

DATE 02/29/2008

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000026812

APPLICANT BARBARA JOHNSTON PHONE 386.497.1452
ADDRESS 209 SW BOUNDARY WAY FT. WHITE FL 32038
OWNER TOWN OF FT. WHITE PHONE 386.497.1419
ADDRESS 7863 SW US HWY 27 FT. WHITE FL 32038
CONTRACTOR LEWIS WALKER PHONE 386.497.1419
LOCATION OF PROPERTY 47-S TO FT. WHIITE TO RED LIGHT,TR GO 1 BLOCK @ TRAIN DEPOT
ON L ACROSS FROM S&S STORE.
TYPE DEVELOPMENT REROOF ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT REAR SIDE
NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 33-6S-16-14456-001 SUBDIVISION TOWN OF FT. WHITE WEST SIDE OF
LOT BLOCK 56 PHASE UNIT TOTAL ACRES 0.15

RC0067442
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
FDOT X-08-062 JLW N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: TOWN OF FT. WHITE LETTER ORIGINALLY ON FILE FROM PERMIT # 26648
REFER TO THAT PERMIT. NO CHARGE.

Check # or Cash NO CHARGE

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 0.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

497-1419

Columbia County Building Permit Application

For Office Use Only Application # 0802-37 Date Received 2/29 By JW Permit # 26812

Zoning Official _____ Date _____ Flood Zone _____ FEMA Map # _____ Zoning _____

Land Use _____ Elevation _____ MFE _____ River _____ Plans Examiner _____ Date _____

Comments _____

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Authorization from Contractor _____

☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter _____

Septic Permit No. _____ Fax 386-497-1452

Name Authorized Person Signing Permit Barbara Johnston Phone 386 365 0898

Address 209 SW Boundary Wy Ft White Fl. 32038

Owners Name Town of Ft White Phone _____

911 Address 7863 SW US Hwy 27 Ft White Fl 32038

Contractors Name Lewis Walker Roofing Inc Phone 386 497-1419

Address PO Box 82 Ft White Fl 32038

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 00-00-00-144⁵⁶01-00¹ Estimated Cost of Construction 6400.⁰⁰

Subdivision Name _____ Lot _____ Block 56 Unit _____ Phase _____

Driving Directions Take 47 to Ft White At light turn right go 1 block, Train Depot on left across from S+S

Number of Existing Dwellings on Property 1

Construction of Re-roof metal Total Acreage 1.149 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories 1 Heated Floor Area _____ Total Floor Area 1904 Roof Pitch 7/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

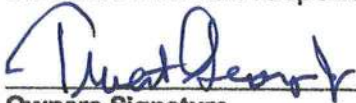
FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

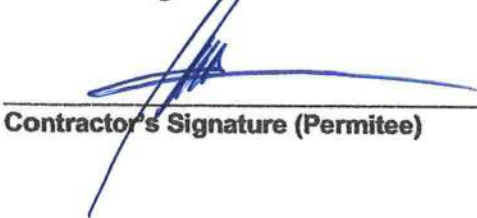
YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

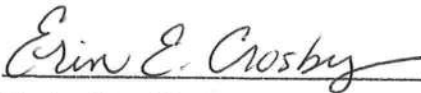
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

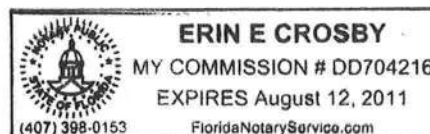
Contractor's License Number RC0067442
Columbia County
Competency Card Number 5883

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 28 day of Feb 2008
Personally known ☒ or Produced Identification ☐



State of Florida Notary Signature (For the Contractor)

SEAL:



Town of Fort White

Post Office Box 129 Fort White, Florida 32038-0129

Town Hall - (386) 497-2321 • Public Works - (386) 497-3345 • Fax (386) 497-4946

Email: townofftwhite@alltel.net • Web site: Townoffortwhitefl.com

CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

FILE No. 055

OWNER'S NAME: Town of Fort White

P.O. Box 129

ADDRESS: 118 SW Wilson Springs Rd. Fort White, FL 32038

PROPERTY DESCRIPTION: 7863 SW US Hwy 27

w/ parcel number

Block #56 parcels 14427, 14428, 14429 and 14456-001

DEVELOPMENT: TRAIN DEPOT RESTORATION

You are hereby authorized to issue the appropriate permits

12-18-07

DATE

Danica E. Revels
LDR ADMINISTRATOR
Town of Fort White

District #1
Donald Cook
497-1086

District #2
Henry Maini
497-2992

District #3
Warren Barnes
497-3312

District #4
Demetric Jackson
497-2078

Mayor
Truett George
497-4741

PORT WHITE: 98 FT OFF W SIDE
BLOCK 56, EX RD R/W.
ORB 378-265, 651-669, 684-678,
864-127, 931-140,

TOWN OF FORT WHITE
P O BOX 129
FORT WHITE, FL 32038

00-00-00-14427-000

PRINTED 1/15/2008 17:40
APPR 5/21/2007 DFDB

Columbia County 2008 R
CARD 001 of 001
BY JEFF

BUSE	AE?	HTD AREA	.000 INDEX	16.00 DIST 4	PUSE 008900 MUNICIPAL
MOD	BATH	EFF AREA	31.005 E-RATE	.000 INDX	
EXW	FIXT	RCN		AVB	
RSTR	BDRM	%GOOD	BLDG VAL	EYB	
RCVR	RMS				
INTW	UNTS	FIELD CK:			
%	C-W%	#LOC: --			
FLOR	HGHT				
%	PMTR				
HTTP	STYS				
%	ECON				
A/C	FUNC				
QUAL	SPCD				
FNDN	DEPR				
SIZE	UD-1				
CEIL	UD-2				
ARCH	UD-3				
FRME	UD-4				
KITCH	UD-5				
WINDO	UD-6				
CLAS	UD-7				
OCC	UD-8				
COND	UD-9				
SUB	A-AREA	%	E-AREA	%	SUB VALUE

BOOK	PAGE	DATE	SALE	PRICE
1055	1151	8/17/2005	U I	30000
GRANTOR LEWIS WALKER				
GRANTOR TOWN OF FORT WHITE				
931	140	7/12/2001	Q I	30000
GRANTOR B MARCUS				
GRANTOR L WALKER				

AE BN	CODE	DESC	LEN	WID	HGT	QTY	Q1	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	GOOD	XFOB	VALUE			
AE	CODE	DESC	ZONE	ROAD	{	UD1	{	UD3	FRONT	DEPTH	FIELD CK:	ADJUSTMENTS	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	GOOD	XFOB	VALUE
N	008900	MUNICIPAL	TOPO	UTLL	{	UD2	{	UD4	BACK	DT		1.00 1.00 1.00 1.00	6500.000	SF	4.000		4.00					26,000	
Y	009945	WELL/SEPT										1.00 1.00 1.00 1.00	1.000	UT	2000.000		2000.00					2,000	
2008																							

LETTER OF AUTHORIZATION

Date: 02/28/08

Columbia County Building Department
P.O. Drawer 1529
Lake City, FL 32056

I Lewis Walker, License No. RC0067442 do hereby
Authorize Barbara Johnston to pull and sign permits on my
behalf.

Sincerely,

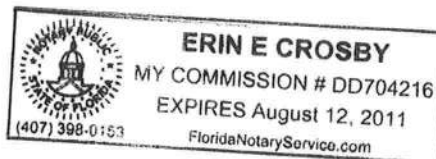
Sworn to and subscribed before me this 28 day of Feb, 2008

Notary Public: Erin E. Crosby

My commission expires: August 12, 2011

Personally Known ✓

Produced Valid Identification: _____



Revised: 3/2006

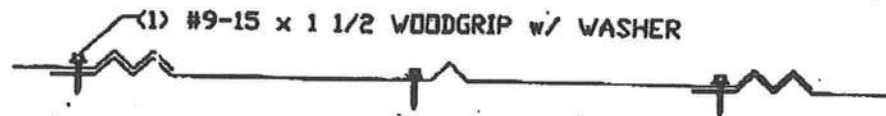
5V CRIMP 26 GA. LOAD TABLE OVER PLYWOOD

GULF COAST

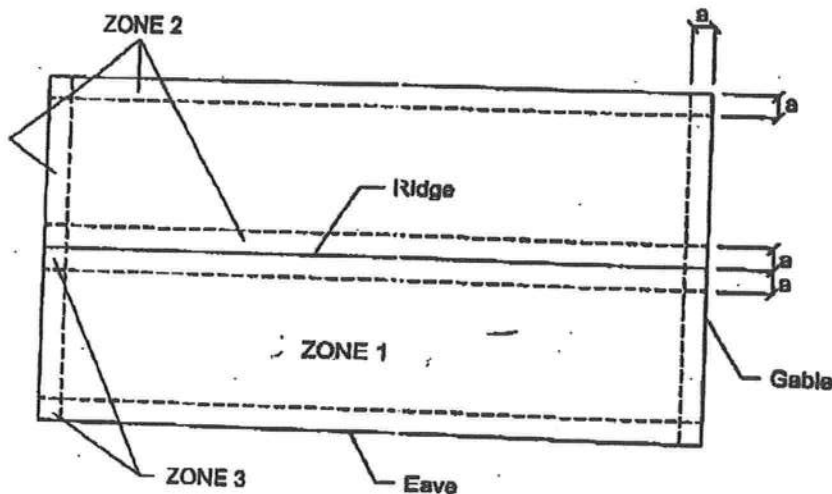
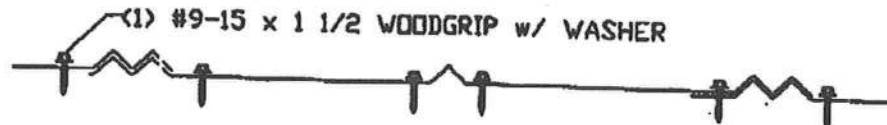
Buildings having a Roof Mean Height $\leq 20'-0"$; Roof Slope: $3"/12"$ - $12"/12"$
Wind Speeds 110-140 mph, Exp C, $I = 1.0$, based on FLORIDA BUILDING CODE 2004

5 V CRIMP 26 GA. FASTENER SPACING						
ZONE	FASTENER	SUBSTRATE	WIND SPEED ZONE			
			110	120	130	140
			ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING
ZONE 1	#9-15 x 1-1/2"	15/32" CDX/ 19/32" CDX	16"	16"	16"	16"
ZONE 2	#9-15 x 1-1/2"	15/32" CDX/ 19/32" CDX	16"	18"	16"	16"
ZONE 3	#9-15 x 1-1/2"	15/32" CDX/ 19/32" CDX	16"	16"	16"	16"

STANDARD PATTERN



PANEL END/END LAP PATTERN



FL#7099.3

Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.



GULF COAST SUPPLY & MFG, INC.

4020 SW 449th St
Horseshoe Beach, FL 32648

Estimate

Date	Estimate #
2/27/2008	20917

Name / Address
LEWIS WALKER ROOFING PO BOX 82 FORT WHITE, FL 32038 352-759-3334

Customer Fax
13864971452

#1 PHONE		#2 PHONE		Rep	Project
				NRS	
Qty	Item	Description	Cost	Total	
935	GL5V24	GALVALUME 24GA 5-V CRIMP	1.65	1,542.75T	
4	GLRC24	GALVALUME RC-2 24GA RIDGE CAP	21.50	86.00T	
12	GLEF424	GALVALUME EF-4 24GA GABLE RAKE	14.50	174.00T	
8	GLED324	GALVALUME ED-3 24GA EAVE DRIP	10.50	84.00T	
2,095	GLWZ	GALVALUME 1.5" WOODZAC LONG-LIFE SCREW	0.12	251.40T	
22	BUTYL	BUTYL TAPE 50' ROLL	3.85	84.70T	
1	DEL	DELIVERY TO FORT WHITE??	90.00	90.00	
		30 lb felt			
			Subtotal	\$2,312.85	
			Sales Tax (7.0%)	\$155.60	
			Total	\$2,468.45	

Signature _____

Phone #	Fax #
(352) 498-0778	(352) 498-7852

Web Site
www.gulfcoastsupply.com



**Gulf Coast
Supply & Mfg. Inc.**

DETAIL MANUAL

and guide to Gulf Coast products



5-V Roofing Panels & Accessories

4020 SW 449 St. • Horseshoe Beach, FL 32648
(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852



Gulf Coast Supply & Mfg. Inc.

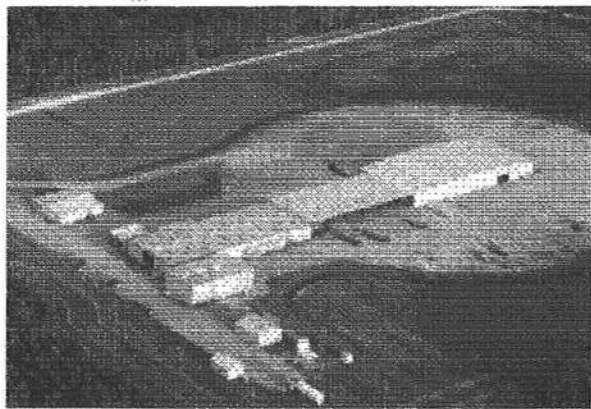


Figure 1 The Gulf Coast Supply office (left) and manufacturing facility.

Gulf Coast panels and trim are fabricated using state-of-the-art computerized equipment at our 28-acre facility near Horseshoe Beach, Florida, to assure uniformity and consistency in product manufacture. Panels are roll-formed to the lengths specified by customers from 26-gauge coil stock, available in any of 20 colors, and ready for either customer pickup or on-site delivery. If your needs include 24-gauge 5-V roofing, ask a salesman what colors are currently available from our ever-increasing variety of in-stock material. 5-V panels carry a minimum 25-year limited coil manufacturer's finish warranty. Your Gulf Coast representative is waiting to assist you in making the best choice for your particular roofing needs.

Gulf Coast also stocks special low profile reflective foil insulation, roll-up doors, fasteners,

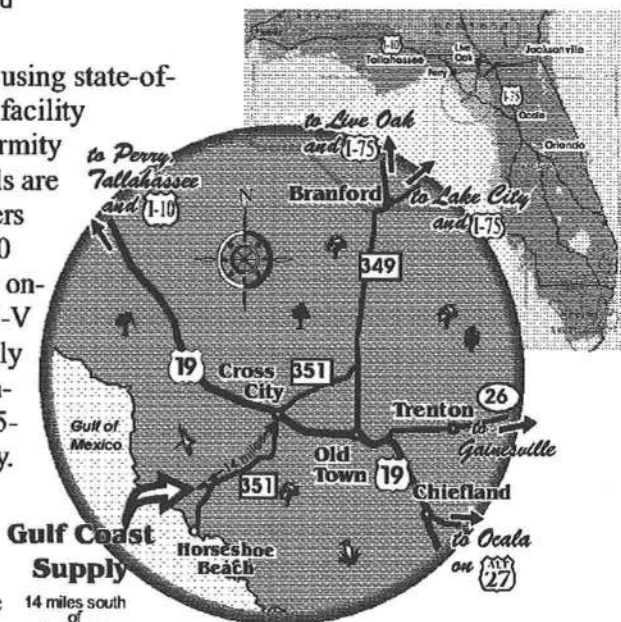


Figure 2 Location of Gulf Coast Supply

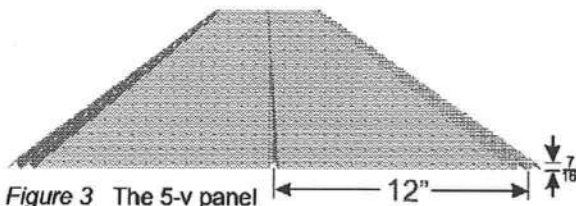


Figure 3 The 5-v panel

sealants, closures, trims, and other accessories to meet every need of either the do-it-yourself home owner or the roofing contractor. Both in-stock and custom-made flashings and trims are available in all colors as well.

Gulf Coast's 5-v panel is produced in a bare, AZ-55 hot dipped Galvalume® finish conforming with ASTM A-792 Structural Steel Grade 80. The AZ-55 Galvalume® finish is not only durable and cost effective, but offers the reflectivity which is so valuable here in the South. The paint system employed on our painted panels offers optimum exterior protection plus superior resistance to corrosion and ultraviolet radiation that conforms with ASTM A-755. All of Gulf Coast Supply's 5-v finishes are of the highest known quality in the industry.

(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852



Gulf Coast Supply & Mfg. Inc.

Installation of Panels

Roof Pitch

Gulf Coast roofing panels require a certain degree of pitch to ensure proper water drainage. **Florida Building Code requires a minimum pitch of 3/12.** This means that the minimum roof slope required for all panels is 3 inches of rise per foot. As a general principle, the less steep the roof, the more necessary the use of ridge closures, and the more necessary also that butyl sealant be used at all side-laps to prevent water from siphoning over the ribs (see *Figure 7* on page 6). Consult our representative for recommendations for your particular roof pitch, and about roofing options if you have less than a 3/12 pitch.

Roof Application

Panel installation should begin at the gable end of the roof opposite the prevailing rain-bearing wind (this will provide added assurance against wind-driven rain being forced under the laps). Measure one full panel width in (approx. 26") from the roof edge. At this point chalk a line from ridge to eave (**avoid getting chalk on panels since it may discolor them**). Place the leading edge of the first panel along this line. It is extremely important that this panel be laid square to the eave and ridge so that the remaining panels will line up square on the roof frame. It is wise to have a person at the eave and at the ridge to ensure that the proper panel coverage is being maintained across the roof. Also be sure that the panels are properly side-lapped (see *fig. 7* on page 6).

In applications where end-lapping is necessary, the upper panel on the slope should lap over the panel that is lower on the slope. Lower roof pitch requires a greater amount of panel overlap. All end-lap applications require two horizontal rows (across the panel) of butyl sealant tape and proper fastening to provide a maximum water seal.

An overhang of 2 to 3 inches is recommended to provide a drip edge, while only 1 inch overhang is necessary where gutters are used. The open panel ribs at the eave can be sealed with inside closures. For maximum weather-tightness, a row of butyl tape can be applied above and beneath inside closures.

Trimming and Cutting Steel Panels

The best device for cutting steel panels *across the profile* is either a portable or hand shear, or a nibbler. Nibblers, however, and especially Carborundum blades on electric saws, do have a tendency to either leave hot metal particles that can burn paint surfaces or leave rust marks on panels and trim. The same is true of any filings left on the roof caused by the application of screws. Care should be taken to brush all such particles from roof surfaces after application.

To *cut panels lengthwise*: Note carefully where the panel is to be cut, and, using a straight-edge, score deeply down the length of the panel with a sharp-pointed utility knife. Folding the panel along the score mark, and bending back again if necessary, should produce a clean break in the panel.

CAUTION! clean all metal shavings and particles off of roof to avoid unsightly rust stains

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Gulf Coast Supply & Mfg. Inc.

Residential Trim

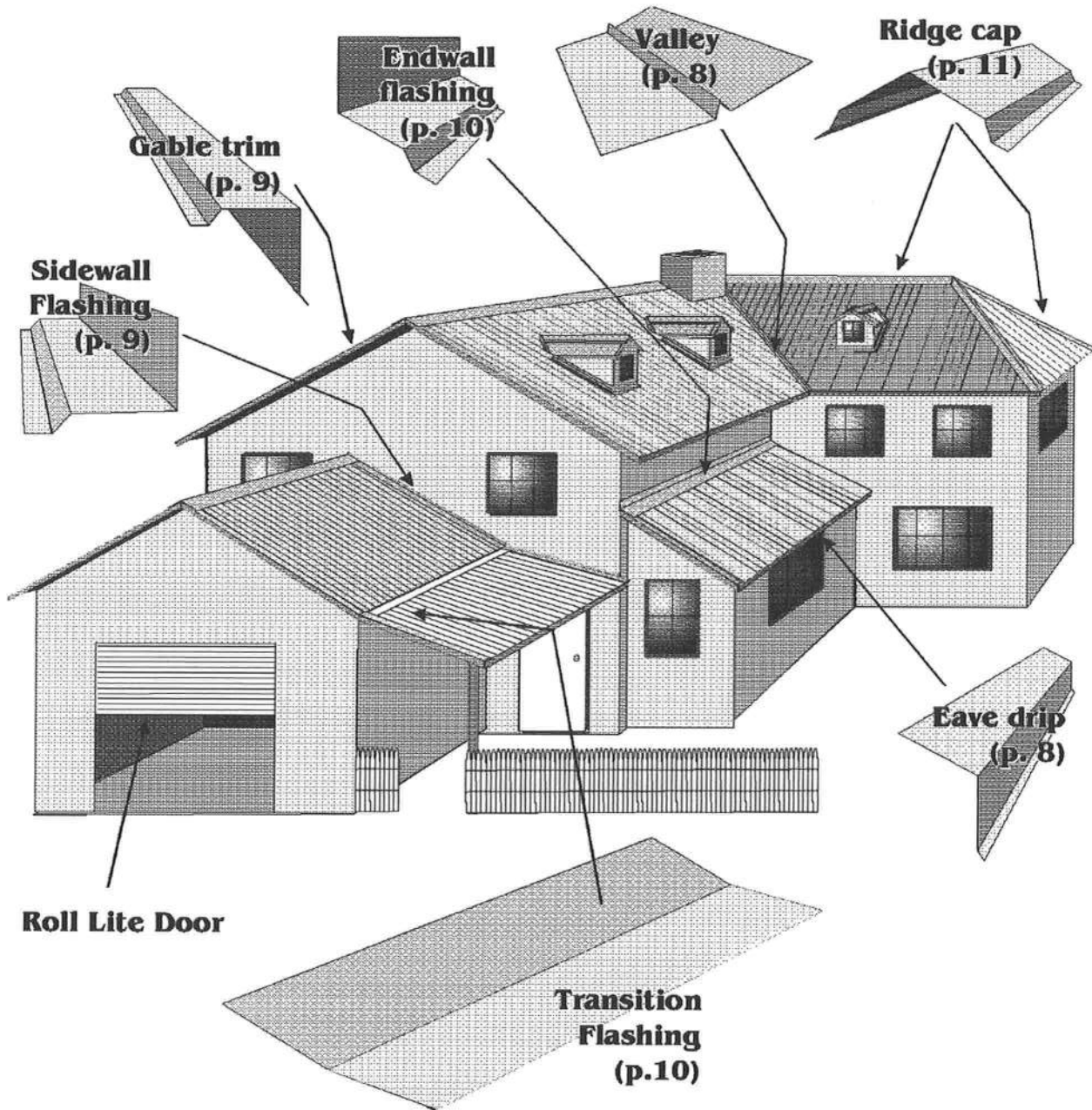


Figure 4 Roofing trims and flashings are named by the location or function of that particular piece on the building.

(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852



Gulf Coast Supply & Mfg. Inc.

Ordering Roof Panels and Screws

Care should be taken to order panels of the correct length to avoid having to make corrective measures after purchase. Panel lengths should fall 2 to 3 inches short of the ridge *when a vented ridge is desired*, and should extend 2 to 3 inches past the eave to allow a sufficient drip edge (except as noted on pg. 3 concerning gutters). The Gulf Coast sales personnel are ready to assist customers with information specific to their particular roof.

Specially-washed screws applied through the flat of the metal is the most recommended method used to attach roofing panels. 1-inch screws can be used if penetration of only $\frac{3}{4}$ inch is either necessary or desired; otherwise, 1½ inch screws are usually recommended. 2½ inch screws are also available, and are often used by those who adhere to through-the-rib fastening, and for ridge-cap application. See page 6 for more information on screw spacing and ordering.

Ordering and Applying Trim

The most common flashing for metal roofing is the **ridge cap**, which is used at the peak of a roof where two opposing roof slopes join. Other flashings include **transition flashing**, **end wall** and **sidewall flashings**, and **valleys** (see diagram on left for application). Eave flashings include **gable flashing** and **eave drip**, either of which are often applied above **fascia** trim. When roof pitch exceeds 5/12 (a 5 inch rise in 12 inches), the slope of the roof should be mentioned when ordering ridge caps, endwalls, and eave drip. When a steeper roof slope meets a lesser slope, both slopes should be mentioned when ordering transition flashing.

At the gable edge the use of gable trim adds to the appearance of the structure and protects the fly-rafter, and sidewall flashing is used where the *side* of a panel butts up against an adjacent wall. In either case, the installer should be careful to seal between the gable rake or sidewall and panel with butyl sealant tape, and to fasten the rake every 6" to 12" up the slope of the roof with the appropriate screws. If eave drip is used on the gable, the number of 90 degree eave drip should be specified separately from that used on the drip edge when ordering.

To prevent penetration of water, insects, and debris at the ridge, outside closures may be inserted between the ridge cap and the top end of the panel. Screws are applied through the ridge cap, closure, and rib in at least every other rib of the panels. At least a 1½" (and up to a 2½") screw should be used for attaching ridge caps. Self-drilling lap screws can also be used to attach ridge caps.

Keep Materials Dry!

Paint and finishes of Gulf Coast panels and trim are designed to withstand severe rain and wet weather conditions. Neither paint, galvanized, or Galvalume finishes, however, are designed to be in continuous contact with water for long periods of time. ***Damage will result if uninstalled panels or trim are allowed to remain wet in storage.*** Be sure to store material that will not be installed immediately in a dry location. Wet material should be air-dried and re-stacked if installation is not planned right away.

(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852



Gulf Coast Supply & Mfg. Inc.

How to figure screws:

For 16-inch spacing between rows of screws, multiply the total linear feet of metal times 2.2

Example: your order is 1250 feet of 5-V roofing.
 $1250 \times 2.2 = 2750$ screws

See table below for other spacings, or contact your Gulf Coast representative for a free estimate.

Gulf Coast Supply carries screws in 3 different lengths: 1 inch, 1½ inch, and 2½ inch. 1-inch screws will penetrate the decking by about ¼ inch, but the 1½ inch are the best all-purpose size, and cost the same amount. 1½-inch screws are

linear feet of panels in your order	Screw Spacing	
	12 inch	16 inch
	50	135
	100	270
	200	540
	300	810
	400	1080
	500	1350
	600	1620
	700	1890
	800	2160
	900	2430
	1000	2700
	1100	2970
	1200	3240

Figure 6 5-v panel screw calculation chart

necessary for attaching ridge caps and other trim that sits above the ribs.

If care is taken, metal roofing application can be aided by pre-drilling panels, allowing screws to go quickly and accurately into the desired spacing. Pre-drilling in stacked panels will work provided that pilot holes are placed accurately in the proper locations on panels (turn panels over to drill).

To apply metal roofing over existing shingles, we recommend first overlaying the shingles with properly attached 1x4 purlins. For solid decking, at least ½-inch plywood or its equivalent is required, and this should be overlaid with felt paper. Codes allow re-roofing over shingles without the use of battens providing the roof has been checked by a licensed roofing contractor to insure levelness and pullout integrity.

Panel lap detail

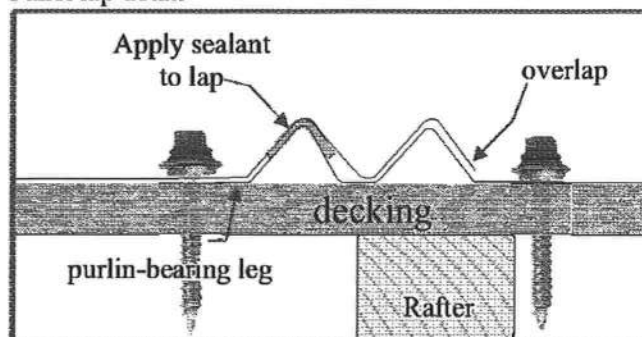


Figure 7 On low-pitched roofs butyl tape or caulk should be applied at the panel lap to keep water from overflowing the lap. Note the anti-siphon "pocket" formed by the mismatch in the lap contours; also, that the *underlap* side of the panel has a short purlin-bearing leg that rests on the roof decking.

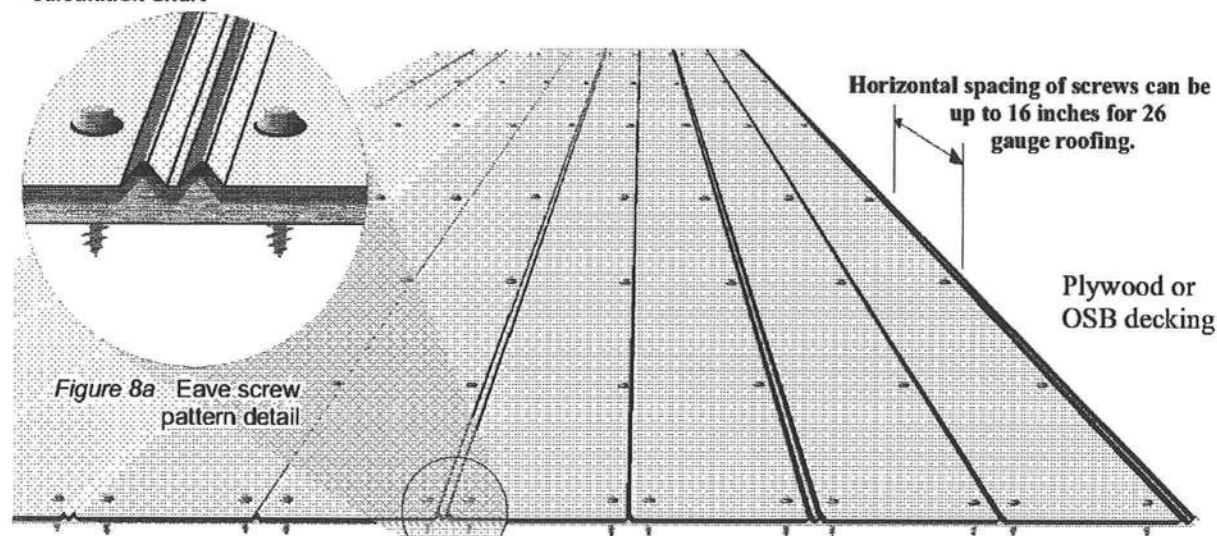


Figure 8a Eave screw pattern detail

Figure 8 Screws should be placed on both sides of the ribs at both the eave and the ridge end of each panel, and on the overlap side of panel laps and along one side of the mid-rib on the rest of the panel (see Fig. 7 above).

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Gulf Coast Supply & Mfg. Inc.

Policies

All trim is manufactured from our best *prime* coil stock, and is returnable as long as it is deemed by our company's representative as being in good, clean, resalable condition, free from scratches, mars, and other damage. The same general principle applies also to the return of other accessories such as screws, boots, closures, etc. Trim that is custom-made is not returnable, and is considered the property of the customer once it has been made, whether paid for or not. Roofing panels may be returned in the above same good condition to be resold as "economy" material, and therefore are not fully refundable.

Delivery policy Delivery charges apply to all orders where delivery is requested. Please consult your Gulf Coast sales department for details.

Sales tax All orders picked up at Gulf Coast Supply, and all orders delivered within the state of Florida, are subject to state sales tax. Tax exemptions should be verified prior to delivery or customer pickup.

Warrantied products All 5-V orders and 5-V trim are manufactured from prime coil stock and come with a 25-year coil manufacturer's warranty.

Indemnity All prices and designs are subject to change without notice

Disclaimer While we have made every attempt at accuracy in this manual, we are not responsible for typographic, printing, or technical errors. While all trim dimensions shown in this manual are a close approximation, actual dimensions may vary, and improved designs may replace older ones.

Return policy All panel orders and special order (non-stock) trim are considered the property of the customer and non-refundable once they are manufactured. Standard trim and accessories are refundable providing they are returned in a clean, resalable condition, less the restocking fee (see above).

Summary of Stock Trims and Flashings

<i>item</i>	<i>special order information</i>
Ridge caps	specify pitch if less than 3/12 or greater than 6/12. RC-2 (stepped) or RC-1 (flat). Also available in larger widths. Closures recommended.
Eave drip	2 common styles. ED-1 (FHA) style is pre-pitched for 3/12 to 6/12 roofs. For appearance or ease of application, order ED-3 eave drip by either specific pitch or as 90° gable trim (see diagrams on p. 9).
Gable flashings	Residential (EF-4) and rake-and-corner style (GR-3) rakes available. Butyl sealant recommended between rake and roofing panels.
Valleys (PV-1)	specify pitch if greater than 7/12. Seal with expanding foam closure material. Open-hemmed valleys (PV-2) aid water-tightness.
Sidewall (SW-4)	Use butyl sealant between sidewall flashing and panel.
Endwall (EW-2, EW-1)	Order hemmed (EW-2) or "stepped" (EW-1). Specify pitch if greater than 5/12. Seal with outside closures.
Transition flashing (TF-1)	Specify pitches of both roofs. Seal lower slope using outside closures and, if desired, inside closures on upper slope.

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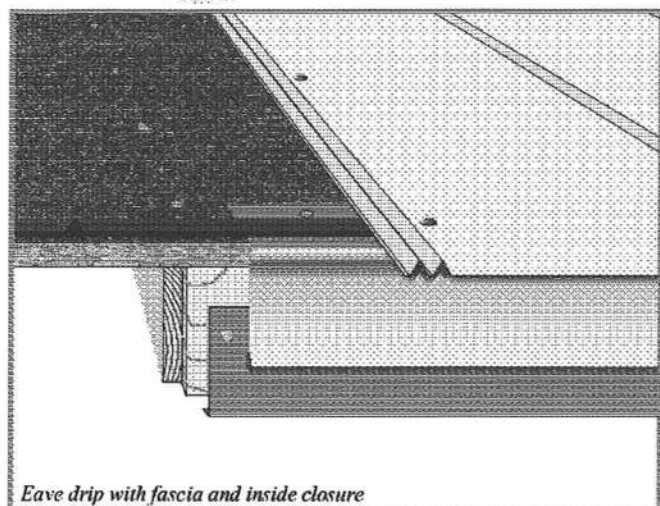
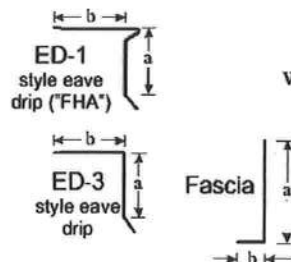
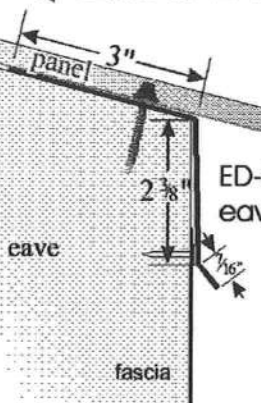


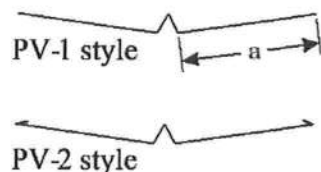
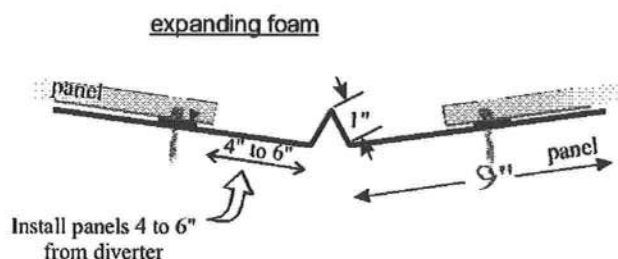
Figure 9 Eave drip and fascia give a finished look along the drip eave of the house, as well as providing protection for the materials they cover. The eave drip should completely cover the top edge of the fascia. Inside closures, which seal off the open ribs of the panels, are optional.

Eave Drip & Fascia

For custom eave drip, specify the amount of the eave that will be covered (dimension "a"), and for either standard or custom roofs, specify pitch. Both ED-1 and ED-3 eave drip match the EF-4 trim used on the gable. If fascia is to be used, be sure that the dimension you order will allow the top of the fascia to be hidden by the eave drip.



Preformed Valley



Two basic styles of valley are available. For custom valleys, specify dimension "a" and roof pitch.

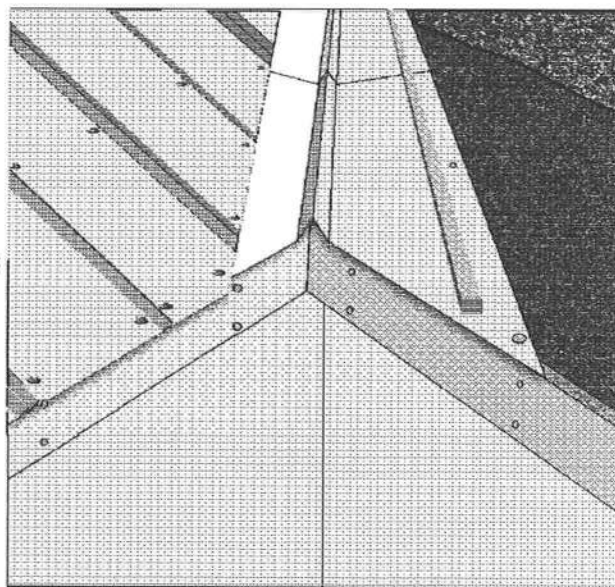
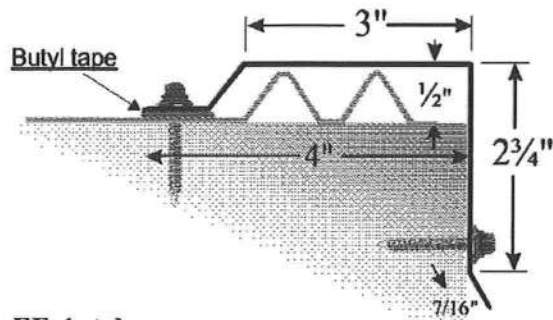


Figure 10 Pre-formed valleys use a diverter to prevent water from rushing under panels on the opposite side while channeling water off the roof. Expanding foam closures (pictured above) are often used to assure a good seal.

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Gable Flashing ▶



EF-4 style

Custom trim—specify a custom length for a or b .

GR-3 style

Custom trim—specify a custom length for a or b .

Standard dimensions — $a = 2\frac{3}{4}"$
 $b = 2\frac{3}{4}"$

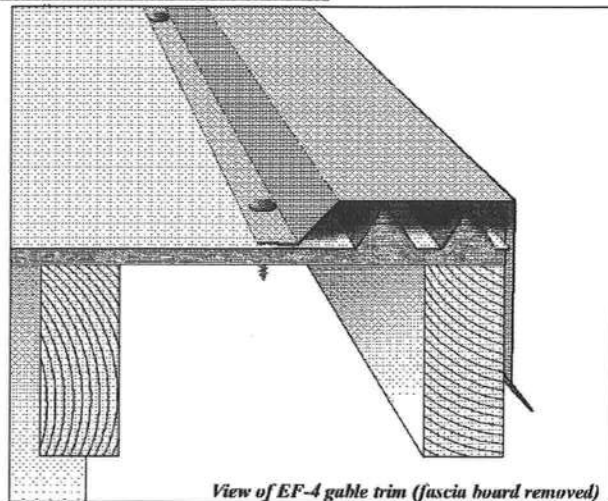


Figure 11 Gable flashing is used to trim the edge of the roofing panel at the gable end of the roof. It should match the eave drip that extends along the drip edge of the roof. If the panel is allowed to hang over the gable end, eave drip can be used instead. Butyl tape between the trim and panel eliminates leaks.

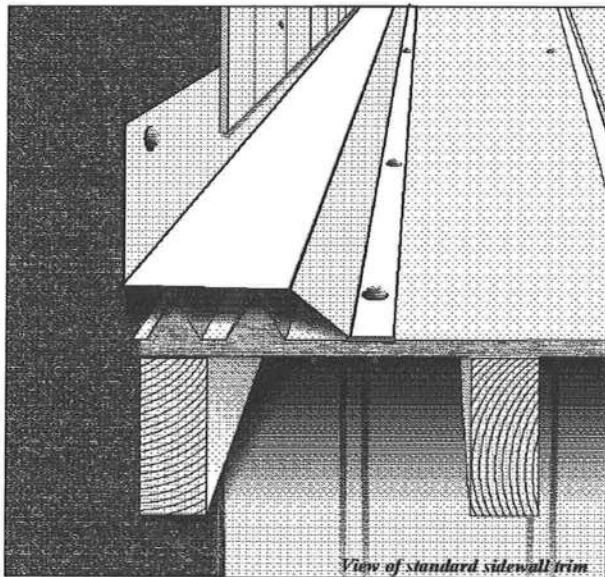
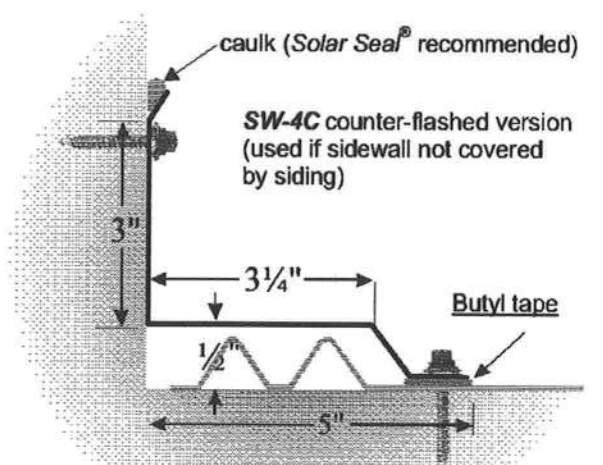


Figure 12 Sidewall flashing is applied when the side of the roof butts up against an adjacent wall. The wall-side of the flashing can either be covered over with siding or sealed with caulk using the SW-4C sidewall. Butyl tape should be applied where the "foot" of the flashing attaches to the roof.

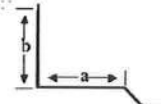
◀ Side-wall Flashing



SW-4 Sidewall

Standard dimensions — $a = 3"$
 $b = 3"$

Custom trim—specify a custom length for a or b .





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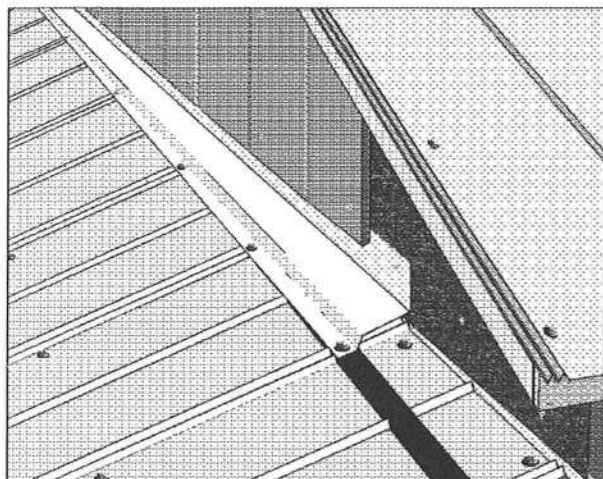
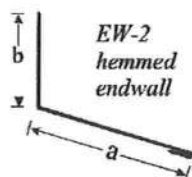
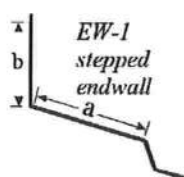


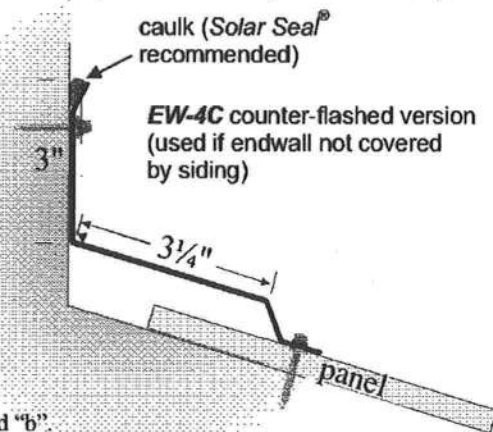
Figure 13 As with the ridge cap, the ENDWALL FLASHING above can be sealed using outside closures.



For custom end-walls, specify roof pitch and dimensions "a" and "b".

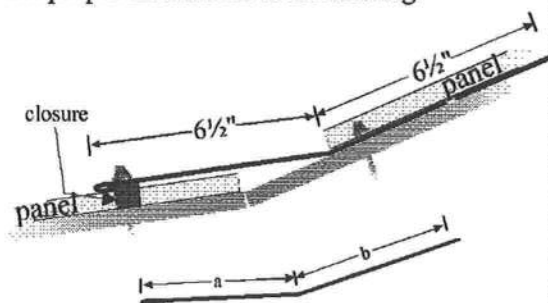
End-wall Flashing

End-wall flashing is applied where the upward slope of a roof meets a wall. The wall side of the flashing can be covered with siding or sealed with caulk (see figure below), and outside closures are used to seal between the flashing and the panel. Roof slope should be mentioned if roof exceeds 5/12 pitch. Use EW-2 hemmed endwalls when endwalls corner with sidewalls (as with chimneys and dormers).



Transition Flashing

Transition flashing prevents leakage at the point where two different roof pitches meet. Note in the diagram below the necessity of shortening the upper panel lengths to allow for proper installation of the flashing.



For custom transition flashing specify the pitches of the two roof slopes and, if necessary, dimensions "a" and "b".

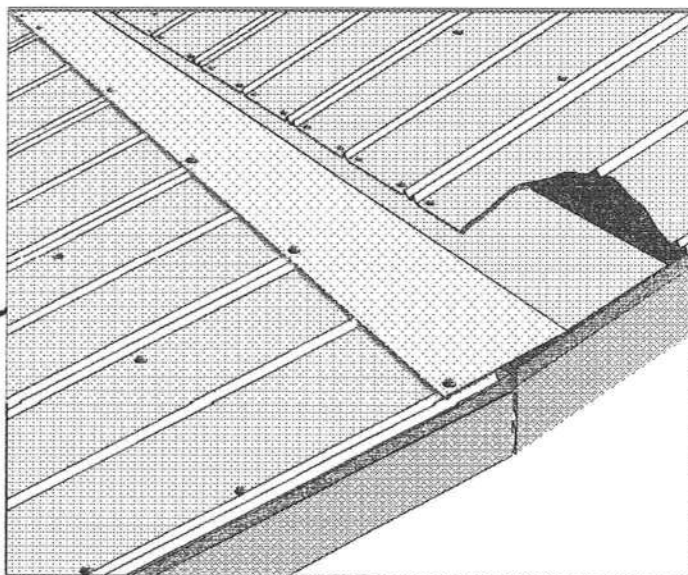


Figure 14 The transition flashing allows continuous drainage where two slopes meet. It is sealed on the lower side with outside closures, and can be sealed underneath the upper panels with inside closures.

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Ridge Cap ►

The Ridge Cap is used to seal the upper point at which two slopes meet. This can be both along the ridge of the roof as well as the covering for a hip. Either woodgrip or self-drilling lap TEK screws are applied *through the ribs* of the metal.

Debris, insects, and blowing rain can find easy access under the ridge cap, so closures are often used to either completely or partially seal the opening. Closures under ridge caps come in 3 types: solid, vented, and hip tape.

Solid closures ("Outside Closures") are as long as the width of the panels. They lock together in a row placed directly under the screws that attach the ridge cap, and form a solid, water-tight, air-tight barrier. (see Figure 15 above).

Vented closure (*Profile Vent*[®] and *Versa-Vent*[®]) forms a water-retardant, insect-resistant barrier that allows hot air to escape from the attic. It is superior to many more elaborate and expensive venting systems.

Hip closure tape (*Peel and Seal*[®]) is a sticky, adhesive-backed metallic tape that seals the hip roof. It is 6 inches wide and comes in 33½ foot rolls. Because it must conform to the rise and fall of panel ridges, approximately 10% extra may be needed beyond the length of the hip being covered.

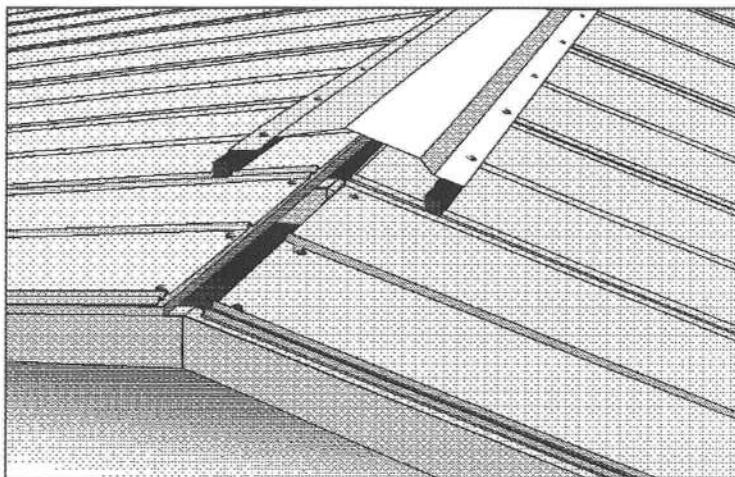


Figure 15 Ridge cap shown here with outside closures in place.

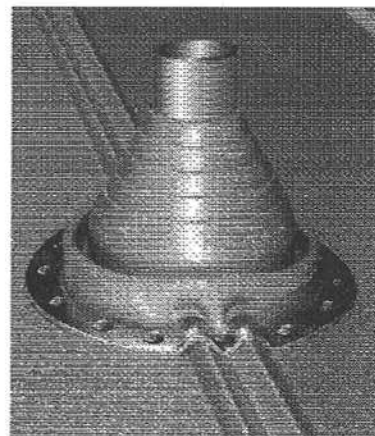
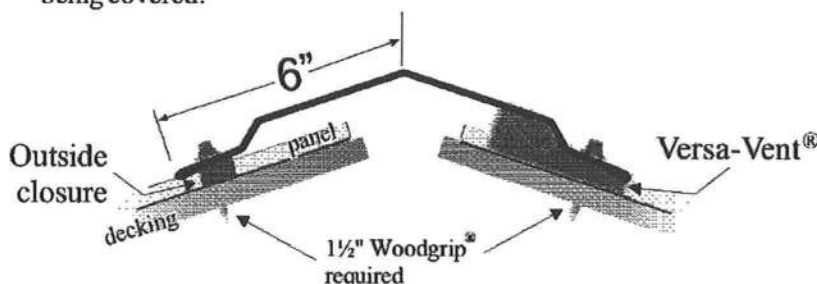
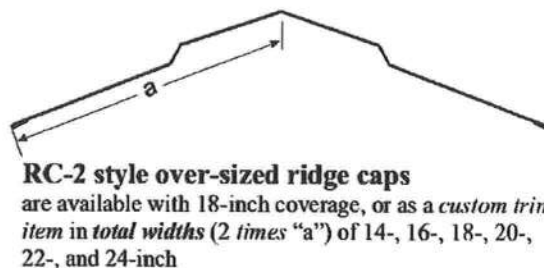
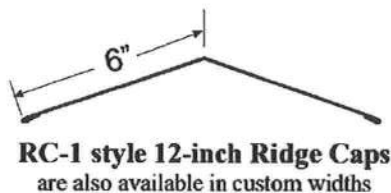


Figure 16 Pipe Boots provide a water-tight seal around roof vents and come in a variety of sizes. They seal with caulk under the base and around pipe, and conform to the shape of the panel ribs.



RC-2 Standard 12-inch Ridge Caps

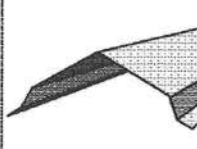
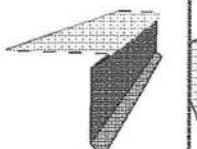
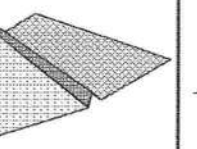
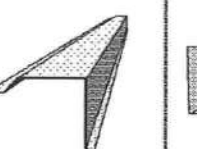
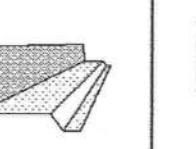
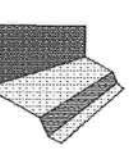
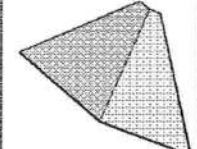
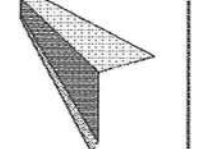
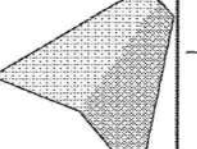
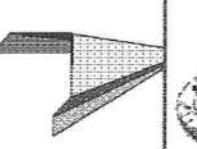
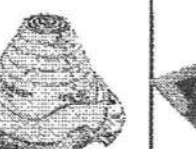


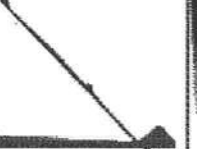
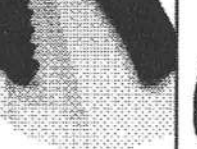
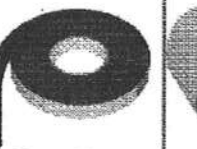








are strong, economical and adequate for most of your roofing needs



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 RC-2 Ridge cap (pg. 11)	 ED-1 eave drip (pg. 8)	 PV-1 valley (pg. 8)	 EF-4 Gable rake (pg. 9)	 SW-4 Sidewall (pg. 9)	 EW-4 Endwall (pg. 10)
 TF-1 Transition flashing (pg. 10)	 ED-3 eave drip (pg. 8)	 GF-1 Gambrel flashing	 GR-3 Gable rake (pg. 9)	 Pipe Boot (pg. 11)	 Electrical Boot
 Outside Closures	 Inside Closures	 Versa-Vent*	 Expanding Foam	 Peel and Seal*	 Touch-up Paint
 Butyl Tape	 Solar Seal*	 Foil-backed thermal barrier Insulation	 Woodgrip® Screws	 S/D-TEK Lap-TEK TEK screws	 Ulti-mate® screws

Guide to Misc. Accessories

<i>item</i>	<i>application</i>
pipe boot	Fits over vent and heat pipes. Available also in <i>heat-resistant</i> boots.
electrical boot	Fits around pipes with inaccessible tops (such as weatherheads).
outside closures	Seals under ridge caps and transition and endwall flashings.
inside closures	Seals under panels, particularly on the eave.
Versa-Vent*	Vented closure material that allows attic to ventilate through the ridge.
expanding foam	Compressed adhesive foam expands to seal between valleys and panels.
Peel and Seal*	Seals hips under hip caps. Also, a general purpose sealing tape.
touch-up paint	Hides scratches and mars encountered in installation.
butyl tape	General purpose low-cost sealant, used on panel laps and under trim.
Solar Seal*	A superior general purpose caulk for all joints. Matches panel colors.
1/4 inch insulation	Greatly reduces radiant heat when installed under panels.
Woodgrip® screws	Used in all applications attaching metal to wood. 1", 1½", 2½" sizes.
TEK screws	Self-drilling TEK screws for metal purlins. Lap TEK screws draw together joints and attach trim.
Ulti-mate® screws	Lifetime warranted screws; available for wood or metal (self-drilling).

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NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

CASH

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 00-00-00-14427-000-04

1. Description of property: (legal description of the property and street address or 911 address)

98ft off W side block 56, ex Rd R/W ORB 378-265, 651-669
684-678, 864-127, 931-140, WD 1055-1151

Inst: 200812004168 Date: 2/29/2008 Time: 10:49 AM
17 DC, P. DeWitt Cason, Columbia County Page 1 of 1

2. General description of improvement: Re-roof metal

3. Owner Name & Address Town of Fort White PO Box 129 Ft White
FL 32038 Interest in Property owner

4. Name & Address of Fee Simple Owner (if other than owner): N/A

5. Contractor Name Lewis Walker Roofing Inc Phone Number 386-497-1419
Address PO Box 82 Ft White FL 32038

6. Surety Holders Name N/A Phone Number N/A

Address N/A

Amount of Bond N/A

7. Lender Name N/A Phone Number N/A

Address N/A

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name N/A Phone Number N/A

Address N/A

9. In addition to himself/herself the owner designates N/A of N/A

N/A to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee N/A

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) N/A

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.


Signature of Owner

Sworn to (or affirmed) and subscribed before
day of 28 Feb, 2008

NOTARY STAMP/SEAL

