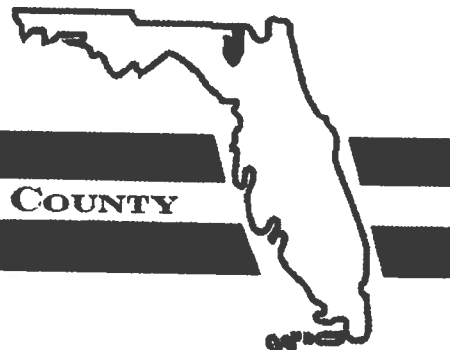


44802
District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy

FILE COPY



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

March 2, 2020

VIA ELECTRONIC MAIL

Adam Collins, P.E.
Adam Collins Engineering, Inc.
P.O. Box 1221
Live Oak, FL 32064

Re: SE 0613 "Hall - Ag Equipment Sales"
Determination Letter

Dear Mr. Collins,

At the February 27, 2020 Board of Adjustment ("Board") hearing, the Board approved your application for a Special Exception for the sale of agricultural equipment as a heavy equipment and machinery sales use as permitted in Section 4.5.7 of the County's Land Development Regulations ("LDRs") in accordance with Section 12.2 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period for all Special Exceptions. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA SE 0613.

If you have any questions, please do not hesitate to contact me at bstubbs@columbiacountyfla.com or (386) 754-7119.

Sincerely,

Brandon M. Stubbs
Community Development Coordinator
Land Development Regulation Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

RESOLUTION NO. BA SE 0613

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.5.7 OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR THE SALE OF AGRICULTURAL EQUIPMENT AS A HEAVY EQUIPMENT AND MACHINERY SALE USE WITHIN THE AGRICULTURE-3 ("A-3") ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;

- (h) The proposed use will not adversely affect property values in the adjacent areas;
- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0613, by Adam Collins, P.E. of Adam Collins Engineering, Inc., agent for Lois E. Pearce, owner, to request a special exception be granted as provided for in Section 4.5.7(4) of the Land Development Regulations to allow for the sale of agricultural equipment as a heavy equipment and machinery sales use in an Agriculture-3 ("A-3") Zone District. The special exception has been filed in accordance with a site plan dated January 21, 2020 and submitted as part of a petition dated January 21, 2020, to be located on property described, as follows:

BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT-OF-WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87°29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01°58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87°29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41; THENCE S 33°35'00" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING.

CONTAINING 6.03 ACRES, MORE OR LESS

Tax Parcel Number 21-4s-17-08637-000

Section 2. The Planning and Zoning Board, hereby approves the above referenced special exception subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A". If compliance with any of the conditions of special exception causes substantial deviation in the approved site plan, the applicant shall be required to submit a new special exception application and receive Planning & Zoning Board approval in accordance with the Land Development Regulations.

Section 3. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

Section 4. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

Section 5. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

Section 6. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 7. This resolution shall become effective upon adoption.

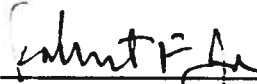
PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 27th day of February 2020.

Attest:

BOARD OF ADJUSTMENT OF
COLUMBIA COUNTY, FLORIDA



Brandon M. Stubbs, Secretary to the
Board of Adjustment

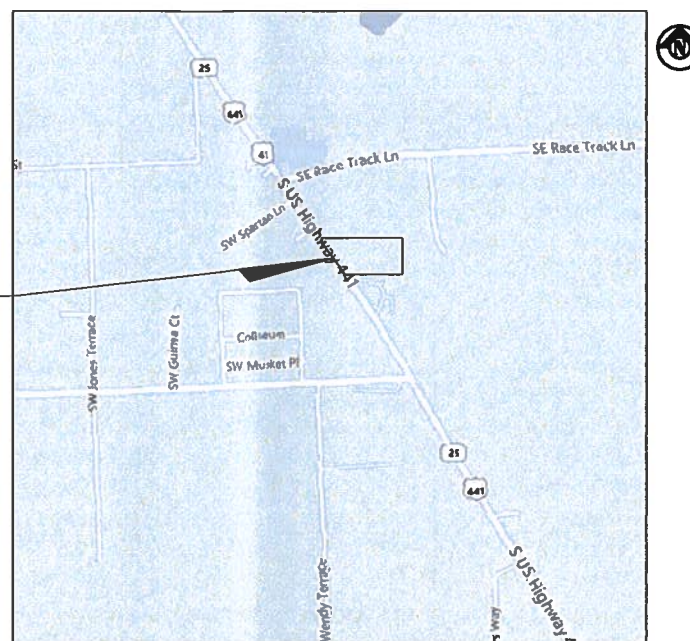


Robert F. Jordan, Chairman



LEGEND

PROJECT LOCATION



ABBREVIATIONS

PLANS PREPARED FOR:**PLANS PREPARED BY:**

ADAM COLLINS
ENGINEERING INC.
ADAM COLLINS ENGINEERING, INC.

12558 BASS ROAD, LIVE OAK, FLORIDA 32060
P: 386.320.7400 F: 850.807.7309
WWW.COLLINSENG.COM
CERTIFICATE OF AUTHORIZATION: 31728

SHEET #	SHEET DESCRIPTION
G-100	COVER
G-101	GENERAL NOTES
C-100	EXISTING CONDITIONS PLAN
C-200	EROSION CONTROL PLAN AND DETAILS
C-300	SITE PLAN AND SWMF DETAILS
C-400	GEOMETRY AND GRADING
C-500	MISCELLANEOUS DETAILS
C-600	FDOT DRIVEWAY CONNECTION DETAILS
L-100	LANDSCAPING PLAN AND DETAILS

OWNER, ENGINEER, SURVEYOR

OWNER: LOIS E. PEARCE
3350 LEX JONES ROAD
GLEN ST. MARY, FL 32040

ENGINEER OF RECORD: ADAM COLLINS ENGINEERING, INC.
12558 BASS ROAD
LIVE OAK, FL 32060
PHONE: 386-320-7400
EMAIL: adam@collinseng.com

SURVEYOR OF RECORD: DANIEL & GORE, LLC
426 SW COMMERCE DRIVE
LAKE CITY, FL 32025
PHONE: 386-752-9019
FAX: 904-339-9229

[illegible]

CONSTRUCTION DOCUMENTS

ENGINEER OF RECORD:

ADAM T. COLLINS
FLORIDA P.E. REGISTRATION NO. 75584 Date: 2020.01.29

G-100

RESPONSE TO STRUCTURAL FAILURES OR KARST FEATURES

- ### RESPONSE TO STRUCTURAL FAILURES OR KARST FEATURES

ROOT PRUNING

ROOT PRUNING

ROOT PRUNING SHALL OCCUR PRIOR TO SITE CLEARING OR EXCAVATION IN ALL AREAS WHERE DEMOLITION OR NEW CONSTRUCTION REQUIRES REMOVAL OF EXISTING ROOTS. ROOT PRUNING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST. ROOT PRUNING SHALL OCCUR AS FAR IN ADVANCE OF SITE CLEARING OR EXCAVATION / CONSTRUCTION AS POSSIBLE TO AVOID THE REMOVAL OF TREES. TREES WITH A DBH GREATER THAN 4" SHALL BE "ROOT SAVED" TO A MINIMUM DEPTH OF 18". WHERE THIS IS NOT POSSIBLE, ALL TREES SHALL BE REMOVED. TREES WITH A DBH GREATER THAN 4" SHALL BE REMOVED BY A CLEAN CUT HAND PRUNING OF ALL ROOTS GREATER THAN 3/4" DIAMETER, ALL PRUNED / CUT ROOTS SHALL BE TREATED IMMEDIATELY WITH A FULL-SPECTRUM FUNGICIDE BY HAND APPLICATION. ALL PRUNED / CUT ROOTS SHALL BE COVERED AS SOON AS POSSIBLE WITH TOPSOIL, MULCH, OR OTHER ORGANIC MATERIAL. ANY PRUNED AREAS WHICH CANNOT BE PROTECTED FROM ANIMALS SHALL BE COVERED WITH A 6 MIL. PLASTIC TO RETARD SOIL / ROOT DEHYDRATION.

FERTILIZATION SHALL CONSIST OF A SURFACE APPLICATION OF A SLOW RELEASE GRANULAR FERTILIZER FOR TREES, WHICH SHALL BE SPREAD AT THE RATE RECOMMENDED BY THE MANUFACTURER. TREES THAT ARE TO REMAIN ON SITE THAT HAVE NOT OR WILL NOT BE IMPACTED SHOULD RECEIVE A FERTILIZER HIGH IN NITROGEN. TREES THAT WILL BE IMPACTED, PRUNED, OR TRIMMED DURING CONSTRUCTION SHALL RECEIVE A COMPLETE FERTILIZER LOW IN NITROGEN AND HIGH IN PHOSPHORUS AND POT ASH (POTASSIUM), INCLUDING MAJOR / MINOR ELEMENTS AND MACRO / MICRO NUTRIENTS.

FOLLOWING ROOT PRUNING AND THROUGH SUBSTANTIAL COMPLETION OF THE PROJECT, ALL PROTECTED TREES SHALL BE WATERED BY MECHANICAL IRRIGATION OR MANUALLY AT A RATE EQUIVALENT TO 1" OF WATER PER WEEK. WATERING SHALL BE ADJUSTED AS REQUIRED BY WEATHER CONDITIONS. PROVIDE APPROVED RAIN GAUGES ON SITE AS REQUIRED FOR VERIFICATION OF APPLICATION RATES.

PERFORM A CLASS II MEDIUM PRUNING AS DEFINED BY THE NATIONAL ARBORIST ASSOCIATION FOR ALL OF THE INDICATED TREES. PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION STANDARDS AND AS DIRECTED ON SITE BY THE LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST. MEDIUM PRUNING SHALL CONSIST OF THE REMOVAL OF DEAD, DYING, DISEASED, INTERFERING, OR OBJECTIONABLE AND WEAK BRANCHES OF THE MAIN TRUNKS, AS WELL AS THOSE WITHIN THE LEAF AREA. REMOVE SPANISH MOSS AND VINES TO THE EXTENT POSSIBLE.

3. TREE PROTECTION BARRICADES OR FENCING SHALL BE LOCATED AT THE CRITICAL PROTECTION ZONE (CPZ) WHERE POSSIBLE, OR AS INDICATED ON THE PLANS. TO PREVENT DAMAGE TO TREES, ALL TRUCKS, TRAILERS, AND EQUIPMENT STORAGE OR MATERIAL STOCKPILING, BARRICADES SHALL BE INSTALLED AT THE CRITICAL PROTECTION ZONE (CPZ) AND SHALL BE LOCATED WITHIN THE TURF WITHIN THE PROTECTED AREAS SHALL BE TOPRESSED WITH A MINIMUM OF 2" OF SHREDED BARK MULCH UNLESS NATURAL LEAF DUFF OR GRASSES EXIST. BARRICADES SHALL BE CONSTRUCTED OF 4" X 4" POSTS AND 2" X 4" RAILS IN ACCORDANCE WITH SECTION 3(3)(3) OF THE ENVIRONMENTAL MANAGEMENT ORDINANCE, OR AN APPROVED EQUIVALENT. TREES SHALL BE PROTECTED AGAINST ANY UNAPPROVED OR UNAUTHORIZED REMOVAL, DAMAGE, OR REMOVAL OF BRANCHES, LIMBS, TRUNKS, AND ROOTS SHALL BE AVOIDED. WHERE THE TREE BARRICADE LOCATED AT THE CRITICAL PROTECTION ZONE (CPZ) IS NEAR A TRAIL, ROAD, OR OTHER ACTIVITY OR THE MANEUVERING OF MACHINERY, INSTALL A TREE GRIDDING BARRICADE OF 2X6'S STRAPPED AROUND THE TREE TO PREVENT GRUBBING OR SCRAPING. WHERE THE TREE BARRICADE IS LOCATED OUTSIDE THE CRITICAL PROTECTION ZONE (CPZ), IT SHALL BE CONSTRUCTED THROUGH THE CPZ OF A PROTECTED TREE, THEN A MINIMUM OF 36" PLYWOOD SHALL BE INSTALLED OVER THE PINE STRAW MULCH THROUGHOUT THE TRAVELED AREA WITHIN THE CPZ.

SUBCONTRACTORS TO UNDERSTAND THAT DAMAGE TO TREES WILL NOT BE TOLERATED. EXTREME CARE MUST BE TAKEN TO PROTECT EXPOSED ROOT COLLARS FROM VEHICULAR DAMAGE AND FALLING DEBRIS.

ALL TREE PROTECTION PROCEDURE[®] AND ACTIVITIES[®] SHALL BE MONITORED AND APPROVED THROUGHOUT THE DURATION OF CONSTRUCTION BY THE LANDSCAPE ARCHITECT, ENGINEER OF RECORD, QUALIFIED CITY/COUNTY PERSONNEL, OR CERTIFIED ARBORIST.

1. A SPILL PREVENTION PLAN WILL BE PREPARED BY THE CONTRACTOR, AND KEPT ON SITE AT ALL TIMES. THIS PLAN WILL INCLUDE MEASURES TO PREVENT SPILLS FROM OCCURRING, AND METHODS FOR CLEANING UP ANY SPILLS THAT DO OCCUR. IT WILL ALSO CONTAIN SPILL RESPONSE REPORTING FORMS, WHICH SHALL INCLUDE A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES TAKEN.

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THE CONTRACTOR WILL BE HELD ACCOUNTABLE FOR COMPLIANCE WITH THE LATEST EDITION OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION FOR ALL SITE IMPROVEMENTS. IF SITE IMPROVEMENTS DO NOT CONFORM TO THE CODE AT THE FINAL INSPECTION, THE CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH THE CODE, AT NO ADDITIONAL COST TO THE OWNER. THE FOLLOWING ITEMS TAKE PRECEDENCE AND SUPERSEDE OTHER DETAILS ON THE DRAWINGS:

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1. INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION BARRICADES.
2. PERFORM CLEARING AND GRUBBING OF THE PROJECT AREA.
3. INSTALL IRRIGATION ELEMENTS AND VERIFY PROPER FUNCTIONING (DESIGN BY OTHERS).
4. CONSTRUCT BUILDING.
5. CONSTRUCT PROPOSED PARKING.
6. INSTALL MOT AND CONSTRUCT DRIVEWAY IMPROVEMENTS.
7. INSTALL LANDSCAPING.
8. ANY CONSTRUCTION ACTIVITIES NOT EXPLICITLY STATED IN THIS SEQUENCE ARE FREE FROM ANTICIPATED CONFLICTS. IN THE EVENT A CONFLICT ARISES, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. ANY DEVIATION FROM THE ABOVE SCHEDULE SHOULD BE DISCUSSED WITH THE ENGINEER.

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<div>PROJECT</div> <div>HALL'S INDUSTRIAL PARK</div>		<div>REVISION</div> <table><tr><td>NO.</td><td>DESCRIPTION</td><td>DATE</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		NO.	DESCRIPTION	DATE															
				NO.	DESCRIPTION	DATE															
<div>DATE</div> <div>2020.01.15</div>																					
<div>DRAWN</div> <div>DMC</div>																					
<div>DESIGNED</div> <div>DMC</div>																					
<div>CHECKED</div> <div>ATC</div>																					
<div>JOB No.</div> <div>19061</div>																					
<div>SHEET</div> <div>G-101</div>																					

<div>PREPARED BY</div> <div>ADAM COLLINS ENGINEERING INC.</div>		<div>THIS DOCUMENT HAS BEEN EXTENDED, I REVIEWED AND REDESIGNED BY ADAM T. COLLINS P.E. 1/15/20</div> <div><div>ADAM T. COLLINS LICENSE No. 75584  STATE OF FLORIDA PROFESSIONAL ENGINEER</div></div>	
<div>PREPARED FOR</div> <div>LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040</div>			

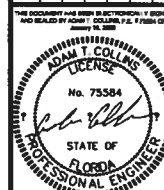
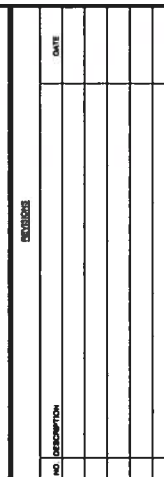
<div>PROJECT</div> <div>HALL'S INDUSTRIAL PARK</div>	<div>GENERAL NOTES</div>
--	--------------------------

<div>DATE</div> <div>2020.01.15</div>	<div>CA# 31728 - P: 386.320.7400 - WWW.COLLINSENG.COM</div>
<div>DRAWN</div> <div>DMC</div>	
<div>DESIGNED</div> <div>DMC</div>	
<div>CHECKED</div> <div>ATC</div>	
<div>JOB No.</div> <div>19061</div>	



BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT-OF-WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87°29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01°58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87°29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFORESAID EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41; THENCE S 33°35'00" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING.

CONTAINS BY SURVEY 6.03 ACRES, MORE OR LESS.



LOIS E. PEARCE
3350 LEX JONES ROAD
GLEN ST. MARY, FL 32040

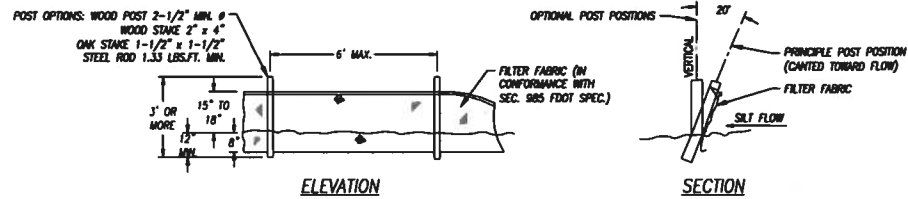
ADAM COLLINS
ENGINEERING INC.

HALL'S INDUSTRIAL PARK

EXISTING CONDITIONS PLAN

DATE	2020.01.15
DRAWN	DMC
DESIGNED	DMC
CHECKED	ATC
JOB No.	19081

C-100

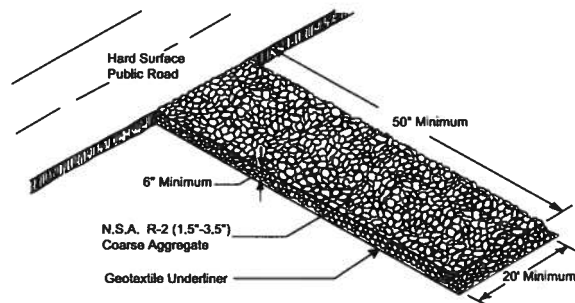


NOTE: SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (LF).

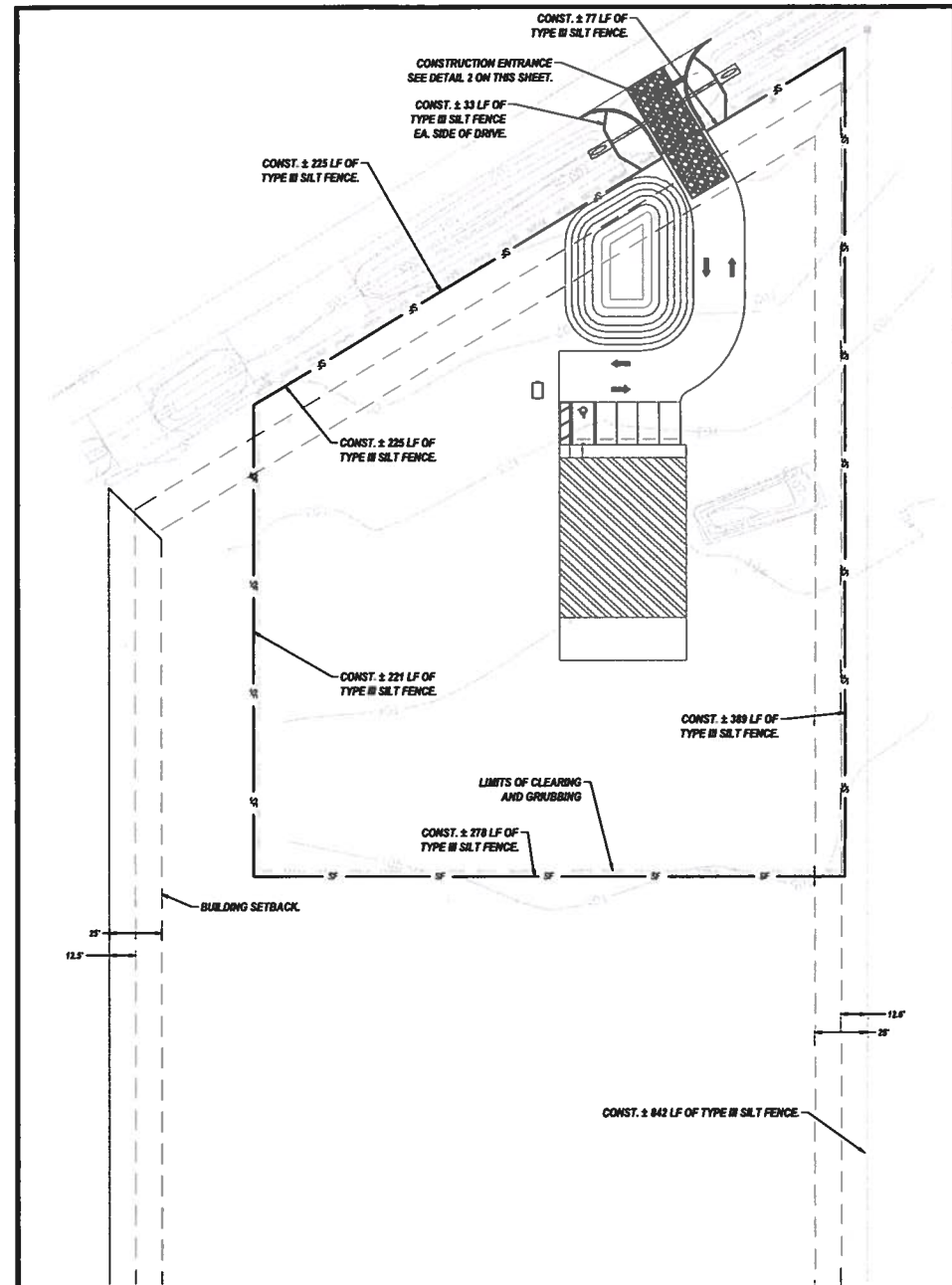


DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A GAW ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

1 TYPE III SILT FENCE APPLICATIONS N.T.S.

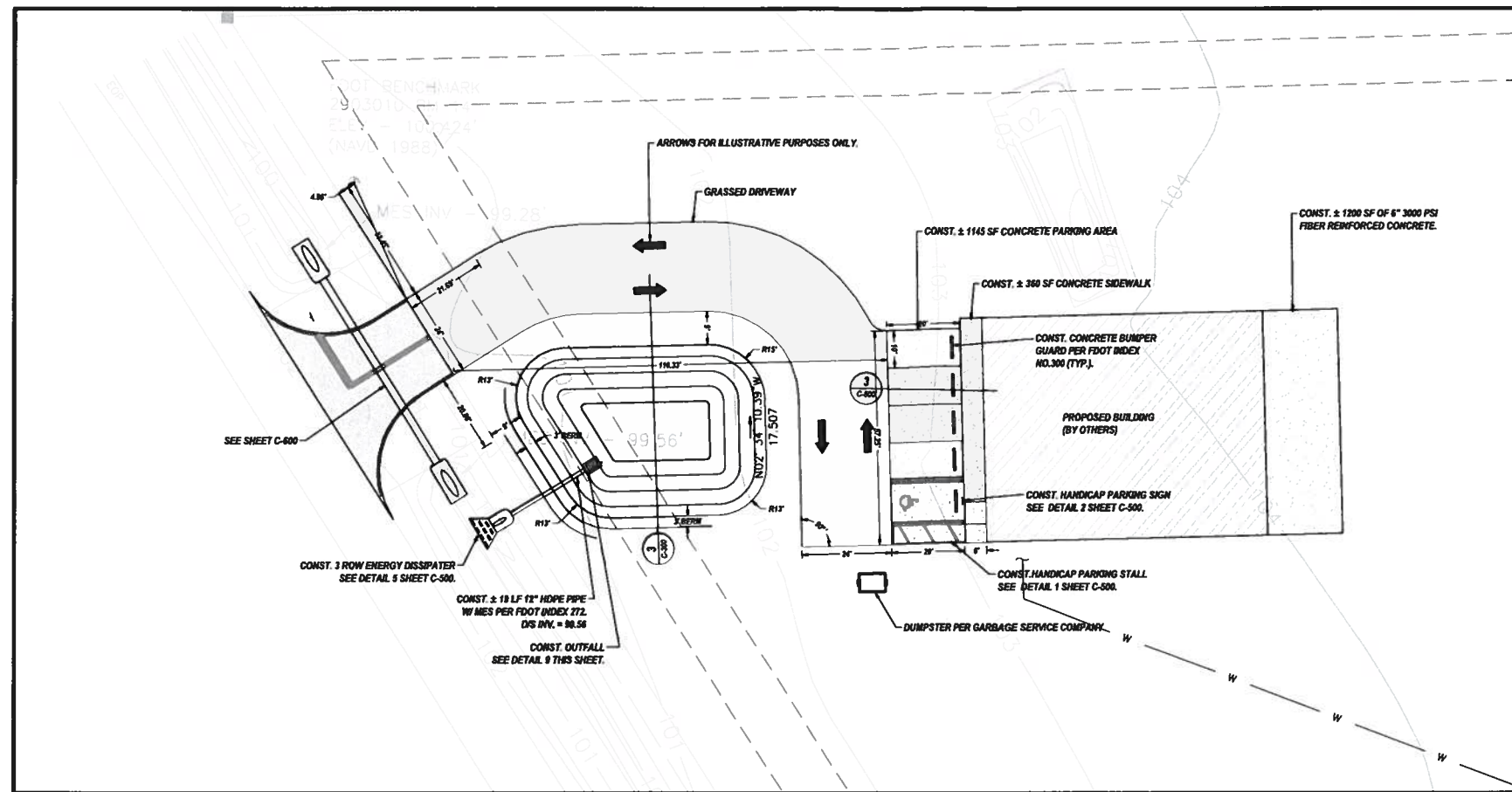


2 CONSTRUCTION ENTRANCE N.T.S.



EROSION CONTROL PLAN SCALE: 1" = 40'

PROJECT	HALL'S INDUSTRIAL PARK
SHEET	EROSION CONTROL PLAN AND DETAILS
DATE	2020.01.15
DRAWN	DMC
DESIGNED	DMC
CHECKED	ATC
JOB No.	19061
REVISIONS	
NO.	DESCRIPTION
1	ADAM T. COLLINS No. 75584 STATE OF FLORIDA PROFESSIONAL ENGINEER
DESIGNED BY	LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040
ENGINEER	ADAM COLLINS ENGINEERING INC. CA# 31728 - P: 386.320.7400 - WWW.COLLINSENG.COM
C-200	



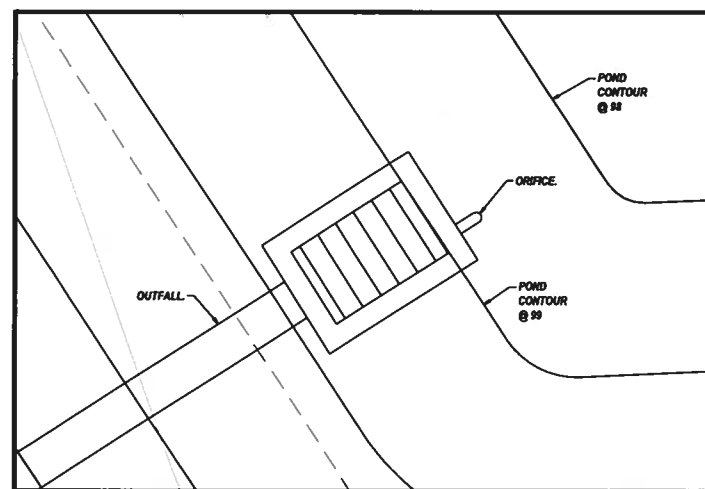
 **SITE PLAN**
SCALE: 1" = 20'

SITE PLAN NOTES

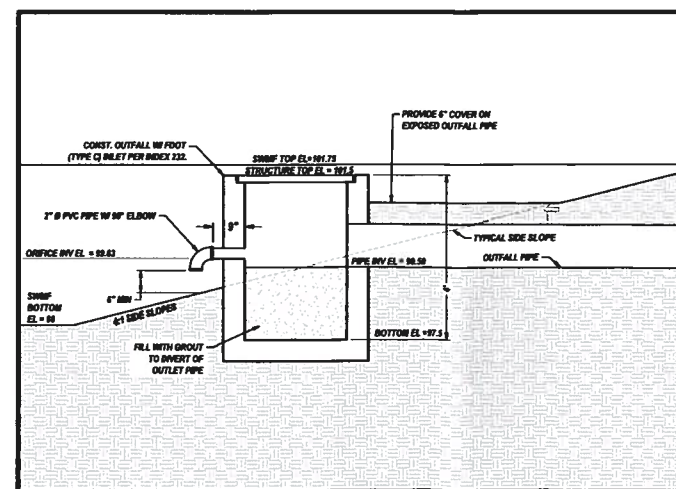
1. CONTRACTOR SHALL CONTACT - COLUMBIA COUNTY DEVELOPMENT MANAGER AND BUILDING OFFICIAL TO PERFORM NECESSARY INSPECTIONS. FINAL INSPECTOR AND ACCEPTANCE TO BE PERFORMED BY - BUILDING, PLANNING, FIRE AND PUBLIC WORKS DEPARTMENTS.
2. REQUIRED LANDSCAPING IS TO BE MAINTAINED BY OWNER, AND ALL REQUIRED PLANTINGS SHALL BE REPLACED IF THEY DO NOT SURVIVE OR UPON NOTIFICATION BY THE COUNTY. SEE LANDSCAPING PLAN SHEET L-108.

CERTIFICATE OF OCCUPANCY NOTE:
PER COUNTY LDR, NO CERTIFICATE OF OCCUPANCY (C/O) WILL BE GRANTED UNTIL ALL SHOW
PLAN ASPECTS ARE 100% COMPLETE, INSPECTED AND APPROVED BY ALL DEPARTMENTS.

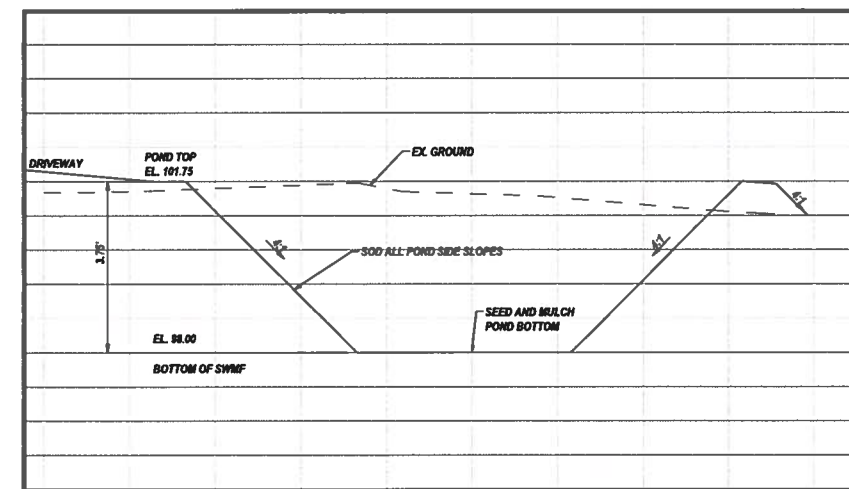
SITE DATA TABLE		
Description	Value	% of L
Lot Area (SF)	262,019	
Project Area (AC)	1.84	3
Building Area (SF)		
Floor Area	4,500	
Building Coverage (BC)	4,500	
Floor Area Ratio (FAR)	4,500	
Impervious area (SF)		
Total on Lot (ILC)	11,418	
Sidewalk Concrete and slab	1,560	
Concrete Parking	1,145	
Optional Millings (see note)	4,213	
Vehicular Use Area (VUA)	5,356	
Building	4,500	
Parking Spaces		
Area devoted to sales (offices and showroom)	1,000	
Required (1 per 350 SF) LDR 4.5.13.14	2.86	
Provided	5	
Landscaping (SF)		
See Sheet L-100 for Calcs		



PLAN

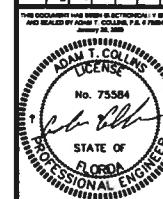


SECTION A-A



SWMF SECTION
AS SHOWN.

RESOURCES		DATE
NO	DESCRIPTION	



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OBJECT HALL'S INDUSTRIAL PARK

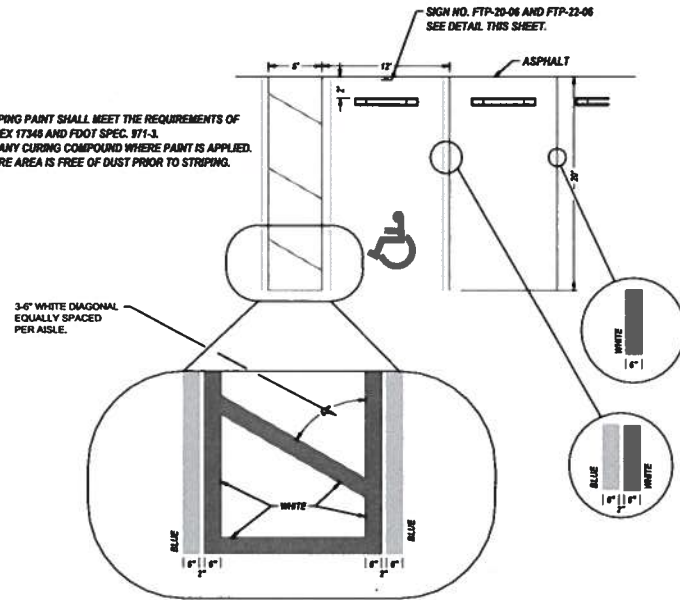
DATE SITE PLAN AND SWMF DETAILS

DATE	2020.01.29
DRAWN	DMC
DESIGNED	DMC
CHECKED	ATC
JOB No.	19061

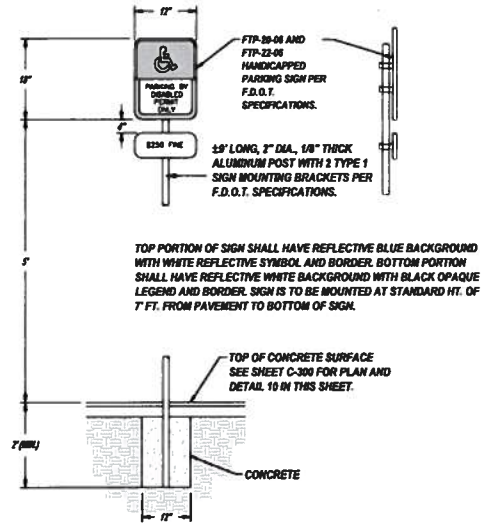
C-300

NOTES:

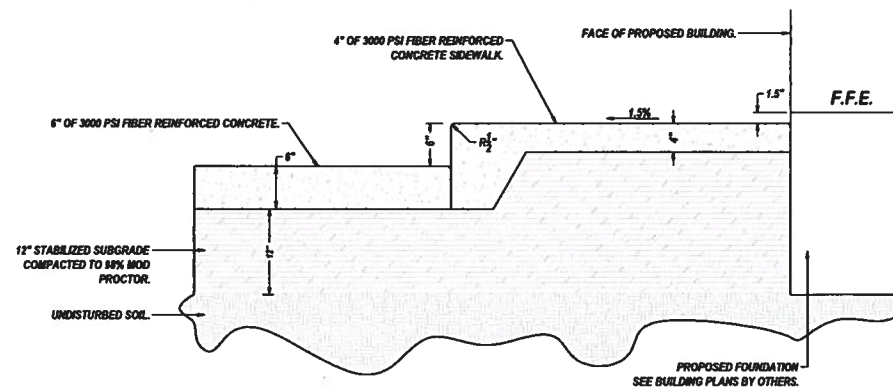
1. ALL STRIPING PAINT SHALL MEET THE REQUIREMENTS OF FDOT INDEX 17348 AND FDOT SPEC. 971-3.
2. REMOVE ANY CURING COMPOUND WHERE PAINT IS APPLIED.
3. MAKE SURE AREA IS FREE OF DUST PRIOR TO STRIPING.



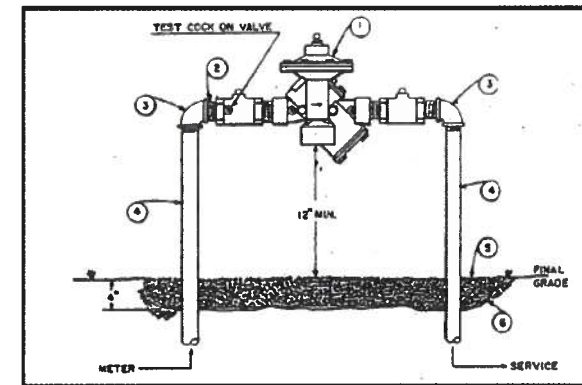
1
C-300 **HANDICAP PARKING**
N.T.S.



2
C-300 **HANDICAP PARKING SIGN DETAIL**
N.T.S.



3
C-300 **CONCRETE PARKING TYPICAL SECTION**
N.T.S.



MATERIALS		
ITEM	QUANTITY	DESCRIPTION
1	1	2" BACKFLOW PREVENTER ASSEMBLY
2	2	2" x NOM NIPPLES - BRASS or PVC
3	2	2" x 90° ELBOWS - GALVANIZED or PVC
4	2	2" x VARIES RISER - GALVANIZED or PVC
5	*	PEA GRAVEL
6	*	PLASTIC LINER

4
C-300 **DOUBLE CHECK VALVE BACKFLOW PREVENTER**
N.T.S.

DATE	2020.01.15
DRAWN	DMC
DESIGNED	DMC
CHECKED	ATC
JOB No.	19081
SHEET	C-500

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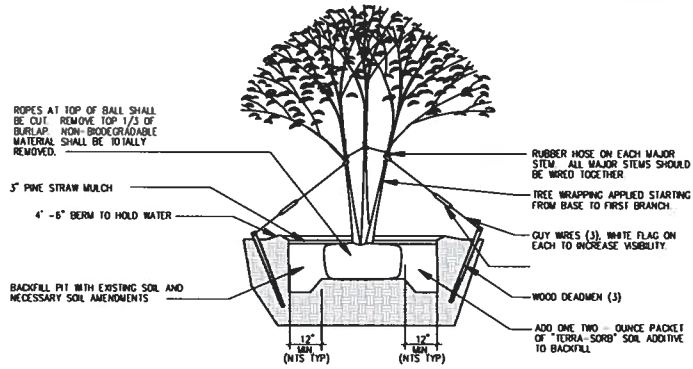
HALL'S INDUSTRIAL PARK

MISCELLANEOUS DETAILS

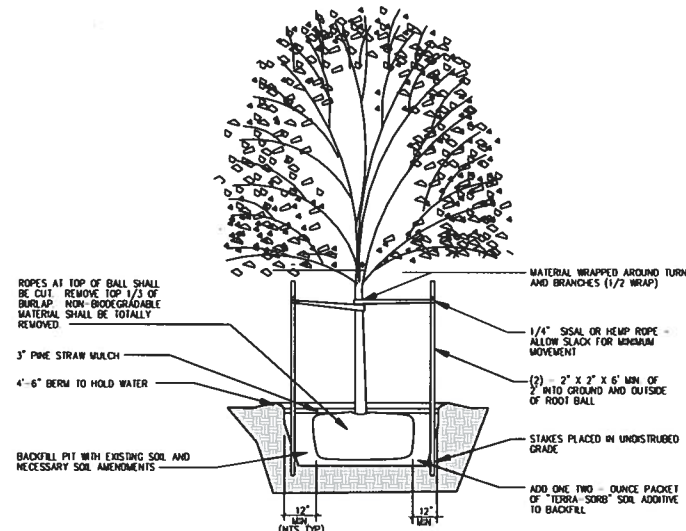


1. THE DRIVEWAY CONNECTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE DESIGN STANDARDS (CURRENT EDITION).
2. THE TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS (CURRENT EDITION). ACCORDING TO STATE INDEXES 17002 & 17204, ALL PAVEMENT MARKINGS PERTAINING TO THE DRIVEWAY ACCESS PERMITTED THROUGH FOOT SHALL BE CONSTRUCTED WITH CERTIFIED LEAD-FREE, THERMOPLASTIC MATERIAL. THIS REQUIREMENT SHALL INCLUDE ANY DRIVEWAY(S) "SPECIAL PAVEMENT MARKINGS" SHOWN TO THE PERMITTED ACCESS CONNECTION AND SHALL INCLUDE THOSE MARKINGS LYING BOTH ON AND OFF THE STATE RIGHT-OF-WAY.
3. ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFIED LEAD FREE THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING PAINT SHALL BE REQUIRED TO BE IN PLACE 30 MINUTES BEFORE OFFICIAL SUNDOWN. TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/BEAT FMVSS MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY.
4. FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FOOT PERMITS PERSONNEL/INSPECTOR.
5. THE EXISTING ASPHALT PAVED SHOULDER SHALL BE MECHANICALLY SAW CUT AND REMOVED AS WELL AS ALL PRE-EXISTING SUB GRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT IMPROVEMENTS, WORK ZONE, OR AS MAY BE CALLED FOR UNDER THE STATE FOOT PERMIT.
6. MAINTENANCE OF TRAFFIC SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARD INDEXES 600 & 613.
7. THE CONTRACTOR SHALL OBTAIN THREE (3) DENSITY TESTS ACCORDING TO THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). THE ROAD SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-100. A COPY OF THE TESTS SHALL BE SUBMITTED TO FDOT BEFORE STARTING ANY PAVING OPERATIONS.
8. ALL AREAS DISTURBED WITHIN FOOT RIGHT-OF-WAY SHALL BE RE-SODDED WITH "CERTIFIED COASTAL BERMAUDA GRASS SOD". ALL SOD SHALL BE INSTALLED TO FOOT SATISFACTION BEFORE PAVING ANY COMMENCE.
9. ALL FOOT RIGHT-OF-WAY RESTORATION, GRASS SOD PLACEMENT AND/OR SEEDING AND STRAW MULCH REQUIRED UNDER THIS APPROVED STATE ACCESS PERMIT SHALL BE IN PLACE AND HAVE RECEIVED TWO (2) WATERINGS AND ALSO HAVE RECEIVED A PASSING INSPECTION FOR PERMIT COMPLIANCE FOR THIS ITEM BEFORE ANY TYPE OF ASPHALT PAVING OR CONCRETE DRIVEWAYS CAN COMMENCE UPON STATE FOOT RIGHT-OF-WAY PROPERTY. BE AWARE THAT NO PAVING OR CONCRETE POURS CAN COMMENCE UNTIL ALL OF THE ABOVE RESTORATION OVER SAID PROJECT IS COMPLETE.
10. ALL AREAS OF THE STATE RIGHT-OF-WAY WITHIN THE LIMITS OF CONSTRUCTION WITH A PROPOSED FINISH GRADE SLOPE OF 1:4 OR STEEPER SHALL BE COMPLETELY COVERED WITH CERTIFIED COASTAL BERMAUDA GRASS OR AN FOOT APPROVED ALTERNATIVE GRASS SOD. THIS PROVISION SHALL BE MET A MINIMUM OF 24 HOURS IN ADVANCE OF ANY PLANNED PAVING OR CONCRETE POUR THAT IS APPROVED UNDER THE FOOT ACCESS OR DRAINAGE PERMIT. REFER TO THE ATTACHED PERMIT COVER LETTER AND/OR APPROVED SITE PLAN OR PLAN NOTES ON R/W RESTORATION FOR ADDITIONAL RESTORATION PROVISIONS AND OTHER SODDING SPECIFICATIONS.
11. ALL PERMITTED AND PROPOSED WORK/CONSTRUCTION UPON STATE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE STATE OF FLORIDA'S MOST CURRENT ROADWAY AND TRAFFIC DESIGN STANDARDS MANUAL, THE STATE FOOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, THE APPROVED PERMIT PROVISIONS, AND SPECIAL PERMIT PROVISIONS.
12. THE PERMITTEE OR LEGAL REPRESENTATIVE SHALL CONTACT THE LOCAL STATE OF FLORIDA FOOT MAINTENANCE PERMITS OFFICE HAVING JURISDICTION OVER THIS APPROVED PERMIT. A MINIMUM OF 48 HOURS IN ADVANCE OF THE PLANNED ACTIVATION OF SAID ACCESS PERMIT FOR THE EXPLICIT PURPOSE OF SETTING UP THE MANDATORY PRE-CONSTRUCTION MEETING WITH ALL PARTIES INVOLVED IN THE CONSTRUCTION OF THIS PROJECT. CONTACT CAN BE MADE BY CALLING 386-961-7180 OR 1153 THUNDERBOLT THROUGH FRIDAY, 8:00 A.M. TO 5:00 P.M. FAILURE ON THE PERMITTEE OR HIS GENERAL CONSTRUCTION CONTRACTOR'S PART TO MAKE ADVANCED CONTACT FOR A MUTUALLY AGREED UPON PRE-CONSTRUCTION MEETING SHALL BE REASON FOR SUSPENSION OF THE APPROVED FOOT ACCESS PERMIT.
13. ALL PERMITTED ABOVEGROUND SIGNAGE SHALL CONFORM TO FOOT INDEX NO. 11860 AND 17202. ABOVEGROUND POSTED SIGNS AND SIGN BRACKET ATTACHMENTS SHALL BE INSTALLED PRIOR TO THE FINAL DRIVEWAY CONNECTION IN ACCORDANCE WITH FOOT SAID INDEXES.
14. NO PAVING SHALL COMMENCE UNTIL ALL REQUIRED DENSITY TESTS HAVE BEEN DELIVERED TO THE FOOT LAKE CITY MAINTENANCE, ACCESS PERMITS OFFICE AND HAVE MET THE MINIMUM FOOT SPECIFICATIONS.
15. CONTRACTOR SHALL COORDINATE WITH FOOT INSPECTOR ON SITE TO DETERMINE EXACT LOCATION OF STOP BAR.
16. ALL PERMITTED PAVEMENT SYMBOLS, MARKINGS AND STRIPING SHALL BE MADE / PLACED/DOWN UTILIZING ONLY CERTIFIED LEAD FREE, HOT LIQUID / PLASTIC STATE THERMOPLASTIC MATERIALS (NO MANUAL, TORCH HEATED MATERIAL OR PLACEMENT METHOD) SHALL BE ALLOWED IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS FROM THE FOOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, SPECIFIC TO SECTION 111.

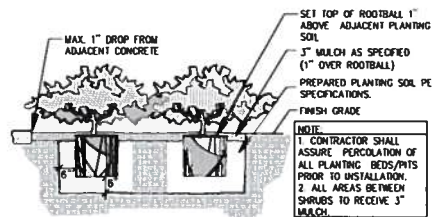
C-600



MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL NOTES:

1. LOCATION OF PLANTS ON PLAN IS GENERAL IN NATURE TO MEET CODE REQUIREMENTS. CONTRACTOR TO VERIFY TYPE AND LOCATION WITH OWNER PRIOR TO PLACEMENT. SITE INVESTIGATION HAS SHOWN SOME AREAS OF THE PROPOSED BUFFER HAVE SUFFICIENT EXISTING VEGETATION TO SATISFY THE PLANTING REQUIREMENTS. THE OWNER SHALL SCHEDULE A SITE VISIT WITH CITY STAFF TO DETERMINE IF A REDUCTION OF FINAL PLANTING REQUIREMENTS FOR THE BUFFER IS WARRANTED.
2. ALL PLANTS TO BE HEALTHY, WELL PROPORTIONED, DISEASE AND PEST FREE. USE ONLY FLORIDA NO. 1 PLANT MATERIAL, AS DEFINED BY "GRADES AND STANDARD FOR NURSERY PLANTS" BY FLORIDA DEPARTMENT OF AGRICULTURE.
3. ALL CANOPY AND UNDERSTORY TREES TO BE MINIMUM 4" TALL AND 1" DIAMETER.
4. ALL SHRUBS TO BE MINIMUM 3" TALL WITH A 15" CROWN. SHRUBS TO BE PLANTED 3" OC. MIN.
5. PLANTS TO BE LOCATED A MINIMUM OF 3" FROM PAVING.
6. TREES AND SHRUBS SHALL NOT BE PLANTED CLOSER THAN THREE FEET FROM THE EDGE OF ANY IMPERVIOUS SURFACE.
7. SEE NOTE 1 ON SHEET C-300.

IRRIGATION

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE SUFFICIENT IRRIGATION INFRASTRUCTURE TO ALLOW THE PROPOSED LANDSCAPING TO BE ESTABLISHED AND MAINTAINED WHILE THE PERMITTED USE IS OPERATING. COORDINATION WITH OTHER SITE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
2. IF SUFFICIENT HOSE BIRS ARE NOT PRESENT FOR THE PROPOSED IRRIGATION INFRASTRUCTURE, THE CONTRACTOR INSTALL HOSE BIRS AS NECESSARY.

COMPLIANCE NOTE:
REQUIRED LANDSCAPED AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND CONTINUED SO LONG AS THE MAIN USE CONTINUES. FAILURE TO MAINTAIN REQUIRED LANDSCAPED AREA SHALL BE A VIOLATION OF THESE LAND DEVELOPMENT REGULATIONS.

INTERIOR PARKING LANDSCAPE REQUIREMENTS

1. THE REQUIRED 10% OF TOTAL OFF-STREET PARKING AREA (PER 4.2.17.10) INCLUDING ENTRANCE AND DRIVING ISLE TO BE USED FOR LANDSCAPE:

$$6,428 \text{ SF} \times 0.10 = 643 \text{ SF OF AREA TO BE LANDSCAPED.}$$

2. THE REQUIREMENT FOR EACH 200 SF OF PARKING LANDSCAPE AREA IS:

(1) - TREE

REMAINING AREA ADEQUATELY LANDSCAPED WITH SHRUBS, GROUND COVER, OR OTHER LANDSCAPING MATERIAL

$$\text{REQUIRED LANDSCAPE AREA} = 643 \text{ SF} / 200 \text{ SF} = 3.22$$

REQUIRED: (1) - TREES
ADEQUATE SHRUB COVERAGE

PROVIDED: (1) - TREES
(13) - SHRUBS @ 3 GAL

BUFFER LANDSCAPE REQUIREMENTS

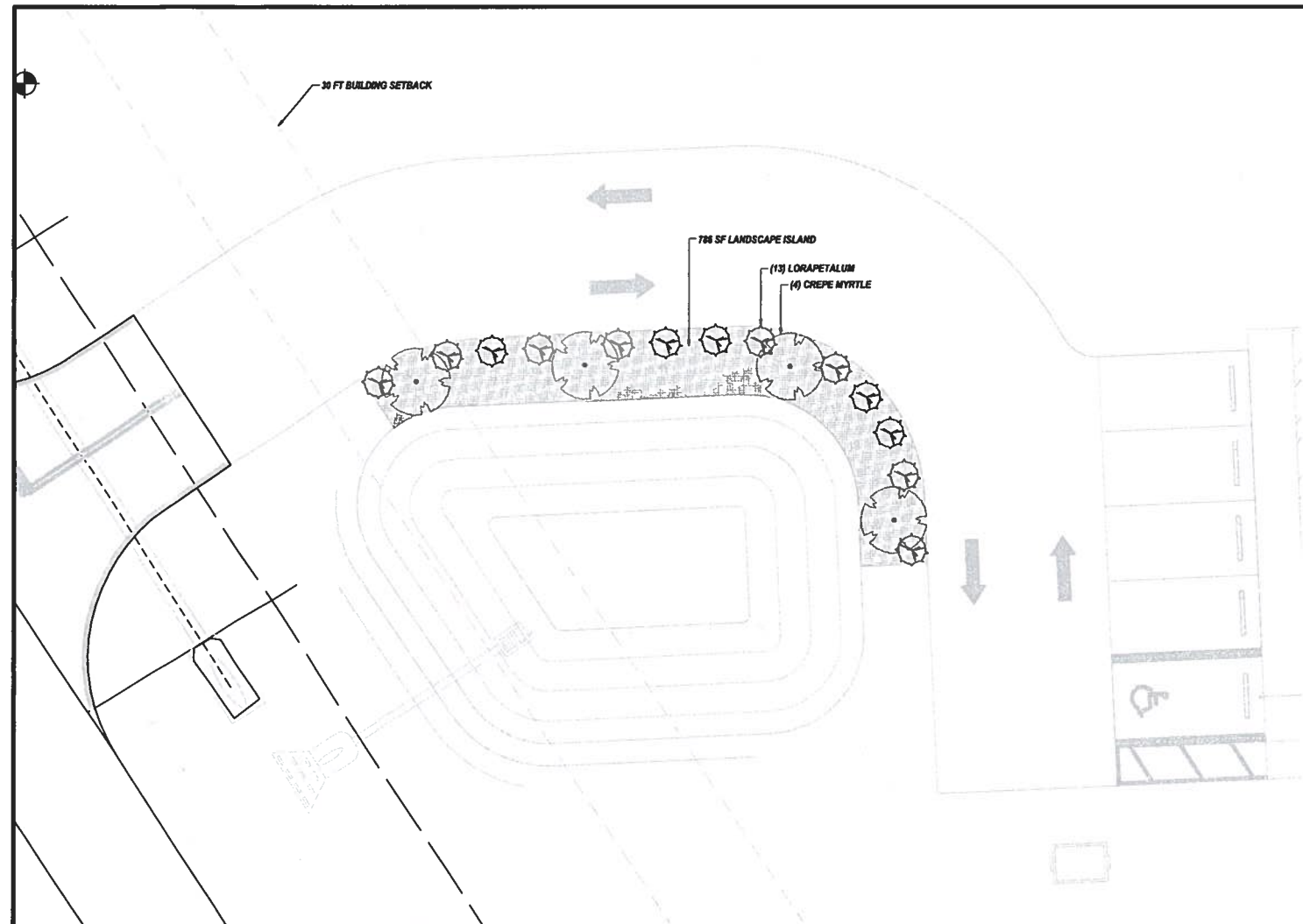
NO BUFFER REQUIRED PER LDR (4.8.12)

LANDSCAPE NOTES

1. CONTRACTOR SHALL INSTALL PLANT MATERIAL AS INDICATED ON THE PLANS. PLANT SPECIES AS INDICATED IN THE PLANS MAY BE SUBSTITUTED WITH OTHER SPECIES APPROVED BY THE CITY. ANY CHANGES MUST HAVE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, THE OWNER, AND THE PERMITTING AUTHORITY.
2. ALL PLANT MATERIAL SHALL BE GRADED FLORIDA #1 OR BETTER AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES GRADES AND STANDARDS FOR NURSERY PLANTS. THE PLANTS SHALL MEET OR EXCEED THE SIZES INDICATED ON THE PLANS.
3. ALL TOPSOIL SHALL BE CLEAN, FRAGILE, FERTILE SANDY-LOAM FREE OF WEEDS, BRUSH, CONSTRUCTION DEBRIS, CLAY LUMPS OR STONES LARGER THAN 2" IN ANY DIMENSION, AND ANY OTHER EXTRANEOUS MATERIAL. MUDGRASS INFESTED SOIL WILL NOT BE ACCEPTED.
4. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY OF ANY UNFORESEEN SITE CONDITIONS (COMPACTED SOIL/SUBGRADE, POOR DRAINAGE, UTILITY CONFLICTS, ETC.) PRIOR TO PROCEEDING WITH LANDSCAPE INSTALLATION.
5. ALL PLANTS, MATERIAL, LABOR, AND WORKMANSHIP ARE SUBJECT TO APPROVAL BY THE OWNER.
6. ALL TREES TO BE COVERED UNDER WARRANTY BY THE CONTRACTOR TO BE ALIVE AND GROWING 12 MONTHS FROM THE DATE OF PLANTING. ALL SHRUBS AND GRASSES TO BE COVERED UNDER WARRANTY BY THE CONTRACTOR TO BE ALIVE AND GROWING 90 DAYS FROM THE DATE OF PLANTING. ANY DEAD OR DYING PLANTS SHALL BE PROMPTLY REPLACED TO CONFORM WITH THE PERMITTED PLANS.
7. UNLESS OTHERWISE SHOWN, ALL DISTURBED AREAS WITHIN SITE SHALL BE DOCKED.
8. CONSTRUCTION-GRADE FILL MATERIAL WITHIN PLANTING AREAS SHALL BE EXCAVATED TO A DEPTH OF THREE FEET BELOW THE FINISHED GRADE OF THE PLANTING AREA AND REPLACED WITH A NON-COMPACTED FRAGILE SANDY-LOAM TOPSOIL.

PLANTING INSTRUCTIONS

1. ALL PLANTING BEDS SHALL BE TOPDRESSED WITH A 4" LAYER OF SANDY-LOAM TOPSOIL. CROWN ALL LANDSCAPED ISLANDS TO A HEIGHT OF 1" ABOVE THE BACK OF CURB OR SIDEWALK.
2. ALL PLANTING BEDS SHALL BE FERTILIZED WITH OSMOCOTE 18-12 SLOW RELEASE FERTILIZER, OR AN APPROVED EQUAL, AT THE MANUFACTURERS RECOMMENDED RATE.
3. TREAT ALL PLANTING BEDS WITH PRE-EMERGENT AND POST-EMERGENT HERBICIDES ACCORDING TO THE MANUFACTURERS SPECIFICATIONS.
4. ALL PLANTING BEDS SHALL BE MULCHED TO 2" MIN. COMPACTED TWICE WITH CLEAN PINE STRAW.
5. LAY SOIL SOLIDLY WITH CLOSELY BUTTING JOINTS IN ALL INDICATED AREAS. ROLL AND FERTILIZED WITH AGRIFORM 36-3 TURF, OR APPROVED EQUAL, AT THE MANUFACTURERS RECOMMENDED RATE. PIN SOIL ON ALL SLOPES 2:1 OR GREATER.
6. STAKE THE PROPOSED LOCATIONS OF ALL TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER PRIOR TO EXCAVATING PLANTING PITS. ADJUST TREE PLANTING LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.
7. EXCAVATE PLANTING PITS SO THAT THE DEPTH AND DIAMETER ARE TWICE THE SIZE OF THE ROOT BALL OR CONTAINER. ALL PLANTING MIX SHALL CONSIST OF THE FOLLOWING: ONE-HALF CLEAN, FRAGILE, SANDY-LOAM TOPSOIL, ONE-HALF ACCEPTABLE ON-SITE SOIL.
8. BACKFILL THE PIT WITH ENOUGH COMPACTED PLANTING MIX SO THAT THE TOP OF THE ROOT BALL WILL REST AT THE FINISHED GRADE.
9. REMOVE THE CONTAINER OR PACKING MATERIAL FROM THE PLANT. LIFT PLANTS BY THE ROOT BALL. WHENEVER POSSIBLE, DO NOT DAMAGE THE BARK, CAMBLIUM, FOLIAGE, BRANCHES, OR ROOTS WHILE MOVING. PLACE THE PLANT UPRIGHT IN THE CENTER OF THE PIT WITH BEST FACE FORWARD.
10. BACKFILL SHRUB AND GROUND COVER PITS WITH APPROVED PLANTING MIX. THEN FILL THE PIT WITH WATER. AFTER THE WATER HAS DRAINED, BACKFILL THE REMAINING HALF OF THE PIT, INSURING THAT THE BASE OF THE TREE TRUNK IS NOT COVERED. SATURATE THE PIT WITH WATER AND TAMP THE SOIL TO REMOVE AIR POCKETS.
11. FOR TREES, BACKFILL ONE-HALF OF THE PIT WITH APPROVED PLANTING MIX, THEN FILL THE PIT WITH WATER. AFTER THE WATER HAS DRAINED, BACKFILL THE REMAINING HALF OF THE PIT, INSURING THAT THE BASE OF THE TREE TRUNK IS NOT COVERED. SATURATE THE PIT WITH WATER AND TAMP THE SOIL TO REMOVE AIR POCKETS.
12. FORM A 6" SOIL BERM AROUND THE OUTERMOST EDGE OF THE PIT TO FACILITATE WATERING.
13. FERTILIZE ALL TREES WITH AGRIFORM 21 GRAM TABLETS, OR APPROVED EQUAL, PER MANUFACTURERS INSTRUCTIONS. FERTILIZE ALL PLANTING BEDS WITH OSMOCOTE 18-12 SLOW RELEASE FERTILIZER, OR APPROVED EQUAL, PER MANUFACTURERS INSTRUCTIONS. TREAT ALL PLANTING BEDS WITH PRE-EMERGENT AND POST-EMERGENT HERBICIDES ACCORDING TO MANUFACTURERS SPECIFICATIONS. ALL RECEIPTS SHOULD BE RETAINED AND MADE AVAILABLE TO THE CITY ENVIRONMENTAL INSPECTOR.
14. MULCH ALL BEDS AND PLANTING PITS WITH PINE STRAW, OR OTHER APPROVED EQUAL TO A MINIMUM COMPACTED DEPTH OF 2".
15. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL BY WATERING, FERTILIZING, SPRAYING, TRIMMING, OR PRUNING AS NECESSARY UNTIL ESTABLISHED AND ACCEPTED BY THE OWNER. LONG TERM CARE OF LANDSCAPING SHALL BE ACCOMPLISHED THROUGH CONTRACT MAINTENANCE.



PLANTING SCHEDULE FOR INTERIOR PARKING LANDSCAPE

TREE					
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE AND SPACING	NOTES
	4	CREPE MYRTLE	LAGERSTROEMIA INDICA	1" CAL	OWNER CHOOSE COLOR
SHRUB					
	13	LOROPETULUM	LOROPETULUM CHINENSIS	3 GAL	



LANDSCAPING PLAN

SCALE: 1" = 20'

DATE

DESCRIPTION

NO.

REVISIONS

DATE

DESCRIPTION

NO.

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FLORIDA

PROFESSIONAL ENGINEER

No. 75584

STATE OF FLORIDA

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HALL'S INDUSTRIAL PARK

LANDSCAPING PLAN & DETAILS

DATE

2020.01.17

DRAWN

DMC

DESIGNED

DMC

CHECKED

ATC

JOB No.

19061

SHEET

L-100