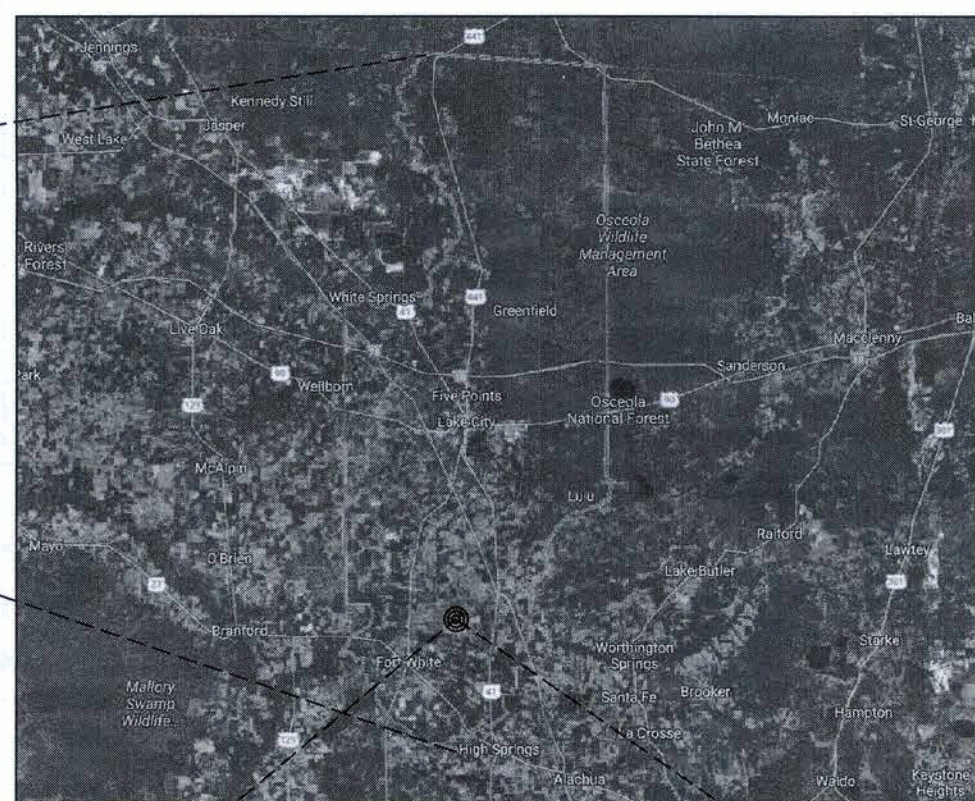
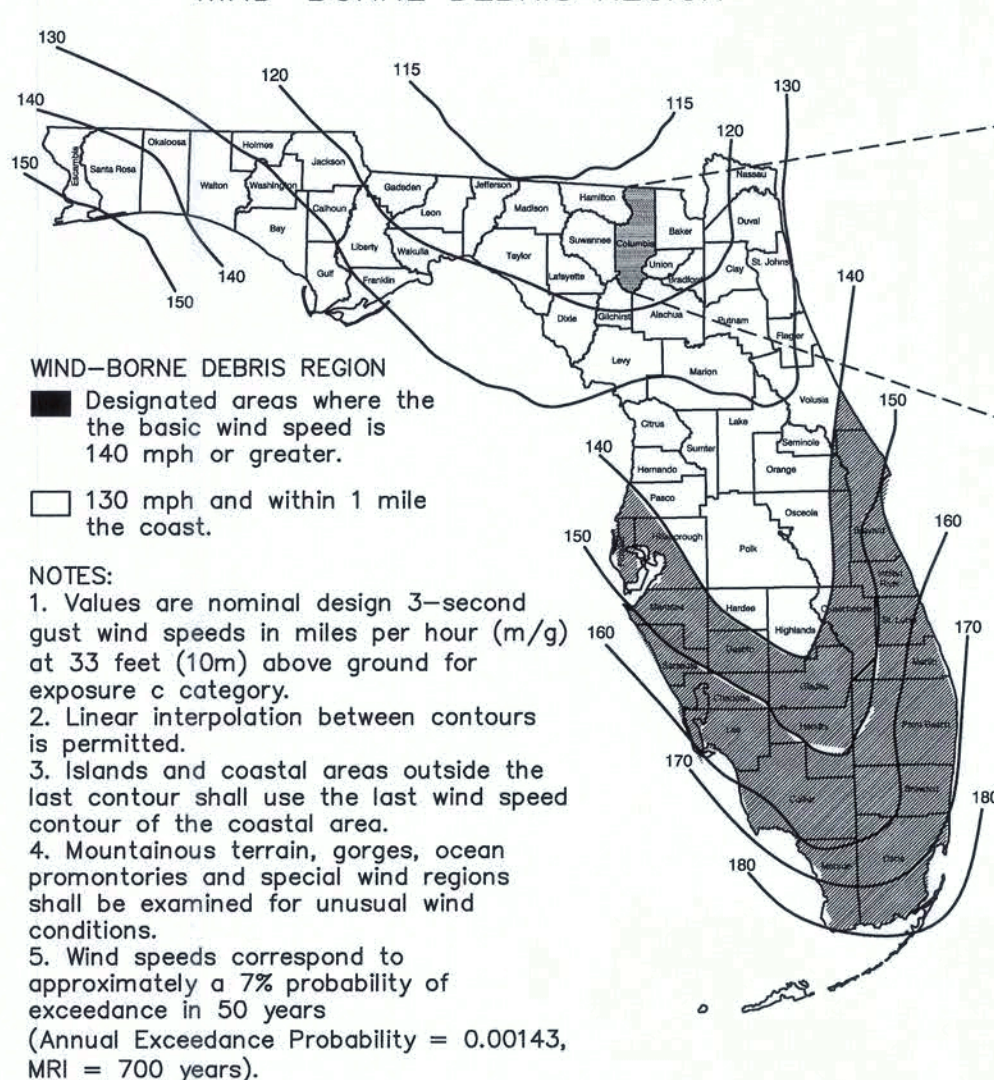


"HELTON" RESIDENCE



PROJECT LOCATION

STATE OF FLORIDA WIND-BORNE DEBRIS REGION



COLUMBIA COUNTY

138 SW HEATHER COURT
FORT WHITE, FL 32038

FLORIDA CODES & LOADS

JURISDICTION: COLUMBIA COUNTY BUILDING DEPARTMENT
PROJECT NAME: HELTON HOUSE.DWG
PROJECT ADDRESS: 138 SW HEATHER COURT, FORT WHITE, FL 32038
ENGINEER: ROBERT J. BRADY
TYPE OF CONSTRUCTION: TYPE VB (WOOD)
BUILDING DESIGN: ENCLOSED BUILDING
BUILDING CODE: 2017 FLORIDA BUILDING CODE BUILDING 6TH EDITION
RESIDENTIAL CODE: 2017 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION
RESIDENTIAL HIGH WIND CODE: STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS ICC-600-2014
PLUMBING CODE: 2017 FLORIDA BUILDING CODE PLUMBING 6TH EDITION
MECHANICAL CODE: 2017 FLORIDA BUILDING CODE MECHANICAL 6TH EDITION
FUEL/GAS CODE: 2017 FLORIDA BUILDING CODE FUEL GAS 6TH EDITION
ENERGY CONSERVATION CODE: 2017 FLORIDA BUILDING CODE ENERGY CONSERVATION 6TH EDITION
ACCESSIBILITY CODE: 2017 FLORIDA BUILDING CODE ACCESSIBILITY 6TH EDITION
EXISTING BUILDING CODE: 2017 FLORIDA BUILDING CODE EXISTING BUILDING 6TH EDITION
ELECTRICAL CODE: 2014 NATIONAL ELECTRICAL CODE
ASCE CODE: ASCE-7.10
CLASSIFICATION OF WORK (EXISTING):
ALLOWABLE NO. OF FLOORS: TWO (2)
WIND VELOCITY: $V_{ult}=120$, $V_{asd}=93$ M.P.H. (M.P.H.) (3 SECOND GUST)
FLOOR D.L.: 10 (P.S.F.)
ROOF D.L.: 6+4 B.C. + T.C. (P.S.F.)
ROOF L.L.: 20 (P.S.F.)
OCCUPANCY TYPE: R-3
EXPOSURE: C
INTERNAL PRESSURE COEFFICIENT: +/- 0.18
MEAN BUILDING HEIGHT: 25 FT.
OVERHANG: 1'-4"
IMPACT RESISTANT ASSEMBLY: NO
IMPORTANCE FACTOR: 1.0
ROOF PITCH: 3/12 & 6/12
SHUTTERS: NO
DESIGN WIND SPEED: CATEGORY II

These plans were designed using the 2017 Florida Building Code Building 6th Edition, the 2017 Florida Building Code Residential 6th Edition, the 2014 National Electric Code and the 2017 Florida Fire Prevention Code 6th Edition. Due to variations in local codes and geological conditions, revisions may be required to these plans.
It is the builder's responsibility to make the necessary revisions to ensure code compliance and structural integrity. Southern Home and Design assumes no liability for any changes made to these plans.

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Southern Home Design, LLC. (Project Designer):

JUSTIN M. PARRAMORE

DOCUMENTS BY OTHERS

1. THE FINAL ELECTRICAL DOCUMENTS ARE TO BE PREPARED BY THE ELECTRICAL CONTRACTOR AND SUBMITTED WITH THESE DOCUMENTS FOR PERMITTING. THE ELECTRICAL CONTRACTOR IS TO CONFIRM LOADS OF EQUIPMENT AND APPLIANCES WITH BOTH THE GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR.
2. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR FINAL DESIGN OF THE MECHANICAL SYSTEMS, GAS PIPING AND FLORIDA ENERGY CODE COMPLIANCE FORMS. THE FINAL MECHANICAL DOCUMENTS AND ENERGY CODE CALCULATIONS ARE TO BE SUBMITTED FOR PERMITTING WITH THESE DOCUMENTS.
3. COMPONENT AND CLADDING - MANUFACTURERS OF DOORS, WINDOWS AND OTHER CLADDING COMPONENTS PROVIDE STANDARD SIGNED AND SEALED ENGINEERING CERTIFICATION FOR PRODUCT INSTALLATIONS TO MEET LOADS NOTED ON THE COVER SHEET.
4. SUBMIT 2 COPIES UPON COMPLETION OF FINAL TRUSS ENGINEERING DOCUMENTS WITH CALCULATIONS AND TRUSS FRAMING PLANS FROM TRUSS COMPANY AND JOB # TO THE PERMITTING AUTHORITY. PROVIDE THE ENGINEER WITH 1 COPY OF THE DOCUMENTS FOR REVIEW AND APPROVAL PRIOR TO ISSUING FINAL SETS.

ENGINEER'S NOTES

- 2017 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION, I.C.C. 600-2014 & A.S.C.E./S.E.I. 7-10.
- THE ENGINEER HAS SELECTED TRUSS FASTENERS AND OTHER CONNECTORS BASED UPON THE TRUSS COMPANY'S CALCULATED UPLIFTS AND REACTIONS.
- THE ASSUMED SOIL BEARING CAPACITY = 2.0 K.S.F.
- LIVE LOADS (TABLE R301.5):
ROOF & UNINHABITABLE ATTICS (LIMITED STORAGE) = 20 P.S.F.
SLEEPING ROOMS & ATTICS WITH FIXED STAIRS = 30 P.S.F.
STAIRS, BALCONIES, DECKS & ALL OTHER ROOMS = 40 P.S.F.
GUARDRAILS & HANDRAILS (SINGLE CONCENTRATED LOAD) = 200 LBS.
- DEAD LOADS:
ROOF = 10 P.S.F., ALL OTHER DEAD LOADS = ACTUAL WEIGHT OF MATERIALS
- RISK CATEGORY II (2017 F.B.C. BUILDING 6TH EDITION, TABLE 1604.5)
- BUILDING CATEGORY = "ENCLOSED"
- SURFACE ROUGHNESS CATEGORY = "C" (2017 F.B.C. RESIDENTIAL 6TH EDITION, SECTION R301.2.1.4.3)
- EXPOSURE CATEGORY = "C" (2017 F.B.C. RESIDENTIAL 6TH EDITION, SECTION R301.2.1.4.3)
- WIND SPEED-UP EFFECT = "N/A" (2017 F.B.C. RESIDENTIAL 6TH EDITION, FIGURE R301.2.1.5.1(1))
- SEISMIC DESIGN LOADS (ASCE7-10 & 2017 F.B.C. RESIDENTIAL 6TH EDITION, SECTION 301.2.2):
IMPORTANCE FACTOR = 1.00 (A.S.C.E. TABLE 1.5-2)
SITE CLASS = D (UNLESS DETERMINED BY SITE SPECIFIC STUDY)
MAPPED ACCELERATION PARAMETERS:
MCE SS = 6.3% (0.2 SEC SPECTRAL RESPONSE A.S.C.E. FIGURE 22-1)
MCE S1 = 4.3% (1.0 SEC SPECTRAL RESPONSE ASCE FIGURE 22-2)
SITE COEFFICIENTS:
F_a = 1.6 (A.S.C.E. TABLE 11.4-1)
F_v = 2.4 (A.S.C.E. TABLE 11.4-2)
MAPPED ACCELERATION PARAMETERS ADJUSTED FOR SITE CLASS:
MCE SMS = 10.0% (0.2 SEC SPECTRAL RESPONSE A.S.C.E. E.Q.N. 11.4-1)
MCE SM1 = 10.3% (1.0 SEC SPECTRAL RESPONSE A.S.C.E. E.Q.N. 11.4-2)
DESIGN SPECTRAL ACCELERATION PARAMETERS:
SS = 6.3% (A.S.C.E. E.Q.N. 11.4-3)
S1 = 4.3% (A.S.C.E. E.Q.N. 11.4-4)
SEISMIC DESIGN CATEGORY BASED ON S A (A.S.C.E. TABLE 11.6-1)
SEISMIC DESIGN CATEGORY BASED ON S A (A.S.C.E. TABLE 11.6-2)
NOTE: STRUCTURES ASSIGNED TO SEISMIC DESIGN CATEGORY A NEED ONLY COMPLY WITH THE REQUIREMENTS OF A.S.C.E. SECTION 1.4 GENERAL STRUCTURAL INTEGRITY. NONSTRUCTURAL COMPONENTS IN SEISMIC DESIGN CATEGORY A ARE EXEMPT FROM SEISMIC DESIGN REQUIREMENTS.
- ALL OPENINGS IN EXTERIOR WALLS SHALL COMPLY WITH DESIGN PRESSURES DESCRIBED IN 2017 F.B.C. RESIDENTIAL 6TH EDITION.
- ENGINEER'S REVIEW AND APPROVAL OF TRUSS INFORMATION AND LINTEL INFORMATION IS BASED UPON THE INFORMATION CONTAINED HEREIN. SHOULD THE OWNER OR CONTRACTOR CHANGE TRUSS COMPANY, FURTHER REVIEW BY THE BUILDING ENGINEER IS REQUIRED.

COMPONENT AND CLADDING LOADS

MEAN ROOF HEIGHT (M.R.H.) OF 30 FEET LOCATED IN EXPOSURE B. ROOF > 7' TO 27' (1.5/12 TO 6/12).

WIND AREA $V_{ult} = 120$ M.P.H.
 $V_{asd} = 93$ M.P.H.

ZONE	EFFECTIVE WIND AREA (S.F.)	WINDWARD	LEEWARD
1	10	10.0	-14.0
1	20	10.0	-13.0
1	50	10.0	-13.0
1	100	10.0	-12.0
2	10	10.0	-24.0
2	20	10.0	-22.0
2	50	10.0	-20.0
2	100	10.0	-18.0
3	10	10.0	-36.0
3	20	10.0	-34.0
3	50	10.0	-31.0
3	100	10.0	-28.0

CONFORM TO THE 2017 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION, TABLE R301.2(2)

COMPONENT AND CLADDING LOADS

MEAN ROOF HEIGHT (M.R.H.) OF 30 FEET LOCATED IN EXPOSURE B. WALL.

WIND AREA $V_{ult} = 120$ M.P.H.
 $V_{asd} = 93$ M.P.H.

ZONE	EFFECTIVE WIND AREA (S.F.)	WINDWARD	LEEWARD
4	10	15.5	-16.0
4	20	14.8	-16.0
4	50	13.9	-15.0
4	100	13.2	-14.0
5	10	11.6	-12.0
5	20	11.6	-20.0
5	50	13.9	-17.0
5	100	13.2	-16.0
5	500	11.6	-12.0

CONFORM TO THE 2017 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION, TABLE R301.2(2)

COMPONENT AND CLADDING LOADS

MEAN ROOF HEIGHT (M.R.H.) OF 30 FEET LOCATED IN EXPOSURE B. GARAGE DOOR.

WIND AREA $V_{ult} = 120$ M.P.H.
 $V_{asd} = 93$ M.P.H.

WIDTH (FEET)	HEIGHT (FEET)	WINDWARD	LEEWARD
9	7	13.7	-15.5
16	7	13.1	-14.6

CONFORM TO THE 2017 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION, TABLE R301.2(4)

DRAWING INDEX

- SH-1 COVER SHEET
- SH-2 FLOOR PLAN I
- SH-3 FLOOR PLAN II
- SH-4 ELEVATIONS
- SH-5 SLAB PLAN
- SH-6 FOUNDATION PLAN
- SH-7 FOUNDATION DETAILS
- SH-8 FLOOR SYSTEM PLAN
- SH-9 ROOF PLAN
- SH-10 STRUCTURAL DETAILS
- SH-11 ELECTRICAL PLAN I
- SH-12 ELECTRICAL PLAN II

NEW TWO STORY
FRAMED HOUSE

KELBY & KAYLA

HELTON
138 SW HEATHER COURT
FORT WHITE, FL 32038

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Mark Keels
Digitally signed by Mark Keels
Date: 2019.05.07
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JUSTIN M. PARRAMORE

FILE NAME
HELTON HOUSE.DWG

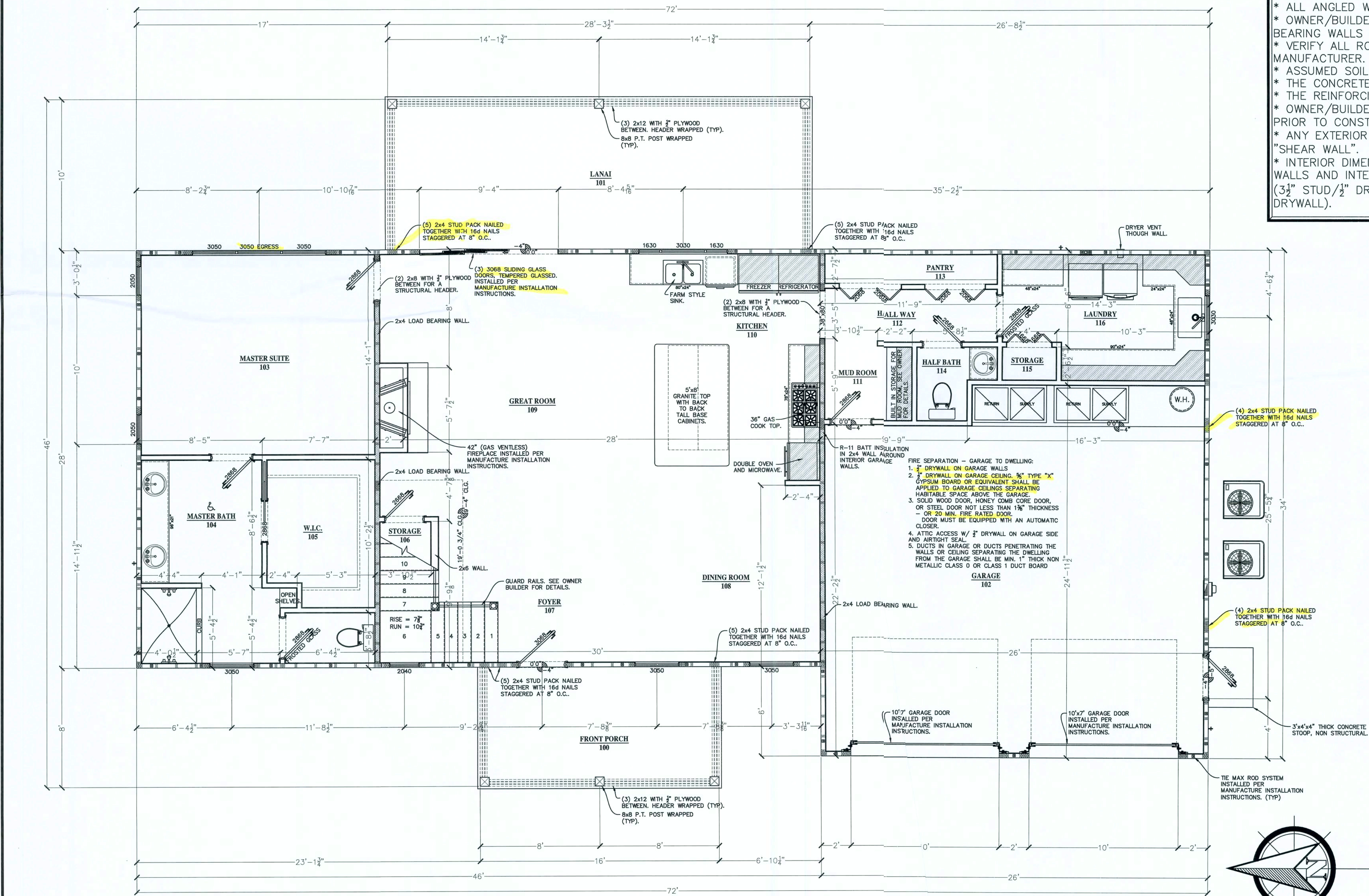
SCALE
1/4" = 1'-0"

REVISIONS

START: 12.21.2018
BID SET: 04.19.2019
REVISION 1:
REVISION 2:
REVISION 3:

COVER SHEET

1 of 12



ROOM FINISH SCHEDULE									
ROOM #	ROOM	S.F.	FLOORING	BASE	WALLS	CEILING	CEILING HEIGHT	CEILING STYLE	
			CARPET						
			LAMINATE						
			WOOD						
			CONCRETE						
			CONCRETE SMOOTH						
			CONCRETE STAINED						
			SPECIAL						
			3.5"						
			4.25"						
			4.50"						
			5.25"						
			SPECIAL						
			.50" D.W. SMOOTH						
			.50" D.W. ORANGE PEEL						
			.50" D.W. NOCK DOWN						
			.50" D.W. NOCK DOWN						
			TONGUE & GROOVE WOOD						
			VINYL						
			METAL						
			SPECIAL						
			BARRELED CEILING						
			COFFERED CEILING						
			FLAT CEILING						
			TRAY CEILING						
			VAULTED CEILING						
			SPECIAL						
100	FRONT PORCH	128					9'-1 1/2"		
101	LANAI	283					9'-1 1/2"		
102	GARAGE	615					9'-1 1/2"		
103	MASTER SUITE	210					9'-1 1/2"		
104	MASTER BATH	138					9'-1 1/2"		
105	W.I.C.	67					9'-1 1/2"		
106	STORAGE	21					9'-1 1/2"		
107	FOYER	42					9'-1 1/2"		
108	DINING ROOM	200					9'-1 1/2"		
109	GREAT ROOM	300					9'-1 1/2"		
110	KITCHEN	200					9'-1 1/2"		
111	MUD ROOM	28					9'-1 1/2"		
112	HALL WAY	40					9'-1 1/2"		
113	PANTRY	22					9'-1 1/2"		
114	HALF BATH	21					9'-1 1/2"		
115	STORAGE	8					9'-1 1/2"		
116	LAUNDRY	104					9'-1 1/2"		

BUILDERS NOTES

- * 9'-0" FRAMED PLATE HEIGHT, UNLESS NOTED OTHERWISE.
- * 2x4 INTERIOR WOOD CONSTRUCTION, UNLESS NOTED OTHERWISE.
- * ALL ANGLED WALLS ARE SET AT A 45°, UNLESS NOTED OTHERWISE.
- * OWNER/BUILDER RESERVE THE RIGHT TO ALTER INTERIOR NON LOAD BEARING WALLS DURING CONSTRUCTION.
- * VERIFY ALL ROUGH OPENINGS WITH THE DOOR AND WINDOW MANUFACTURER.
- * ASSUMED SOIL BEARING CAPACITY IS 2 K.S.F..
- * THE CONCRETE IS TO BE 2,500 P.S.I. MINIMUM AT 28 DAYS.
- * THE REINFORCING STEEL IS TO BE GRADE 60 OR BETTER.
- * OWNER/BUILDER NEED TO REVIEW PLANS AND CHECK ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- * ANY EXTERIOR WALL SEGMENT OVER 3'-4" SHALL BE CONSIDERED A "SHEAR WALL".
- * INTERIOR DIMENSIONS ARE BEING PULLED FROM INTERIOR FACE OF CMU WALLS AND INTERIOR STUDS. ALL WALLS ARE DRAWN TO SCALE: EXTERIOR (3 1/2" STUD/2" DRYWALL), INTERIOR (1/2" DRYWALL/3 1/2" or 5 1/2" STUD/1/2" DRYWALL).

WOOD WINDOW CHART			
MANUFACTURE NUMBER	#	ROUGH OPENING SIZE, LENGTHxWIDTH	
1630	2	? x ?	
2040	1	? x ?	
2050	2	? x ?	
3030	2	? x ?	
3050	3	? x ?	
TRIPLE 3050	1	? x ?	

* MANUFACTURER TO BE DETERMINED. WINDOW ROUGH OPENINGS WILL VARY PER MANUFACTURER. OWNER / BUILDER TO VERIFY ROUGH OPENINGS.

SYMBOL LEGEND

ELECTRICAL / AC

- EXTERIOR ELECTRICAL METER
- ELECTRICAL PANEL BOX (POWER SUPPLY)
- H.V.A.C. AIR HANDLER

APPLIANCES

- RANGE WITH HOOD ABOVE
- REFRIGERATOR
- WASHER
- DRYER
- DISH WASHER

WINDOWS

- EXTERIOR WOOD WINDOW
- EXTERIOR MASONRY WINDOW
- MEDICINE CABINET @ 48" A.F.F.

DOORS

- INTERIOR LOUVERED BI-FOLD DOOR
- INTERIOR OR EXTERIOR HINGE TYPE DOOR

PLUMBING

- W.H. WATER HEATER
- STD. TOILET
- DOUBLE KITCHEN SINK
- BATH SINK / VANITY
- 60" TUB / SHOWER
- EXTERIOR HOSE BIBB @ 16" A.F.F.
- WASHER BOX @ 36" A.F.F.

BUILDING SQUARE FOOTAGE

SQ. FT.	LEVEL	AREA	
1,557	1	LIVING	✓
615	1	GARAGE	
283	1	LANAI (REAR)	
128	1	FRONT PORCH	
2,583	1	SUB TOTAL LEVEL 1	
848	2	LIVING	✓
459	2	GARAGE BONUS ROOM	
1,307	2	SUB TOTAL LEVEL 2	
3,890		TOTAL SQUARE FOOTAGE	

NEW TWO-STORY FRAMED HOUSE

KELBY & KAYLA HELTON

138 SW HEATHER COURT
FORT WHITE, FL 32038

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Digitally signed by Mark W. Keels, PE.
Date: 2019.05.07
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DRAWN BY JUSTIN M. PARRAMORE

FILE NAME HELTON HOUSE.DWG

SCALE 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
START:	12.21.2018	
BID SET:	04.19.2019	
REVISION 1:		
REVISION 2:		
REVISION 3:		

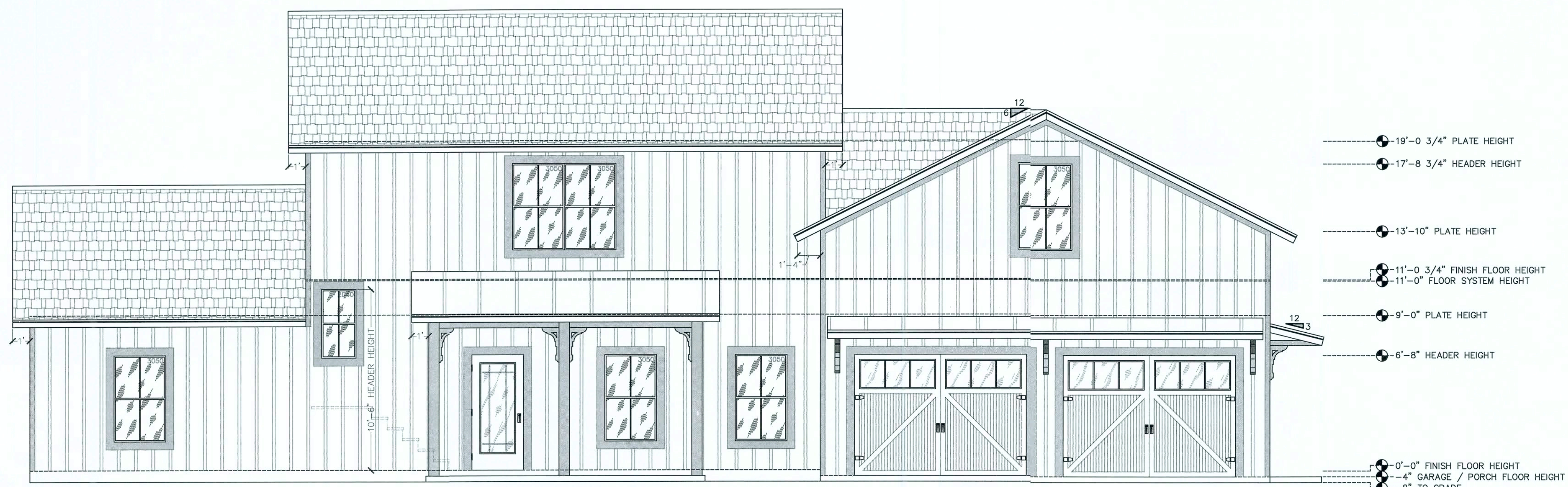
FLOOR PLAN 1

2 of 12

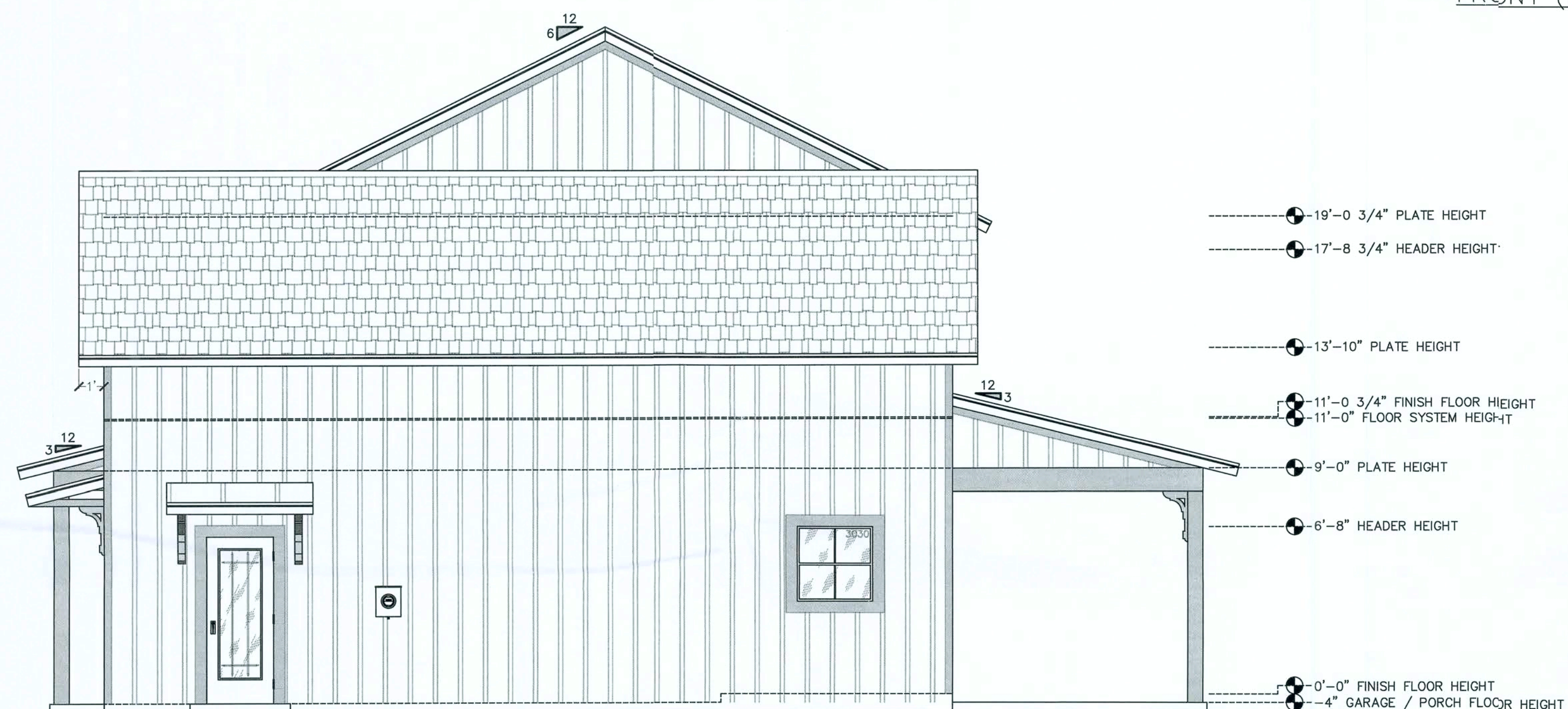
EXTERIOR FINISH NOTES

1. 26 GAUGE METAL ROOF or ARCHITECTURAL SHINGLES OVER 30# FELT ON 1/2" PLYWOOD SHEATHING.
2. CONTINUOUS RIDGE VENT.
3. PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER MATERIAL. LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).
4. ALUMINUM SOFFIT AND FACIA.
5. INSULATED WINDOWS.

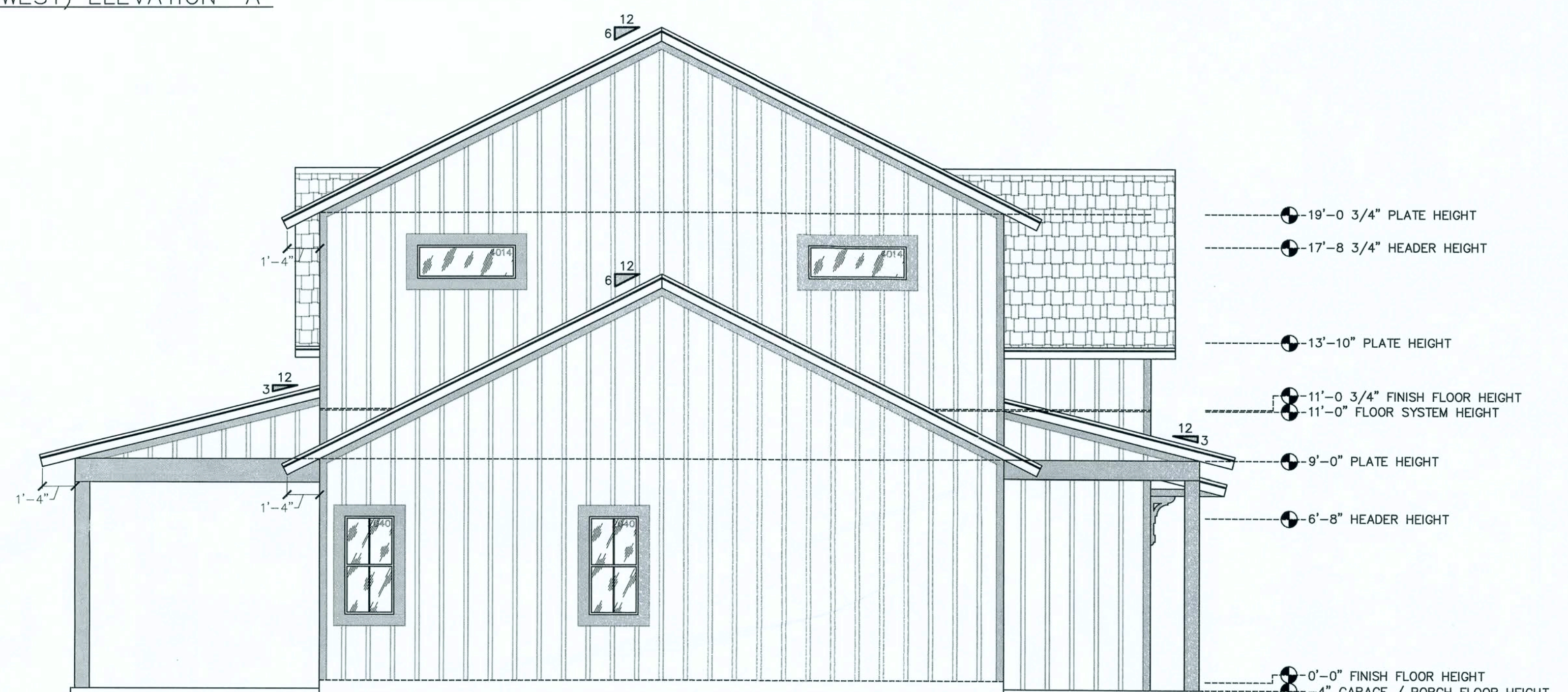
BY: J. WATSON, S.E.



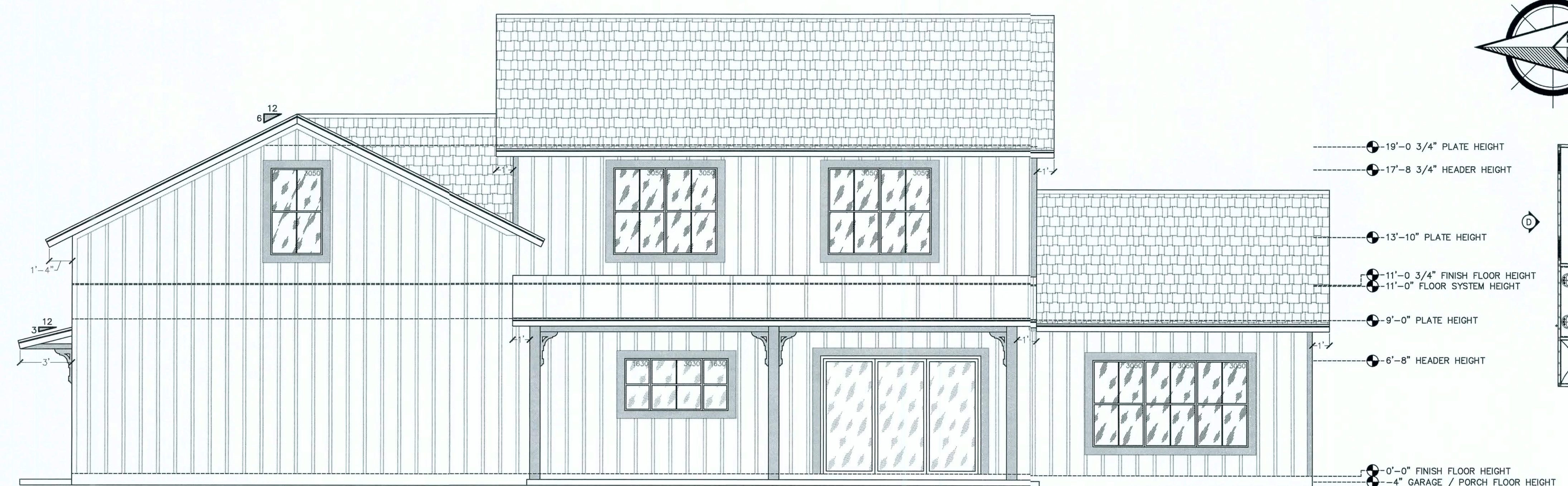
FRONT (WEST) ELEVATION "A"



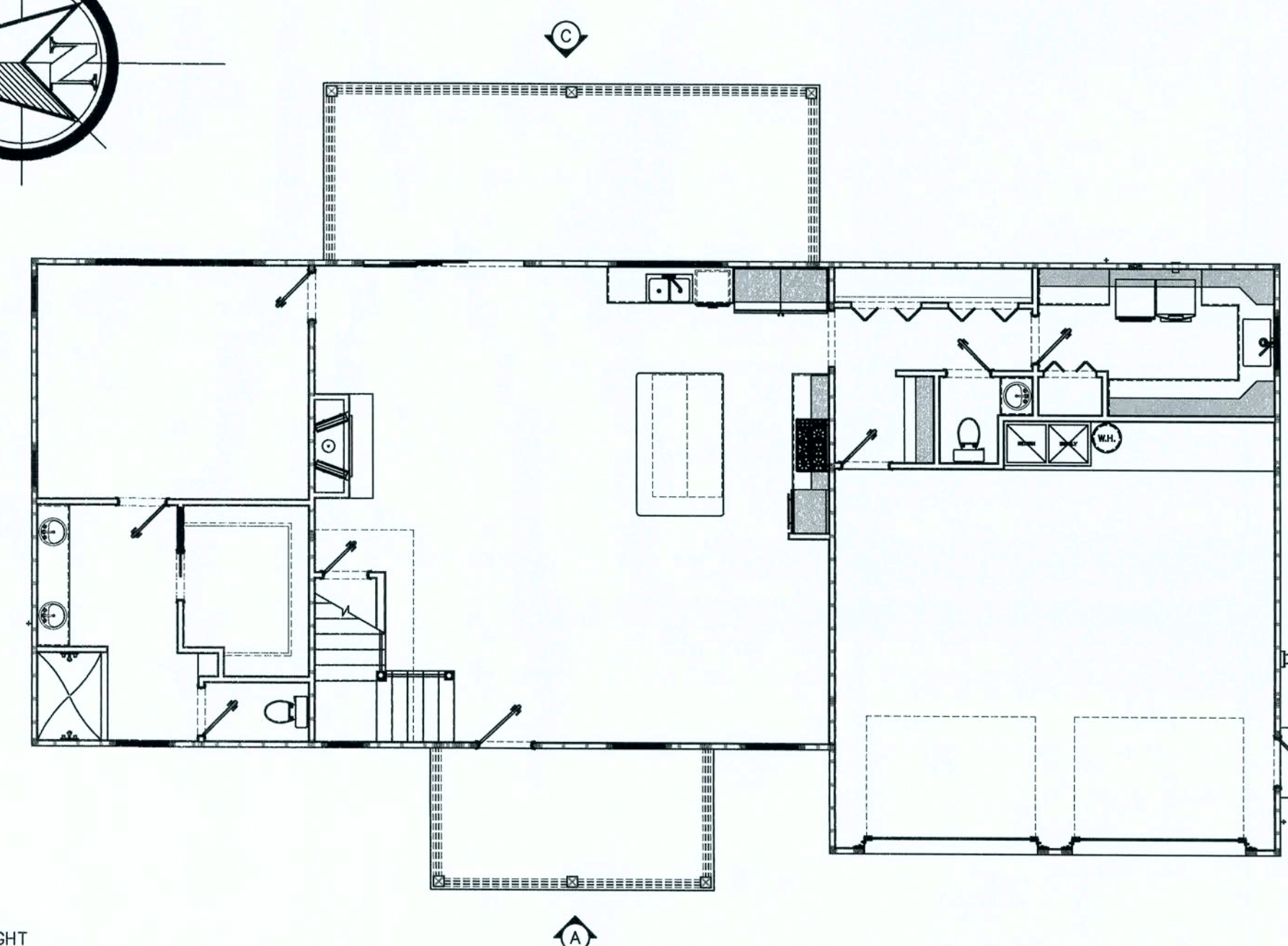
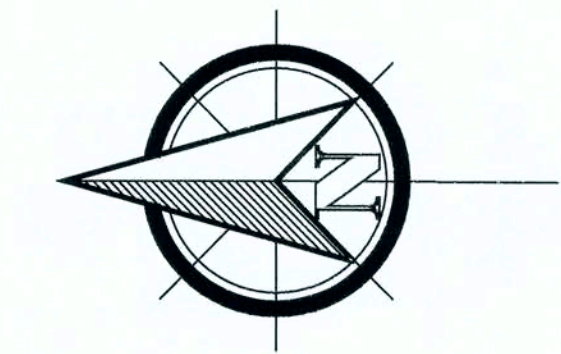
RIGHT (SOUTH) ELEVATION "B"



LEFT (NORTH) ELEVATION "D"



REAR (EAST) ELEVATION "C"



NEW TWO STORY
FRAMED HOUSE

KELBY & KAYLA
HELTON

138 SW HEATHER COURT
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Mark W. Keels
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Date: 04/19/2019
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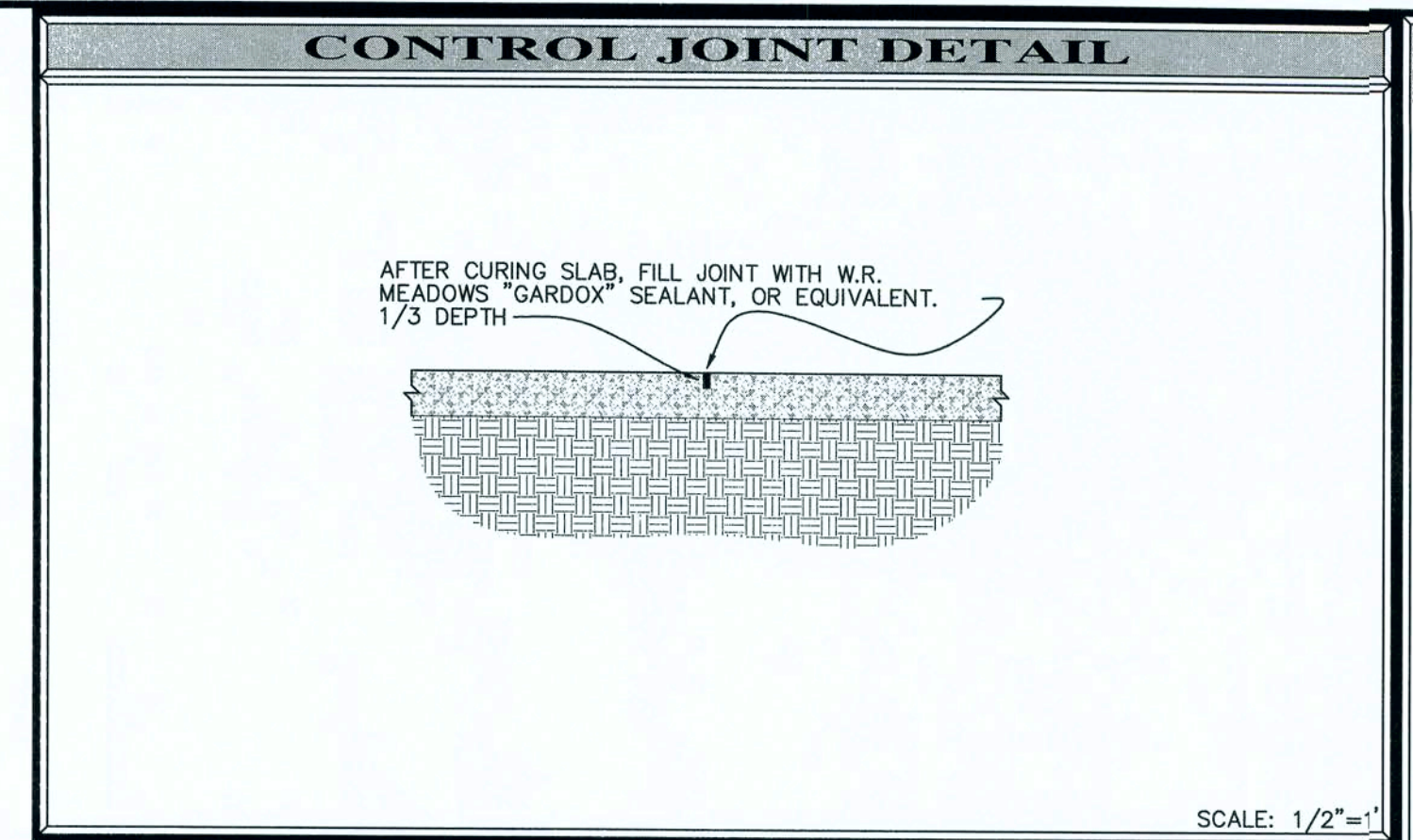
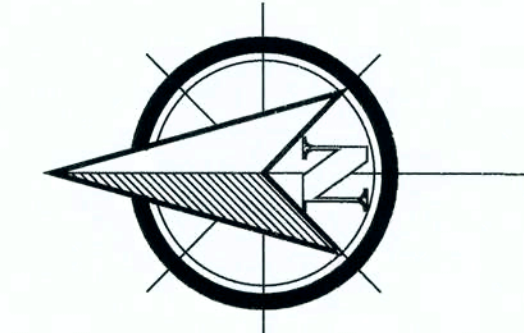
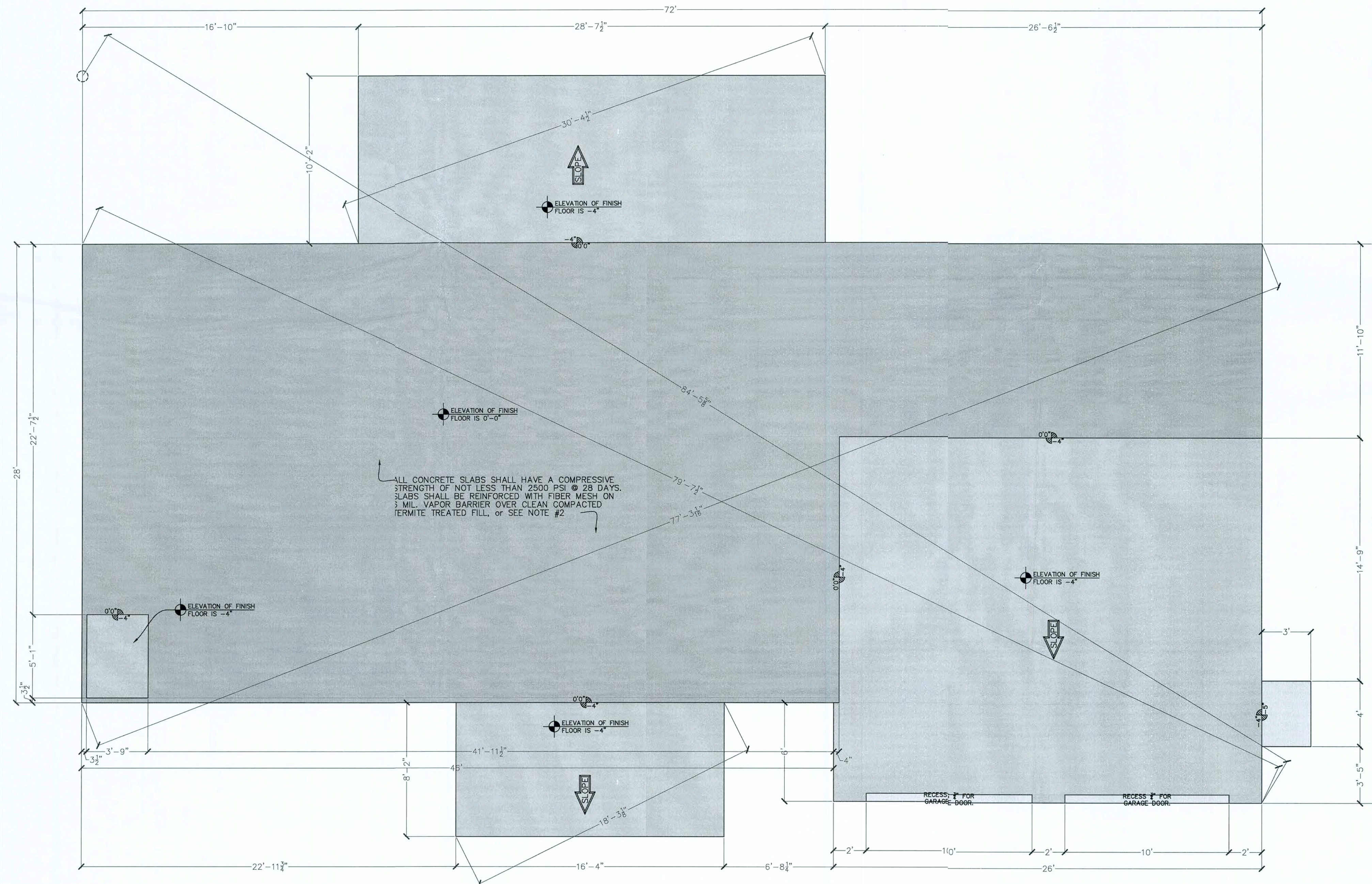
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JUSTIN M. PARRAMORE

FILE NAME
HELTON HOUSE.DWG

SCALE
1/4" = 1'-0"

REVISIONS
START: 12.21.2018
BID SET:
COMPLETE: 04.19.2019
REVISION 1:
REVISION 2:
REVISION 3:

ELEVATIONS
4 of 12



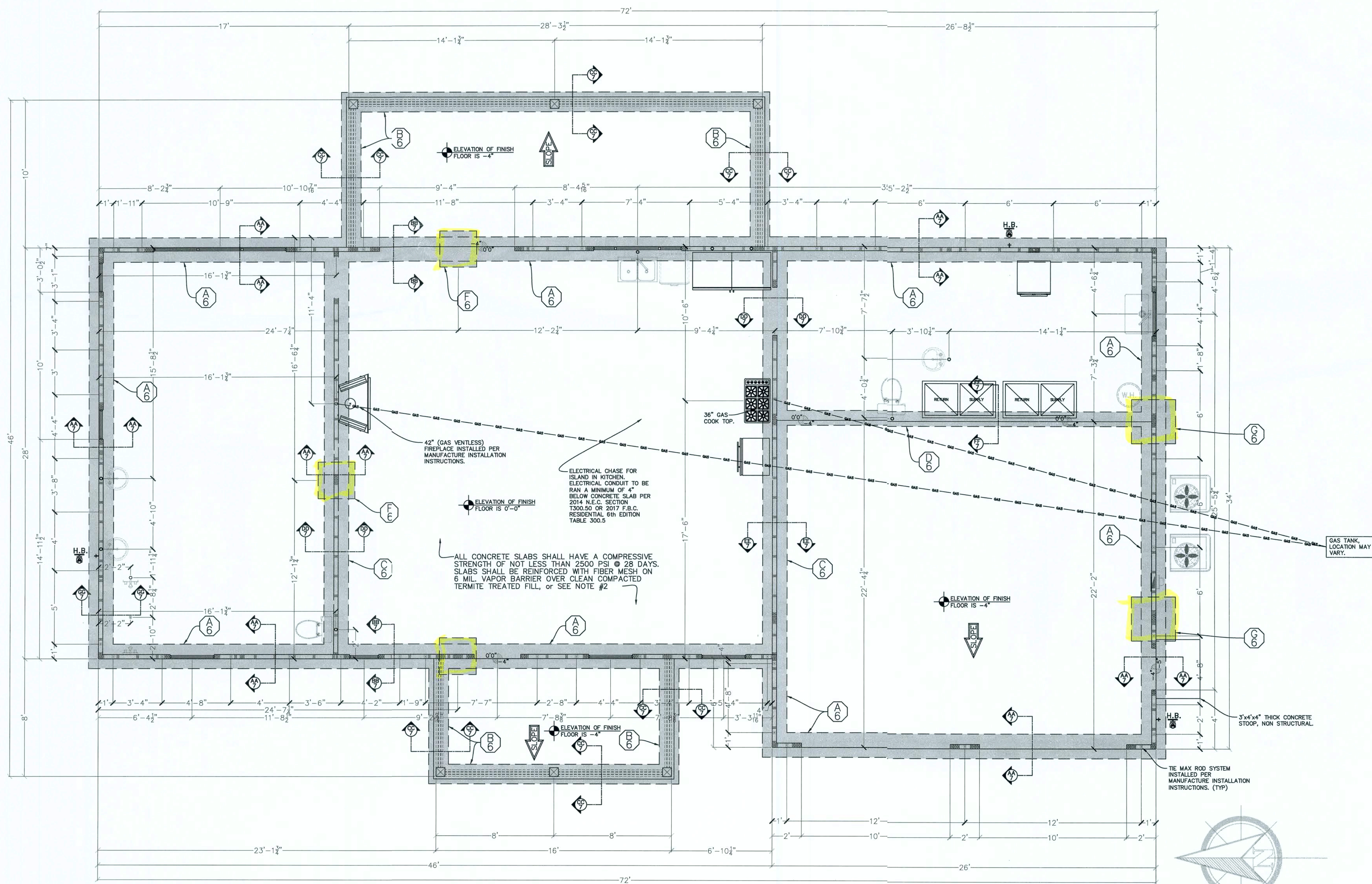
DESCRIPTION	NEW TWO STORY FRAMED HOUSE
OWNER	KELBY & KAYLA HELTON
LOCATION	138 SW HEATHER COURT FORT WHITE, FL 32038

DESIGNED BY	Southern HOME A DESIGN
2151 NE 2nd Street Ocala, Florida 34470 (352) 427-3092 Cell (352) 824-3843 Fax Justin@southernhomedesign.com	OWNER'S ATTORNEY ALL RIGHTS RESERVED NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING.

ENGINEER	MARK KEELS
P.E.# 0051989	4518 Kangeroo Circle Fort Myers, FL 33908 (904) 608-8114 Cell (904) 282-8712 Office mkeels@chao.com

Mark W. Keels, P.E.	Digitally signed by Mark W. Keels, P.E.
2019.07.07	Date: 2019.07.07
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DRAWN BY	JUSTIN M. PARRAMORE
FILE NAME	HELTON HOUSE.DWG
SCALE	1/4" = 1'-0"
REVISIONS	START: 12.21.2018 BID SET: 04.19.2019 COMPLETION: 04.19.2019 REVISION 1: REVISION 2: REVISION 3:
SLAB PLAN	5 of 12



FOUNDATION NOTES

- NOTES:
1. ALL LUMBER TO BE SYP or SPF#3 MINIMUM, M.C. of 19% EXTERIOR LUMBER TO BE PRESSURE TREATED.
 2. 4" CONCRETE SLAB REINFORCED WITH 6"x6" - #10-10 WIRE MESH OVER 6mm VISQUEEN ON CLEAN COMPACTED TERMITE TREATED FILL.
 3. CONCRETE FOOTINGS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2,500 PSI AT 28 DAYS. REINFORCED FOOTINGS WITH #5 REBAR AS INDICATED. ALL BARS SHALL BE DEFORMED, CONFORM TO ASTM DESIGNATION A-615, GRADE 60 AND BE CLEAN AND FREE FROM RUST AND SCALE. SPLICES SHALL OVERLAP 30" MINIMUM.
 4. THIS FOUNDATION PLAN IS ONLY GOOD FOR THE USE WITH THE TRUSS LAYOUT PROVIDED BY HOWLAND TRUSS JOB# 19-3056 ON 05.07.2019. CHANGES IN TRUSS MANUFACTURES MAY REQUIRE ADDITIONAL FOOTINGS.
 5. MISSING DOWEL: PRE-DRILL HOLE TO A 8" MINIMUM DEPTH, CLEAN HOLE WITH AIR COMPRESSOR AND FILL HOLE $\frac{1}{2}$ TO $\frac{3}{4}$ FULL STARTING FROM THE BOTTOM OF HOLE TO PREVENT AIR POCKETS. DOWEL MUST BE CLEAN AND OIL FREE. SLOWLY TURN UNTIL THE DOWEL CONTACTS THE BOTTOM OF THE HOLE AT FOOTING. ALLOW 24 HOUR CURE TIME. USE ONLY HIGH STRENGTH EPOXY.

FOOTING SCHEDULE

FOOTING SECTION	SIZE (WxLxD) & STYLE	REINFORCING STEEL TO BE #5 REBAR
A	20"x10" STEM	(2) #5 CONTINUOUS
B	16"x8" STEM	(2) #5 CONTINUOUS
C	20"x16" BELL	(2) #5 CONTINUOUS
D	12"x16" BELL	(2) #5 CONTINUOUS
E	24"x24"x24" SPOT	(3) #5 EACH WAY
F	30"x30"x24" SPOT	(3) #5 EACH WAY
G	36"x36"x24" SPOT	(3) #5 EACH WAY

NOTE: SEE CROSS SECTIONS AND FOUNDATION NOTES FOR DETAILS.

NEW TWO STORY
FRAMED HOUSE

KELBY & KAYLA
HELTON

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Mark W. Keels
Professional Engineer
No. 0051989
Date: 04.19.2019
Session: 04.00

DRAWN BY
JUSTIN M. FARRAMORE

FILE NAME
HELTON HOUSE.DWG

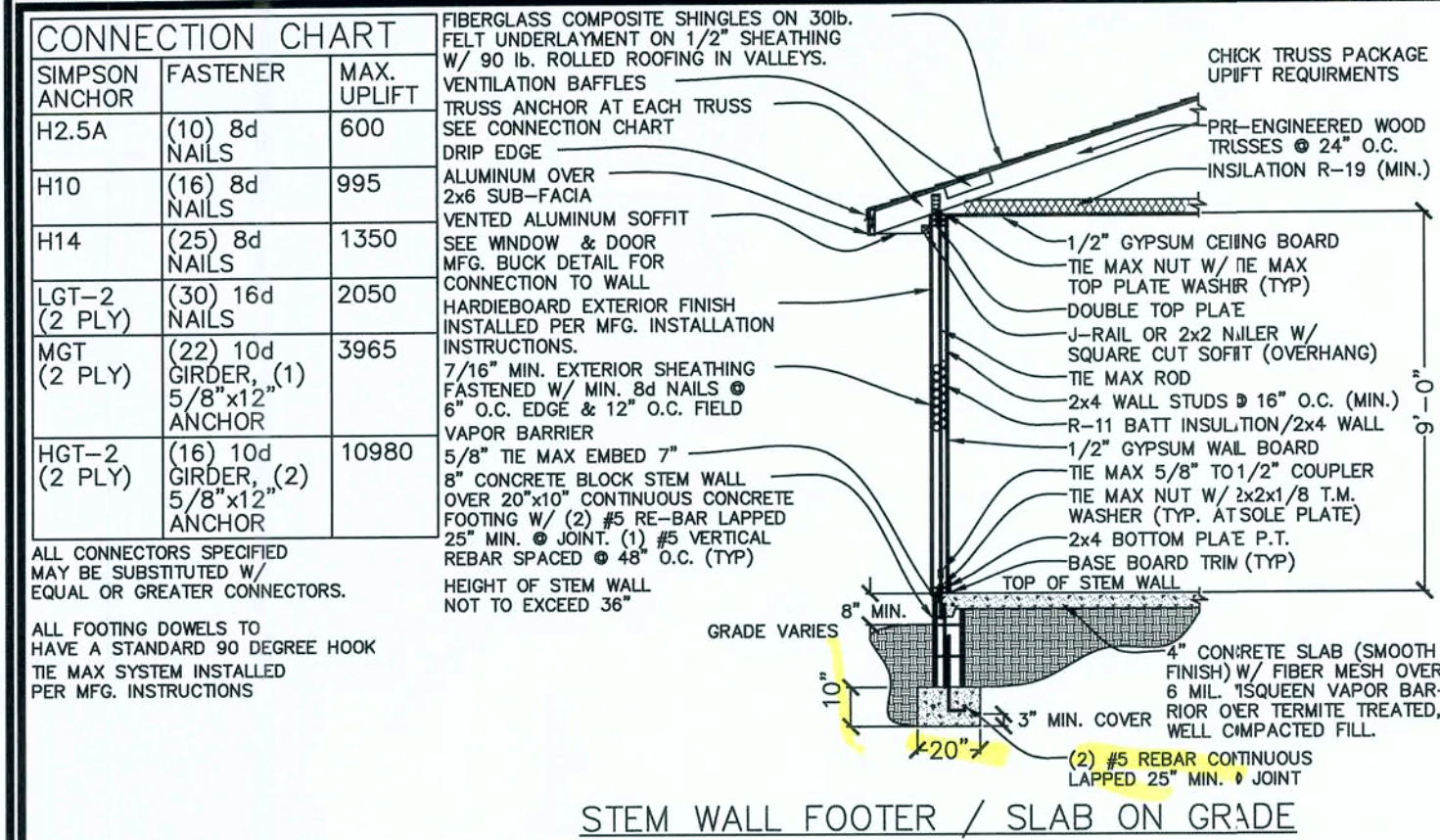
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1/4" = 1'-0"

REVISIONS

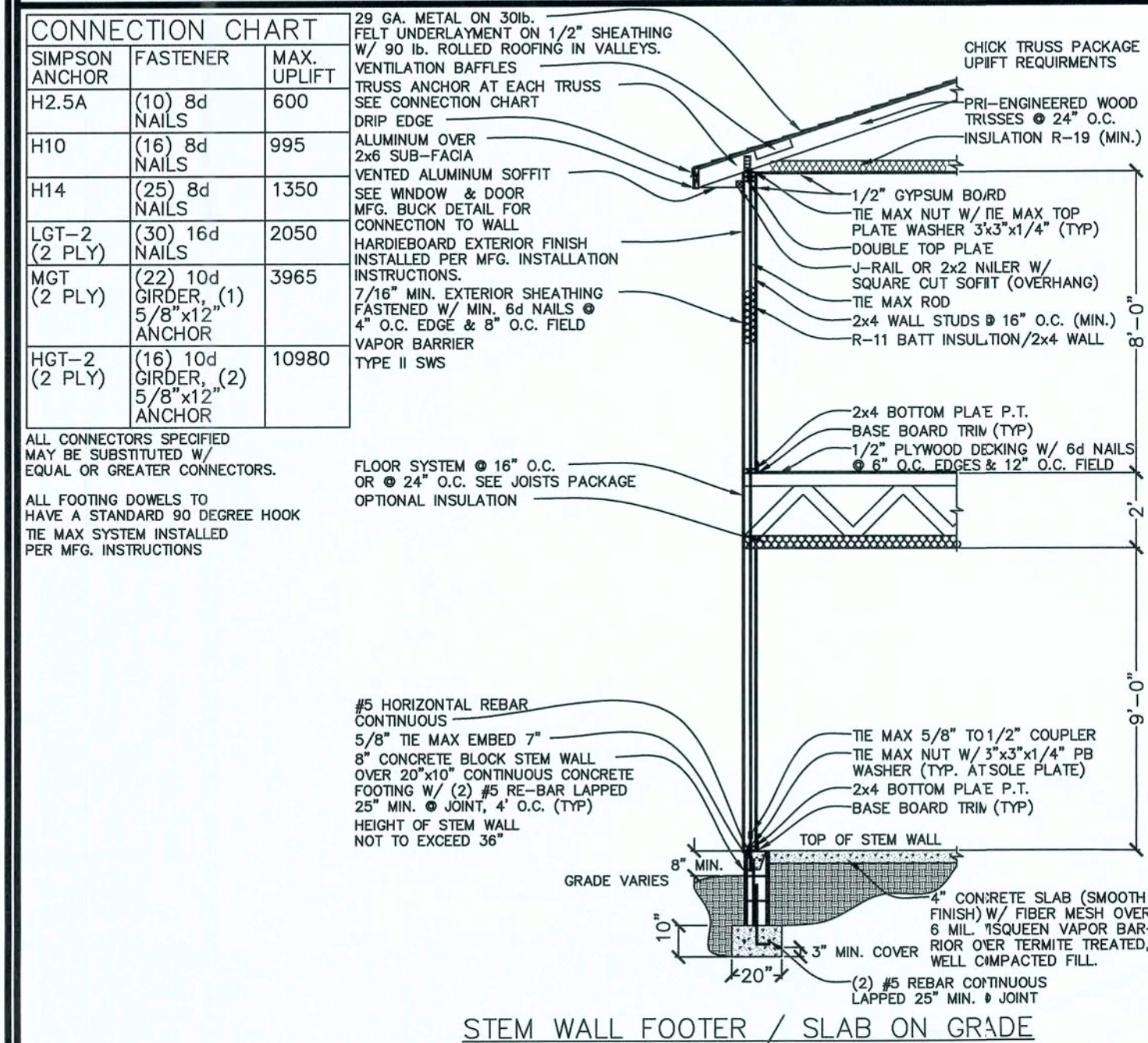
START:	12.21.2018
BID SET:	
COMPLETE:	04.19.2019
REVISION 1:	
REVISION 2:	
REVISION 3:	

FOUNDATION PLAN

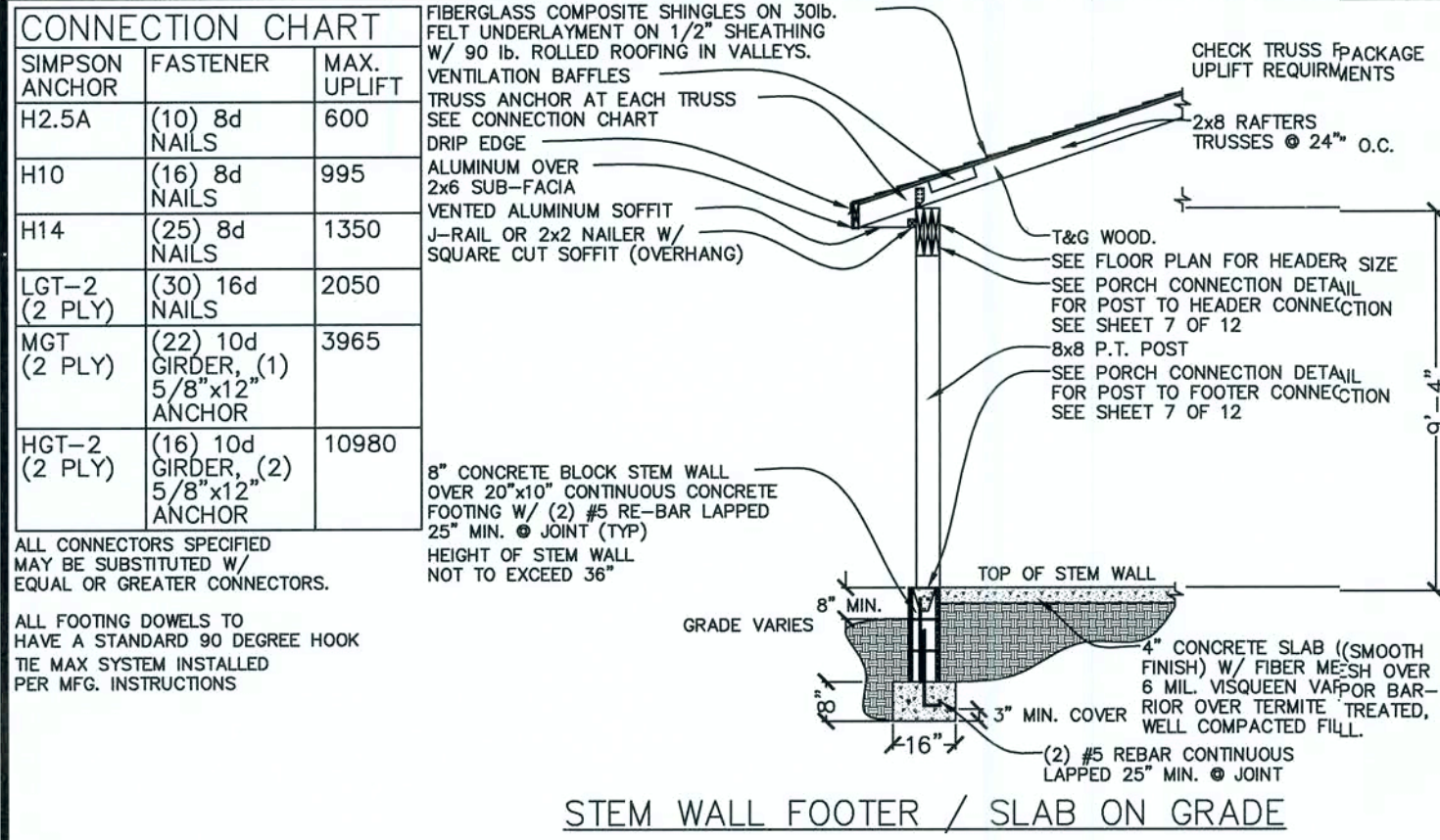
6 of 12



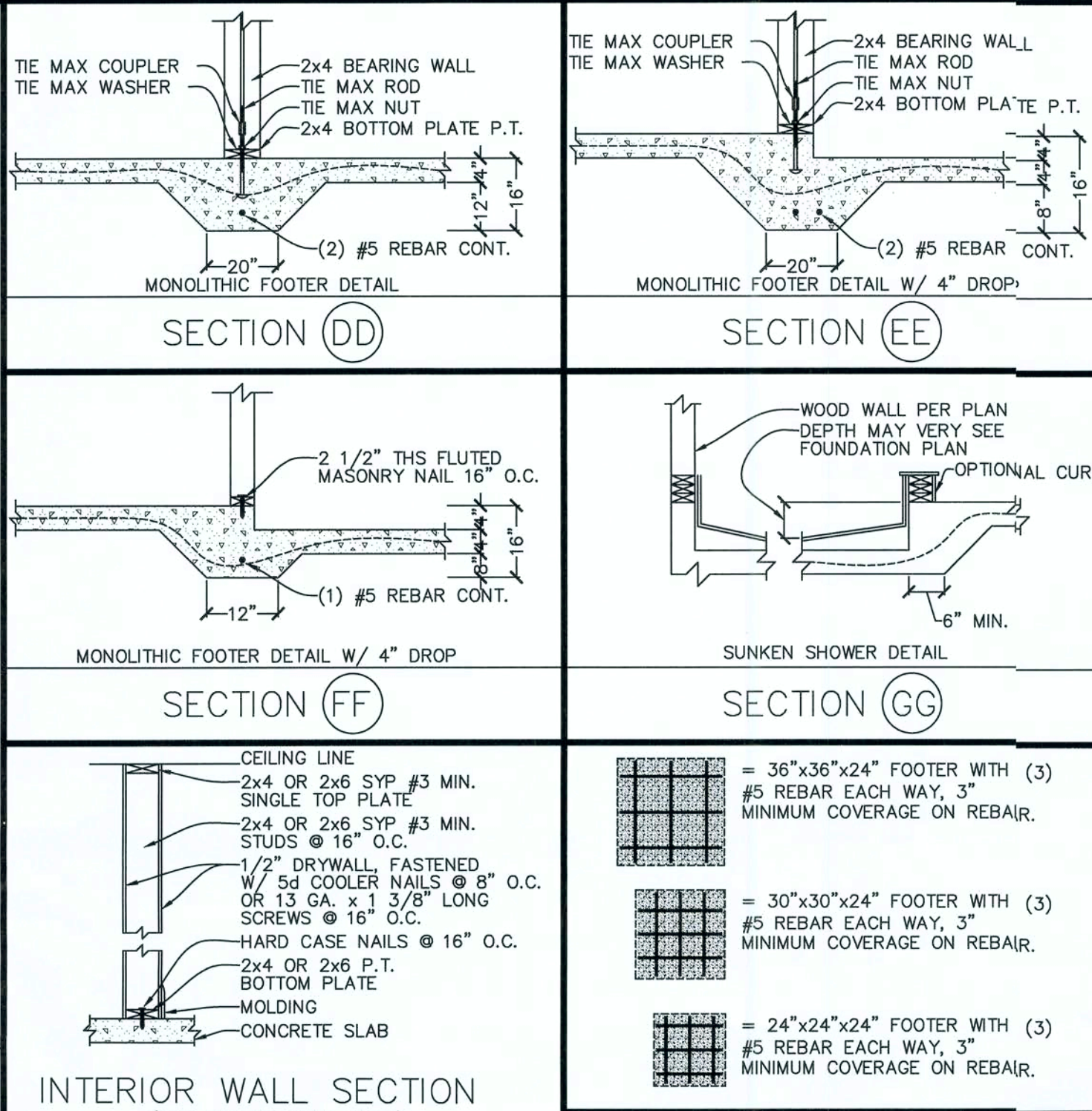
TYPICAL FRAME WALL SECTION
SECTION (AA)



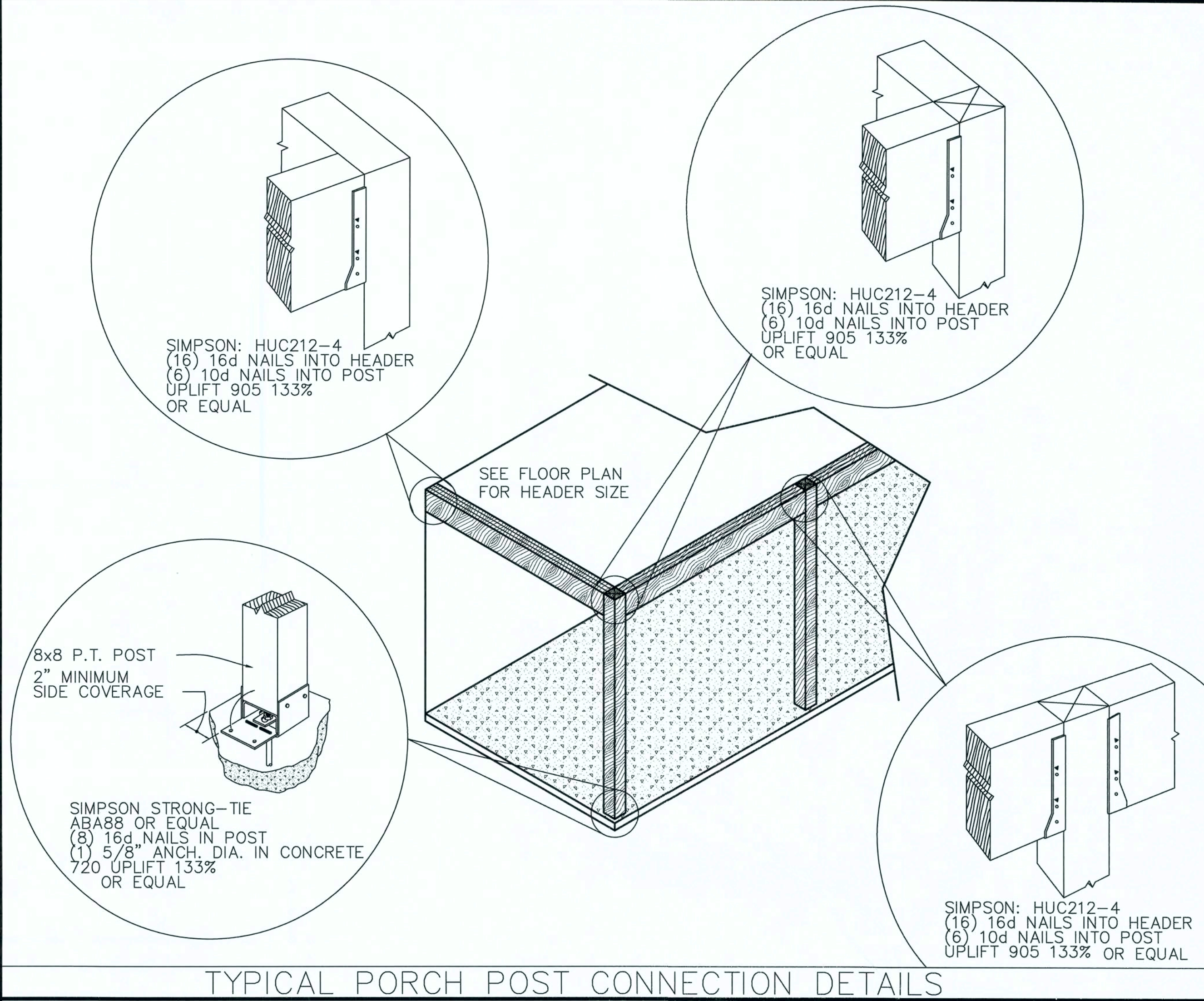
TYPICAL FRAME WALL SECTION
SECTION (BB)



TYPICAL POST SECTION
SECTION (CC)



INTERIOR WALL SECTION
(NON BEARING WALL ONLY)



NEW TWO STORY FRAMED HOUSE

KELBY & KAYLA HELTON

138 SW HEATHER COURT FORT WHITE, FL 32038

Southern HOME & DESIGN

2151 NE 2nd Street Ocala, Florida 34470 (352) 624-2932 Office (352) 624-3843 Fax (352) 624-3843 Cell

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Mark W. Keels, P.E.

DATE: 2019.05.07

PE

DRAWN BY

JUSTIN M. PARRAMORE

FILE NAME

HELTON HOUSE.DWG

SCALE

1/4" = 1'-0"

REVISIONS

START: 12.21.2018

BID SET: 04.19.2019

REVISION 1:

REVISION 2:

REVISION 3:

FOUNDATION DETAILS

7 of 12

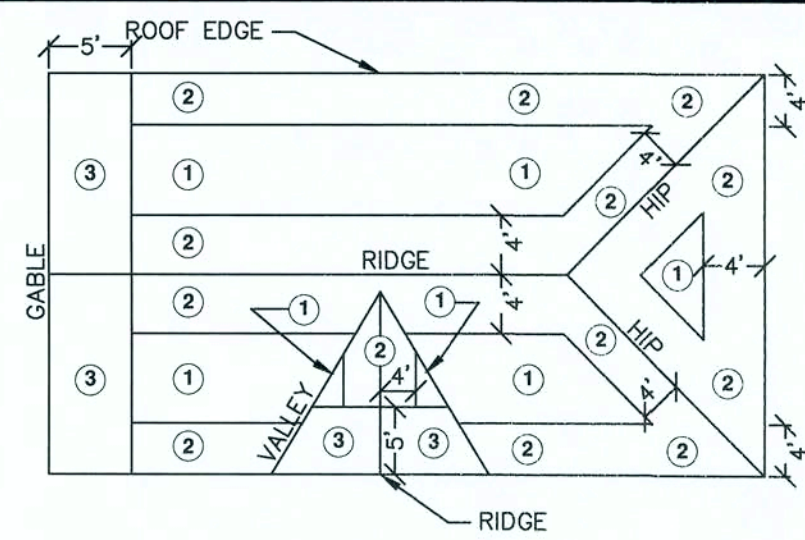
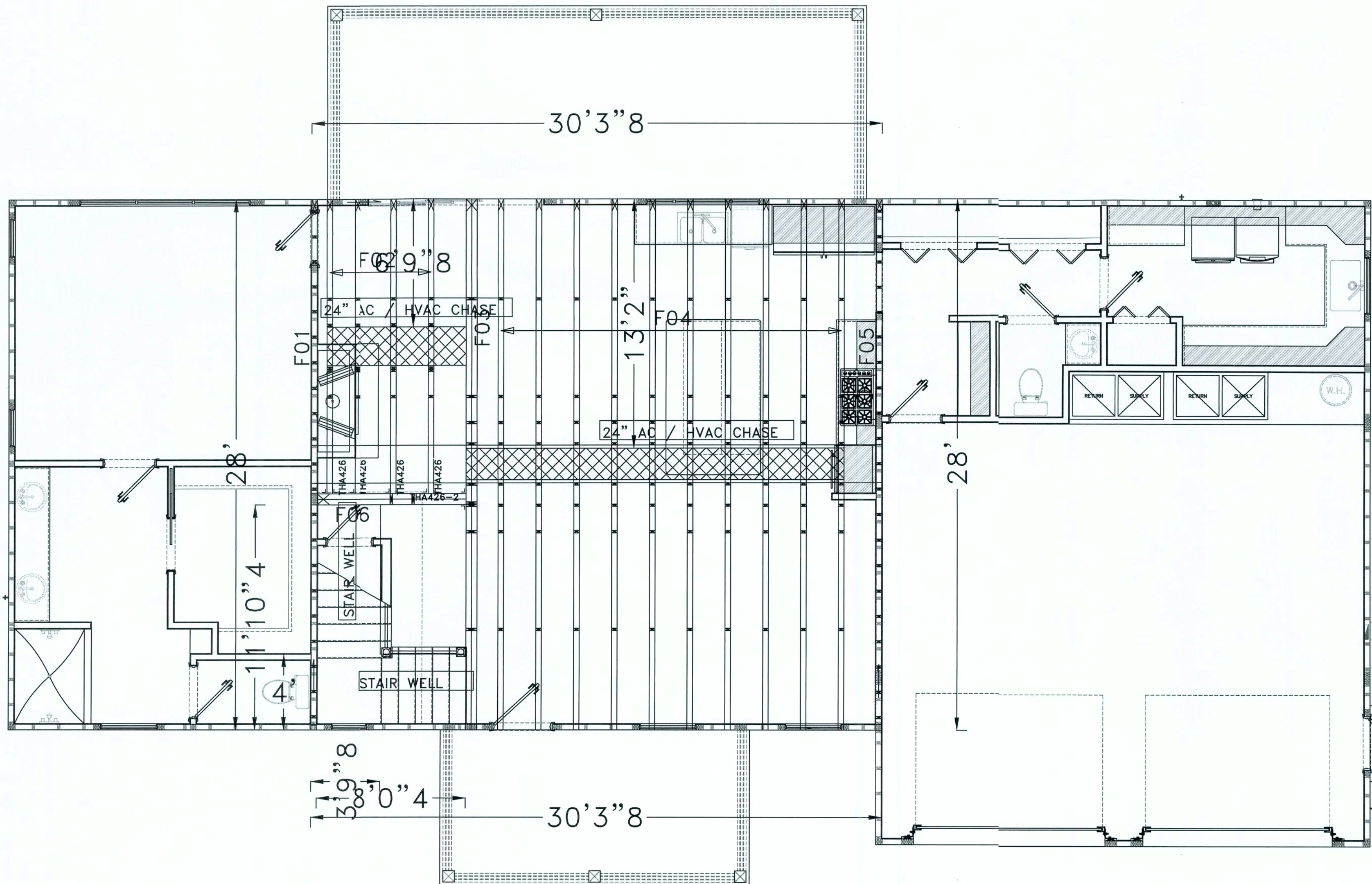
W.B. Howland Truss Co.
610 11th St. SW
Live Oak, FL 32064
(386) 362-1235
(386) 362-7124 (Fax)
howlandtruss@gmail.com

--24" DEPTH SY42 FLOOR TRUSSES
AT 24" ON CENTER

PRE-SEAL THE FOLLOWING NEEDS TO
BE CONFIRMED:

--1/2" STUB

--2 X 4 RIBBON NOTCH EACH END



NOTES:

TRUSSES MUST BE CAPABLE OF TRANSFERRING LATERAL LOADS TO BEARING WALLS, TRUSSES, GIRDERS, AND BEAM TIE DOWNS TO BE SIZED PER TRUSS MANUFACTURER'S UPLIFT CALCULATIONS, ANY QUESTIONS AS TO THE SIZE, TYPE, OR VALUE OF A NAIL STRAP OR CLIP SHOULD BE VERIFIED BY THE STRUCTURAL ENGINEER.

ROOF NAILING PATTERN:

ZONE 1: 8d NAILS AT 6" O.C.
ZONE 2: 8d NAILS AT 4" O.C.
ZONE 3: 8d NAILS AT 4" O.C.
GYPSUM CEILING: 5d NAILS AT 7" O.C.

} RING SHANKED NAILS.

UNDERLAYMENT:

REQUIRED UNDERLAYMENT SHALL CONFORM WITH ASTM D 226, TYPE 1 OR 2 OR ASTM D 4669 TYPE 1 OR 2. SELF ADHERING POLYMER MODIFIED BITUMEN SHEET SHALL COMPLY WITH ASTM D1970.

ASPHALT SHINGLES:

ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR D 3462.

FASTENERS:

FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS, MINIMUM 12 GAUGE SHANK WITH MINIMUM 3/8" DIAMETER HEAD, ASTM F 1667, OF A LENGTH TO PENETRATE THROUGH ROOFING UNDERLAYMENT AND INTO ROOF DECK 3/4" MINIMUM SHEATHING, WHERE THE ROOF SHEATHING IS LESS THAN 3/4" THICK, THE FASTENER SHALL PENETRATE THROUGH THE SHEATHING. FASTENERS SHALL COMPLY WITH ASTM F 1667.

ATTACHMENT:

ASPHALT SHINGLES SHALL HAVE A MINIMUM OF 6 FASTENERS AS REQUIRED BY THE MANUFACTURER.

ROOF MATERIAL CONNECTION

UNDERLAYMENT APPLICATION:

FOR ROOF SLOPES FROM 2:12 UP TO 4:12, UNDERLAYMENT SHALL BE A MINIMUM OF TWO LAYERS APPLIED AS FOLLOWS;

- A. STARTING AT THE EAVE, A 19 INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED PARALLEL WITH THE EAVE AND FASTENED SUFFICIENTLY TO STAY IN PLACE.
- B. STARTING AT THE EAVE, A 36 INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED OVERLAPPING SUCCESSIVE SHEETS 19 INCHES AND FASTENED SUFFICIENTLY TO STAY IN PLACE.
- C. FOR ROOF PITCHES 4:12 OR GREATER SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAP'S SHALL BE OFFSET 6 FEET.

* FLASHING;

BASE AND COUNTER FLASHING;

BASE AND COUNTER FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE EITHER CORROSION-RESISTANT METAL, MINIMUM NOMINAL .019 INCH THICKNESS OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 100 SQ.FT. CAP FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM NOMINAL .019 INCH THICKNESS.

* VALLEYS;

VALLEY LINING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING ASPHALT SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.

FOR OPEN VALLEYS (VALLEY LINING EXPOSED) LINED WITH METAL, THE VALLEY SHALL BE AT LEAST 24 INCHES WIDE AND ANY OF THE OF THE CORROSION-RESISTANT METALS LISTED BELOW.

COPPER (16 OZ. PER SQ. FT.)

ALUMINUM (0.024 MIN. THICKNESS)

STAINLESS STEEL (28 GA.)

CALVANIZED (.0179 MIN. THICKNESS) (28 GA. ZINC COATED 990)

ZINC ALLOY LEAD PAINT TERNE (.027 MIN. THICKNESS) (LEAD 40 OZ.)

* DRIP EDGE;

DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLE ENDS OF SHINGLE ROOFS, AND OVERLAPPED A MINIMUM OF 2 INCHES. EAVE DRIP EDGES SHALL EXTEND A 1/4-INCH BELOW SHEATHING AND EXTEND BACK ON ROOF A MINIMUM OF 12 INCHES. DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 2 INCHES O.C.

* CRICKETS;

THE CRICKET SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY GREATER THAN 30 INCHES WIDE. CRICKET COVERING SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING.

* CLAY AND CONCRETE TILES; SECT

EACH ROOF TILE SHALL HAVE A PERMANENT MANUFACTURERS IDENTIFICATION MARK. THE TILE MANUFACTURER'S WRITTEN APPLICATION INSTRUCTIONS SHALL BE AVAILABLE AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING;

- A. THE TILE'S PLACEMENT AND SPACING.
- B. ATTACHMENT SYSTEM NECESSARY TO COMPLY W/ CHAPTER 9 OF THE FBCR 2017.
- 1. AMOUNT AND PLACEMENT OF MORTAR.
- 2. AMOUNT AND PLACEMENT OF ADHESIVE.
- 3. TYPE, NUMBER, & SIZE, AND LENGTH OF FASTENERS AND CLIPS.
- 4. UNDERLAYMENT.
- 5. SLOPE REQUIREMENTS.

* ATTIC ACCESS;

ATTIC SPACES SHALL BE PROVIDED WITH AN INTERIOR ACCESS OF 22 x 30 INCHES ACCESS IS NOT REQUIRED WHEN THE CLEAR HEIGHT OF THE ATTIC SPACE, MEASURED AT THE REAR OF THE PEEK, IS LESS THAN 30 INCHES OR AREAS THAT DO NOT EXCEED 30 SF.

* ROOF VENTILATION;

THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NOT LESS THAN 1/150. THAT RATIO MAY BE REDUCED TO 1/300 PROVIDED:

- A. A VAPOR RETARDER HAVING A PERFORMANCE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING.
- B. AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS), WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

* SEE FOUNDATION SHEET (BUILDING SECTION) FOR ADDITIONAL INFORMATION

* TRUSS MFR. SHALL FURNISH DESIGN CALC'S, DRAWINGS, AND ERECTION PLAN. SIGNED & SEALED BY A REGISTERED FLORIDA ENGINEER.

* TRUSSES SHALL BE BRACED PER FBCR 2010 SECTION R205.11, R802.1.6 & TPI & HIB-91 SECTION 13.2 & 13.2.3.3

* SISSOR TRUSSES SHALL BE BRACED CONTINUOUS @ 10' O.C., STD. TRUSSES CONTINUOUS @ 15' O.C.

* MISSING UPLIFT STRAP;

MASONRY;

APPLY SIMPSON HTSM16 UPLIFT STRAP TO BOND BEAM W/

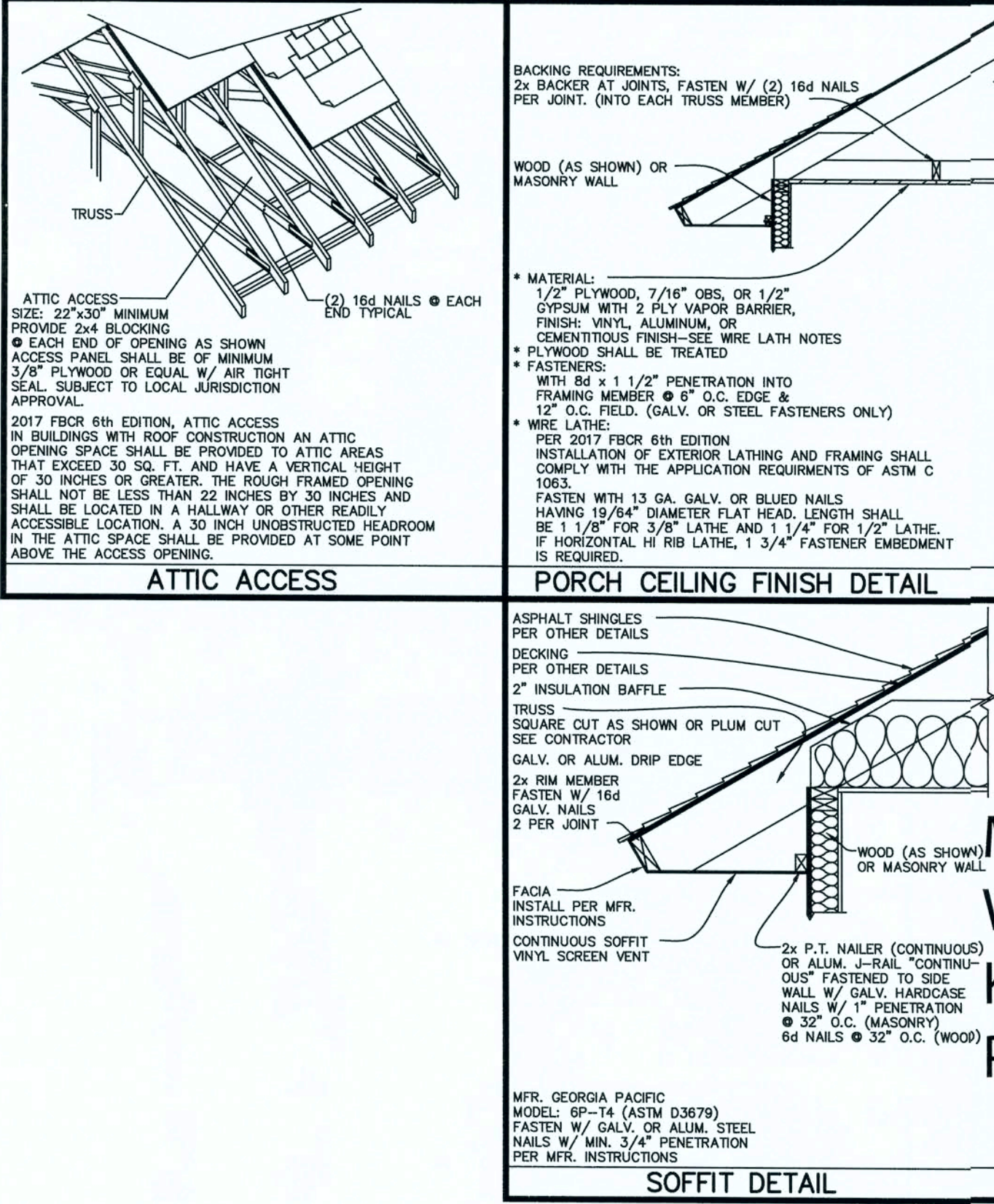
(8) 10d nails TO TRUSS & (4) 1/4" x 2 1/4" TITENS TO CMU.

UPLIFT 1175

WOOD;

APPLY SIMPSON H2-54 UPLIFT STRAP TO TOP PLATE W/

(5) 8d NAILS & TO TRUSS W/ (5) 8d NAILS UPLIFT 600

[illegible]

(A) 2x6 OR LARGER SO. PINE #2 VALLEY RAFTER
(B) 2x4 SO. PINE #3 CRIPPLE (MAX. HEIGHT 6'-3")
(C) 2x4 SO. PINE #3 CRIPPLE (MAX. HEIGHT 6'-3")
(D) 2x6 OR LARGER SO. PINE #2 VALLEY RAFTER
(E) 2x OR LARGER SO. PINE #2 LAYFLAT

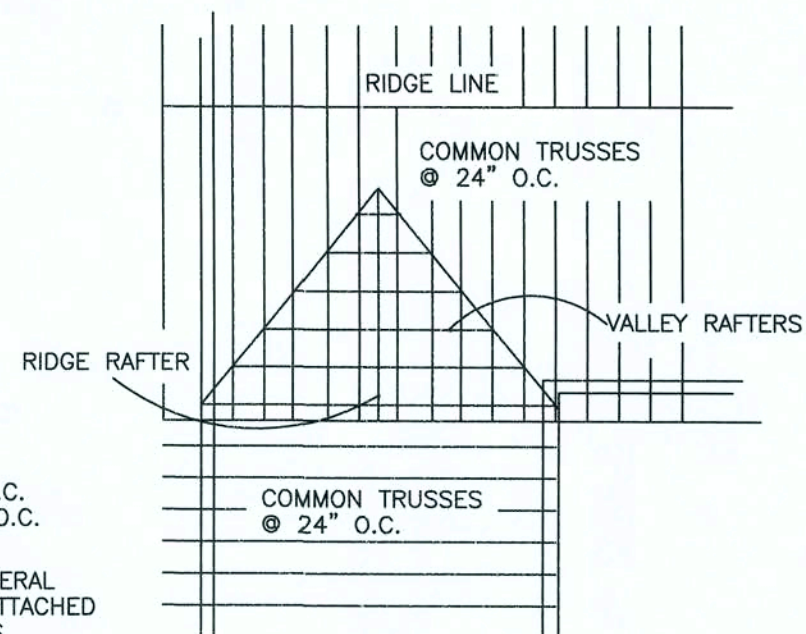
NOTE: VALLEY RAFTER (D) MUST NOT BE LESS SIZE THAN THAT OF VALLEY RAFTER (A)

NOTE: REFER TO VALLEY DETAIL A105 FOR SUPPORTING TRUSS BRACING DETAILS.

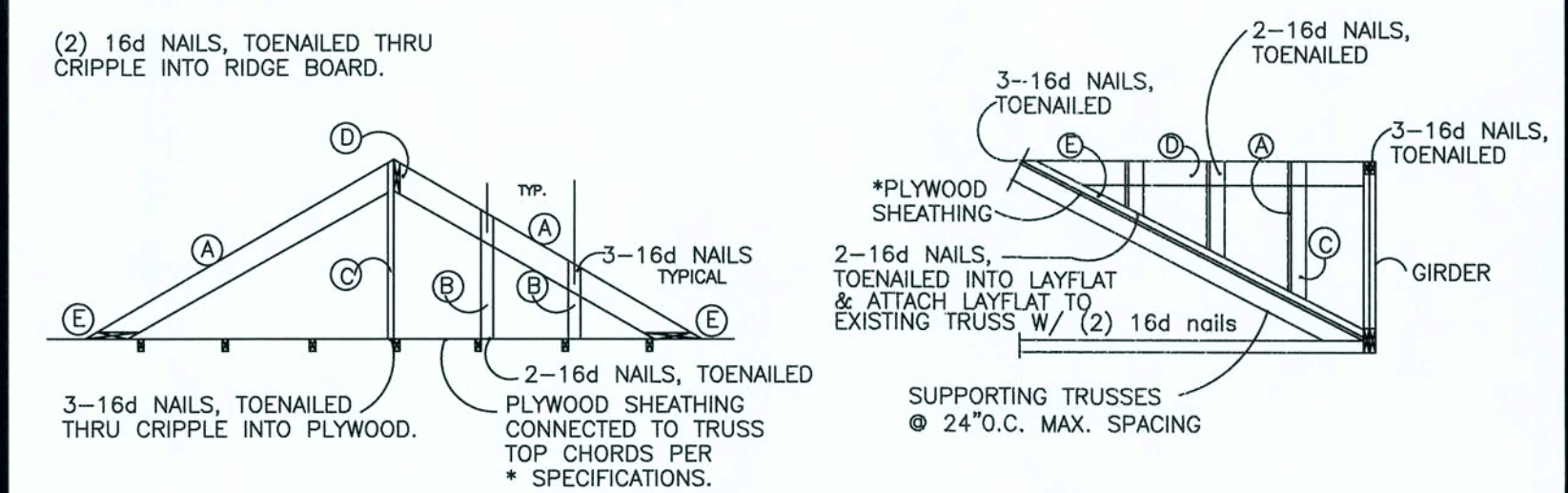
(B), (C) MAX. HEIGHT W/ 1x4 "T" BRACE IS 9'-10"
(B), (C) MAX. HEIGHT W/ 2x4 "T" BRACE IS 11'-2"

FOR 1x4 & 2x4 "T" BRACING, BRACE TO BE SAME GRADE AS CRIPPLE.
FASTEN 1x4 "T" BRACE TO CRIPPLE W/8d NAILS @ 4" O.C.
FASTEN 2x4 "T" BRACE TO CRIPPLE W/16d NAILS @ 4" O.C.

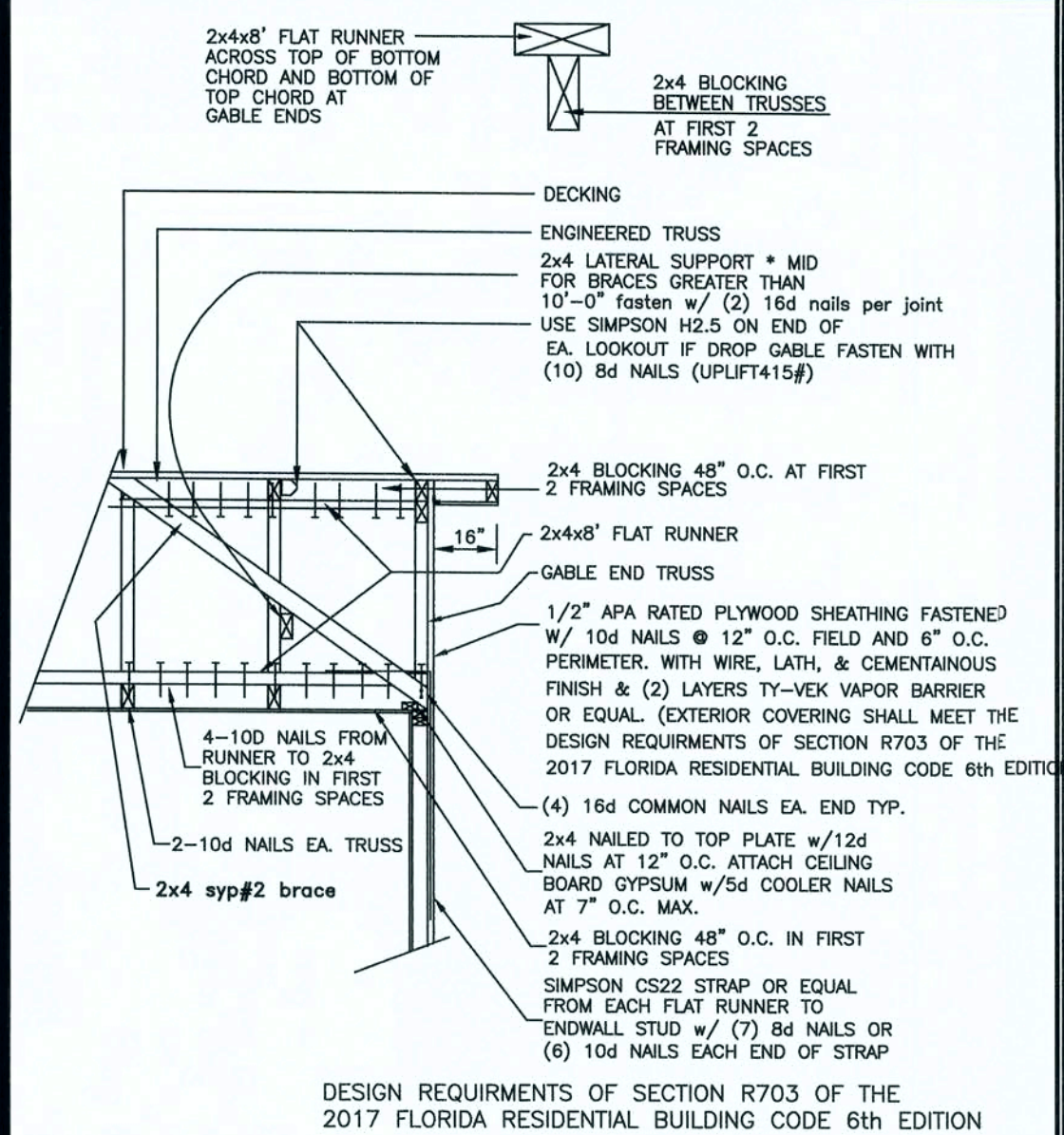
* IN LIEU OF PLYWOOD SHEATHING, 1x4 CONTINUOUS LATERAL BRACING (HEM-FUR OR BETTER) AT 24" O.C. MUST BE ATTACHED TO THE UNDERSIDE OF THE TOP CHORD OF THE TRUSSES SUPPORTING THE VALLEY AREA. THE CONTINUOUS LATERAL BRACING MUST EXTEND AND BE ATTACHED TO THE FIRST TRUSS THAT HAS SHEATHING DIRECTLY ATTACHED TO THE TOP CHORD, AT EACH END OF THE VALLEY.
ATTACH CONTINUOUS LATERAL BRACING TO EACH TRUSS W/2-8d NAILS. NOTE: THIS OPTION MAY ONLY BE USED IF THE SUPPORTING TRUSS HAS BEEN DESIGNED WITH PURLINS AT 24" O.C. SPACING ON TOP CHORD.



FRAMING PLAN



CONVENTIONAL VALLEY FRAMING
SCALE: NONE



ENDWALL GABLE BRACING "WOOD"

2017 FBCR 6th EDITION
Flashing: R703.8 - Approved flashing shall be installed at the following locations:

R703.8 Flashing:
A. At top of all windows and doors openings in such a manner as to be leak proof.
B. At the intersections of chimneys
C. Under and at the ends of masonry, wood, or metal copings and sills.
D. Continuously above all projecting wood trim.
E. At wall and roof intersections.
F. At built in gutters.

NOTES:
IF OVERHANG IS GREATER THAN 12", USE 2x4 OUTLOOKERS CONNECTED TO GABLE TRUSS AND TO FIRST COMMON TRUSS W/ SIMPSON 144 CLIPS.
DESIGN SPEED: 130 MPH DESIGN LOADS: 20 PSF LL, / 10 PSF D.L.

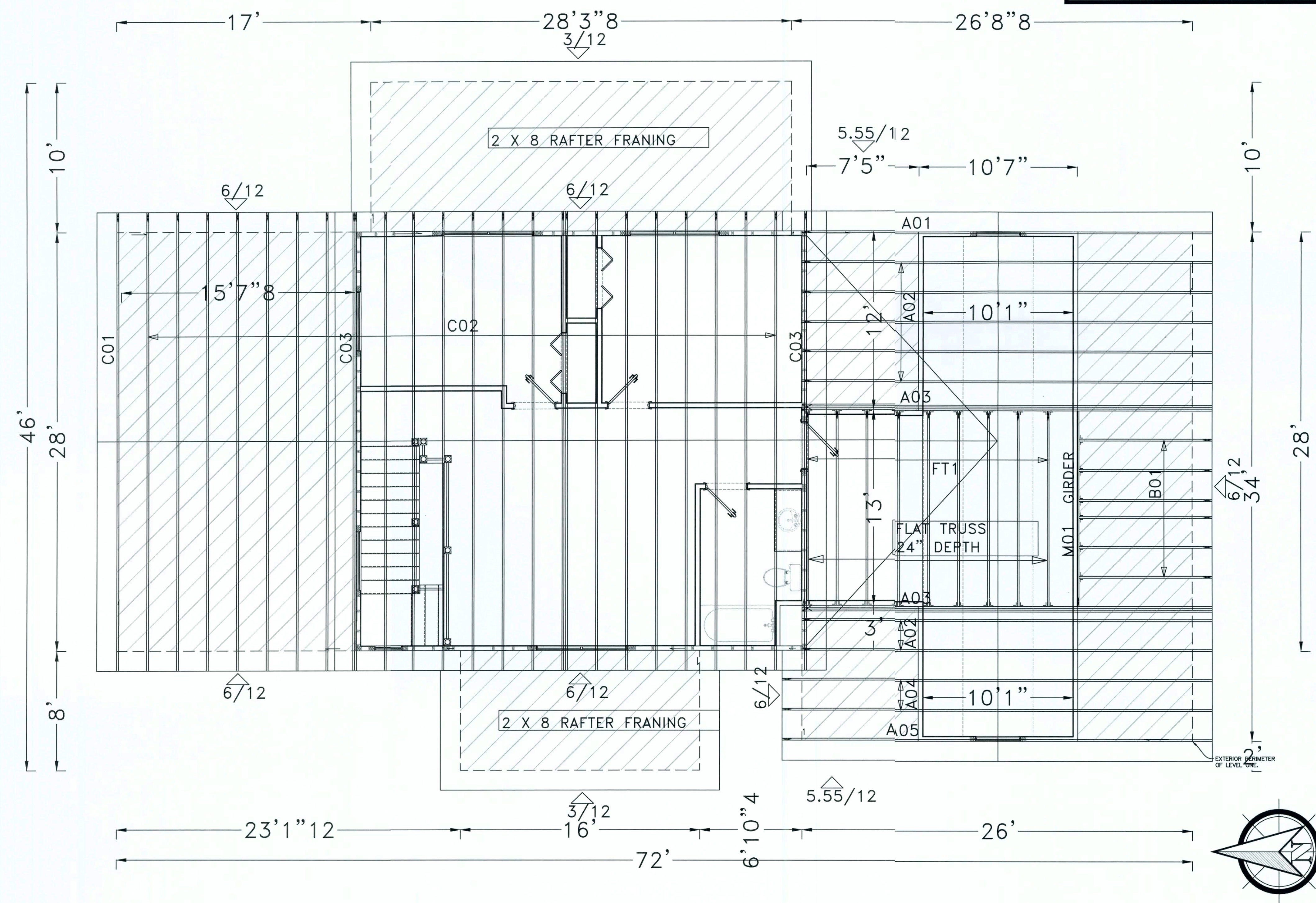
NEW TWO STORY
FRAMED HOUSE
KELBY & KAYLA
HELTON
138 SW HEATHER COURT
FORT WHITE, FL 32038

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Mark W. Keels
PE
2019.05.01
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DRAWN BY
JUSTIN M. PARRAMORE
FILE NAME
HELTON HOUSE.DWG
SCALE
1/4" = 1'-0"
REVISIONS
START: 12.21.2018
BID SET
COMPLETE: 04.19.2019
REVISION 1:
REVISION 2:
REVISION 3:
REVISION 4:
REVISION 5:
ROOF PLAN
9 of 12



PRELIMINARY LAYOUT

W.B. Howland Truss Co.
610 11th St. SW
Live Oak, FL 32064
(386) 362-1235
(386) 362-7124 (Fax)
howlandtruss@gmail.com

ROOF PITCH:
3/12, 6/12, 5.55/12

CLG PITCH:
FLAT THROUGHOUT

OVERHANG:16"

LOADING:40 PSF

WIND LOAD:130 MPH

EXPOSURE:"C"

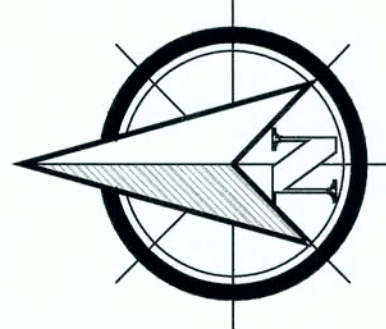
EXT WALLS:2 X 4

IMPORTANT NOTES:

---DOES CONTRACTOR WANT
RAISED HEEL TRUSSES TO BE
STUBBED 1/2" FOR PLYWOOD?

---BONUS ROOM 8' HT. @ COLLAR
TIE X 10' 1" WIDTH.

---CONVENTIONAL FRAMING REQD
VALLEY AREA.



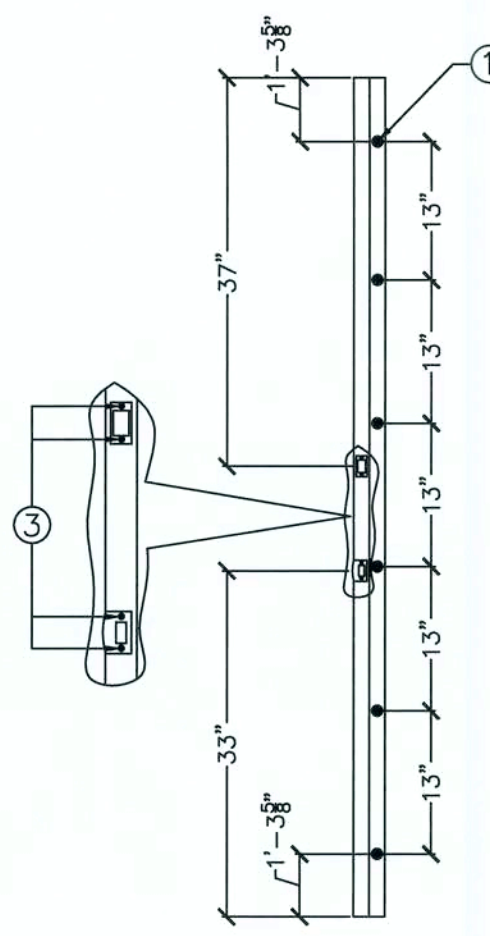
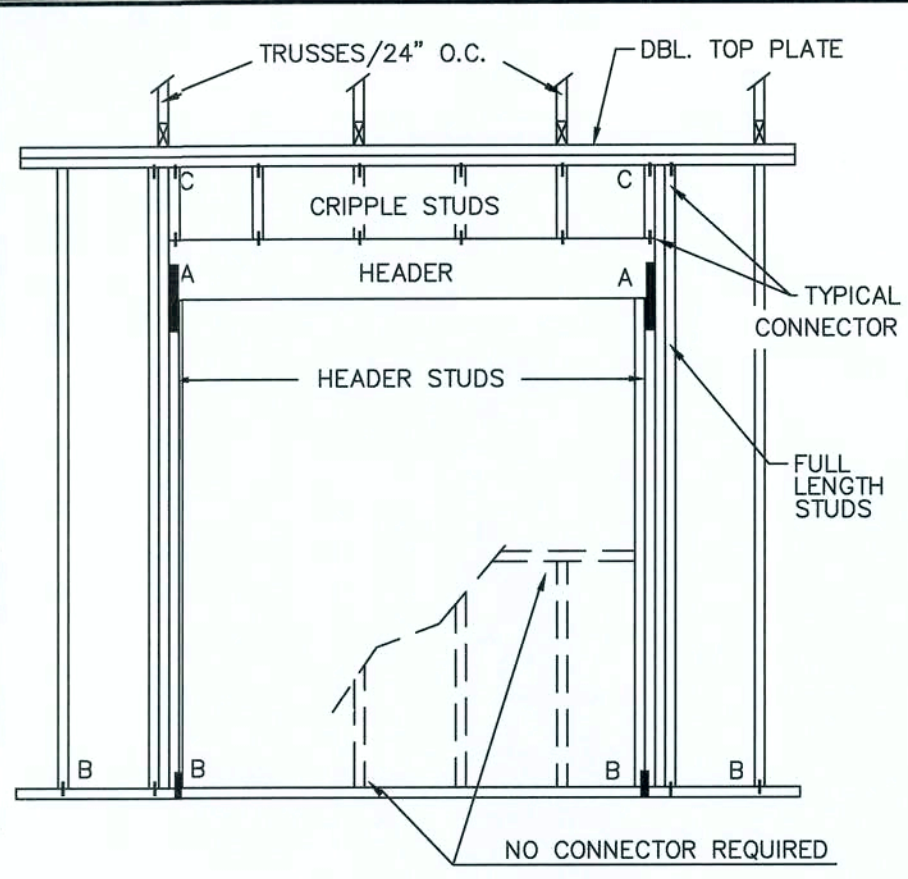
STRAP LOC.	FASTENERS	UPLIFT
2x4 AND 2x6 WALL	10d1½ nails	
SIMPSON MSTA (flat strap)		
A	10	760
A	14	1065
A	16	1215
A	18	1370
2x4 WALL		
SIMPSON SP4		
B,C	6	735
SIMPSON SPH4		
B,C	10	1240
B,C	12	1360
2x6 WALL		
STRAP LOC.	FASTENERS	UPLIFT
10d1½ nails		
SIMPSON SP6		
B,C	6	735
SIMPSON SPH6		
B,C	10	1240
B,C	12	1360

ALL CONNECTORS MAY BE AS SHOWN OR SUBSTITUTED WITH EQUAL OR GREATER CONNECTORS

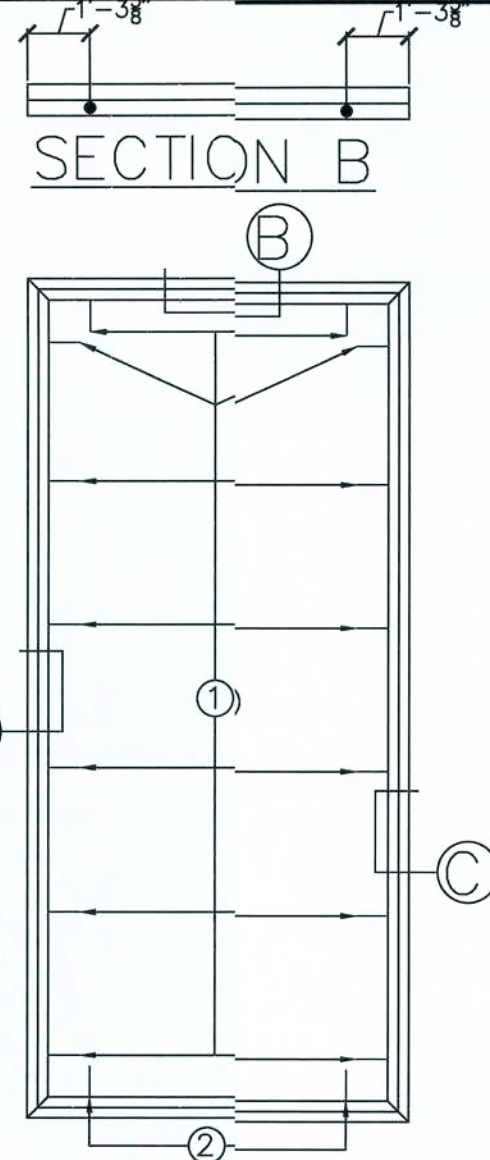
- THE HEADER STUD SHALL NOT BE REQUIRED F THE HEADER IS SUPPORTED BY A SUITABLE FRAMING ANCHOR.
- IF GO BOLT OR PRO BOLT OR TE MAX ANCHR SYSTEM IS INSTALLED, CONNECTORS INDICATED IN THIS DETAIL ARE NOT REQUIRED.

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (FEET)					
		3'	6'	9'	12'	15'	18'
10' OR LESS	12 NCHES	2	2	3	3	3	3
	16 NCHES	2	2	3	3	3	3
GREATER THAN 10'	24 NCHES	1	2	2	2	2	2
	12 NCHES	2	2	3	4	5	5
	16 NCHES	2	2	3	3	4	4
GREATER THAN 10'	24 NCHES	1	2	2	2	3	3

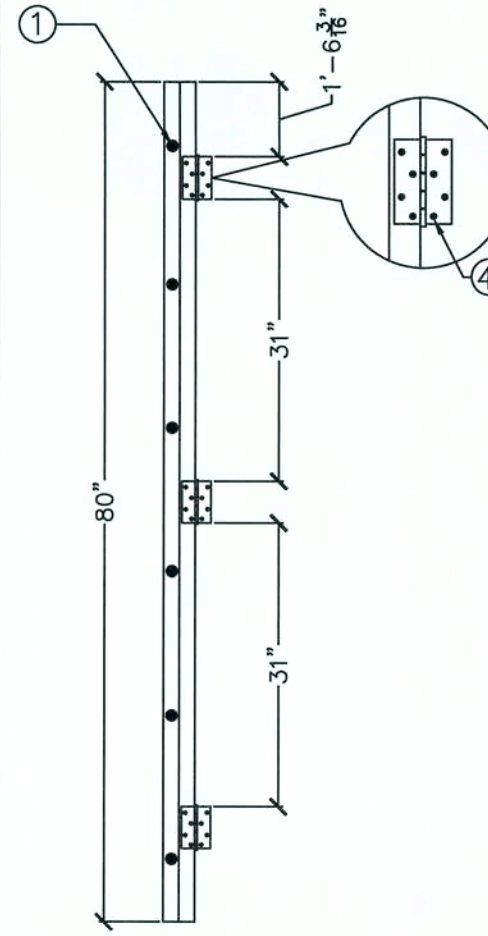
MINIMUM WALL & HEADER STUD REQUIREMENTS



SECTION A



SECTION B



SECTION C

NOTES

- #8 x 2½" PFH WOOD SCREWS
- ¾" TAPCON (ITW) OR ¾" (ELCO) 2½" LG. (DOOR ONLY)
- #10 x 2" PFH WOOD SCREWS
- #9 x 1" F.H. WOOD SCREWS

WINDOW/DOOR INSTALLATION DETAIL

HEADER SPANS FOR EXTERIOR BEARING WALLS (FOR DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE, AND SPRUCE-PINE-FIR)
HEADERS SUPPORTING ROOF AND CEILING ONLY

HDR. SIZE	20 PSF ROOF LIVE LOAD MAX. SPAN		
	BUILDING WIDTH (FEET)		
	20	28	36
2-2x4	3'-6"	3'-2"	2'-10"
2-2x6	5'-5"	4'-8"	4'-2"
2-2x8	6'-10"	5'-11"	5'-4"
2-2x10	8'-5"	7'-3"	6'-6"
2-2x12	9'-9"	8'-5"	7'-6"
3-2x8	8'-4"	7'-5"	6'-8"
3-2x10	10'-6"	9'-1"	8'-2"
3-2x12	12'-2"	10'-7"	9'-5"
4-2x8	9'-2"	8'-4"	7'-8"
4-2x10	11'-8"	10'-6"	9'-5"
4-2x12	14'-1"	12'-2"	10'-11"

- NOTES:
- SEE STUID CHART FOR REQUIRED STUDS AT EACH END OF OPENING.
 - BUILDING WIDTH IS MEASURED PERPENDICULAR TO RIDGE. FOR WIDTHS BETWEEN THOSE SHOWN, SPANS MAY BE INTERPOLATED.
 - HEADER SIZES ON FLOOR PLAN THAT ARE SPECIFICALLY DESIGNATED, SUPERSEDE HEADER CHART.

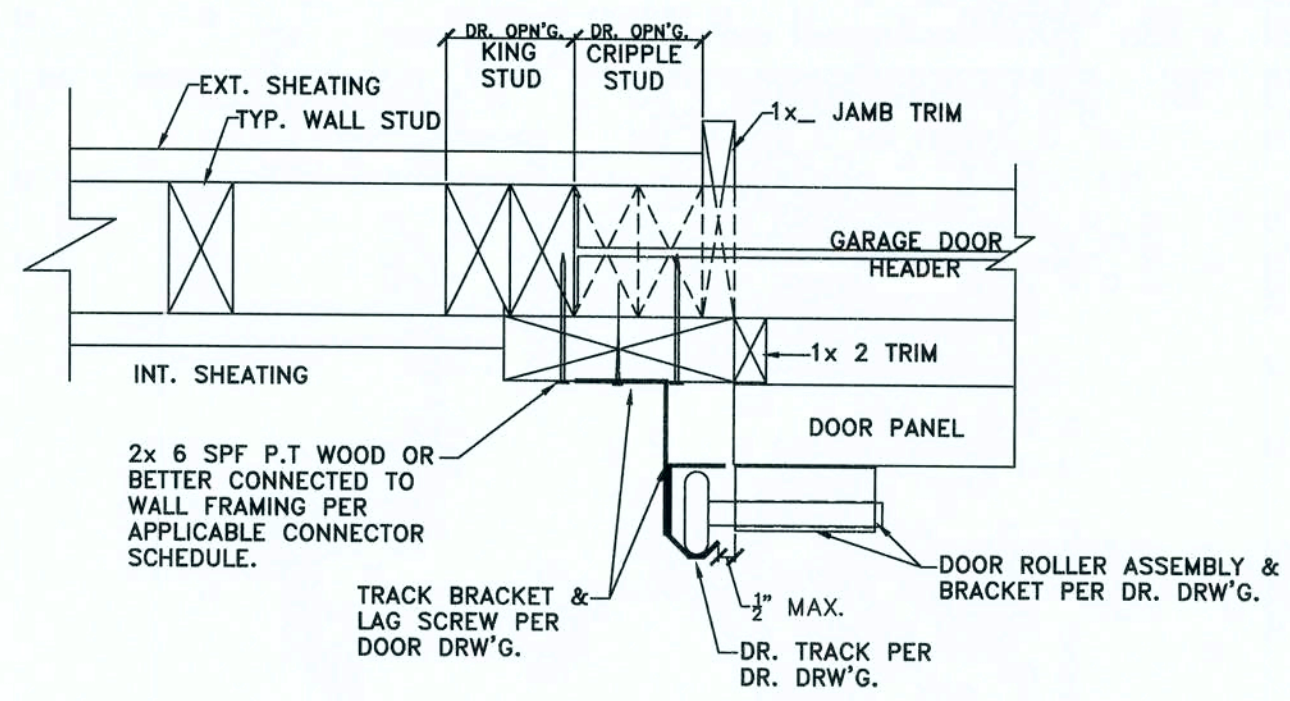
WOOD CONSTRUCTION CHART

WOOD CONSTRUCTION		QUANT. OF NAILS PER JAMB **		
TOTAL DOOR LOAD (LBS.)	LOAD PER JAMB (LBS.)	SYP	DOUG.FIR	SPF
1000	500	5	7	10
1250	625	7	9	12
1500	750	8	11	14
1750	875	9	13	17
2000	1000	10	14	20
2250	1125	12	16	23
2500	1250	13	18	24
2750	1375	14	20	27
3000	1500	15	21	29
3250	1625	17	23	32
3500	1750	18	25	34
3750	1875	19	26	36
4000	2000	20	28	39
4250	2125	22	30	41
4500	2250	23	32	44
4750	2375	24	33	46
5000	2500	25	35	48

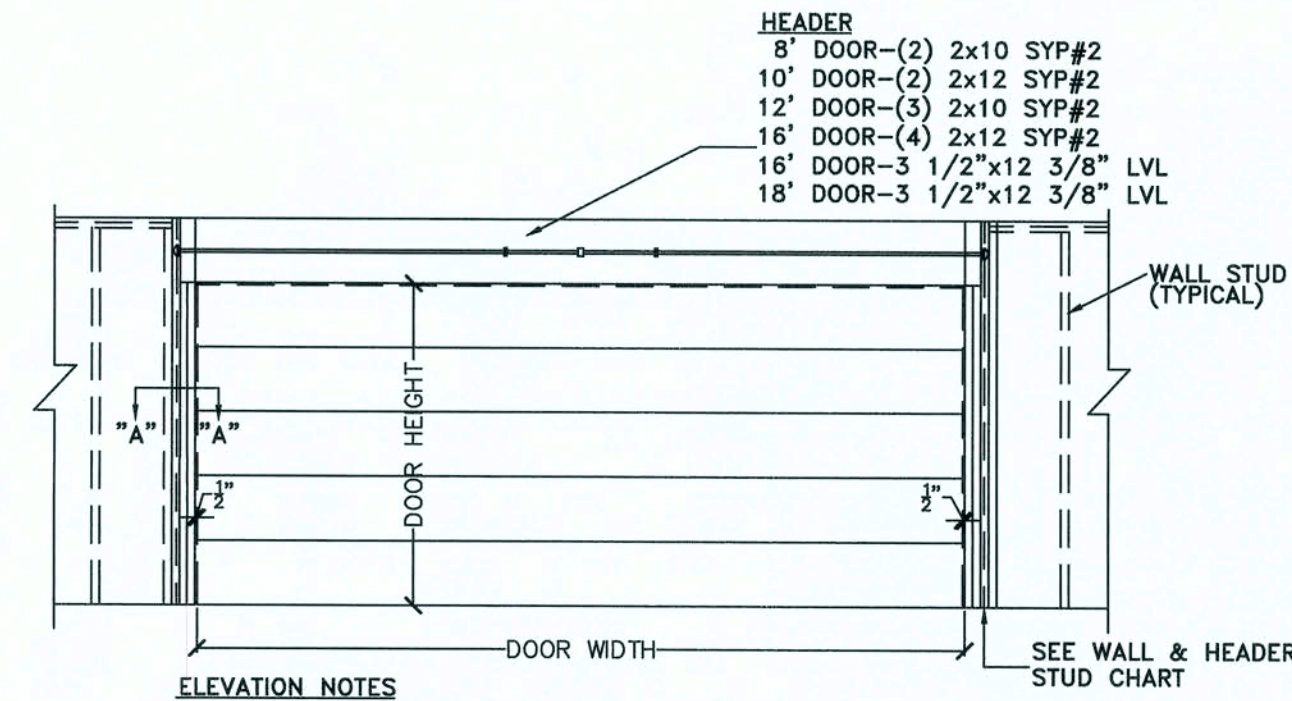
- **--BASED ON 16dx 2½" LONG THREADED, HARDENED NAIL ASSUMING 2" MIN. PENETRATION.
1. ANCHORS 1 BE EVENLY SPACED BETWEEN THE HEADER AND THE FLOOR.
2. PREDRILL NAIL HOLES TO PREVENT SPLITTING
3. CHART IS BASED ON 8'-0" MAX. DOOR HEIGHT

WOOD CONSTRUCTION		QUANT. OF NAILS PER JAMB **		
TOTAL DOOR LOAD (LBS.)	LOAD PER JAMB (LBS.)	SYP	DOUG.FIR	SPF
1000	500	3	3	3
1250	625	3	3	3
1500	750	3	3	3
1750	875	3	3	3
2000	1000	3	3	3
2250	1125	3	3	3
2500	1250	3	3	3
2750	1375	3	3	3
3000	1500	3	3	3
3250	1625	3	3	3
3500	1750	3	3	3
3750	1875	3	3	3
4000	2000	3	3	3
4250	2125	3	3	3
4500	2250	3	3	3
4750	2375	3	3	3
5000	2500	3	3	3
5250	2625	4	4	5
5500	2750	4	4	5
5750	2875	4	4	5
6000	3000	4	4	5
6250	3125	4	4	5
6500	3250	4	4	5
6750	3375	5	5	6
7000	3500	5	5	6
7250	3625	5	5	6
7500	3750	5	5	6

- **--BASED ON 3/8" DIA. LAG SCREW ASSUMING 2" MIN. PENETRATION SEASONED WOOD, DRY USE.
1. ANCHORS TO BE EVENLY SPACED BETWEEN THE HEADER AND THE FLOOR.
2. CHART IS BASED ON 8'-0" MAX. DOOR HEIGHT.

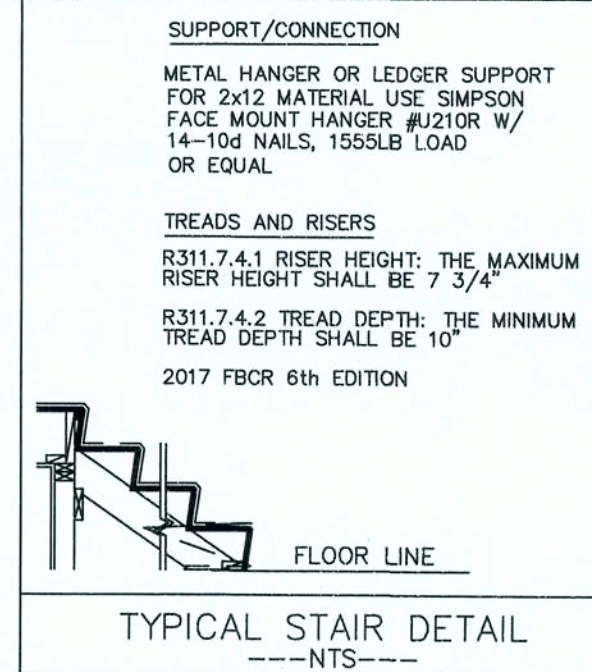


JAMB FASTENER DETAIL
SECTION AA



GARAGE DOOR (TYPICAL)
--NTS--

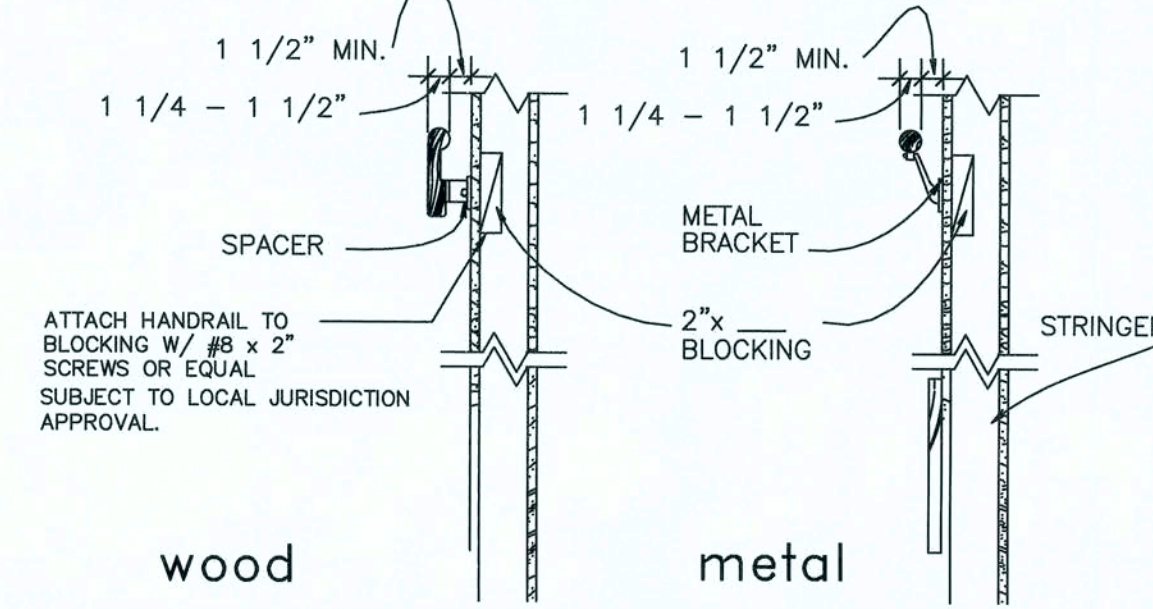
GARAGE DOOR BUCK CONNECTION DETAIL



TYPICAL STAIR DETAIL
---NTS---

STAIR CASE HANDRAIL CONNECTION

- * Stairways shall be equipped with hand rails located not less than 34 inches nor more than 38 inches above the leading edge of a tread.
* Stairways shall have handrails on each side.
* Gripping surfaces shall be continuous, without interruption by newel post, or other obstructions.
All work shall comply with Section R311.5.6--3 (Handrails) of the 2017 Florida Building Code Residential



--NTS--

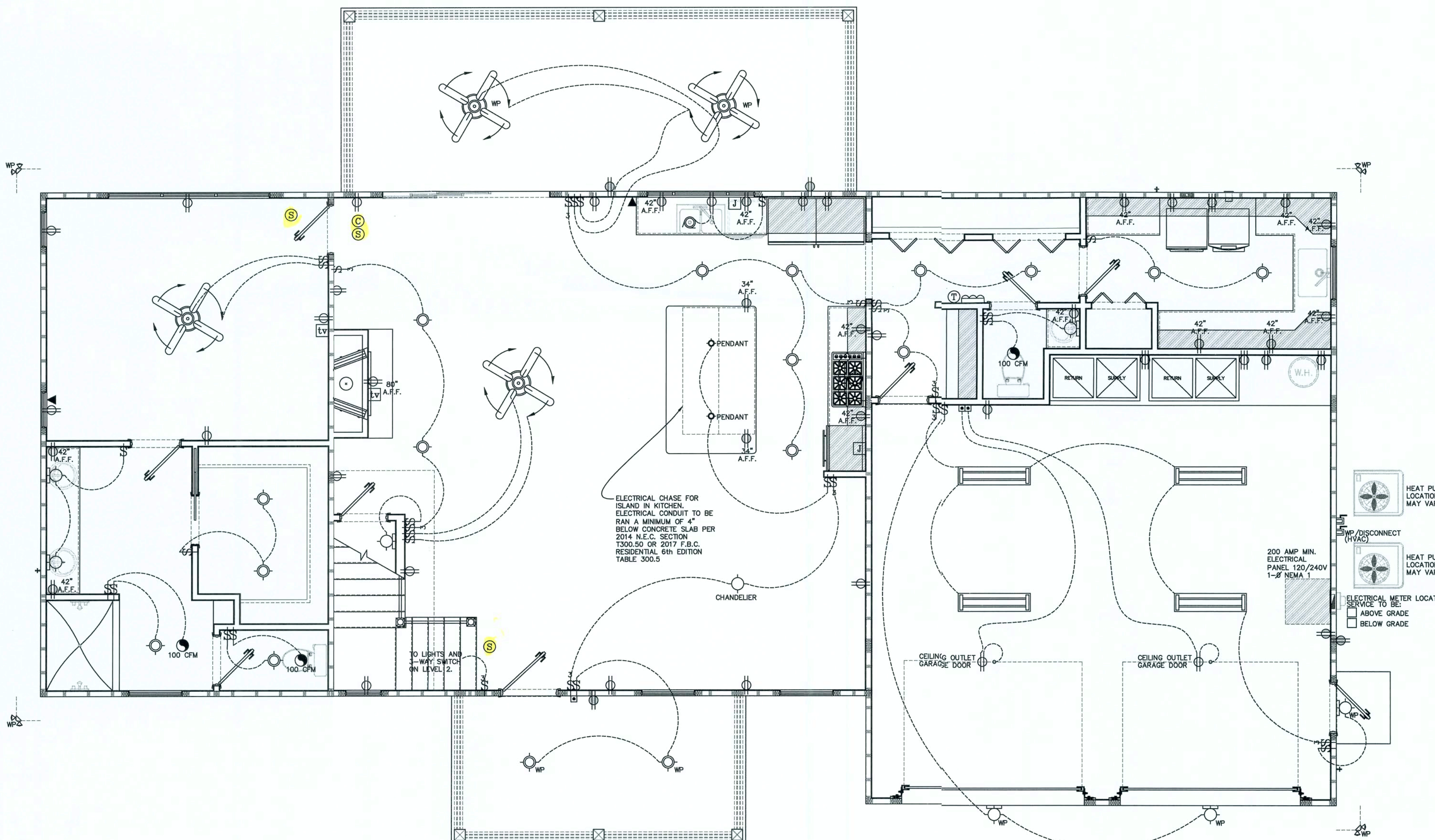
NEW TWO STORY FRAMED HOUSE
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LICENSE
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STATE OF
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PROFESSIONAL ENGINEER

DRAWN BY
JUSTIN M. PARRAMORE
FILE NAME
HELTON HOUSE.DWG
SCALE
1/4" = 1'-0"
REVISIONS
START: 12.21.2018
BID SET:
COMPLETE: 04.19.2019
REVISION 1:
REVISION 2:
REVISION 3:
STRUCTURAL DETAILS
10 of 12



ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
\$	SINGLE POLE SWITCH.
\$	3 WAY SWITCH.
⌚	DUPLEX OUTLET.
⌚	220 VOLT OUTLET.
⌚	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER.
⌚	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER IN WEATHER PROOF BOX.
⌚	FLOOR MOUNTED RECEPTACLE.
⌚	GARBAGE DISPOSAL.
⌚	DOOR BELL OR GARAGE DOOR OPENER.
⌚	TELEVISION CABLE JACK.
⌚	CEILING EXHAUST FAN.
⌚	SMOKE DETECTOR.
⌚	CARBON MONOXIDE DETECTOR.
⌚	JUNCTION BOX.
⌚	THERMOSTAT.
⌚	TELEPHONE JACK.
⌚	DATA JACK.
⌚	SECURITY FLOOD LIGHT (MOTION SENSOR OPTIONAL).
⌚	EMERGENCY FLOOD LIGHT.
⌚	EXIT LIGHT.
⌚	ELECTRICAL PANEL BOX, NEMA 1.
⌚	DOOR CHIME.
⌚	POWER DISCONNECT.
⌚	CEILING LIGHT FIXTURE.
⌚	CEILING LIGHT FIXTURE WITH EXHAUST FAN.
⌚	MINI RECESSED CAN LIGHT FIXTURE.
⌚	RECESSED CAN LIGHT FIXTURE.
⌚	WALL MOUNTED LIGHT FIXTURE.
⌚	SURFACED MOUNT FLUORESCENT LIGHT FIXTURE.
⌚	CEILING J-BOX WITH SUPPORT MEMBER FOR CEILING FAN.

- ELECTRICAL NOTES**
1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE 2014 NATIONAL ELECTRIC CODE (N.E.C.).
 2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM THE "STORAGE AREA" AS DEFINED BY THE 2014 N.E.C. SECTION 410-8(9).
 3. WHEN WATER HEATERS ARE INSTALLED, THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
 4. THE H.V.A.C. EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE H.V.A.C. EQUIPMENT AND DISCONNECTS ALL UNGROUNDED CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
 5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM, THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE 2014 N.E.C. BY LOCAL ELECTRICAL CONSULTANT.
 6. THE MAIN ELECTRICAL PANEL FEEDER IS DESIGNED AND INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
 7. THE OWNER/CONTRACTOR RESERVES THE RIGHT TO ALTER THE ELECTRICAL PLAN DURING CONSTRUCTION, SUBJECT TO LOCAL JURISDICTION APPROVAL.
 8. 2014 N.E.C. 210-12 ARC FAULT CIRCUIT INTERRUPTER PROTECTION WILL BE REQUIRED ON ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS.
 9. THE ELECTRICAL CONTRACTOR IS TO FURNISH RISER DIAGRAM AND PANEL SCHEDULE.

VENTILATION RATE	
2017 FLORIDA BUILDING CODE MECHANICAL 6th EDITION VENTILATION SYSTEMS SHALL BE DESIGNED TO HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIR FLOW RATE DETERMINED IN ACCORDANCE WITH TABLE 403.3.2.3.	
AREAS TO BE VENTILATED:	VENTILATION RATES:
KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS.
BATHROOMS/TOILET ROOMS	50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.

NEW TWO-STORY
FRAMED HOUSE

KELBY & KAYLA
HELTON

138 SW HEATHER COURT
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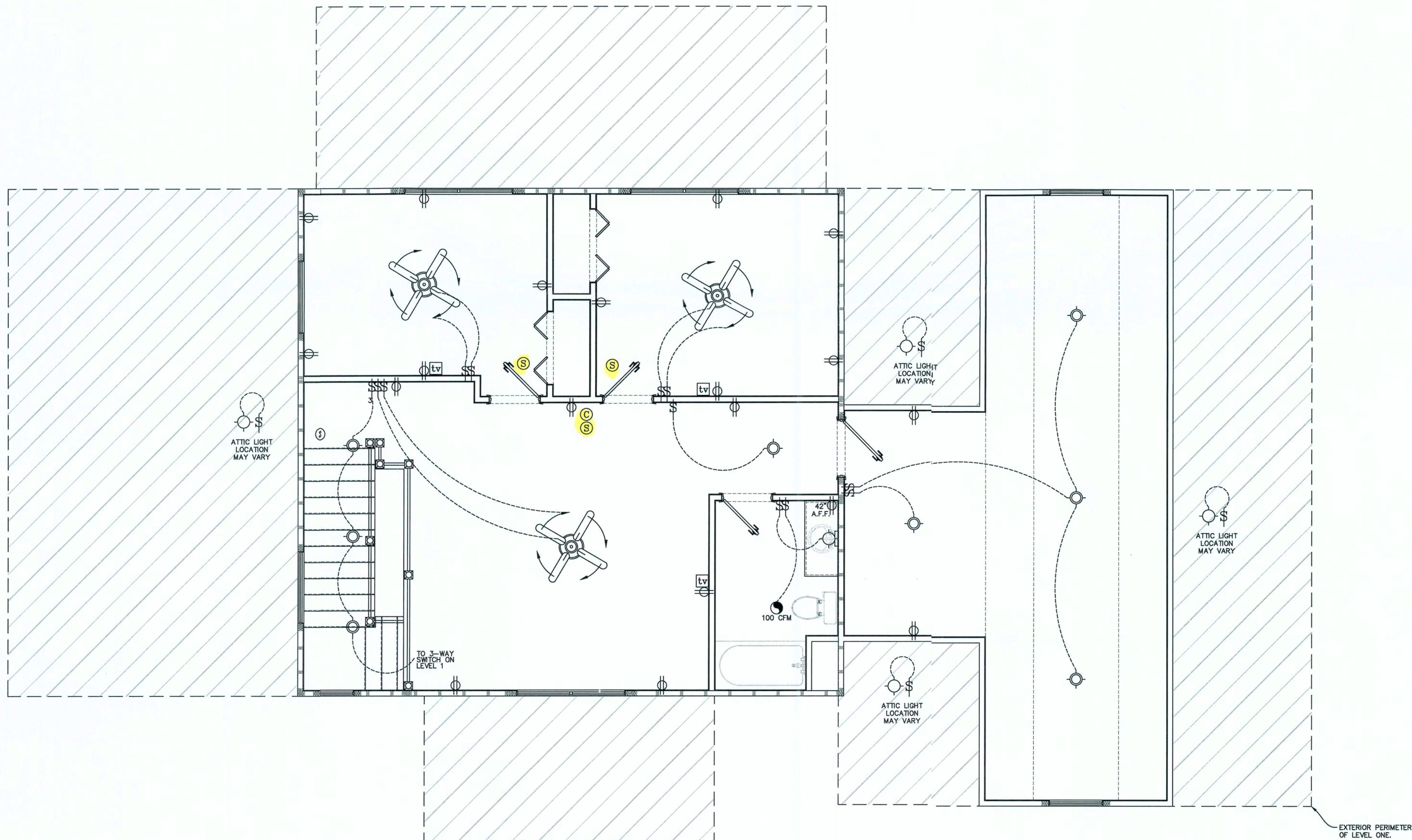
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ELECTRICAL PLAN I

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ELECTRICAL LEGEND	
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⌚	POWER DISCONNECT.
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DRAWN BY

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ELECTRICAL PLAN II

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