District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy





VIA ELECTRONIC MAIL

Board of County Commissioners • Columbia County

March 2, 2020

Adam Collins, P.E.
Adam Collins Engineering, Inc.
P.O. Box 1221
Live Oak, FL 32064

Re: SE 0613 "Hall – Ag Equipment Sales"
Determination Letter

Dear Mr. Collins,

At the February 27, 2020 Board of Adjustment ("Board") hearing, the Board approved your application for a Special Exception for the sale of agricultural equipment as a heavy equipment and machinery sales use as permitted in Section 4.5.7 of the County's Land Development Regulations ("LDRs") in accordance with Section 12.2 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period for all Special Exceptions. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA SE 0613.

If you have any questions, please do not hesitate to contact me at bstubbs@columbiacountyfla.com or (386) 754-7119.

Sincerely,

Brandon M. Stubbs

Community Development Coordinator Land Development Regulation Admin.

V. M. Sal

RESOLUTION NO. BA SE 0613

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.5.7 OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR THE SALE OF AGRICULTRUAL EQUIPMENT AS A HEAVY EQUIPMENT AND MACHINERY SALE USE WITHIN THE AGRICULTURE-3 ("A-3") ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets:
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;

- (h) The proposed use will not adversely affect property values in the adjacent areas;
- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0613, by Adam Collins, P.E. of Adam Collins Engineering, Inc., agent for Lois E. Pearce, owner, to request a special exception be granted as provided for in Section 4.5.7(4) of the Land Development Regulations to allow for the sale of agricultural equipment as a heavy equipment and machinery sales use in an Agriculture-3 ("A-3") Zone District. The special exception has been filed in accordance with a site plan dated January 21, 2020 and submitted as part of a petition dated January 21, 2020, to be located on property described, as follows:

BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT-OF-WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87°29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01°58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87°29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41; THENCE S 33°35'00" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING.

CONTAINING 6.03 ACRES, MORE OR LESS

Tax Parcel Number 21-4s-17-08637-000

<u>Section 2</u>. The Planning and Zoning Board, hereby approves the above referenced special exception subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A". If compliance with any of the conditions of special exception causes substantial deviation in the approved site plan, the applicant shall be required to submit a new special exception application and receive Planning & Zoning Board approval in accordance with the Land Development Regulations.

<u>Section 3</u>. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

<u>Section 4</u>. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

<u>Section 5</u>. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

<u>Section 6</u>. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

<u>Section 7</u>. This resolution shall become effective upon adoption.

PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 27th day of February 2020.

Attest:

BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA

Brandon M. Stubbs, Secretary to the

Board of Adjustment

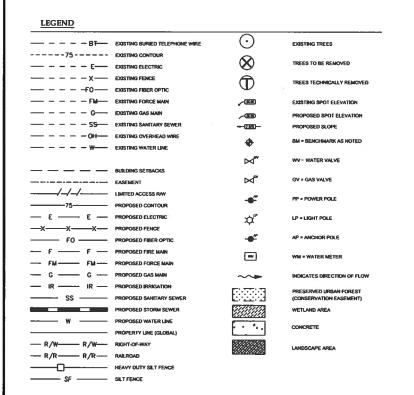


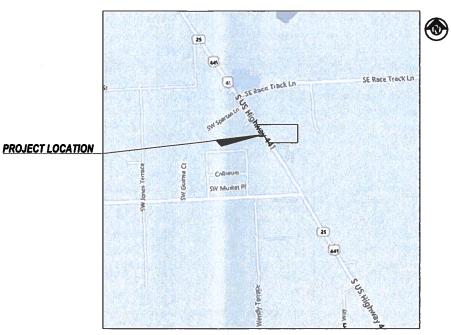
ADDDEVIATIONS

HALL'S INDUSTRIAL PARK

ADDRESS: NONE PARCEL ID: 21-04S-17E-08637.000 ZONING: A-3







LOCATION MAP

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PLANS PREPARED FOR:

LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040

PLANS PREPARED BY:



ADAM COLLINS ENGINEERING, INC.

12558 BASS ROAD, LIVE OAK, FLORIDA 32060
P: 386.320.7400 F: 850.807.7309

WWW.COLLINSENG.COM

CERTIFICATE OF AUTHORIZATION: 31728

SHEET INDEX SHEET # SHEET DESCRIPTION G-100 COVER G-101 **GENERAL NOTES** C-100 **EXISTING CONDITIONS PLAN EROSION CONTROL PLAN AND DETAILS** C-200 SITE PLAN AND SWMF DETAILS C-300 **GEOMETRY AND GRADING** C-400 C-500 **MISCELLANEOUS DETAILS** FDOT DRIVEWAY CONNECTION DETAILS C-600 LANDSCAPING PLAN AND DETAILS L-100

OWNER, ENGINEER, SURVEYOR

OWNER:

LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040

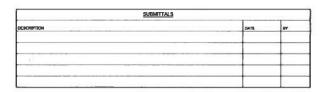
ENGINEER OF RECORD:

ADAM COLLINS ENGINEERING, INC. 12558 BASS ROAD

LIVE OAK, FL 32060 PHONE: 386-320-7400 EMAIL: adam@collinseng.com

SURVEYOR OF RECORD:

DANIEL & GORE, LLC 426 SW COMMERCE DRIVE LAKE CITY, FL 32025 PHONE: 386-752-9019 FAX: 904-339-9229



CONSTRUCTION DOCUMENTS

ENGINEER OF RECORD:

ADAM T. COLLINS FLORIDA P.E. REGISTRATION NO.75584 Date: 2020.01.29

GENERAL NOTES

- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IN THESE PLANS WAS TAKEN FROM A TOPOGRAPHIC/BOUNDARY SURVEY PERFORMED BY DANIEL AND GORE, LLC., AND DATED MAY 28, 2019. ELEVATIONS AND CONTOURS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1986 (NAVO88).
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON SITE, DISTING BENCHMARKS SO-EDULED FOR REMOVAL SHALL BE RELOCATED BY MAINTAINING, OR BENCHMARKS WITHEN THE PROJECT SITE SHALL BE PROTECTED THROUGHOUT CONSTRUCTION, AND IF DISTURBED DURING CONSTRUCTION, SHALL BE RE-ESTABLISHED BY A LICENSED SURVEYOR.
- A PRE-CONSTRUCTION MEETING IS REQUIRED, THE CONTRACTOR, ENGINEER OF RECORD, AND OWNER SHALL MEET PRIOR TO THE COMMENCEMENT OF ANY CLEARING OR CONSTRUCTION ACTIVITIES.
- ANY CHANGE ORDER REQUESTS, ALTERATIONS TO THE CONTRACT DOCUMENTS, OR PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO BEING BMYLEMENTED.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL ESTABLISH A STAGING AREA, WITH REVIEW AND APPROVAL BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS PRIOR TO CONSTRUCTION. IT CONTRACTOR IS ALSO RESPONSIBLE FOR RECOMING FOR THE CONTRACTOR IS ALSO RESPONSIBLE FOR RECOMING FOR THE CONTRACTOR IS A STATE AND STATE OF THE PROPERTY OF THE PROP
- THESE PLANS DEPICT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE ENGNEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS PROMATION, THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT THE CONTRACTOR SHALL NOTIFY THE ENGNEER AND THE OWNER MANE DATE OF THE PROJECT OF THE PROJECT AND THE OWNER DATE OF THE PROJECT OF THE PROJEC
- OF THE ONGOING CONTINUE.

 4 HOURS PRIVED TO ANY CLEARING OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CALL SURSHIBHESH TO HAVE THE LOCATIONS OF EXISTING UTILITIES MARKED IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE. FOR INDIFFERENT REVANDOUS UTILITY OWNERSPROVINGES OF CONSTRUCTION ACTIVITY, FOR MARKING OF CONCRIDENT OF CONTRACTOR OF CONTRACTOR OF CONTRACTOR OF CONTRACTOR OF CONTRACTOR SHALL FREE DIVERSY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY CLEARING OR CONSTRUCTION ACTIVITY. AND SHALL NOTIFY THE ENGINEER MARKEDATELY IF CONFIDENCE IS BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
- ALL EGISTING UTILITIES NOT MARKED FOR DEMOLITION OR RELOCATION SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CANNON IN AREAS WITH BURBED UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPARKED BY THE CONTRACTOR ON UTILITY OWNER/PROVIDER AT NO COST TO THE OWNER, ANY DELAYS CAUSED BY UTILITY RELOCATION OR REPARA ARE INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- 10. THE CONTRACTOR IS ENCOURAGED TO VISIT THE SITE AND BECOME FAMILIAR WITH THE PROJECT PRIOR TO BIDDING.
- If is the sole responsibility of the contractor to comply with all applicable safety regulations. All work performed small comply with the regulations and ordinances of the agenciesaminicipalities having jurisdiction over this project.
- ANY PUBLIC OR PRIVATE PROPERTY DAMAGED DURING CONSTRUCTION SHALL BE RESTORED OR REPAIRED TO MATCH PRE-CONSTRUCTION CONDITIONS BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS NOT OTHERWISE CONCRETE BY ALVAND, SHALL DRIVEN, OR LANDSCAPING TO MAYOU FRE-CONSTRUCTION CONDITIONS, SPECIALLY, OR LANDSCAPING TO MAYOU FRE-CONSTRUCTION CONDITIONS, APPLY SOO, GEED, OR MALGO AS MEZDED TO PREVENT EROSON, SOODING AMDIOR SEEDING OPERATIONS SHALL BE PREFORMED IN ACCORDANCE WITH SECTION 570 OF THE FORD 3 TANDARDS SECRETATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PIN SOO ON ALL SLOPES 3:1 OR GREATER.
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- 18. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF AN APPROVED TESTING LABORATORY OR GEOTECHNICAL ENGINEER FOR ALL TESTING REQUIRED BY THE REGLATORY AGENCIES WITH JURISDICTION OVER THIS PROJECT, AND AS FOLIND IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL VERIFY ALL TESTING WITH THE COMERA PROVIDED TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TESTING SCHEDULES WITH THE TESTING WITH THE ADMENT ABOUND REQUIRED FOR PROVIDED THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TESTING SCHEDULES WITH THE TESTING LABORATORY ADDROVE. SPECIFICATIONS OF ELEMENTS IN THE PLANS NOT ADDRESSED IN REGULATORY AGENCY FURGING THE PROVINCE OF THE CONTRACTOR SHALL PRESENT AN ACCEPTABLE METHOD TO PROVE SAID SPECIFICATIONS AS A RESPONSIBLE FOR A THE PLANS NOT ADDRESSED ON THE CHARACTOR SHALL PRESENT AN ACCEPTABLE METHOD TO PROVE SAID SPECIFICATIONS AS A BLOW.
- . THE CONTRACTOR SHALL EMPLOY SILT FEMCES, NAY BALES, SYMLES, AMDOR OTHER NEITHOOD AS MEEDED TO CONTROL RETROSON AND SESSIBILITATION ON STELL INSTALL EROSION CONTROL MEASURES PROR TO ANY SITE CLEARING OR DEMOLITION, AND IN ACCORDINGT THE FLORING DEVELOPMENT MANUAL AND THESE CONTRACT DOCUMENTS, INSPECT EROSION CONTROL MEASURES DALLY AND REPAIR OR REPLACE FAILING, OMAMGED, OR MESSING COMPONENTS WITHING AND
- TREE BARRICADES AND SILT FENCES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY THE ENGINEER PRIOR TO ANY CLEARING, DEMOLITION, OR CONSTRUCTION ACTIVITIES.
- 9. UN-SUITABLE SOILS AND OTHER DELETERIOUS MATERIALS (MJOX, PEAT, BURIED DEBBIS, ETC.) SHALL BE EXCAVATED AS SHOWN IN THESE FLANS OR AS DIRECTED BY THE OWNER, ROMBRER OR SOIL TESTING LADORATIONY, DELETERIOUS MATERIALS AVE: TO BE STOCKPULD AND REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFILL MANNER, EXCAVATED AREAS ARE TO BE BACKFULLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THE PLANS OR IN ACCORDANCE WITH THE GEOTECHOROLA REPORT.
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- ALL PAVING DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWASE ON THE PLANS.
- THE GOVERNOR STANDARDS FOR THIS PROJECT ARE THE MOST CURRENT EDITIONS OF FOOT DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMERICAN CONCRETE INSTITUTE (CA), CURRENT COULINEA COUNTY UTILITY STANDARDS, AND THE CONTRACT DOCUMENTS, ALL CONSTRUCTION MATERIALS AND DETROOS SHALL CONFORM TO THE FOOT SPECIFICATIONS, AND ALL MATERIALS SHALL BE OBTAINED FROM AN FOOT APPROVICES DURCE.
- ALL HANDICAP RAMPS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITIONS.
- ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MULT.C.D., LATEST EDITION, AND FOOT STANDARDS, ALL STRIPING PLACED WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE TEMPORARY STRIPING JOURNAL LATES. STRIPING JONS LATER.
- CONFLICTS BETWEEN PLANS ANY AFOREMENTIONED STANDARDS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER O RECORD PRIOR TO CONSTRUCTING THE ELEMENTS CONTAINING CONFLICTS.

PAVING, GRADING, AND DRAINAGE NOTES

- A AREA OF OFF SITE DISCHARGE SHALL BE PROTECTED WITH SEDMENT BARRERS BUILT AND MANTAINED IN ACCORDANCE WITH THE FLORIDA DEVLOCHMENT MANUAL. SOO SHALL BE PACKED AS SOON AS POSSBALE ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON ALL SLOPES 3: 10 R GREATER. PIN SOO ON STEE PROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH A PERMANENT VEGETATIVE GROUND COVER AT THE END OF EACH WORK DAY. THE CONTRACTOR SUALL DEFECT THE EROSION, SEDBLEMTATION AND TURBIDITY CONTROL MEASURES, AND MANEA. MY REPARAS NECESSARY 10 MANIFAR HITE SYSTEM IN GOOD ONGORNO GORDER.
- ALL DRAINAGE PILET STRUCTURES AND PIPES SHALL BE PROTECTED FROM SEDMENTATION BY CONSTRUCTING OR INSTALLING MELT PROTECTION AS SHOWN IN THESE PLANS OR THE FOOT STAMMADE INDUCES. IF SEDMENTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SEDMENT AT NO COST 10 THE OWNER.
- C. INSTALL PERMANENT VEGETATIVE GROUND COVERS OR SOD AS SHOWN ON THE LANDSCAPE PLANS TO STABLIZE FINE GRADED AREAS AS SOOM AS POSSIBLE. TEMPORANY SEEDING AND MUCHANG MAY BE EMPLOYED TO PREVENT EROSON LATTIL PERMANENT VEGETATION CAN BE INSTALLED. SEE LANDSCAPE PLANS FOR DETALLED PLANTING HOROMATION.
- O PIN SOO ON ALL SLOPES 3.1 OR GREATER
- E. THE EROSION, SEDIMENTATION, AND TURBIDITY CONTROL MEASURES DESCRIBED ABOVE ARE THE MINIMUM REQUIRED. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING UPON ACTUAL SITE CONDITIONS.
- F. REMOVE ALL EROSION, SEDIMENTATION, AND TURBIDITY CONTROLS AFTER THE FINAL INSPECTION
- CONTRACTOR SHALL SUBMET SHOP DRAWINGS FOR ALL PRECAST AND MANUFACTURED TIBLE TO BE USED ON BITE TO THE OWNER AND ENGINEER FOR MANUFACTURED TIBLE TO BE USED ON BITE TO THE OWNER AND ENGINEER FOR MAY RESULT IN THE RESIDORA, AND REPLACEMENT OF THESE TIBLES AT LIATION MAY RESULT IN THE RESIDORA, AND REPLACEMENT OF THESE TIBLES AT THE CONTRACTOR SUPPLIES. APPROVAL OF SHOP DRAWINGS BY THE ENGINEER DOES NOT RESERVED THE CONTRACTOR OF RESPONDED BY FOR THE PROGRAMMED.
- THE COST OF COMPACTION TESTING AND ALL OTHER REQUIRED TESTING SHALL BE PAID BY THE CONTRACTOR. TEST RESULTS SHALL BE MADE AVAILABLE TO THE ENGINEER DURING SITE INSPECTIONS.
- 5. 48 HOURS IN ADVANCE OF BACKFILLING TRENCHES OR LAYING ASPHALT OR CONCRETE. THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER OF RECORD TO SCHEDULE FIELD INSPECTIONS.
- AS DETERMINED NECESSARY AND AS DIRECTED BY THE ENGINEER OF RECORD OR RECORD AND AGENCY. THE CONTRACTOR SHALL UNDERCOLT ALL VISSUITABLE SOILS AND AND ASSESSED LIBERDOX BASES, DAOFFLL SOILS SHALL SHAL
- PROVIDE A LEVEL SURFACE IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE OR LANDING ON BOTH SIDES OF ANY DOOR SHALL BE LEVEL, AT A COMMON ELEVATION. THE LEVEL SURFACE SHALL EXTERN FROM THE DOOR. THE CLOSED POSITION A DISTANCE EQUAL. TO THE WIDTH OF THE DOOR, THE LEVEL SURFACE OR LANDING ON BOTH SEEDS OF ANY DOOR SHALL COMMETY WITH SECTION 4.13.5 (AMARUSERING CLEARANCES AT DOORS) OF THE FLORIDA ACCESSIBILITY CODE FOR BULLIONG CONSTRUCTION.
- 8. RAMPS SHALL HAVE A LEVEL LANDING AT THE TOP AND BOTTOM OF EACH RAMP RUN, AND SHALL MEET THE FOLLOWING CRITERIA:
- A. LANDINGS SHALL BE AT LEAST AS WIDE AS THE RAMP RUNS LEADING TO THEM.
- B. LANDINGS SHALL HAVE AT LEAST 60° OF CLEARANCE,
- C. THE BOTTOM LANDING OF EACH RAMP RUN SHALL HAVE AT LEAST 72" OF STRAIGHT AND LEVEL CLEARANCE; D. IF RAMP RUNS CHANGE DIRECTION AT A LANDING, THE MINIMUM LANDING SIZE SHALL BE 60'x50';
- E. IF A RAMP RUN HAS A RISE GREATER THAN 6°, OR IS GREATER THAN 72° IN LENGTH, THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL BE SHOWN ON THE PLANS,
- F. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS OR HANDRAILS.
- THE CONTRACTOR SHALL STORE CONSTRUCTION MATERIALS AND EOUPMENT IN A DESIGNATED STAGING AREA APPROVED BY THE OWNER AND ENGINEER EROSION CONTROL MEASURES SHALL BE BUPLEMENTED TO PREVENT EROSION OF STOOCHPLED MATERIALS.
- 10. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM.
- 11. ALL EXISTING WELLS, CLEAHOUTS, MANHOLE TOPS, VALVE AND PULL BOX COVERS, AND OTHER EXISTING UTILITY COMPONENTS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION, AND SHALL HAVE THEIR TOPS ADJUSTED TO MATCH FRISHED GRADES.
- SAW CUT, TACK, AND MATCH EXISTING PAVEMENT ELEVATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- 13. PLACE SOD AROUND ALL STRUCTURES IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 281.
- ALL CONCRETE STRUCTURES SHALL HAVE A CLASS I SURFACE FINISH, AND ALL EXPOSED EDGES SHALL BE CHAMFERED 34*.
- 15. ALL HOPE FITTINGS AND CONNECTORS SHALL BE SOIL TIGHT.
- 18. REFER TO GEOTECH NICAL REPORT PERFORMED BY CAL-TECH

RESPONSE TO STRUCTURAL FAILURES OR KARST FEATURES

- 1. IF, DURING CONSTRUCTION OR OPERATION OF THE STORMANTER MANAGEMENT FACULTIES), A STRUCTURAL FALURE OR KARST FEATURE IS ENCOUNTREED WHICH HAS THE POTENTIAL TO ALLOW THE DRIECT DISCUARGE OF STORMANTER HITO THE FLORIDAM AQUIFER, ALL CONSTRUCTION ACTIVITIES SHALL STOP IMMEDIATELY. THE ENGINEER OF RECORD, THE WATER MANAGEMENT DISTRICT, THE CITY/COUNTY PURIC WORKS DEPARTMENT, AND THE OWNER SHALL BE MOTIFIED PRIOR TO ANY REMEDIAL ACTIVITIES.
- THE STRUCTURAL FAILURE/MARST FEATURE SHALL BE ISOLATED BY CREATING A BERM A MINIMUM OF 2 FEET IN HEIGHT AROUND THE FEATURE TO PREVENT THE DISCHARGE OF STORMMATER INTO THE FEATURE.
- A LICENSED GEOTECHNICAL ENGINEER SHALL BE RETAINED TO EVALUATE THE SIGNIFICANCE OF THE FEATURE, AND TO DETERMINE THE REMEDIAL ACTIONS NECESSARY.
- 4. THE GEOTECHNICAL ENGINEER SHALL BE REQUIRED TO MONITOR THE REMEDIAL WORK, AND, UPON COMPLETION OF THE WORK, TO SEND A SUMMARY REPORT TO THE ENGINEER, THE WATER MANAGEMENT DISTRICT, AND THE CITY/COUNTY PUBLIC WORKS DE
- 5. NO CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE WATER MANAGEMENT DISTRICT PROVIDES NOTICE THAT CONSTRUCTION MAY RESUME.

ARBORICULTURAL MITIGATION REQUIREMENTS

THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A LANDSCAPE ARCHITECT OR CERTIFIED ARROBIST TO ASSIST IN TREE MITIGATION ACTIVITIES

ROOT PRUNING

ROOT PRUMENS SHALL OCCUR PRIOR TO SITE CLEARING OR EXCAVATION IN ALL AREAS WHERE CEMALITION OR NEW CONSTRUCTION REQUIRES REJACIVAL OF EXISTING ROOTS. AN HERE CEMALITION OR NEW CONSTRUCTION REQUIRES REJACIVAL OF EXISTING ROOTS. AND HERE THE LANGSCAPE ARE SHITECT OR CERTIFIED ARBORIST. FROM PRUMING SHALL OCCUR AS FAR IN ADVANCE OF SITE CLEARING OR EXCAVATION CONSTRUCTION AS POSSIBLE. ROOTS SHALL BE CLEARLY CUIT WITH A MECHANICAL DEVICE SMILLAR TO A FROOT SAMY TO A MERICAN DEPTH OF 18". WHERE THIS IS NOT DOSSIBLE, AND TO A SHALL BE CONTESTED AND THE SHALL SPECIFICATION OF THE SHALL SP

FERTILIZATION FOLLOWING ROOT PRUNING

FERTILIZATION SHALL CONSIST OF A SURFACE APPLICATION OF A SLOW RELEASE GRAMALAR FERTILIZER FOR TREES, WHICH SHALL BE SPREAD AT THE REST. RECOMMENDED BY THE MAMPLACTURER. TREES THAT ARE TO REMAIN ON SITE THAT MAYE NOT OR WILL NOT BE MAPACTED SHOULD RECEIVE A FERTILIZER MICHI IN HTROGE THE TREES THAT ARE THAT BE APPACTED. PRUNED, OR TROMBED DUFFING CONSTRUCTION SHALL RECEIVE A COMPLETE FERTILIZER LOW IN INTROGEN AND INGH IN PHOSPHORUS AND POT ASH (POT ASSEMIL) RECOME MAKEN THE MEDICAL PROPERTY AND PROTASHING PARTIS AND MICHIGAN BY AMERICAN MICHIGAN BY AMERICAN MICHIGAN BY AND MICHIGAN BY AMERICAN B

WATERING

FOLLOWING ROOT PRUNING AND THROUGH SUBSTANTIAL COMPLETION OF THE PROJECT, ALL PROTECTED TREES SHALL BE WATERED BY MECHANICAL RINGATION OR MANUALLY AT A RATE EGUIVALED IT TO 10° OF WATER PER WEEK. WATERING SHALL BE ADJUSTED AS REQUIRED BY WEATHER CONDITIONS, PROVIDE APPRIOVED RAIN GAUGES ON SITE AS REQUIRED BY WEATHER CONDITIONS, PROVIDE APPRIOVED RAIN GAUGES ON SITE AS REQUIRED FOR VERDICATION OF APPLICATION RATE.

PRUNING

PERFORM A CLASS BIMEDIUM PRIMING AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION FOR ALL OF THE ROBLACKED TRIESE, PRIMING SHALL BE PERFORMED BY A SECURITY OF THE ROBLACKED BY A SECURITY OF THE PRIMING SHALL BE PERFORMED BY A STANDARDS AND AS DIRECTED ON SITE BY THE AUGSOCIATE AND RETIET OF CERTIFIED ARBORIST, MEDIUM PRIMING SHALL CONNEST OF THE REMOVAL OF DEAD, DYING, DISEASED, INTERFERENC, OR OLGETIONABLE AND WEAK PRANCHES OF THE MAIN TRUNGS, AS WELL AS TROSE WITHOUT THE LEAF AREA. REMOVE SPANISH MOSS AND VINES TO THE CENTENT FORSISTS.

TREE PROTECTION

IREE PROTECTION

THESE PROTECTION BANGWARES ON FENCING SHALL BE LOCATED AT THE CRITICAL PROTECTION ADMEDITY WHERE PROSESSE E ON AS INDICATED ON THE FLAST SIMPLY PROTECTION ADMEDITY OF A STANDARD ON THE FLAST SIMPLY PROTECTION ADMEDITY OF A STANDARD ON THE FLAST SIMPLY PROTECTION AND THE PROPERTY OF A STANDARD ON A STANDARD

IT IS IMPORTANT FOR THE EQUIPMENT OPERATORS, CONTRACTOR'S PERSONNEL, AND SUBCONTRACTORS TO UNDERSTAND THAT DAMAGE TO TREES WILL NOT BE TOLERATED. EXTREME CARE MUST BE TAKEN TO PROTECT EXPOSED ROOT COLLARS FROM VEHICULAR DAMAGE AND FALLING DEBRIS.

SITE MONITORING

ALL TREE PROTECTION PROCEDURES AND ACTIVITIES SHALL BE MONITORED AND APPROVED THROUGHOUT THE DURATION OF CONSTRUCTION BY THE LANGLAGE ARCHITECT, ENGINEER OF RECORD, QUALIFIED CITY/COUNTY PERSONNEL, OR CERTIFIED

SPILL CONTROL PRACTICES

- 1. A SPILL PREVENTION PLAN WILL BE PREPARED BY THE CONTRACTOR, AND KEPT ON SITE AT ALL TIMES. THIS PLAN WILL INCLUDE MEASURES TO PREVENT SPILLS FROM OCCURRING, AND METHODS FOR CLEANING UP ANY SPILLS THAT DO OCCUR. IT WILL ALSO CONTRAN SPILL RESPONSE REPORTING FORMS, WHICH SPILL DUE DE DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANING MEASURES TAKED.
- 2. THE SITE SUPERINTENDENT WILL BE THE SPILL PREVENTION AND CLEANIP COCKRIGHTON, HE WILL DESIGNATE OTHER SITE PERCONNEL TO RECEIVE SPILL RESPONSIBLE FOR A PARTICIDAR PHASE OF SPILL PREVENTION AND CLEANIP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE STAGING AREA AND KEPT WITH THE SITE SUPERINTENDENT ON SITE AT ALL THE STAGING AREA AND KEPT WITH THE SITE SUPERINTENDENT ON SITE AT ALL THEST.
- , MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE PERSONNEL WILL BE MADE AWARE OF THE SPILL PREVENTION AND CLEANUP PROCEDURES AND SUPPLIES, AND THE LOCATION OF THE SPILL CLEANUP
- 4. ALL SPILLS WILL BE CLEANED UP DIMEDIATELY AFTER DISCOVERY A SPILL RESPONSE REPORT WILL BE COMPLETED BIMEDIATELY AFTER CLEAN UP OPERATIONS HAVE BEEN COMPLETED. ALL SPILLS AND RESPONSES WILL BE REPORTED TO THE APPROPRIATE REGULATORY AGENCY BY A TIMELY MANNER;
- 5. PERSONNEL INVOLVED IN CLEANUP OPERATIONS WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS
- SUBSTANCES.

 IT HE USE AND CHARACTERISTICS OF FUEL OR CHEMICAL STORAGE TAMIS ON SITE SHALL COMPLY WITH ALL RELATED FEBERAL. STATE, AND LOCAL REGULATIONS. STORAGE TAMIS MUST BE LOCATED AS FAR A POSSIBLE FROM ANY DRAINAGE STRUCTURES, OFFICES, OR SURFACE WATERS, IN ADDITION, THE CONTRACTOR MUST PROVIDE A SCOOMARY CONTAINABERT VISES. WITH A LIRRO FEDERALLY WESISTANT VISUAL STATES AND A PROVIDED AS THE CONTRACT OF STATES AND A PROVIDED AS THE TOTAL CAPACITY OF HES STORAGE TAMIS BEING MUST. THE CONTRACTOR SHALL PROVIDE DAILY INSPECTION LOG FOR THE SECONDARY CONTAINABENT VESSEL, WITH A PROVIDED OF DAILY BASE STATES AND A PROVIDED AS THE TOTAL CAPACITY OF GATE INSPECTIONS MANUE, AND INSPECTION REPORT, ANY CONTAINABATION SHALL BE BAMEDIATELY CONTAINED, AND THE CITY INSPECTIOR MUST BE NOTIFIED OF THE INTERVENCE AND EXCITED THE CONTAINED AND THE CITY INSPECTIOR MUST.

ADA COMPLIANCE

THE CONTRACTOR WILL BE HELD ACCOUNTABLE FOR COMPLIANCE WITH THE LATEST EDITION OF THE FLOREDA ACCESSIBILITY CODE FOR BILDING CONSTRUCTION FOR ALL FRAMEWORD CONSTRUCTION FOR ALL FRAMEWORD FOR ALL FRAMEWORD FOR THE CONTRACTOR WILL BE REQUIRED TO ADDITION FOR CONTRACTOR FOR THE PROPERTY OF THE CONTRACTOR FOR THE PROPERTY OF THE CONTRACTOR FOR THE CONTRACTO

- 1. H/C PARKING SPACE(S) SHALL BE 12' WIDE, WITH WHITE STRIPED OUTER LINES, AND BLUE STRIPED BANER LINES.
- HIC PARKING SPACE(S) AND ACCESS AISLE(S) SHALL BE LEVEL (NOT TO EXCEED 1:50 SLOPE IN ANY DIRECTION.)
- ACCESS AISLE(S) SHALL BE 5' WIDE, WITH REQUIRED DIAGONAL STRIPING IN APPROVED BLUE MARKING PAINT.
- CURB RAMP SLOPES SHALL NOT EXCEED 1 12 IN ANY DIRECTION. RAMP SIDE SLOPES SHALL NOT EXCEED 1.12.
- 5. CURB RAMPS SHALL NOT ENCROACH UPON ACCESS AISLE(S)
- AN APPROVED HIC SIGN AT THE PROPER MOUNTING HEIGHT (7 FROM GRADE TO BOTTOM OF SIGN) IS REQUIRED FOR EACH HIC PARKING SPACE. THE SIGN(S) SHALL INDICATE THE \$250 FROM
- THE ACCESSIBLE ROUTE(S) TO THE "MAIN ENTRY" SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS ARE PROVIDED.) WITH CROSS SLOPES NOT TO EXCEED 1:50.
- B. THE ACCESSIBLE ROUTE(S) "CONNECTING ALL BUILDINGS" ON THE SAME SITE SHALL NOT EXCEED 120 SLOPE RINLESS RAMPS PROVIDED.) WITH CROSS SLOPES NOT TO
- THE ACCESSIBLE ROUTE(S) TO THE "PUBLIC WAY" SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS PROVIDED.) WITH CROSS SLOPES NOT TO EXCEED 1:50.
- 10. CODE COMPLIANT DETECTABLE WARNINGS ARE REQUIRED AT ALL VEHICULAR CROSSWALKS, AND AT LOCATIONS WHERE THE ACCESSIBLE ROUTE IS ADJACENT TO AND FLUSH WITH THE VEHICULAR WAY.

CONTRUCTION SEQUENCE

- 1. INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION BARRICADES.
- 2. PERFORM CLEARING AND GRUBBING OF THE PROJECT AREA.
- INSTALL IRRIGATION ELEMENTS AND VERIFY PROPER FUNCTIONING (DESIGN BY OTHERS).
- 4. CONSTRUCT BUILDING
- 5. CONSTRUCT PROPOSED PARKING.
- 6. INSTALL MOT AND CONSTRUCT DRIVEWAY IMPROVEMENTS.
- B. ANY CONSTRUCTION ACTIVITIES NOT EXPLICITLY STATED IN THIS SEQUENCE ARE FREE FROM ANTICIPATED CONFLICTS. IN THE EVENT A CONFLICT ARISES, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY, ANY DEVIATION FRO THE ABOVE SCHEDULE SHOULD BE DISCUSSED WITH THE ENGINEER.

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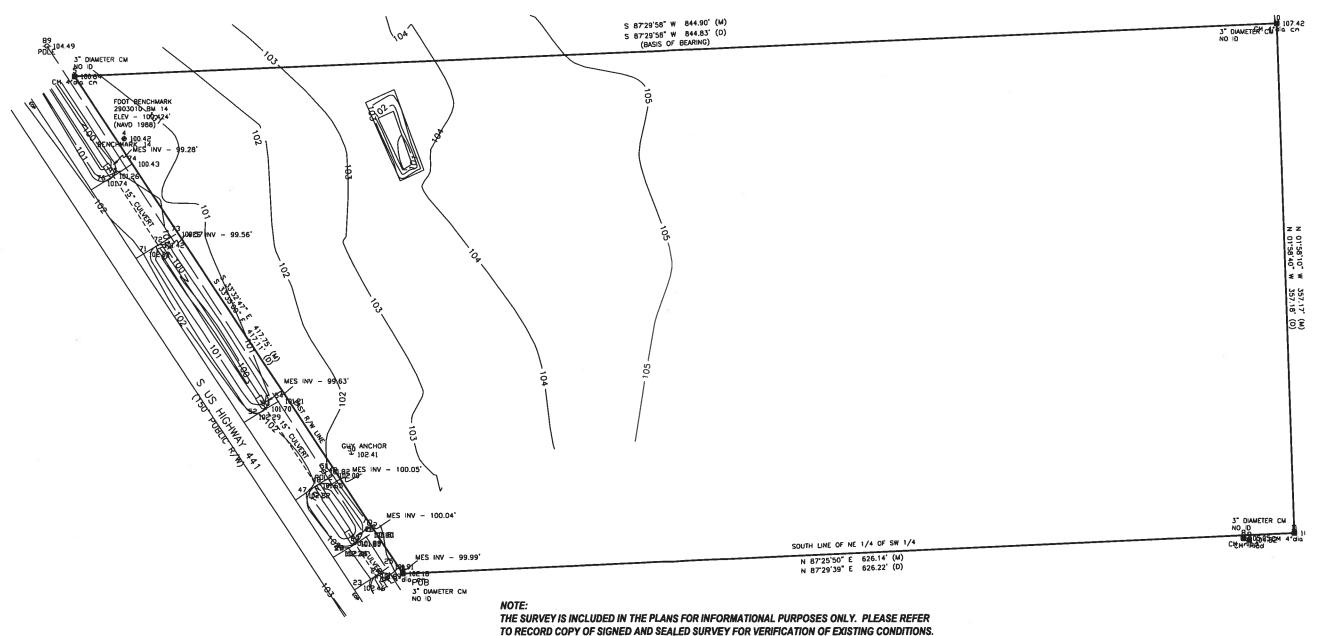
DANIEL & GORE, LLC

Professional Surveying and Mapping

P.O. BOX 1501 LAKE CITY, FL 32056 PH.: (386) 752-9019 Fax: (904) 339-9229 426 SW COMMERCE DRIVE SUITE 130-N LAKE CITY, FL 32025 Email: sdaniel@dgsurveying.com LICENSE NO. LB 7683

DESCRIPTION:

BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT—OF—WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT—OF—WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87'29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01'58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87'29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFOREMENTIONED EASTERLY RIGHT—OF—WAY LINE OF U.S. HIGHWAY 41; THENCE S 33'35'00" E, ALONG SAID EASTERLY RIGHT—OF—WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING. CONTAINS BY SURVEY 6.03 ACRES, MORE OR LESS.





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NDAM COLLINS

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HALL'S INDUSTRIAL PARK

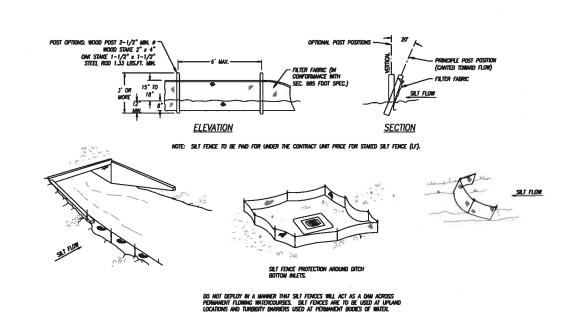
EXISTING CONDITIONS PLAN

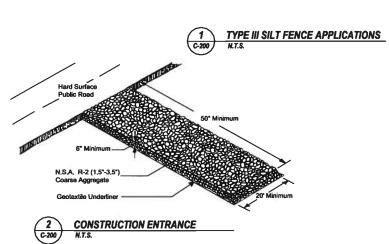
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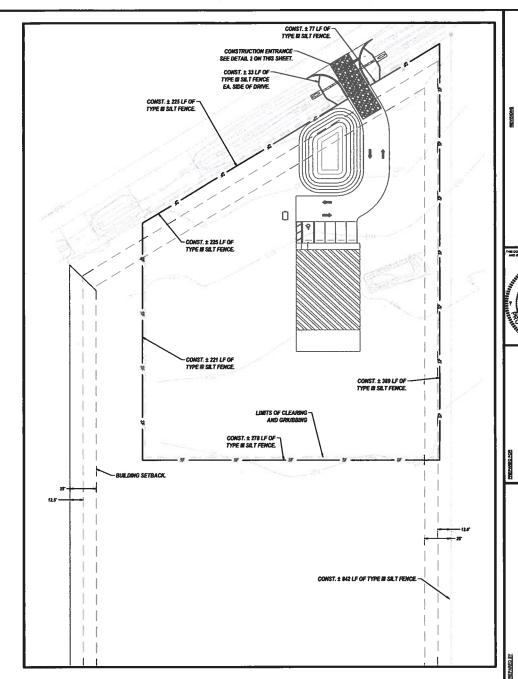
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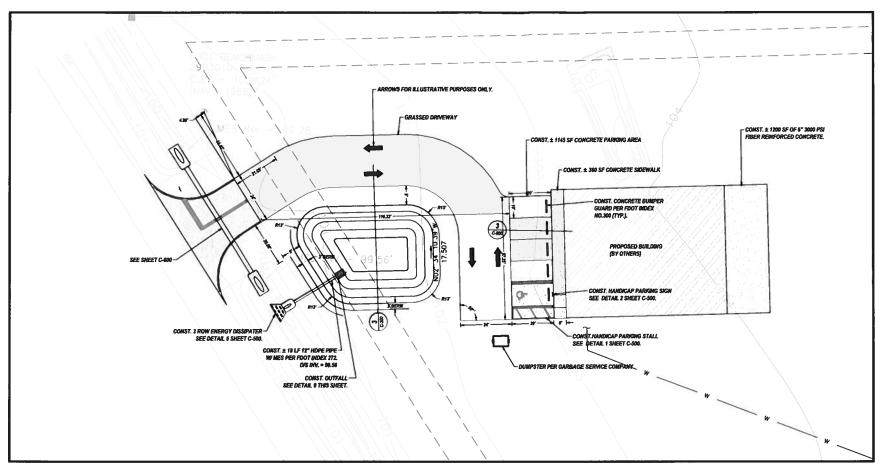




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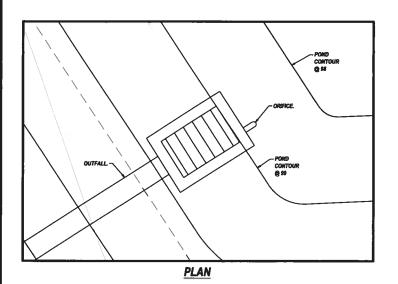


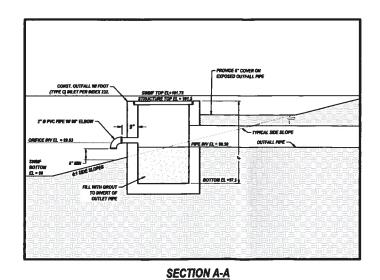
SITE PLAN NOTES

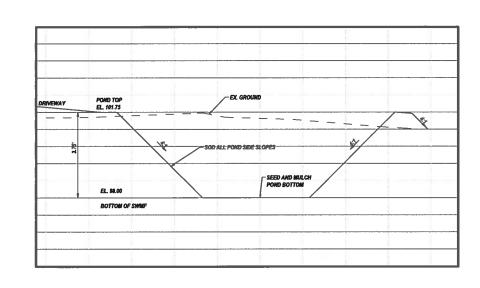
CERTIFICATE OF OCCUPANCY NOTE:
PER COUNTY LDR, NO CERTIFICATE OF OCCUPANCY (CIG) WILL BE GRANTED UNTIL ALL SHOWN
PLAN ASPECTS ARE 100% COMPLETE, RESPECTED AND APPROVED BY ALL DEPARTMENTS.

SITE DATA TABLI	E	
Description	Value	% of Lot
Lot Area (SF)	263,010	
Project Area (AC)	1.94	329
Building Area (SF)		
Floor Aree	4,500	29
Suilding Coverage (BC)	4,500	29
Floor Area Ratio [FAR]	4,500	29
Impervious area (SF)		
Total on Lot [ILC]	11,418	49
Sidewalk Concrete and slab	1,560	
Concrete Parking	1,145	
Optional Millings (see note)	4,213	
Vehicular Use Area (VUA)	5,350	29
Building	4,500	
Parking Spaces		
Area devoted to sales (offices and showroom)	1,000	
Required (1 per 350 SF) LDR 4.5.13.14	2.86	
Provided	5	
Landscaping (SF)		
See Sheet L-100 for Calcs		









1 SWMF OUTFALL STRUCTURE
0.300 N.T.S.

2 SWMF SECTION AS SHOWN.

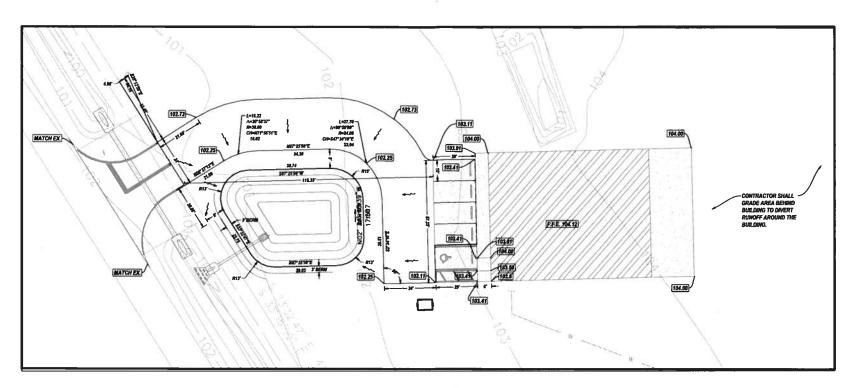
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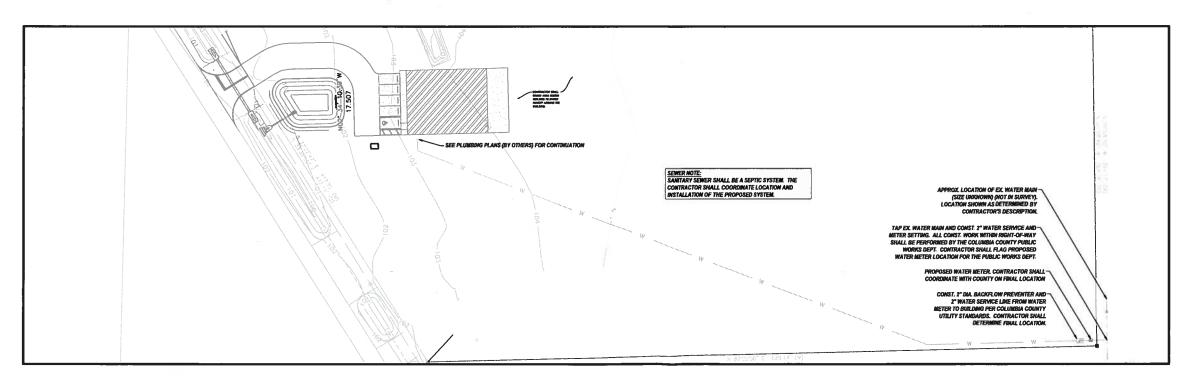
SITE PLAN AND SWMF DETAILS HALL'S INDUSTRIAL PARK

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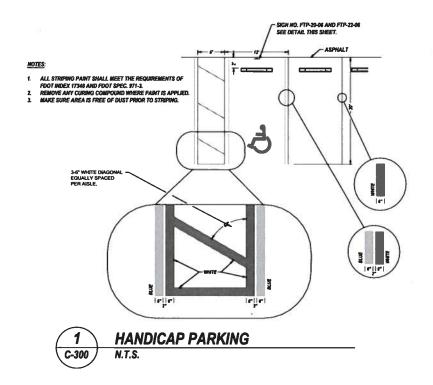
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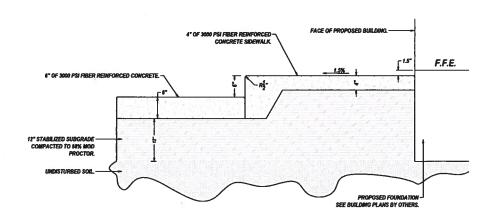
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HALL'S INDUSTRIAL PARK
GRADING, GEOMETRY
& UTILITY PLAN

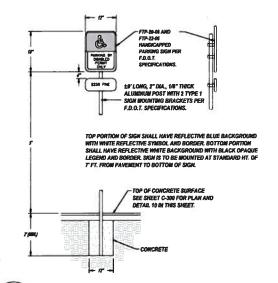
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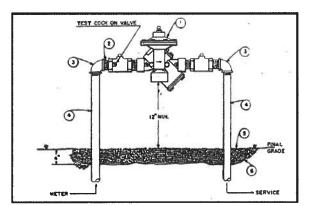




CONCRETE PARKING TYPICAL SECTION
N.T.S.



2 HANDICAP PARKING SIGN DETAIL
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		M AT	ERIALS
ITEM	QUANTITY		DESCRIPTION
1	1	2"	BACKFLOW PREVENTER ASSEMBLY
2	2	2" x NOM	NIPPLES - BRASS or PVC
3	2	2" x 90o	ELBOWS - GALVANIZED or PVC
4	2	2" x VARIES	RISER – GALVANIZED or PVC
5	•		PEA GRAVEL
6	•		PLASTIC LINER

4 DOUBLE CHECK VALVE BACKFLOW PREVENTER

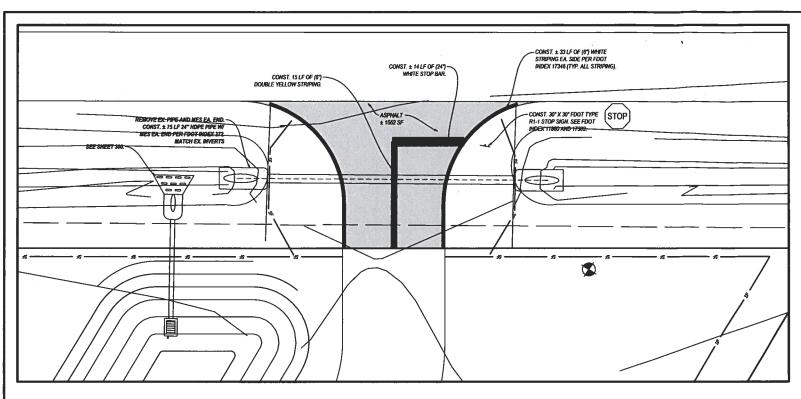
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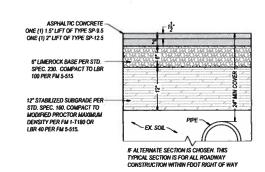




FDOT DRIVEWAY CONNECTION NOTES

- THE DRIVEWAY CONNECTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE DESIGN STANDARDS (CURRENT EDITION).
- 2. THE TRAFFIC SIGNS AND PAVEMENT MARRINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARS (CURRENT EDITION), ACCORDING TO STATE INDEXES 1702 & 1734, ALL PAVEMENT IMPRIVAS PERTANNIN TO THE PREVIOUN'S ACCORDING TO STATE INDEXES 1702 & 1734, ALL PAVEMENT IMPRIVAS PERTANNIN TO THE PREVIOUN'S ACCORDING TO STATE INDEXES STATE AND ACCORDING TO WITH CERTIFIED LEAD-FREE. THERMOP ASTIC MATERIAL THIS REQUIREMENT SHALL INCLUDE ANY DRIVEWAY(S) SPECIAL PAVEMENT MARRINGS, SHOWN TO THE PERMITTED ACCESS CONNECTION AND SHALL INCLUDE THOSE MARRINGS LYMS BOTH ON MID OFF THE STATE RIGHT-OF-MAY.
- ALL PERMITTED PAYEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACE-BEHINT TEM-TEMPORARY TRAFFIC BEARING PAINT SHALL BE REQUIRED TO BE IN PLACE 30 MINUTES BEFORE OFFICIAL SURDOWN. TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FOOT MINMUM SPECIFICATIONS FOR NIGHT REPLECITIFY.
- 4. FAILURE BY THE PERMITTEE AND/OR HISHER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT LINTE. SUCH TIME AS THE PERMITTEE AND/OR HISHER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FOOT PERMITS PERSONNELINSPECTOR.
- THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUB GRADE MATERIALS WITHIN THE LIBRATS OF THE PROLECT IMPROVEMENTS, WORK FORCE, OR AS MAY BE CALLED FOR UNDER THE STATE FIDOT PERMIT
- MAINTENANCE OF TRAFFIC SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARD ROCKES 600 & 613.
- 7 THE CONTRACTOR SHALL OBTAIN THREE (3) DENSITY TESTS ACCORDING TO THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). LUB ROCK SHALL BE COMPACTED TO 980. OF THE MADIAIN DENSITY AS DETERMINED BY ANSITO T-160. A COPY OF THE TESTS SHALL BE SUBMITTED TO FDOT BEFORE STARTING ANY PAVING OPERATIONS.
- 8. ALL AREAS DISTURBED WITHIN FOOT RIGHT-OF-WAY SHALL BE RE-SOODED WITH "CERTIFIED COASTAL BERNAIDA GRASS SOO" ALL SOO SHALL BE INSTALLED TO FOOT SATISFACTION BEFORE PAYING MAY COMMENCE.

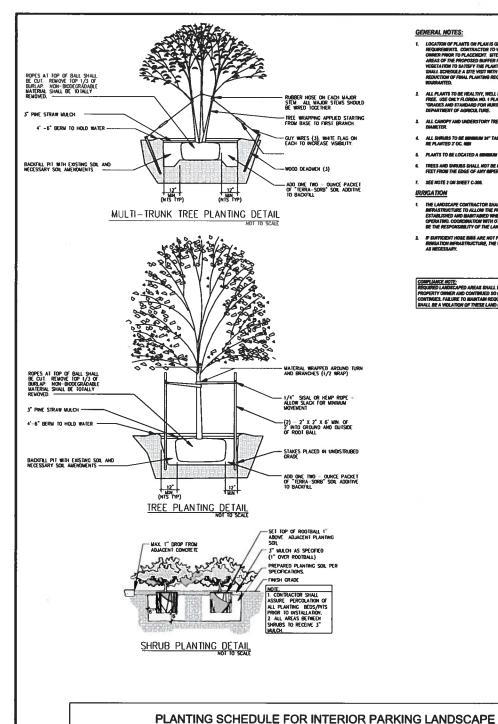
- ALL FDOT RIGHT-OF-WAY RESTORATION, GRASS SOD PLACEMENT AND/OR SEEDING AND STRAW MALCH ROUNGED UNDER THIS APPROVED STATE ACCESS PERMIT SMALL BE WIFFACE AND MAY RECEIVED TWO (2) WATERINGS AND ALSO HAVE RECEIVED A PASSING INSPECTION FOR PERMIT COMPLIANCE FOR THIS TIEM BEFORE ANY TYPE OF ASPHAL FAMING OR CONCRETE BRIVEWAYS CAN COMMENCE UPON STATE FOOT RIGHT-OF-WAY PROPERTY. BE AWARE THAT NO PAYING OR CONCRETE POWER CAN COMMENCE UNTIL ALL OF THE ABOVE RESTORATION OVER SAID PROJECT
- 10. ALL AREAS OF THE STATE RIGHT-OF-WAY WITHIN THE LIMITS OF CONSTRUCTION WITH A PROPOSED PHISH GRADE SLOPE OF 1-4 OR STEEPER SHALL BE COMPLETELY COVERED WITH CERTIFIED COASTAL BERMUDA GRASS OR AN FIDOT APPROVED ALTERNATIVE GRASS SOD. THIS PROVISION SHALL BE MET A MINIMUM OF 24 HOURS IN ADVANCE OF ANY PLANNED PAYING OR CONCRETE POUR THAT IS APPROVED UNDER THE FOOT ACCESS OR DRAINAGE PERMIT. REFER TO THE ATTACHED PERMIT COVER LETTER AMONG APPROVED SITE PLAN OR PLAN HOTES ON RW RESTORATION FOR ADDITIONAL RESTORATION PROVISIONS AND OTHER SODDUNG SPECIFICATIONS.
- 11. ALL PERMITTED AND PROPOSED WORK/CONSTRUCTION UPON STATE FOOT RIGHT-OF-WAY SMALL CONFORM TO THE STATE OF FLORIDA'S MOST CURRENT ROLDMAY AND TRAFFIC DESIGN STANDARDS MANUAL. THE STATE FOOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, THE APPROVED PERMIT PROVISIONS, AND SPECIAL PERMIT PROVISIONS.
- 12 THE PERMITTEE OR LEGAL REPRESENTATIVE SHALL CONTACT THE LOCAL STATE OF FLORIDA FDOT MAINTENANCE PERMITS OFFICE HAVING JURISDICTION OVER THIS APPROVED PERMIT A MIRIMAM OF 8H HOURS IN ADVINCE OF THE HAVINGE JURISDICTION OF SAID ACCESS PERMIT FOR THE EXPLICIT PURSES OF SETTING UP THE MAINTENEY PRE-CONSTRUCTION MEETING WITH ALL PARTIES INVOLVED IN THE CONSTRUCTION OF THIS FORCET CONTROL TO AN EMALE BY CALLING 389-961-TIBO OR TISS TURSONY THROUGH FREIDY, 800 A.M. TO SOP M. FALLINE ON THE PERMITTEE OR HIS GENERAL CONSTRUCTION CONTROLORS PART TO MAKE ADVINACED CONTACT FOR A MUTUALLY AGREED UPON PRE-CONSTRUCTION MEETING SHALL BE REASON FOR SUSPENSION OF THE APPROVED FOR J ACCESS FERMIT.
- 13. ALL PERMITTED ABOVEGROUND SIGNAGE SHALL CONFORM TO FDOT INDEX NO. 11880 AND 17302. ABOVEGROUND POSTED SIGNS AND SIGN BRACKET ATTACHMENTS SHALL BE INSTALLED PRIOR TO THE FINAL DRIVEWAY CONSTRUCTION IN ACCORDANCE WITH FDOT SAID INDEXES.
- NO PAVING SHALL COMMENCE UNTIL ALL REQUIRED DENSITY TESTS HAVE BEEN DELIVERED TO THE FDOT LAKE CITY MAINTENANCE, ACCESS PERMITS OFFICE AND HAVE MET THE MINIMUM FDOT SPECIFICATIONS
- CONTRACTOR SHALL COORDINATE WITH FDOT INSPECTOR ON SITE TO DETERMINE EXACT LOCATION OF STOP BAR.
- 16. ALL PERIMITIED PAVEMENT SYMBOLS, MARRINGS AND STRIPPING SHALL BE MADE / PLACED DOWN UTILIZING ONLY CERTIFIED LEAD FREE, HOT LIQUID / PLASTIC STATE THERMOPLASTIC MATERIALS (NO MANUAL TORCH HEATED MATERIAL OR PLACEMENT METROS SHALL BE ALLOWED) IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS FROM THE FOOT STAMPARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, SPECIFIC TO SECTION 711.



TYP. FDOT DRIVEWAY SECTION

N.T.S





TREE

COMMON NAME

CREPE MYRTLE

SHRUB

LOROPETULUM

BOTANICAL NAME

LAGERSTROEMIA

INDICA

LOROPETULUM

CHINENSIS

SIZE AND SPACING

1" CAL

3 GAL

NOTES

OWNER CHOOSE

COLOR

QUANTITY

4

13

SYMBOL

3

GENERAL NOTES:

- 5. PLANTS TO BE LOCATED A MINIMUM OF 3' FROM PAVONS

INTERIOR PARKING LANDSCAPE REQUIREMENTS

THE REQUIRED 10% OF TOTAL OFF-STREET PARKING AREA (PER 42.17.10) INCLUDING ENTRANCE AND DRIVING ISLE TO BE USED FOR LANDSCAPE:

6,428 SF X 0.10 = 643 SF OF AREA TO BE LANDSCAPED.

REQUIRED LANDSCAPE AREA = 643 SF / 200 SF = 3.22

(4) - TREES (13) - SHRUBS @ 3 GAL

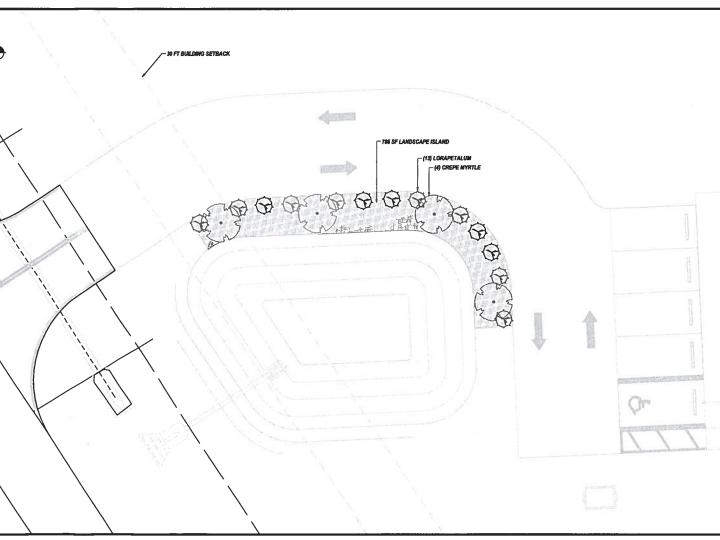
BUFFER LANDSCAPE REQUIREMENTS

NO BUFFER REQUIRED PER LDR (4.5.12)

LANDSCAPE NOTES

PLANTING INSTRUCTIONS

- TREAT ALL PLANTING BEDS WITH PRE-EMERGEN AND POST-EMERGEN HERBICIDES ACCORDING TO THE MANUFACTURERS SPECIFICATIONS.



STATE OF LOIS E. PEARC 3350 LEX JONES F GLEN ST. MARY, FL S ADAM DETAILS LANDSCAPING PLAN & HALL'S INDUSTRIAL

LANDSCAPING PLAN SCALE: 1" = 20'

L-100

DESIGNED DMC CHECKED ATC

JOB No. 19061

2020.01.17