

PROPOSED ADDITION
JAMES AND DANE PARKS RESIDENCE

168 SE OLUSTEE AVENUE, LAKE CITY, FL 32025

PARCEL NUMBER
94-3S-17-07160-000

LEGAL DESCRIPTION
LOT 4, BLOCK 7, REPLAT OF COUNTRY CLUB ESTATES, A SUBDIVISION ACCORDING THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 32, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

SCOPE OF WORK
THIS PROJECT ENTAILS CONSTRUCTION OF A NEW WOOD FRAME ON MONOLITHIC CONCRETE SLAB BATHROOM. MINOR AIR CONDITIONING, ELECTRICAL AND PLUMBING WORK WILL BE REQUIRED. INTERIOR FINISHES WILL BE TEXTURED GYPSUM WALLBOARD WALLS AND CEILINGS. FLOORING SELECTION POWNERS SPECIFICATION. EXTERIOR FINISHES WILL BE HARDIPANEL SIDING ON SIDEWALLS, ALUMINUM FASCIA, AND VENTED PLYWOOD SOFFIT AND 3-TAB FIBERGLASS SHINGLES OVER "PEEL-N-STICK" WATER BARRIER.

ENGINEERS STATEMENT
THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH 2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENTS, RESIDENTIAL EDITION, SEC. R301 CRITERIA AND ASCE 7-05. TO THE BEST OF MY KNOWLEDGE THESE CONTRACT DOCUMENTS PREPARED UNDER MY DIRECT SUPERVISION COMPLY WITH THE APPLICABLE MINIMUM CODE REQUIREMENTS AND THE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTERS 553 AND 633 OF THE FLORIDA STATUTES.

ALL ALTERATIONS OR REPAIRS TO EXISTING MEET OR EXCEED FLORIDA BUILDING DE EXISTING 2007 WITH 2009 SUPPLEMENTS.

DISCLAIMER
THE EXISTING CONDITIONS AS SHOWN ON THIS SITE PLAN AND OTHER DRAWINGSID DETAILS IN THIS PLAN SET ARE FROM SURVEY PLATS AND VERIFIED BY FIELD MEASUREMENTS. STRUCTURAL PLAN SERVICES, INC. TAKES NO RESPONSIBILITY AS TO THE ACCURACY OR COMPLETENESS OF THE REPRESENTANS.

DESIGN CRITERIA

CONSTRUCTION TYPE: V-B	
WIND SPEED = 110 MPH (3 SEC. GUST)	
WIND IMPORTANCE FACTOR = 1.0	
WIND EXPOSURE = CATEGORY B	
INTERNAL PRESSURE COEFF. = 0.18	
COMPONENTS AND CLADDING (PSF)	
ROOF =	+14.9 / -50.1
WALL =	+25.9 / -34.7
SLIDING GL. DOOR =	+28.9 / -34.7
WINDOWS =	+25.9 / -34.7

ASSUMED LOAD BEARING CAPACITY OF SOIL - 2000 PSF

LIVE LOADS

ROOF =	20 PSF
FLOORS, STAIRS =	40 PSF
DECKS, BALCONY =	60 PSF
ATTIC, UNINHABITABLE, WITHOUT STORAGE =	10 PSF
WITH STORAGE =	20 PSF

DEAD LOADS

ROOF =	7 PSF
CEILING =	10 PSF

GENERAL MASONRY NOTES

CODES

- * FLORIDA BUILDING CODE RESIDENTIAL 2007 WITH 2009 SUPPLEMENTS
- * FLORIDA BUILDING CODE EXISTING 2007 WITH 2009 SUPPLEMENTS
- * BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-08)
- * AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDS AND OTHER STRUCTURES (ASCE 7-05)

CONCRETE

- * CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
PRECAST W/ STD. REINFORCEMENT - 3500 PSI
PRECAST W/ PRESTRESSED REINFORCEMENT - 5000 PSI
CONCRETE FILL (PLACED IN FIELD) - 3000 PSI
- * REINFORCING BARS
PRESTRESSED STRANDS ASTM A416 7-WIRE
FIELD PLACED ASTM 615 GRADE 40
DETAIL REINFORCEMENT IN ACCORDANCE WITH ACI 315
- * CONCRETING OPERATIONS SHALL COMPLY WITH ACI STANDARDS

MASONRY

- * DESIGN AND CONSTRUCTION SHALL CONFORM TO THE SPECIFICATION OF THE NATIONAL CONCRETE MASONRY ASSOCIATION AND ACI 530
- * MINIMUM MASONRY UNIT STRENGTH - fm 1250 PSI
- * MORTAR SHALL BE TYPE S

STRUCTURAL

- * SAFE LOAD TABLES ARE BASED ON LINTELS HAVING A BEARING OF 8" (WITH A MINIMUM ACCEPTABLE BEARING OF 4" PER SECTION 2101.3.1 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE (WITH 2009 REVISIONS)

CONTRACTOR

- * CONTRACTOR/MASON TO VERIFY ALL LINTEL SPANS PRIOR TO ORDERING OR INSTALLATION
- * ENGINEER OF RECORD MUST BE NOTIFIED IF THE GARAGE DOOR LINTEL IS LESS THAN 8x17 COMPOSITE

MISCELLANEOUS

- * EXTRA MASONRY COURSES BETWEEN LINTEL AND BOND BEAM ARE DEEMED ACCEPTABLE IF POURED SOLID
- * A SINGLE SOLID FILLED LINTEL OF THE SAME LENGTH MAY BE USED TO SEPARATE DOORS AND WINDOWS FROM TRANSOM ABOVE. TOP PRECAST LINTEL TO BE SIZED PER PLAN

GENERAL FRAMING NOTES

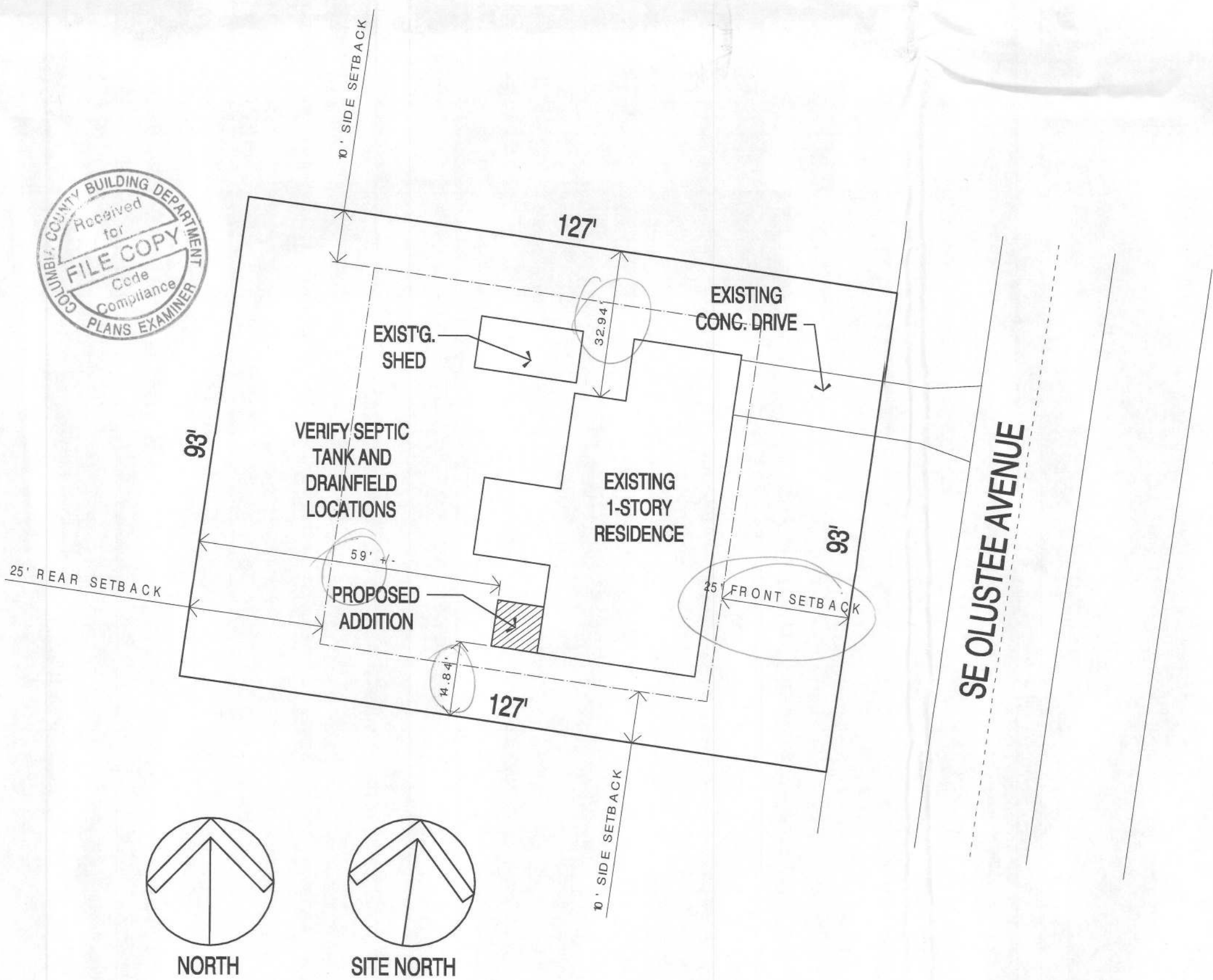
- * ALL LUMBER TO SOUTHERN YELLOW PINE No. 2 OR SPRUCE-PIKE-FIR No. 2. MAXIMUM MOISTURE CONTENT OF 19%. EXTERIOR LUMBER AND LUMBER IN CONTACT WITH CONCRETE TO BE PRESSURE-TREATED.
- * EXTERIOR WINDOWS AND GLASS DOORS MUST MEET THE REQUIREMENTS OF R-613-1 OF THE FLORIDA RESIDENTIAL BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENTS.
R-613-1.1 EXTERIOR WINDOWS AND GLASS DOORS
R-613.1.1 TESTING AND LABELING. EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS, AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:
WINDOWS - ANSI/AAMA/NWMA 101/IS2 287.

AREA SUMMARY

EXISTING CONDITIONED AREA	1368 S.F.
EXISTING NON-CONDITIONED AREA	621 S.F.
TOTAL EXISTING AREA UNDER ROOF	1980 S.F.
PROPOSED DEMOLITION AREA	0 S.F.
NET AREA UNDER ROOF (PRIOR TO NEW CONSTRUCTION)	1980 S.F.
PROPOSED ADDITIONAL CONDITIONED AREA	80 S.F.
PROPOSED ADDITIONAL NON-CONDITIONED AREA	0 S.F.
TOTAL PROPOSED ADDITIONAL AREA	80 S.F.
POST-CONSTRUCTION CONDITIONED AREA	1439 S.F.
POST-CONSTRUCTION NON-CONDITIONED AREA	621 S.F.
POST-CONSTRUCTION NET AREA UNDER ROOF	2060 S.F.

SHEET INDEX

1	PROJECT DATA, SITE PLAN, GENERAL NOTES, DESIGN CRITERIA
2	EXISTING/PROPOSED FLOOR PLANS AND ELEVATIONS
3	FOUNDATION, ELECTRICAL, ROOF FRAMING PLANS & DETAILS



THIS IS NOT A SURVEY
PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

DATE	REMARK
12.03.10	PERMIT SET

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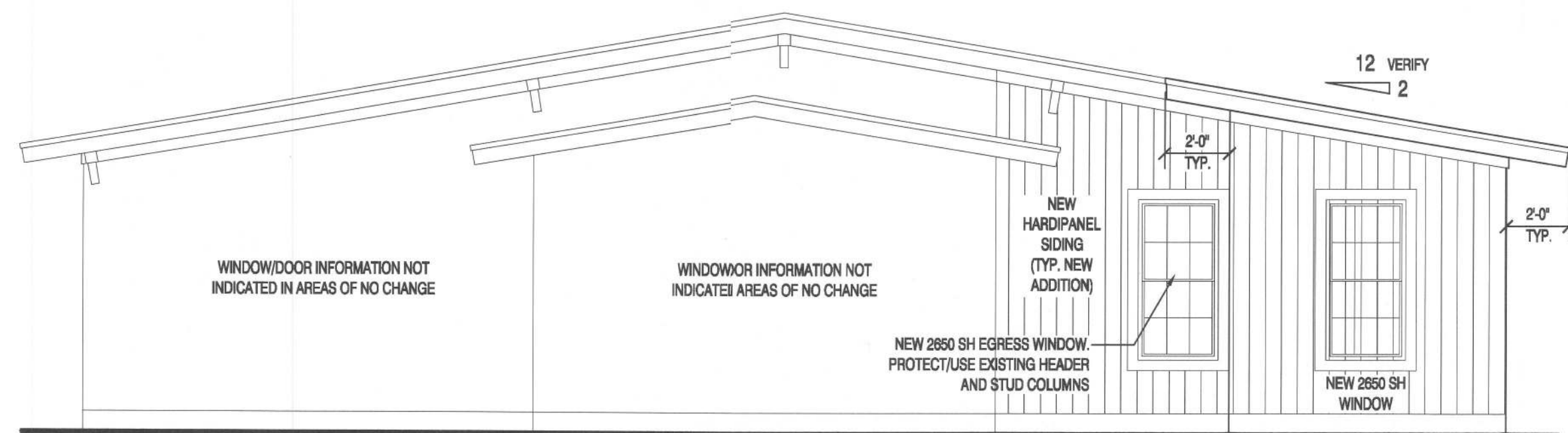
**PROPOSED ADDITION
PARKS RESIDENCE**
168 SE OLUSTEE AVE., LAKE CITY, FL 32024
PARCEL NO. 34-3S-17-07160-000

SHEET NUMBER

1

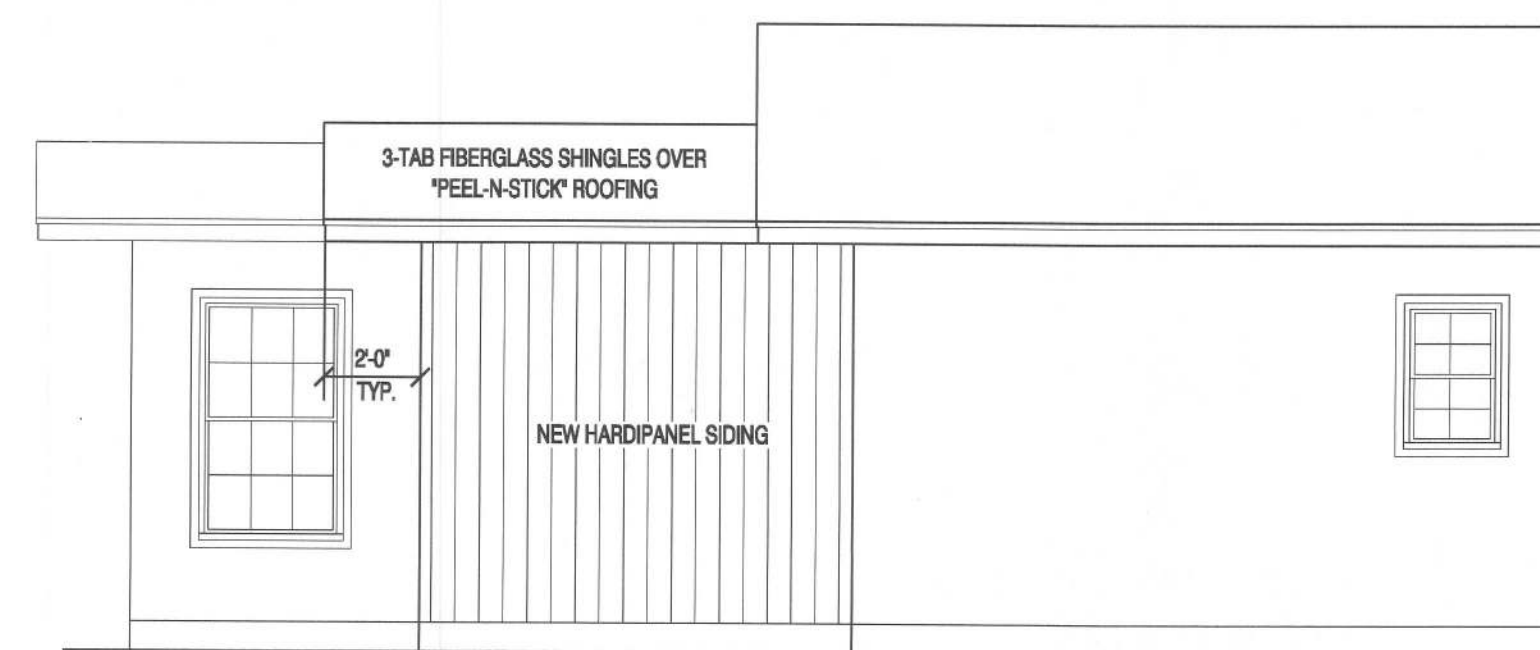
OF 5 SHEETS

PROJECT NO. 101101



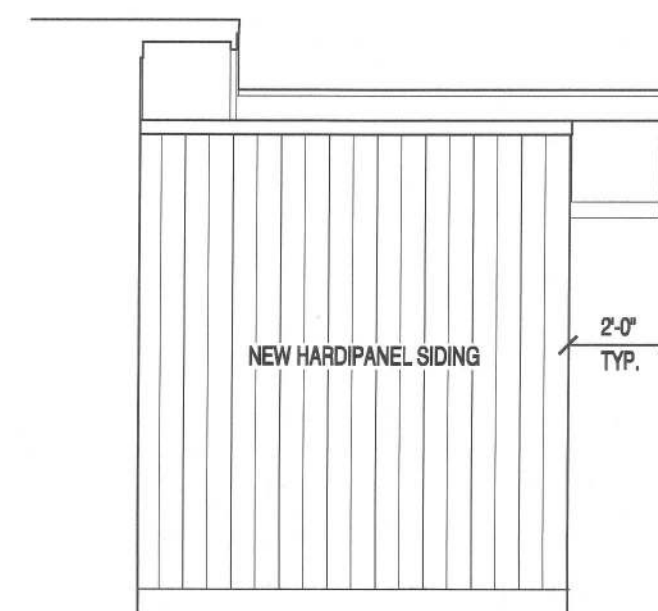
PROPOSED PARTIAL WEST ELEVATION

SCALE: 1/4" = 1'-0"



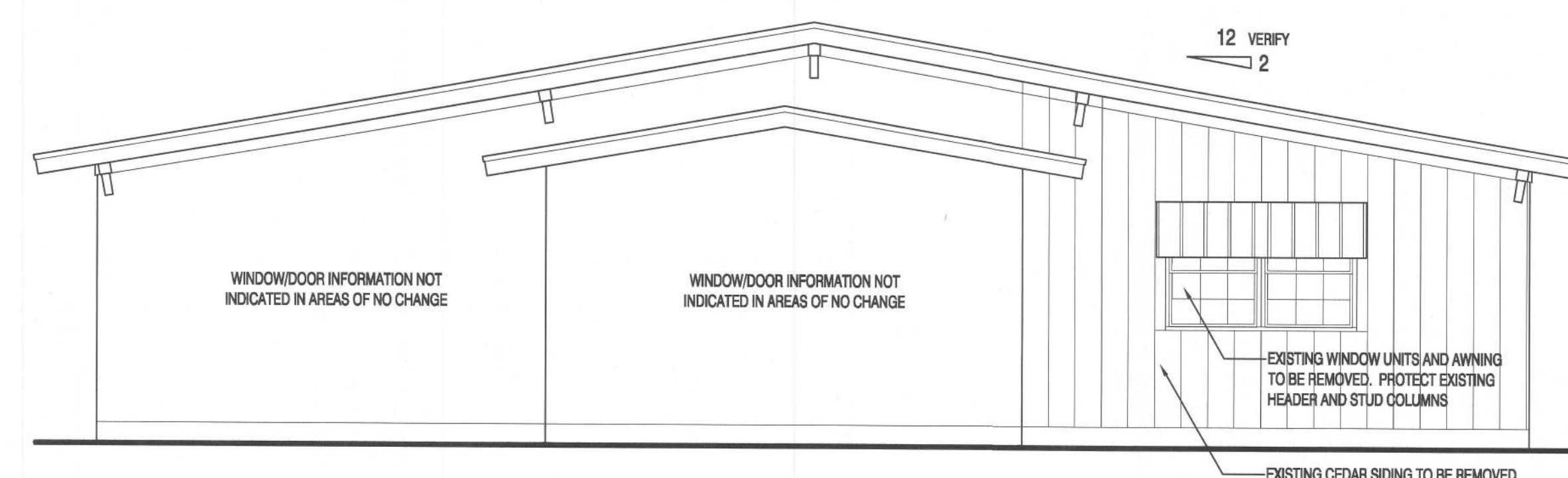
PROPOSED PARTIAL SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



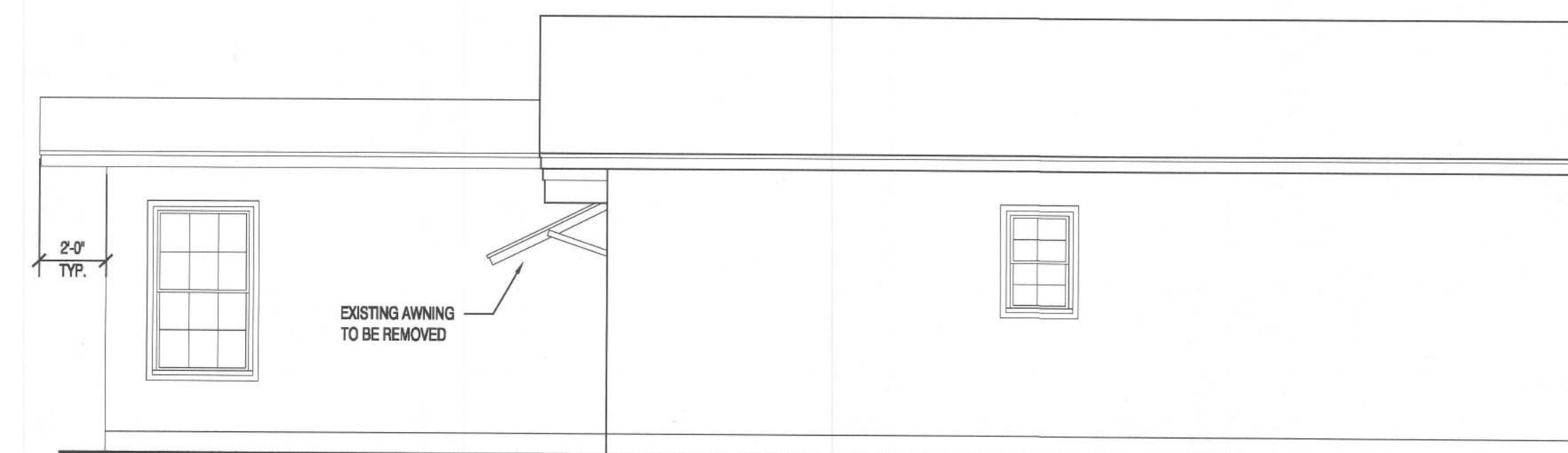
PROPOSED PARTIAL NORTH ELEVATION

SCALE: 1/4" = 1'-0"



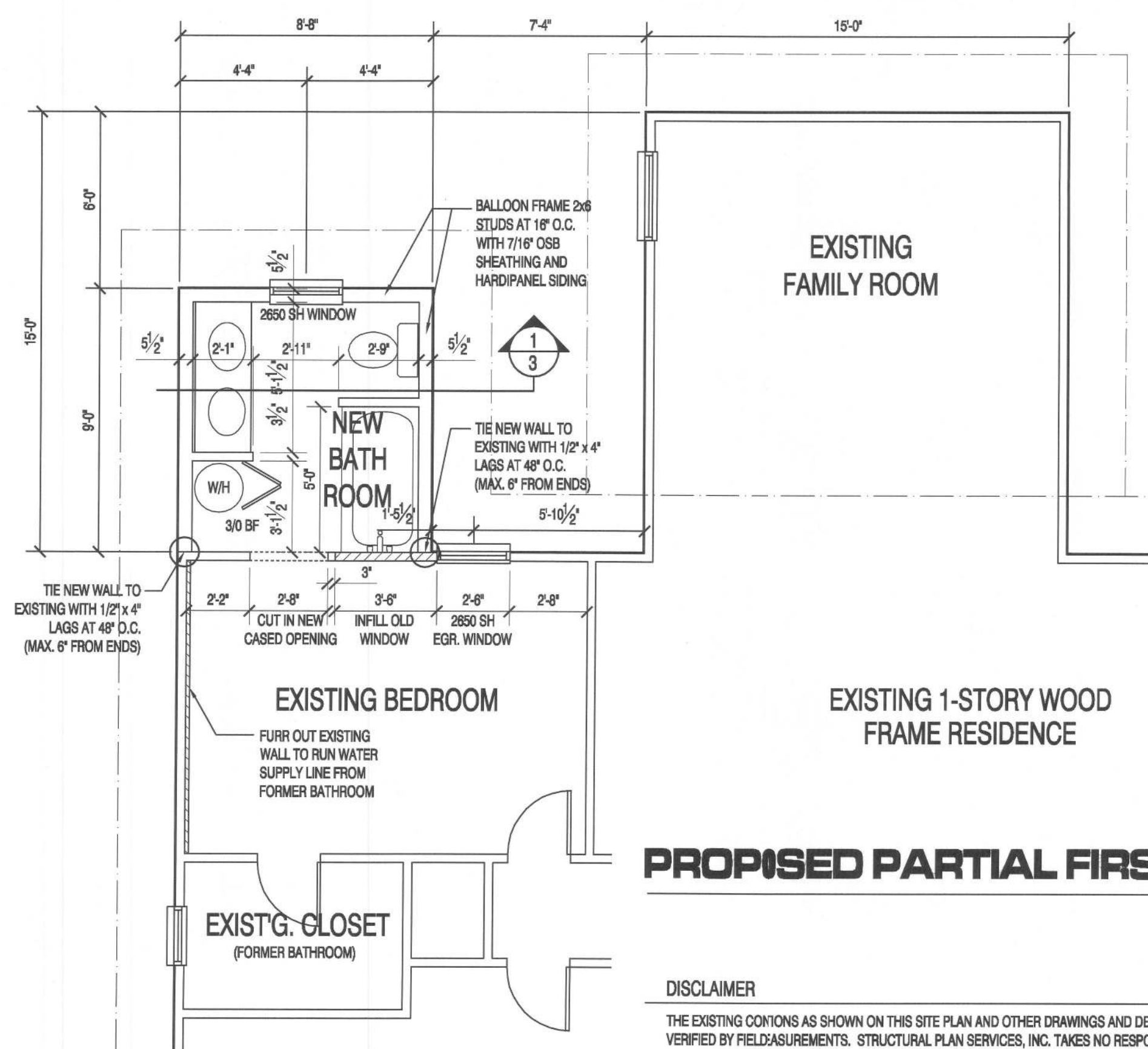
EXISTING PARTIAL WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING PARTIAL SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED PARTIAL FIRST FLOOR PLAN

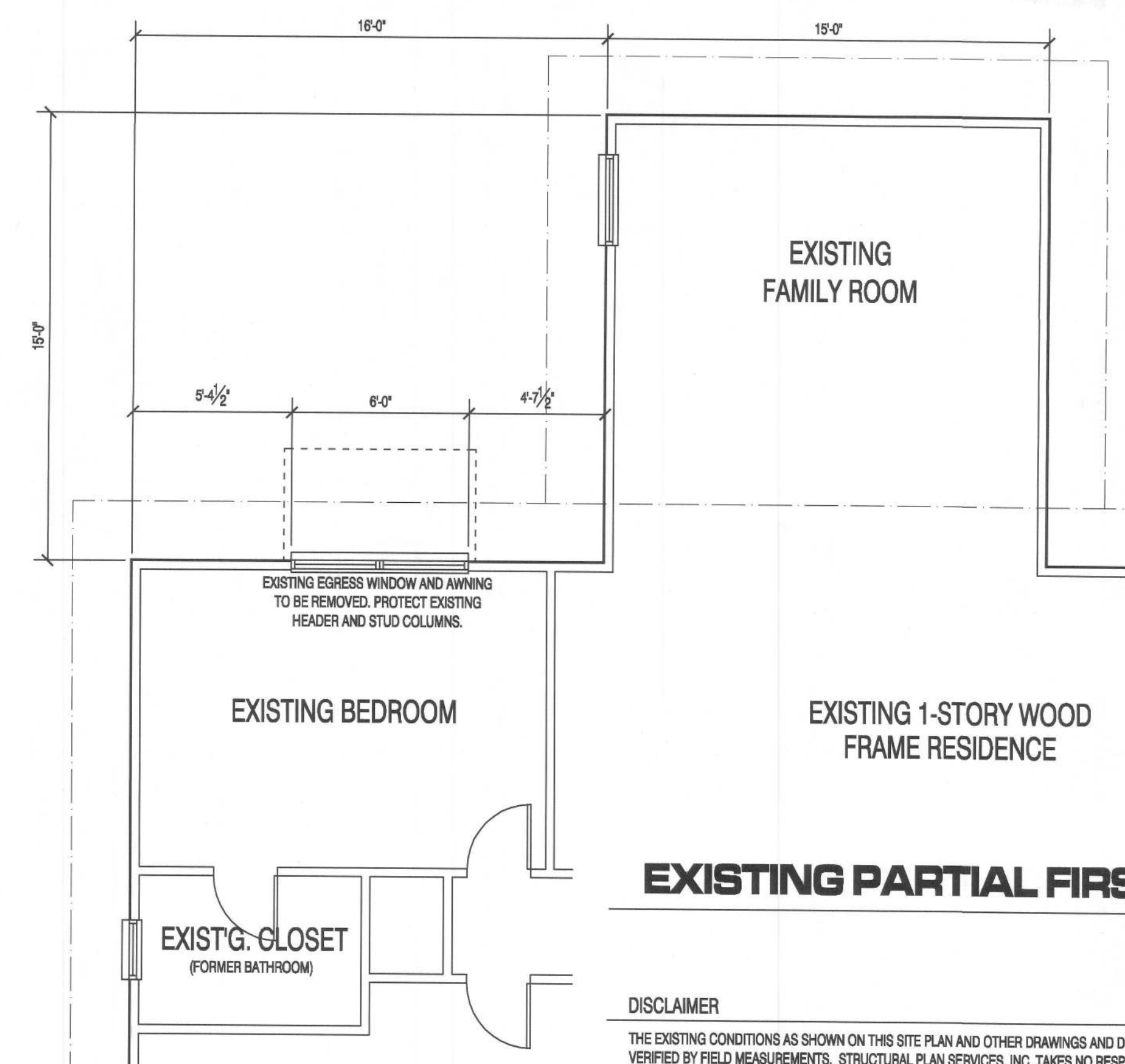
SCALE: 1/4" = 1'-0"

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DEMOLITION NOTES

1. ALL DEMOLITION SHOULD BE PERFORMED WITH EXTREME CAUTION AS NOT TO DISTURB EXISTING STRUCTURE TO REMAIN.
2. ANY DAMAGE TO THE EXISTING STRUCTURE SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IN WRITING.



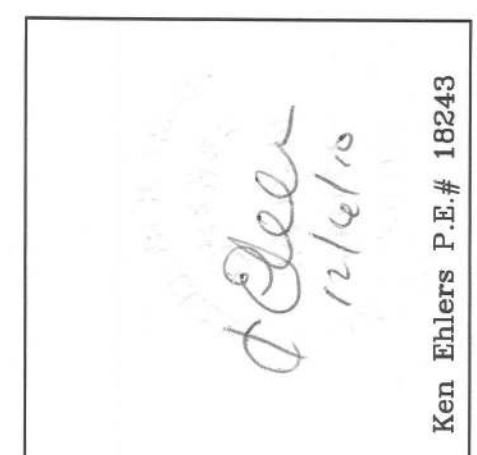
EXISTING PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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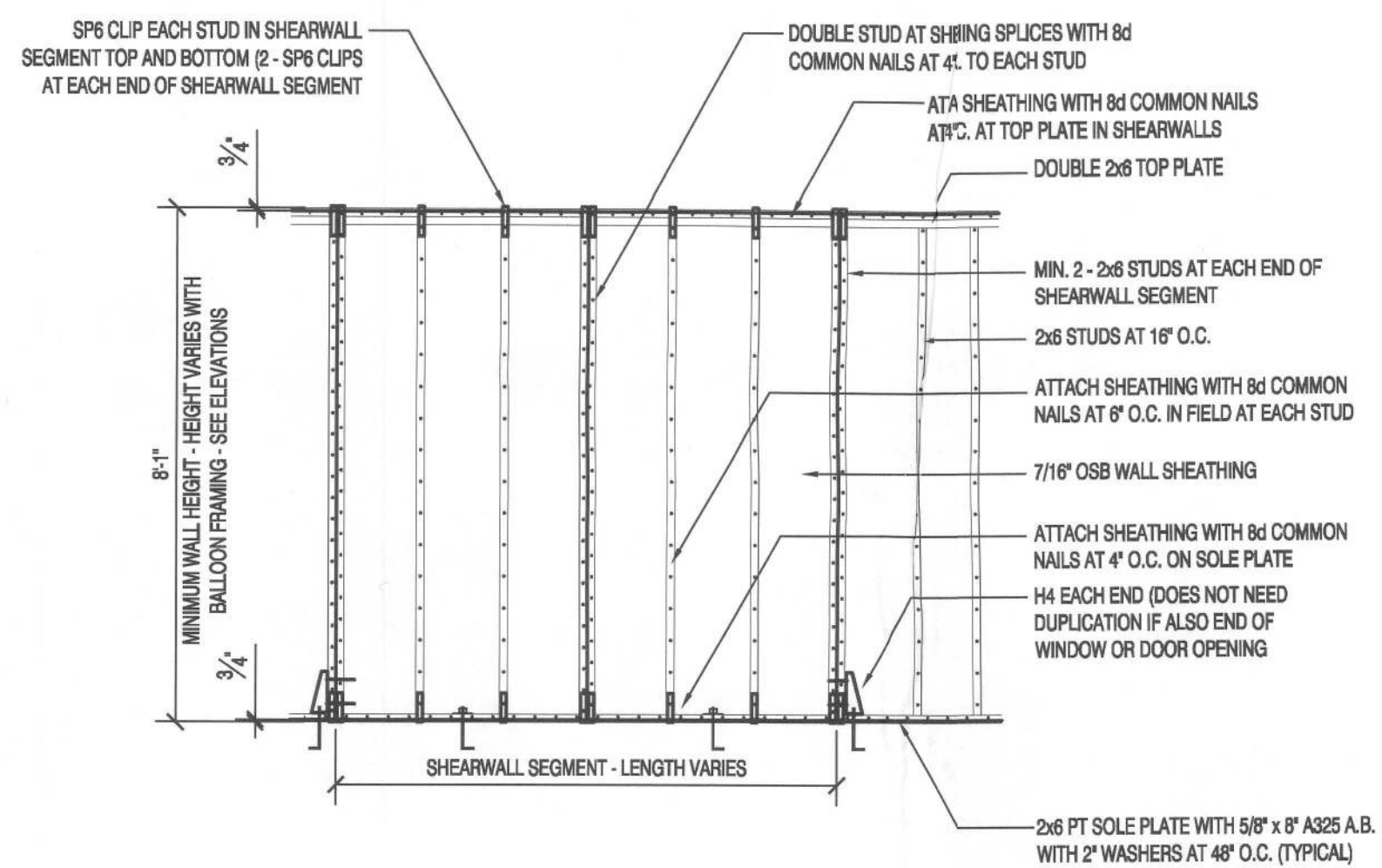


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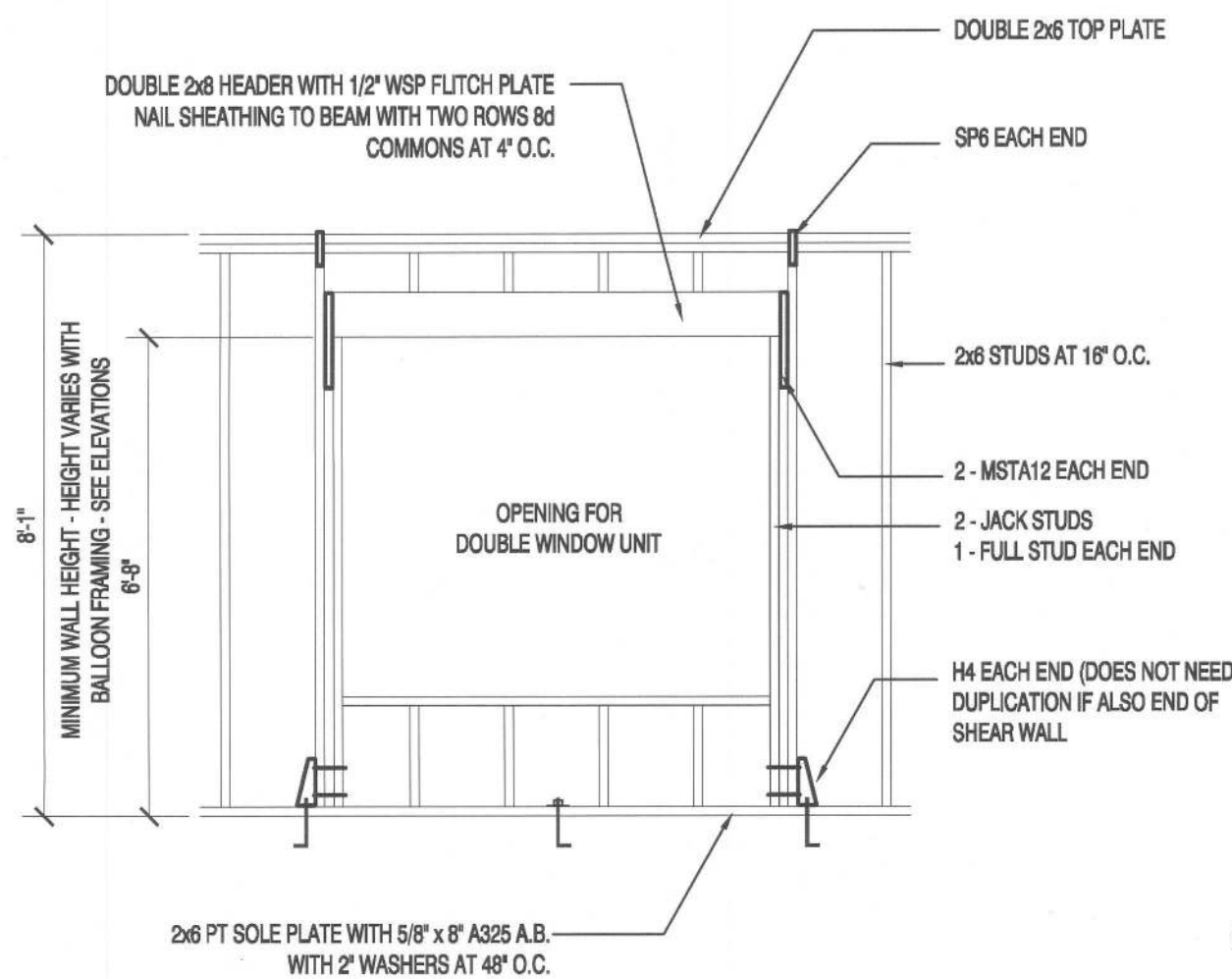
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SHEET NUMBER
2
OF 3 SHEETS
PROJECT NO. 101101



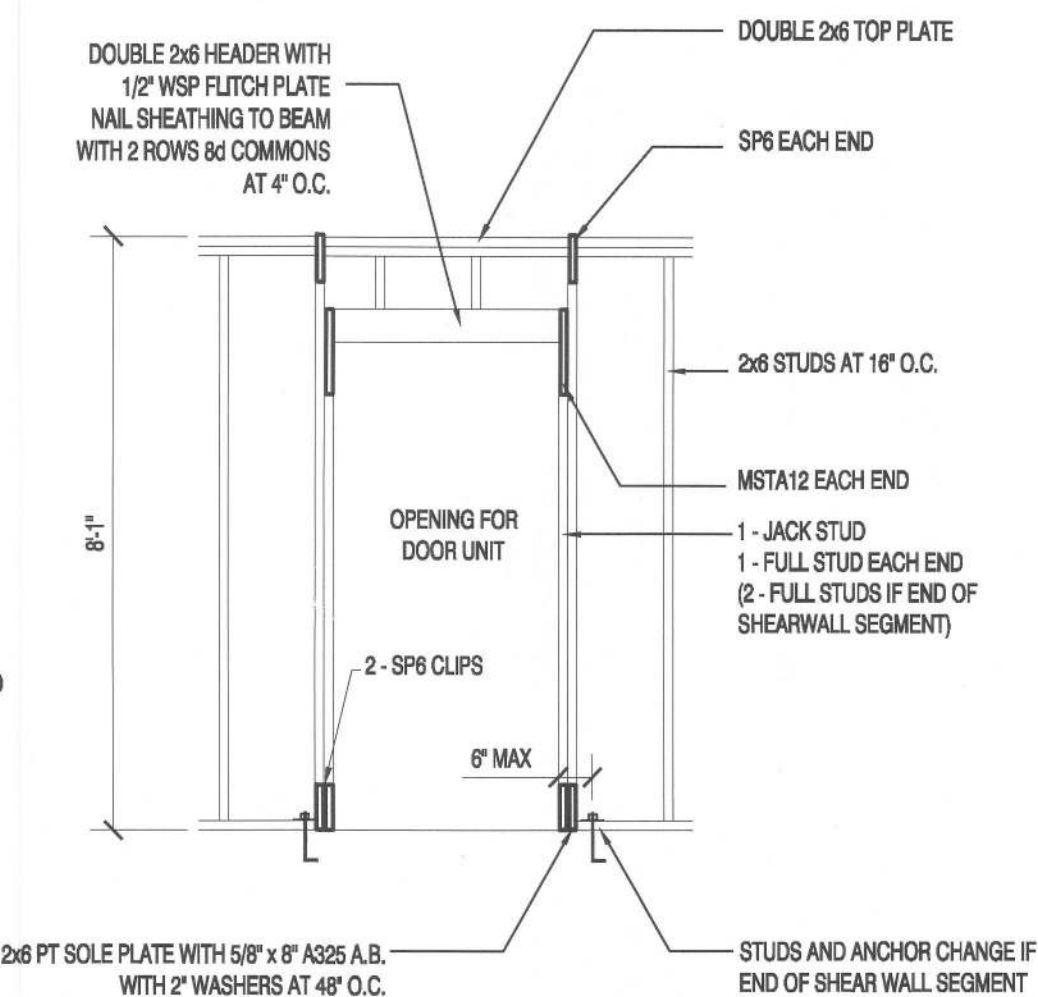
SHEARWALL FRAMING

SCALE: 3/8" = 1'-0"



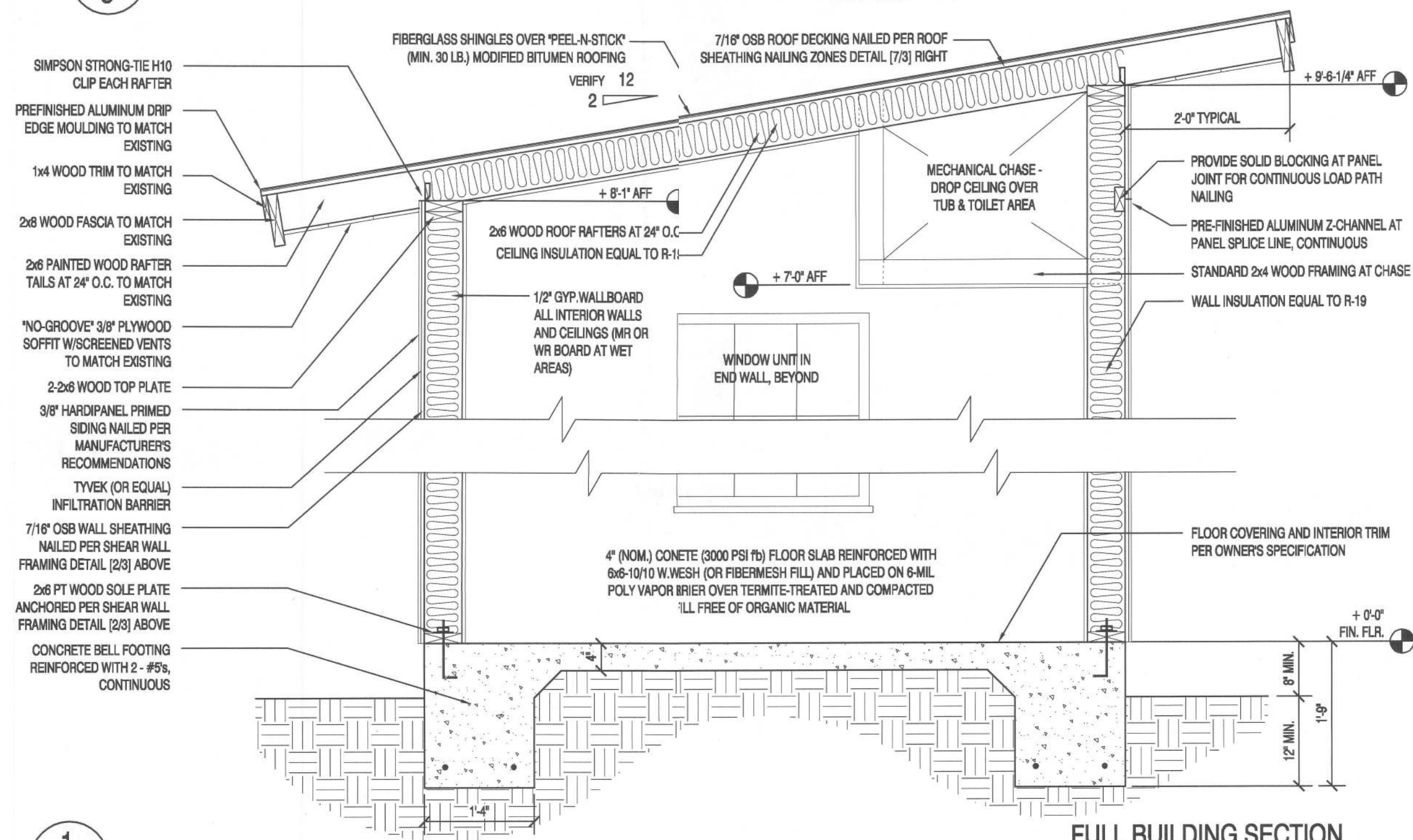
WINDOW HOLD-DOWN + FRAMING

SCALE: 3/8" = 1'-0"



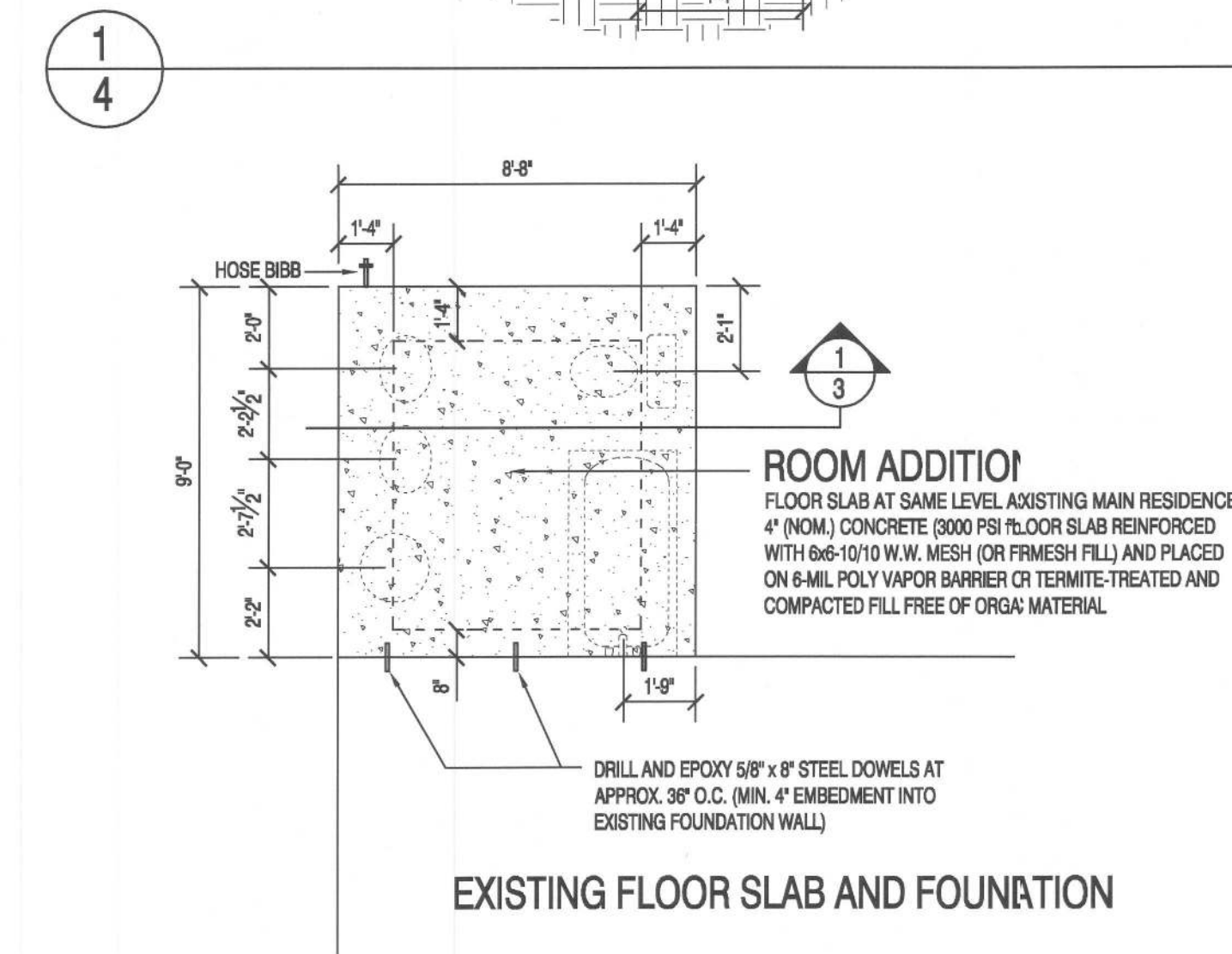
DOOR HOLD-DOWN + FRAMING

SCALE: 3/8" = 1'-0"



FULL BUILDING SECTION

SCALE: 3/4" = 1'-0"



PROPOSED FOUNDATION PLAN

SHOWING PROPOSED PLUMBING FIXTURE LOCATIONS

SCALE: 1/4" = 1'-0"

ELECTRICAL FIXTURE LEGEND

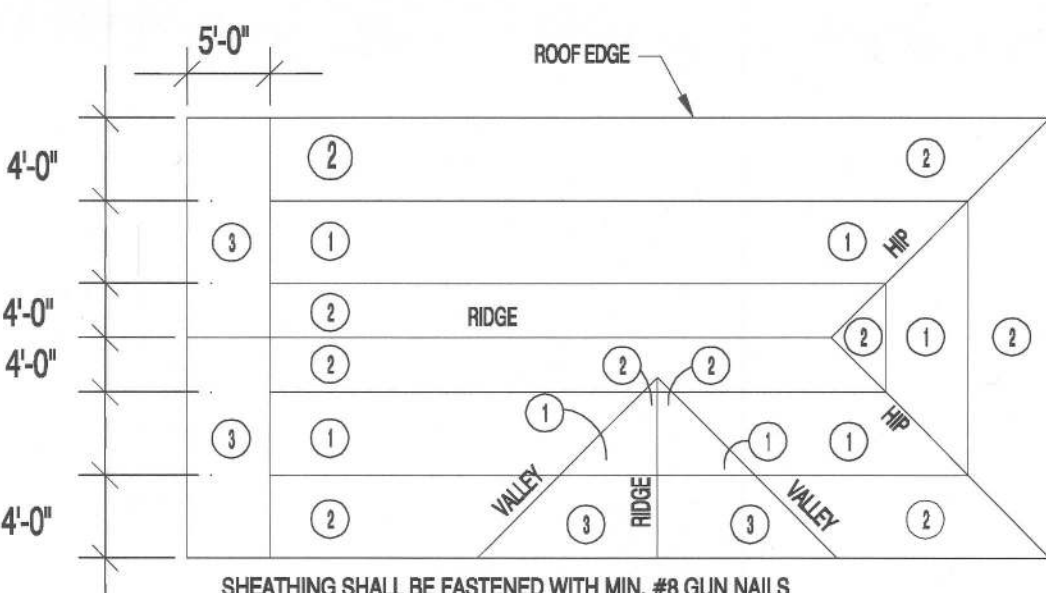
- SWITCH RUN
- WALL SWITCH
- GFCI GROUND-FAULT CIRCUIT INTERRUPTER 110-120V, DUPLEX RECEPTACLE
- WP-GFCI GROUND-FAULT CIRCUIT INTERRUPTER 110-120V, DUPLEX RECEPTACLE IN WATERPROOF HOUSING
- LIGHT FIXTURE - WALL OR CEILING SURFACE MOUNTED, 150W. MAX.
- A.C. OR W.H. POWER SWITCH / DISCONNECT
- SMOKE DETECTOR
- DOUBLE ADJUSTABLE FLOOD LIGHT
- COMB. EXHAUST FAN WITH LIGHT

PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

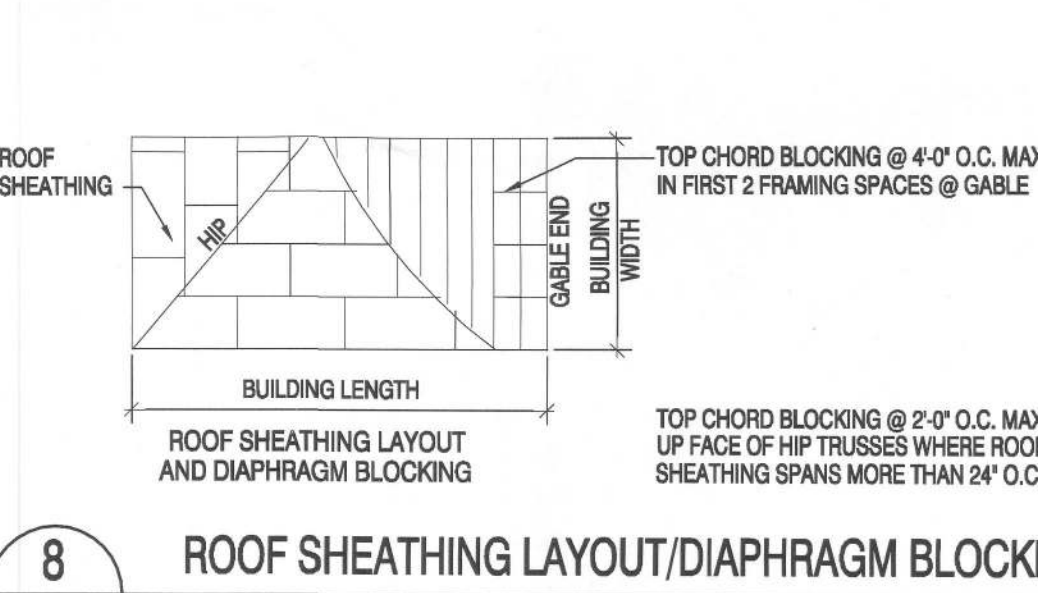
ELECTRICAL NOTES

- ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING HOUSE ELECTRICAL SUPPLY AND DISTRIBUTION CENTER LOADS AND CAPACITIES AND ALL NEW WIRING SHALL BE HOME RUN TO PANEL.
- PROVIDE SMOKE DETECTORS IN ALL SLEEPING ROOMS AND WITHIN THE IMMEDIATE VICINITY OF SLEEPING ROOMS & CARBON MONOXIDE DETECTORS WITHIN 10' OF ALL SLEEPING ROOMS IF NOT EXISTING.
- ALL SMOKE DETECTORS ARE TO BE HARDWIRED AND INTERCONNECTED SO THAT IN THE EVENT ONE IS ACTIVATED, ALL ARE ACTIVATED (IF NOT EXISTING) UNLESS SAID INTERCONNECTING AND HARDWIRING WOULD REQUIRE REMOVAL OF INTERIOR WALL OR CEILING FINISHES WHICH EXPOSE THE STRUCTURE.



ROOF SHEATHING LAYOUT/DIAPHRAGM BLOCKING

NOT TO SCALE

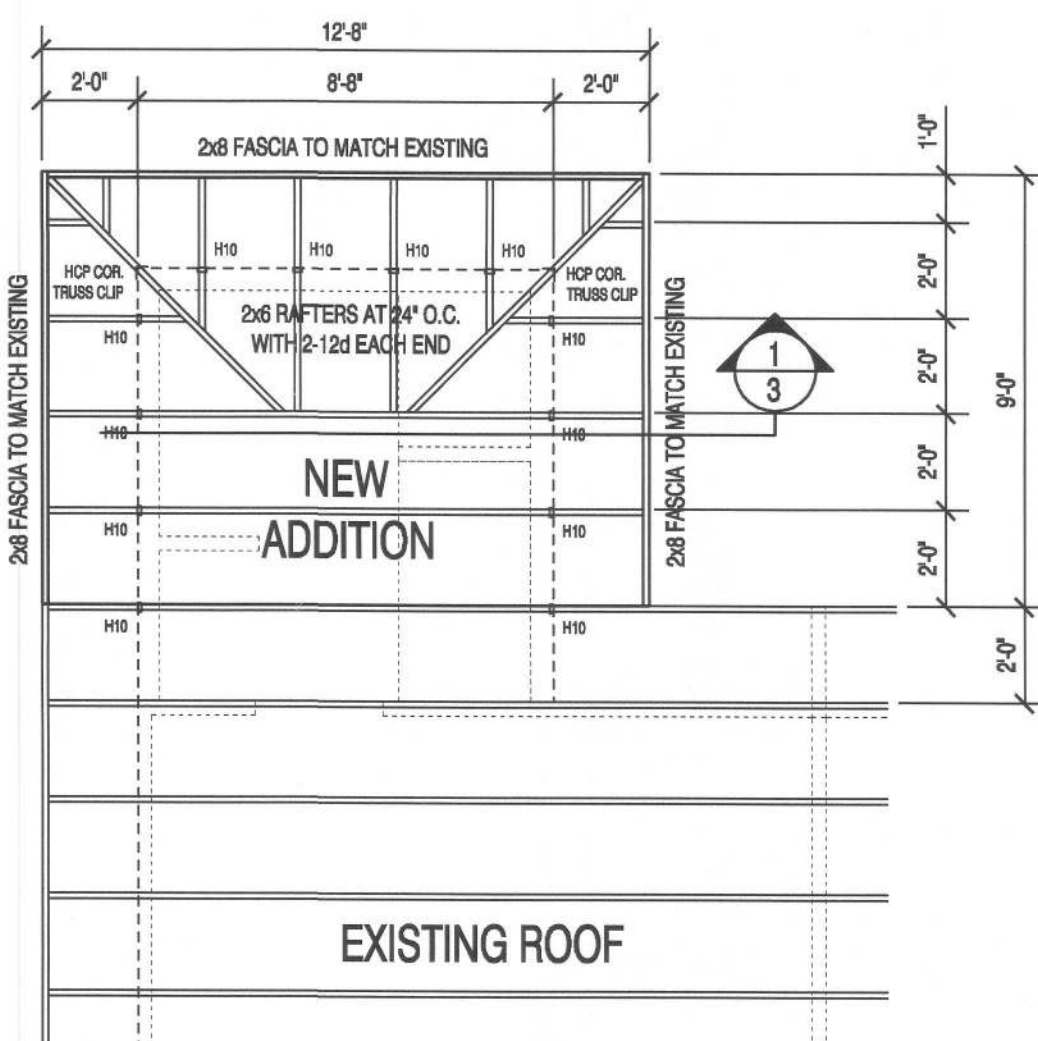


CONTINUITY OF CORNERS

NOT TO SCALE

ROOF SHEATHING LAYOUT/DIAPHRAGM BLOCKING

NOT TO SCALE



PROPOSED ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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