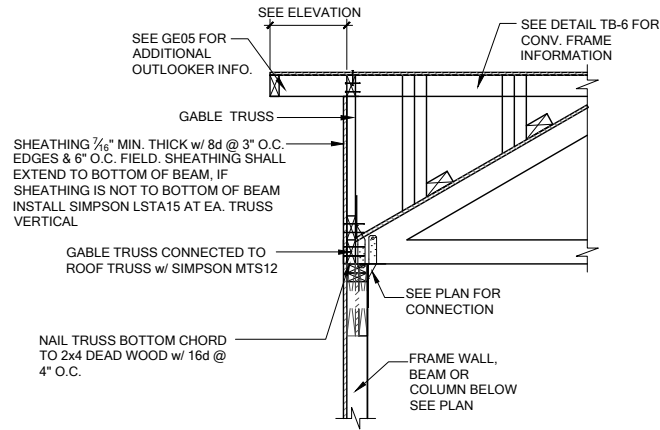
MODEL: COVINGTON

DRAWING TITLE: FLOOR FRAMING D

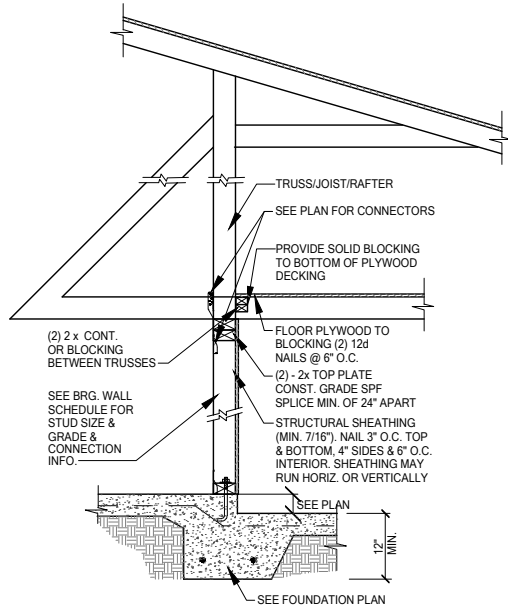
SHEET
NO:

D3

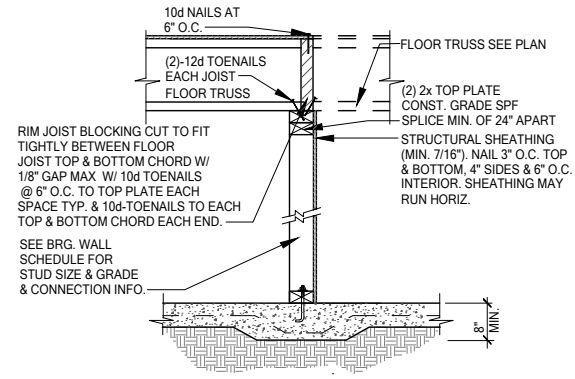




GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

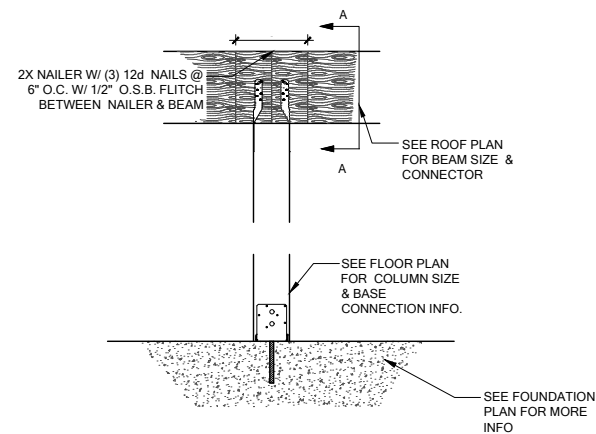
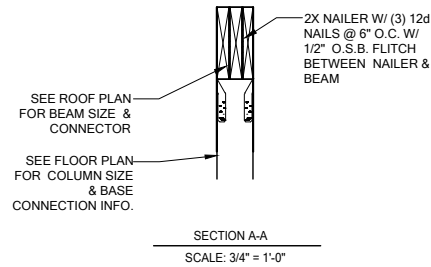


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17