

DATE 11/06/2014

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000032459

APPLICANT ROBIN NICHOLS PHONE 386.752.8653
 ADDRESS 465 NW ORANGE STREET LAKE CITY FL 32055
 OWNER TOM CHAPMAN PHONE 352.376.8619
 ADDRESS 22392 SW STATE ROAD 47 FT. WHITE FL 32038
 CONTRACTOR BRYAN ZECHER PHONE 386.752.8653
 LOCATION OF PROPERTY 47-S TO 22.4 MILLS AND THE HOUSE WILL BE ON R @ ADDRESS 22392.
 TYPE DEVELOPMENT SID ADDITION ESTIMATED COST OF CONSTRUCTION 24000.00
 HEATED FLOOR AREA 480.00 TOTAL AREA 480.00 HEIGHT 20.00 STORIES 1
 FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR CONC
 LAND USE & ZONING ESA MAX HEIGHT _____
 Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
 NO. EX.D.U. 1 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 14-005

PARCEL ID 20-7S-16-04265-002 SUBDIVISION _____
 LOT _____ BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 10.07
 _____ CBC054575 _____
 Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant Owner/Contractor _____
 EXISTING _____ 14-0508-E _____ BLK _____ TC _____ N _____
 Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____
 COMMENTS: NOC ON FILE. ACCESSORY USE. CATEGORY 1 STRUCTURE ASCE-24-05. MFE @ 36'.
 ELEVATION CERTIFICATE @ SLAB & FINISH CONSTRUCTION.
 Check # or Cash 31388

FOR BUILDING & ZONING DEPARTMENT ONLY

(Footer Slab)

Temporary Power _____ Foundation _____ Monolithic _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Framing _____ Insulation _____
 date/app. by _____ date/app. by _____
 Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
 date/app. by _____ date/app. by _____
 Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Permanent power _____ C.O. Final _____ Culvert _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Reconnection _____ RV _____ Re-roof _____
 date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 120.00 CERTIFICATION FEE \$ 2.40 SURCHARGE FEE \$ 2.40
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
 FLOOD DEVELOPMENT FEE \$ 50.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ **TOTAL FEE** 249.80
 INSPECTOR'S OFFICE _____ CLERK'S OFFICE CTN

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

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TYPE DEVELOPMENT SFD/ADDITION ESTIMATED COST OF CONSTRUCTION 24000.00

HEATED FLOOR AREA 480.00 TOTAL AREA 480.00 HEIGHT 20.00 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR CONC

LAND USE & ZONING ESA MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 14-005

PARCEL ID 20-7S-16-04265-002 SUBDIVISION

LOT 1 BLOCK 1 PHASE 1 UNIT 1 TOTAL ACRES 10.07

CBC054575

Culvert Permit No. 14-0508-E Culvert Waiver BLK Contractor's License Number TC Applicant Owner/Contractor N

EXISTING 14-0508-E BLK TC N N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time STUP No.

COMMENTS: NOC ON FILE. ACCESSORY USE. CATEGORY 1 STRUCTURE ASCL-24-05. MIE @ 36'.

ELEVATION CERTIFICATE @ SLAB & FINISH CONSTRUCTION REC'D BOTH

FC'S Check # or Cash 31388

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power date/app. by Foundation date/app. by Monolithic 11/13/2014 IM 1M

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing 11/20/2014 IM 1M

Framing 12/03/2014 IM 1M Insulation 12/03/2014 TM 1M

Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by

Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by

Permanent power date/app. by C.O. Final 12/18/2014 RJ 1M Culvert date/app. by

Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by

Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 120.00 CERTIFICATION FEE \$ 2.40 SURCHARGE FEE \$ 2.40

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ 0.00

FLOOD DEVELOPMENT FEES 50.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 0.00 TOTAL FEE 249.80

INSPECTORS OFFICE CLERKS OFFICE

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The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1410-31 Date Received 10/9 By JL Permit # 32459
 Zoning Official BLK Date 05 Nov. 2014 Flood Zone AE Land Use ESA Zoning ESA-2
 FEMA Map # 0526C Elevation 36' MFE 36' River Santa Fe Plans Examiner 7C Date 10-12-14
 Comments Accessory Use, Category 1 structure ASCE-24-05 Elevation Cat. a slab + Final
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # 145 ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ ☒ Sub VF Form PONTON LIA3
 Road/Code _____ School _____ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid

Septic Permit No. 14-0508-EFax (386) 758-8920Name Authorized Person Signing Permit ROBIN W. NICHOLS; MGR. Phone (386) 752-8653Address BRYAN ZECHER CONSTRUCTION, INC. 465 NW ORANGE STR., LAKE CITY, FL 32055Owners Name TOM CHAPMAN Phone (352) 376-8619911 Address 22392 SW STATE ROAD 47, FT. WHITE, FL 32038Contractors Name BRYAN C. ZECHER Phone (386) 752-8653Address P.O. BOX 815, LAKE CITY, FL 32056-0815Fee Simple Owner Name & Address N/ABonding Co. Name & Address N/AArchitect/Engineer Name & Address Mark Discoway 163 SW Midtown PL, LC, FLMortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 20-75-16-04265-002 Estimated Cost of Construction \$23,800⁰⁰

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions IN LAKE CITY, FROM MAIN STREET AND US 441 N INTERSECTION HEAD SOUTH ON MAIN FOR 1.4 MILES. TAKE SLIGHT RIGHT ONTO FL-47 S. GO 22.4 MILES, HOME WILL BE ON THE RIGHT.Number of Existing Dwellings on Property 1Construction of 20'x24' GARAGE ADDITION Total Acreage 10.07 Lot Size _____Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 20'Actual Distance of Structure from Property Lines - Front 1030' Side 20' Side 234' Rear 221'Number of Stories 1 Heated Floor Area 480 Total Floor Area 480 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.

JL Sent Robin Email. 11.5.14

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

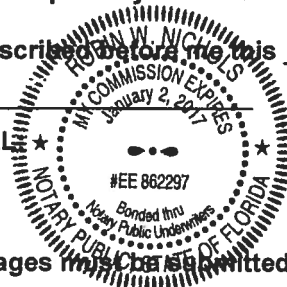
Contractor's License Number CBC054575
Columbia County
Competency Card Number 853

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 8TH day of October 2014.

Personally Known ✓ or Produced Identification _____

State of Florida Notary Signature (For the Contractor)

SEAL *



Notice of Treatment

Applicator: **Florida Pest Control** · (www.flapest.com)

Address: 536 Baya Dr.

City Lake City Phone 386-752-1703

Site Location: Subdivision _____

Lot # _____ Block# _____ Permit # 32459

Address _____

<u>Product used</u>	<u>Active Ingredient</u>	<u>% Concentration</u>
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<input checked="" type="checkbox"/> Premise	Imidacloprid	0.1%
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<input type="checkbox"/> Termidor	Fipronil	0.12%
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<input type="checkbox"/> _____	_____	_____
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Type treatment: ☒ Soil

<u>Area Treated</u>	<u>Square feet</u>	<u>Linear feet</u>	<u>Gallons Applied</u>
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<u>Additon</u>	<u>480</u>	<u>88</u>	<u>25</u>
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As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

11/12/14
Date

9:56
Time

Patrick Alvino
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

KID.00
D2295.30
2305.30

Prepared by and return to:

Susan M. Dees
Legal Assistant
Marvin W. Bingham, Jr., PA
14811 NW 140th Street Post Office Box 1930
Alachua, FL 32616
386-462-5120
File Number: 14-169

Inst 201412013643 Date 9/4/2014 Time 11:53 AM
Doc Stamp-Deed.2295.30

DC, P. DeWitt Cason, Columbia County Page 1 of 1 B 1280 P 2317

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 3rd day of September, 2014 between Barbara Ferguson, a single person whose post office address is 22392 SW SR 47, Fort White, FL 32038, grantor, and Thomas A. Chapman whose post office address is 3407 NW 49th Terrace, Gainesville, FL 32606, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida to-wit:

COMMENCE AT THE NW CORNER OF SECTION 20, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 89°16'01" E, ALONG THE NORTH LINE OF SAID SECTION 20, 611.49 FEET; THENCE S 14°56'30" W, 97.44 FEET TO THE POINT OF BEGINNING; THENCE S 60°03'22" E, 731.05 FEET TO THE WESTERLY RIGHT-OF-WAY OF STATE ROAD NO. 47 AND TO A POINT ON A CURVE; THENCE RUN SOUTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY, ALONG THE ARC OF SAID CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 11409.16 FEET, A DELTA OF 01°00'16", A CHORD BEARING AND DISTANCE OF S 22°06'29" W 200.00 FEET, AN ARC DISTANCE OF 200.00 FEET; THENCE N 60°03'22" W, 352.20 FEET; THENCE S 22°52'48" W 1149.53 FEET TO THE NORTH BANK OF THE SANTA FE RIVER AND TO A SET 5/8" REBAR & CAP (LB6685); THENCE RUN NORTHWESTERLY ALONG SAID NORTH BANK OF THE SANTA FE RIVER, 300.9 FEET, MORE OR LESS; THENCE N 14°56'30" E 2.8 FEET, MORE OR LESS TO A 1/2" REBAR & CAP (LB2903); THENCE CONTINUE N 14°56'30" E, 1207.88 FEET TO THE POINT OF BEGINNING.

Parcel Identification Number: 20-7S-16-04265-002



Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

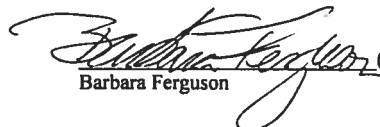
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: MARVIN W. BINGHAM, JR.

Witness Name: SUSAN DEES

 (Seal)
Barbara Ferguson

State of Florida
County of Alachua

The foregoing instrument was acknowledged before me this 3rd day of September, 2014 by Barbara Ferguson, who ☐ is personally known or ☒ has produced a driver's license as identification.

[Notary Seal]




Notary Public

Printed Name: SUSAN DEES

My Commission Expires: _____

Columbia County Property Appraiser

CAMA updated: 10/1/2014

2014 Tax Year

Parcel: 20-7S-16-04265-002

<< Next Lower Parcel Next Higher Parcel >>

Tom Chapman

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Owner & Property Info

<< Prev

Search Result: 8 of 9

Next >>

Owner's Name	FERGUSON BARBARA		
Mailing Address	22392 SW STATE RD 47 FT WHITE, FL 32038		
Site Address	22392 SW STATE RD 47		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	20716
Land Area	10.070 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. COMM NW COR OF SEC, RUN E COMM NW COR OF SEC, RUN E ALONG N LINE OF SEC 611.49 FT, ALONG N LINE OF SEC 611.49 FT, SW 97.44 FT FOR POB, SE 731.05 SW 97.44 FT FOR POB, SE 731.05 FT TO THE W R/W OF SR 47, FT TO THE W R/W OF SR 47, SW 200.00 FT, NW 352.20 FT, SW SW 200.00 FT, NW 352.20 FT, SW 1149.53 FT TO N BANK OF SANTA 1149.53 FT TO N BANK OF SANTA FE RIVER, NW ALONG RIVER 300.9 FE RIVER, NW ALONG ... more>>>		



Property & Assessment Values

2014 Certified Values		
Mkt Land Value	cnt: (0)	\$79,311.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$120,573.00
XFOB Value	cnt: (2)	\$1,500.00
Total Appraised Value		\$201,384.00
Just Value		\$201,384.00
Class Value		\$0.00
Assessed Value		\$201,384.00
Exempt Value	(code: HX H3)	\$50,000.00
Total Taxable Value	Cnty: \$151,384 Other: \$151,384 Schl:	\$176,384

2015 Working Values

NOTE:

2015 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/3/2014	1280/2317	WD	I	Q	01	\$327,900.00
2/9/2011	1209/2675	TR	I	U	19	\$100.00
10/13/2009	1182/1388	WD	I	U	14	\$180,000.00
7/5/2006	1090/2631	WD	I	U	06	\$100.00
3/6/2002	948/2620	WD	V	U	03	\$25,000.00
3/6/2002	948/2623	WD	V	U	03	\$115,000.00
3/6/2002	950/2705	WD	V	U	03	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2003	ABOVE AVG. (10)	2060	2788	\$120,573.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	2010	\$300.00	0000001.000	0 x 0 x 0	(000.00)
0190	FPLC PF	2010	\$1,200.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	10.07 AC	1.00/1.00/1.00/2.00	\$7,875.97	\$79,311.00

Columbia County Property Appraiser

CAMA updated: 10/1/2014

<< Prev

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Next >>

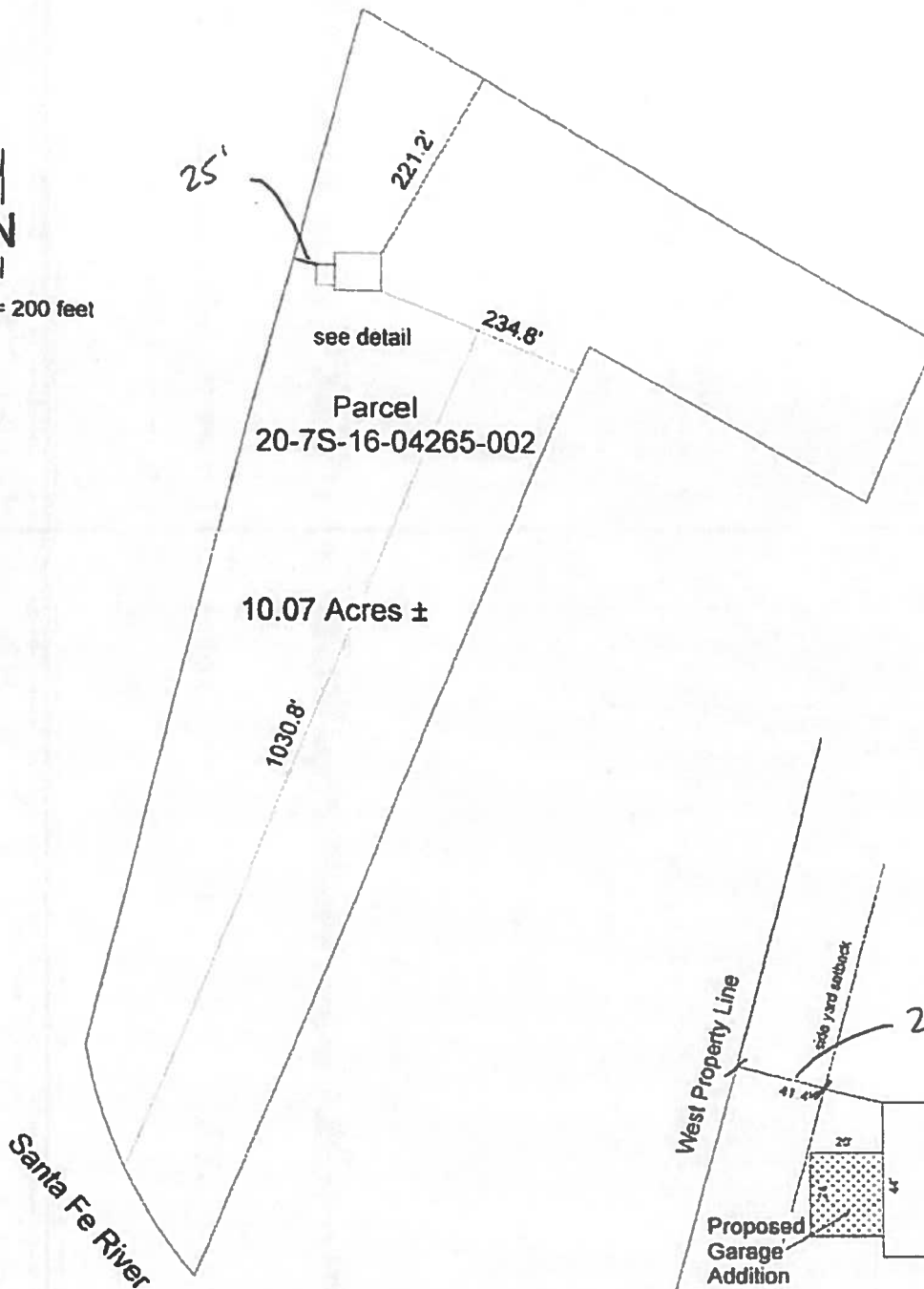
DISCLAIMER

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

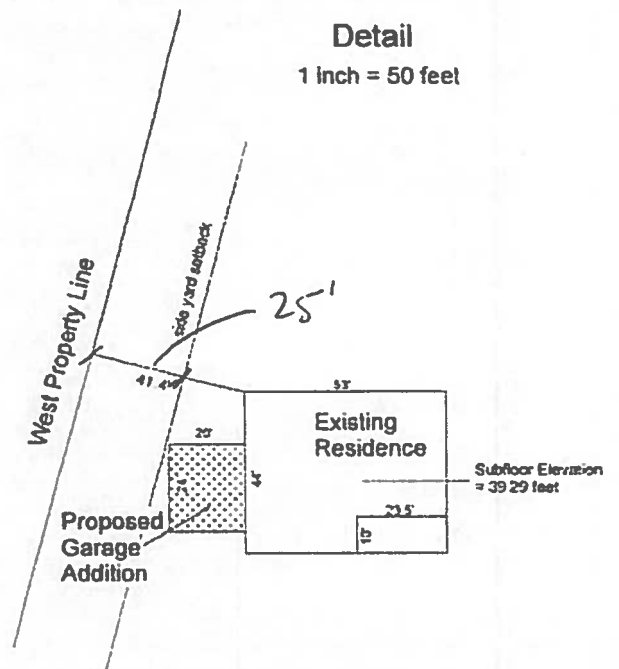
Site Plan Chapman Garage Addition

22392 SW State Road 47
Fort White, Florida


1 inch = 200 feet




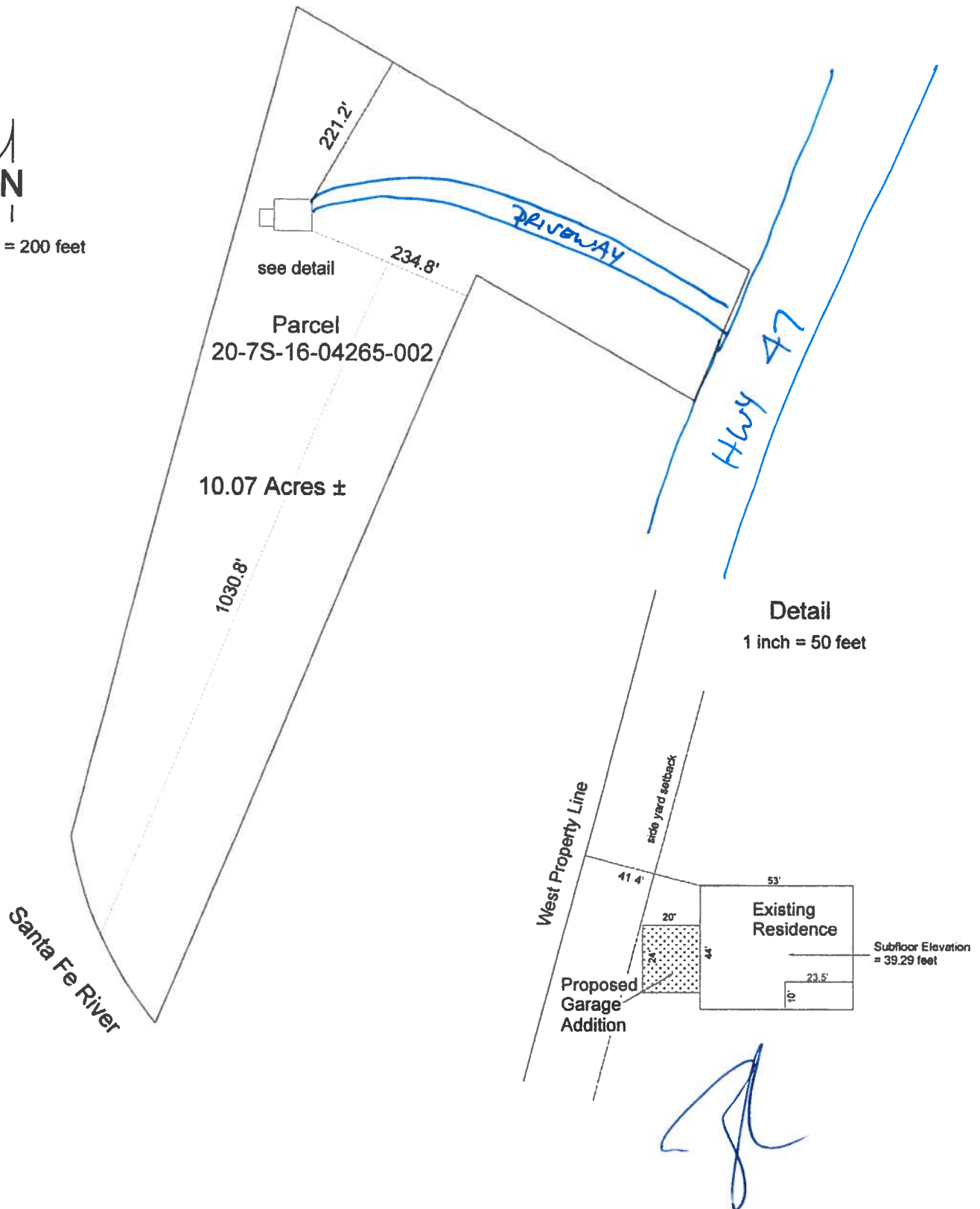
Detail
1 inch = 50 feet

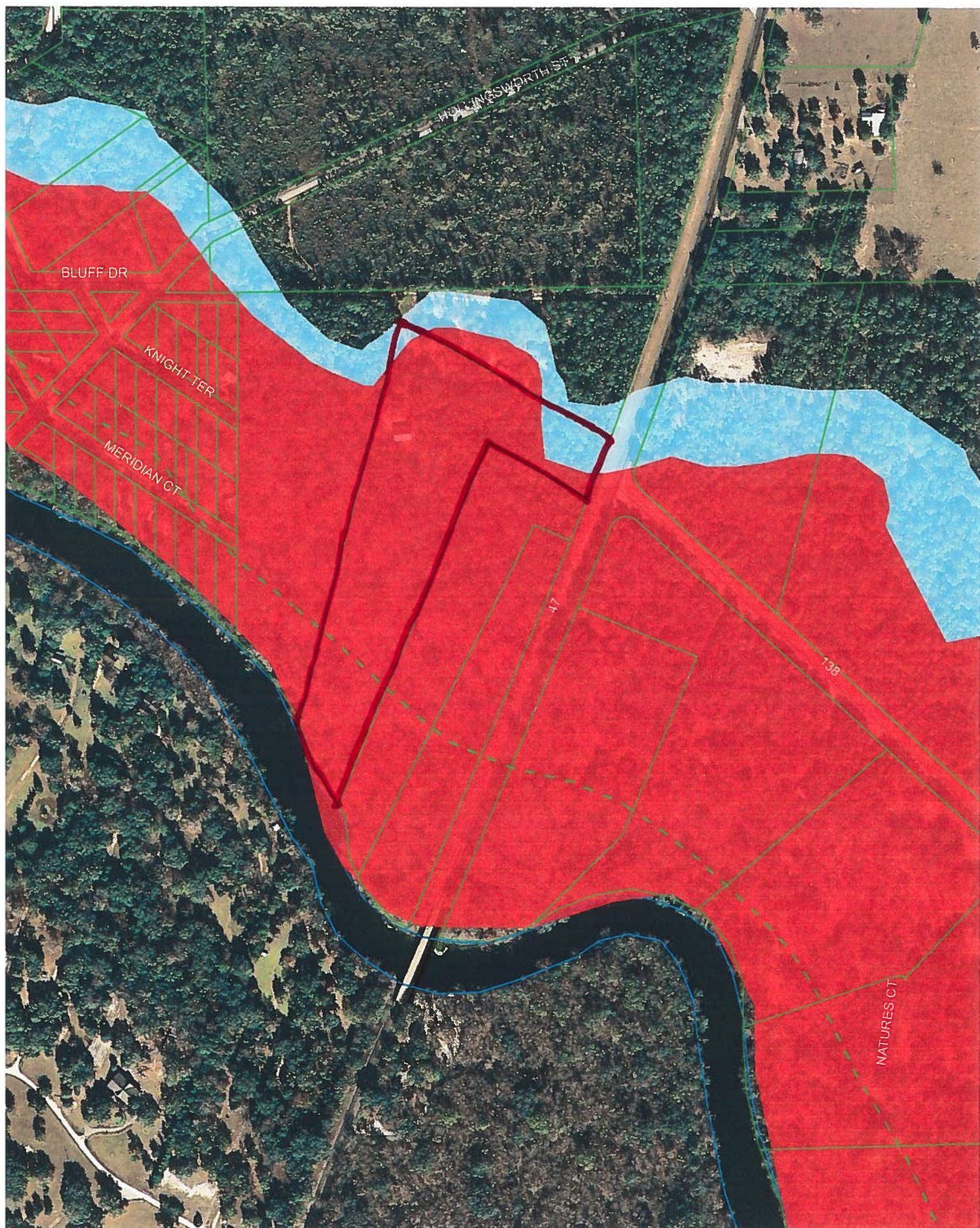


Site Plan Chapman Garage Addition

22392 SW State Road 47
Fort White, Florida


1 inch = 200 feet





1410-41



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Bryan Zecher Construction

Fax: 386.758.8920

From: Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 2

Date : 21 October 2014

RE: Building Permit Application 1410-31, Chapman

Dear Bryan:

The property for the above referenced application is located within a 100 year flood zone (Zone AE) with a base flood elevation determined at 36 feet in accordance with the FEMA Flood Insurance Rate Maps (FIRM) effect as of 4 February 2009. A survey dated 21 April 2006, states that the sub-floor elevation of the structure located on the property is at 39.29. I am assuming that this is the house? The following questions need to answered;

1. What is the existing elevation of where the proposed garage addition is going?
2. Will fill dirt be added to the site for the proposed garage addition?


Under the 2010 Florida Building Code the proposed garage addition is a category one structure and the finished floor is required to be at least at base flood elevation of 36 feet. Should the existing ground elevation be lower than 36 feet, then a one (1) foot rise letter will be required by an engineer. IF the existing ground elevation is higher than 36 feet AND no fill dirt is being added to the site, then a one (1) foot rise letter from an engineer will NOT be required.

In additional, the application states that one of the side setbacks is 20 feet. The Environmentally Sensitive Areas-2 (ESA-2) zoning district requires a 25 foot side setback. A revised site plan will need to be submitted showing the required setback distances along with amending the application. If the location of the proposed garage addition cannot be changed, then a variance will have to be approved by the Board of Adjustment. Variances require a public hearing before the Board of Adjustment and there is a \$750.00 fee. Variance applications are available at the Building and Zoning Department or online at the County's website at www.columbiacountyfla.com, building & zoning department page, downloadable documents located at the bottom of the page.

Zecher Construction
Building Permit
Application 1410-31

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner", with a long horizontal flourish extending to the right.

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

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**Columbia County Building Department
Flood Development Permit**

**Development Permit
F 023- 14-005**

DATE 11/07/2014 BUILDING PERMIT NUMBER 000032459
APPLICANT ROBIN NICHOLS PHONE 386.752.8653
ADDRESS 465 NW ORANGE STREET LAKE CITY FL 32055
OWNER TOM CHAPMAN PHONE 352.376.8619
ADDRESS 22392 SW STATE ROAD 47 FT. WHITE FL 32038
CONTRACTOR BRYAN ZECHER PHONE 386.752.8653
ADDRESS POB 815 LAKE CITY FL 32056
SUBDIVISION _____ Lot _____ Block _____ Unit _____ Phase _____
TYPE OF DEVELOPMENT SFD/ADDITION PARCEL ID NO. 20-7S-16-04265-002

FLOOD ZONE AE BY BLK 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # A526-C
FIRM 100 YEAR ELEVATION 36.0' PLAN INCLUDED YES or NO
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 36.0'
IN THE REGULATORY FLOODWAY YES or (NO) RIVER SANTA FE
SURVEYOR / ENGINEER NAME DREW A. CREWS LICENSE NUMBER 65592

☒ ONE FOOT RISE CERTIFICATION INCLUDED

☐ ZERO RISE CERTIFICATION INCLUDED

☐ SRWMD PERMIT NUMBER _____
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED _____

INSPECTED DATE _____ BY _____

COMMENTS _____

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160



Brian Kepner

From: Brian Kepner
Sent: Thursday, October 30, 2014 10:36 AM
To: 'bczecher@comcast.net'
Subject: RE: Elevation Letter 1410-31 Chapman

Bryan,

The letter is required prior to the permit being issued.

Brian

From: bczecher@comcast.net [<mailto:bczecher@comcast.net>]
Sent: Thursday, October 30, 2014 10:35 AM
To: Brian Kepner
Cc: robinwnichols@comcast.net
Subject: Re: Elevation Letter 1410-31 Chapman

Do you need the letter now or once the slab is poured to show the actual finished elevation?

Warm regards,
Bryan Zecher....pardon mistakes, sent from XFINITY Connect Mobile App

-----Original Message-----

From: brian_kepner@columbiacountyfla.com
To: bczecher@comcast.net
Cc: robinwnichols@comcast.net
Sent: 2014-10-30 10:30:47 GMT
Subject: Elevation Letter 1410-31 Chapman

Bryan,

I hope you are well this morning. Upon review of the letter provided to me concerning the existing elevation of where the proposed garage addition is going to be added to the existing house. The letter states "the natural ground elevation where the building pad is constructed ranges from 35.7 to 32.8 feet". As this is below the base flood elevation of 36 feet, I am assuming that fill dirt will have to be brought in to meet the proposed finished elevation of 37 feet as proposed in the application. Based on this, I am afraid that a one (1) foot rise letter from an engineer will be required as stated in my letter to you dated 21 October 2014. I will need an original copy of Mr. Duran's letter.

Brian Kepner
Columbia County,
Land Development
Regulation Administrator
386.754.7119
386.758.2160 FAX



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From: Bryan Zecher [<mailto:bczecher@comcast.net>]

Sent: Thursday, October 23, 2014 6:11 PM

To: Brian Kepner

Subject: elevation letter

Hi Brian, attached is the letter you sent me for Chapman. To be sure I get what you need, on the surveyors letterhead you just want a letter stating the elevation of the home, existing grade elevation and proposed elevation of the garage addition?

Will you want a "certified letter" like the Burke residence when the slab is poured?

Please advise,
Bryan Zecher

**Mark D. Duren and
Associates, Inc.**
Professional Surveyor and Mapper

1604 SW Sisters Welcome Road
Lake City, FL 32025
386-758-9831 Phone
386-758-8010 Fax

October 28, 2014

IE: Construction Pad Elevation, Thomas Chapman

To Whom it may concern,

The average elevation of the dirt pad prepared for the construction of an attached garage addition to the existing frame dwelling on tax parcel no. 20-7S-16-04265-002, Columbia County, Florida, at the address of 22392 SW State Road 47, Ft. White, FL 32038, is 37 feet, NAVD 1988 Datum, using the elevation for the sub-floor of the existing dwelling of 39.29 feet (NGVD 1929 DATUM) as shown on a prior survey of this parcel by Bailey, Bishop and Lane, Inc. The NGVD 1929 Datum was adjusted to NAVD 1988 Datum by subtracting 0.84 feet from the NGVD 1929 Datum as per instructions found on the current Flood Insurance Rate Maps for this area. The natural ground elevation where the building pad is constructed ranges from 35.7 feet NAVD 1988 to 32.8 feet NAVD 1988.

Thank you,

A handwritten signature in black ink, appearing to read 'M.D.D.', followed by a long horizontal line extending to the right.

Mark D. Duren, LS4738
Florida Licensed Surveyor and Mapper



Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
Ph: 386.623.4303
brett@crewsengineeringservices.com

ONE FOOT RISE ANALYSIS AND CERTIFICATION 100 YEAR BASE FLOOD

PROJECT DATA

PARCEL ID: 20-7S-16-04265-002

PROPERTY DESCRIPTION: +/-10 Acres off of SR 47 on north side of Santa Fe River, Columbia County, FL

OWNER: Thomas A. Chapman

PROJECT DESCRIPTION: 20'x24' Addition to west side of existing home

FLOOD ZONE: AE

BASE FLOOD ELEVATION: 85.6 Based on SRWMD Effective Flood Report

EXISTING GRADE ELEVATION (AT BUILDING LOCATION):
+/-32.8, Based on Elevation Letter provided by Mark D. Duren. (Used lowest value)

CONCLUSION

To demonstrate the proposed construction will not cause more that a 1 foot rise in the flood elevation, the following calculation was performed:

Area of Flood Zone = Undetermined, Associated with the Santa Fe River

Depth of Lot below Flood Elevation = $35.6.0 \text{ ft} - 32.8 \text{ ft} = 2.8 \text{ ft}$

Storage Volume Removed due to development = $2.8 \text{ ft} \times 2 \times 480 \text{ sf} = 2,688 \text{ cf} = 0.06 \text{ acre-ft}$

Flood Level Increase (if flood zone area = lot size = 10 acres) = $0.06 \text{ acre-ft} / 10 \text{ acres} = 0.006 \text{ ft}$

This is a very conservative calculation for the following reason:

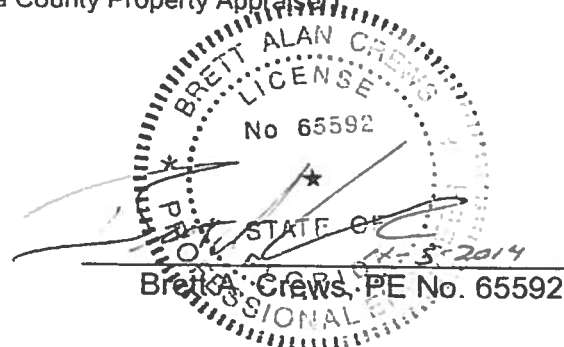
Flood Zone Area is much larger than 10 acres and associated with the Santa Fe River.

CERTIFICATION

I hereby certify that, to the best of my knowledge, construction of the project as described above will increase the flood elevations less than one foot at the project location.

ATTACHEMENTS

SRWMD Effective Flood Report, Ownership Information (Columbia County Property Appraiser)



**Mark D. Duren and
Associates, Inc.**
Professional Surveyor and Mapper

1604 SW Sisters Welcome Road
Lake City, FL 32025
386-758-9831 Phone
386-758-8010 Fax


October 28, 2014

IE: Construction Pad Elevation, Thomas Chapman

To Whom it may concern,

The average elevation of the dirt pad prepared for the construction of an attached garage addition to the existing frame dwelling on tax parcel no. 20-7S-16-04265-002, Columbia County, Florida, at the address of 22392 SW State Road 47, Ft. White, FL 32038, is 37 feet, NAVD 1988 Datum, using the elevation for the sub-floor of the existing dwelling of 39.29 feet (NGVD 1929 DATUM) as shown on a prior survey of this parcel by Bailey, Bishop and Lane, Inc. The NGVD 1929 Datum was adjusted to NAVD 1988 Datum by subtracting 0.84 feet from the NGVD 1929 Datum as per instructions found on the current Flood Insurance Rate Maps for this area. The natural ground elevation where the building pad is constructed ranges from 35.7 feet NAVD 1988 to 32.8 feet NAVD 1988.

Thank you,



Mark D. Duren, LS47C8
Florida Licensed Surveyor and Mapper

Janice Williams

From: Robin Nichols [robinwnichols@comcast.net]
Sent: Wednesday, November 05, 2014 4:46 PM
To: Janice Williams
Cc: 'Bryan Zecher'
Subject: RE: Chapman - 1410-31

Ok, thank you! I will give Bryan the update.

From: Janice Williams [mailto:janice_williams@columbiacountyfla.com]
Sent: Wednesday, November 05, 2014 4:43 PM
To: 'Robin Nichols'
Subject: Chapman - 1410-31

Robin,

Tom Chapman application still awaits "Environmental Health Signed Site Plan"...Once we receive it, it's a go!

Thanks....

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SUBCONTRACTOR VERIFICATION FORM

CHAPMAN

APPLICATION NUMBER 1410-31

CONTRACTOR Bryan Zecher

PHONE 386.752.8653

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL 0076	Print Name <u>Marc Matthews</u> License #: <u>EC 13005459</u>	Signature <u>[Signature]</u> Phone #: <u>386.344.2029</u>
<input type="checkbox"/> MECHANICAL/ A/C	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____
<input type="checkbox"/> PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
<input checked="" type="checkbox"/> ROOFING 0187	Print Name <u>MacJohnson Roofing</u> License #: <u>RC 0061384</u>	Signature <u>[Signature]</u> Phone #: <u>352.472.4943</u>
<input type="checkbox"/> SHEET METAL	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____
<input type="checkbox"/> FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____
<input type="checkbox"/> SOLAR	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON		<u>N/A</u>	
<input checked="" type="checkbox"/> CONCRETE FINISHER	<u>000063</u>	<u>Darryl Spradley</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> FRAMING	<u>000035</u>	<u>David Ponton</u>	<u>[Signature]</u>
INSULATION		<u>N/A</u>	
STUCCO		<u>N/A</u>	
<input checked="" type="checkbox"/> DRYWALL	<u>001197</u>	<u>Valerie Massie</u>	<u>[Signature]</u>
PLASTER		<u>N/A</u>	
CABINET INSTALLER		<u>N/A</u>	
<input checked="" type="checkbox"/> PAINTING	<u>000330</u>	<u>Bobby Touchton</u>	<u>[Signature]</u>
ACOUSTICAL CEILING		<u>N/A</u>	
GLASS		<u>N/A</u>	
CERAMIC TILE		<u>N/A</u>	
FLOOR COVERING		<u>N/A</u>	
<input checked="" type="checkbox"/> ALUM/VINYL SIDING	<u>000166</u>	<u>Mike Nicholson</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> GARAGE DOOR <u>853</u>	<u>CBC 054575</u>	<u>BRYAN ZECHER</u>	<u>[Signature]</u>
METAL BLDG ERECTOR		<u>N/A</u>	

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



COLUMBIA COUNTY 911 ADDRESSING / GIS DEPARTMENT

P. O. Box 1787, Lake City, FL 32056-1787
263 NW Lake City Ave., Lake City, FL 32055
Telephone: (386) 758-1125 * Fax: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com



ADDRESS ASSIGNMENT DATA

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

A Residential(s) or Other Structure(s) on Parcel Number:

20-7S-16-04265-002

Address Assignment(s):

22392 SW STATE ROAD 47, FORT WHITE, FL 32038

Any questions concerning this information should be referred to the Columbia County 911 Addressing / GIS Department at the address or telephone number above.

10/10/2014 13:30

3867588920

BRYAN ZECHER CONST

PAGE 01/01

386 758 2187

ENVIROMENTAL HEALTH

01:00:54 p.m.

10-10-2014

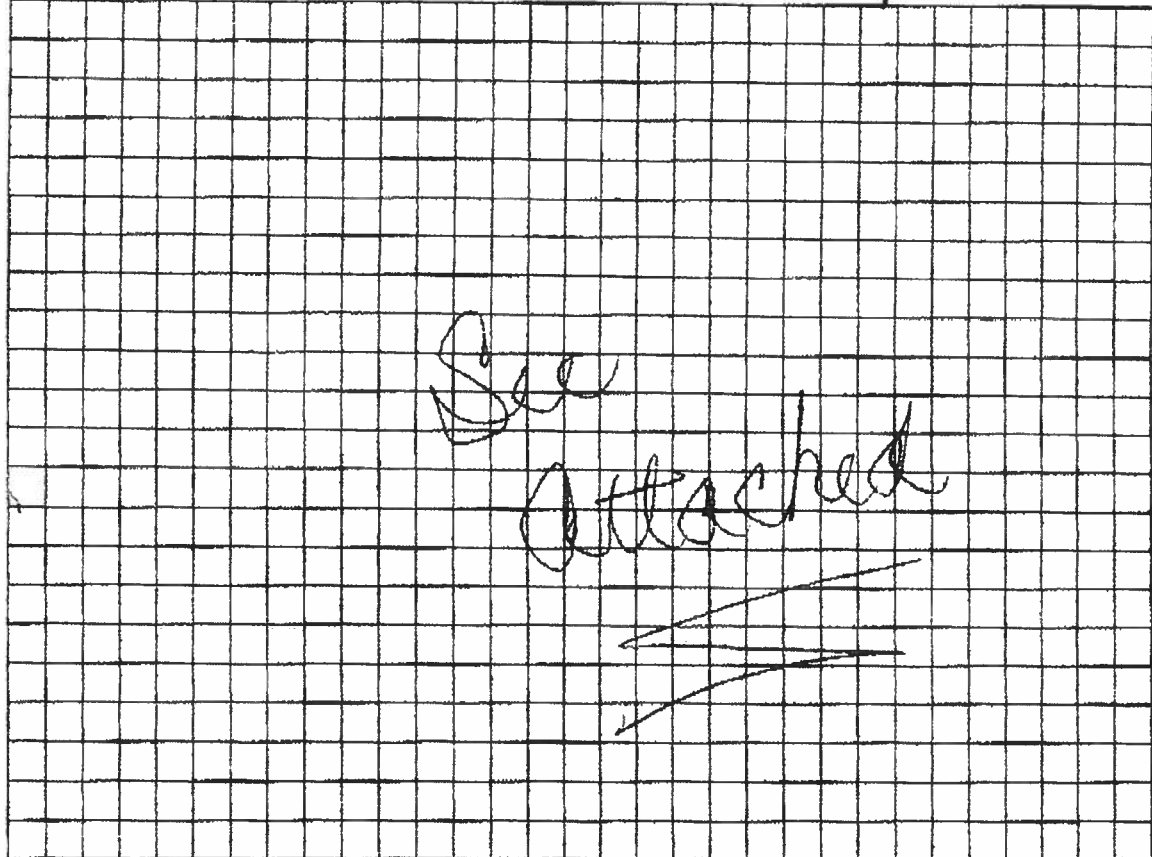
1/1

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 14-1508E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.

Don Chapman

Notes: _____

* Site Plan submitted by: _____

Plan Approved ☒**REVIEWED**Not Approved ☐

By _____

Date 10/22/14

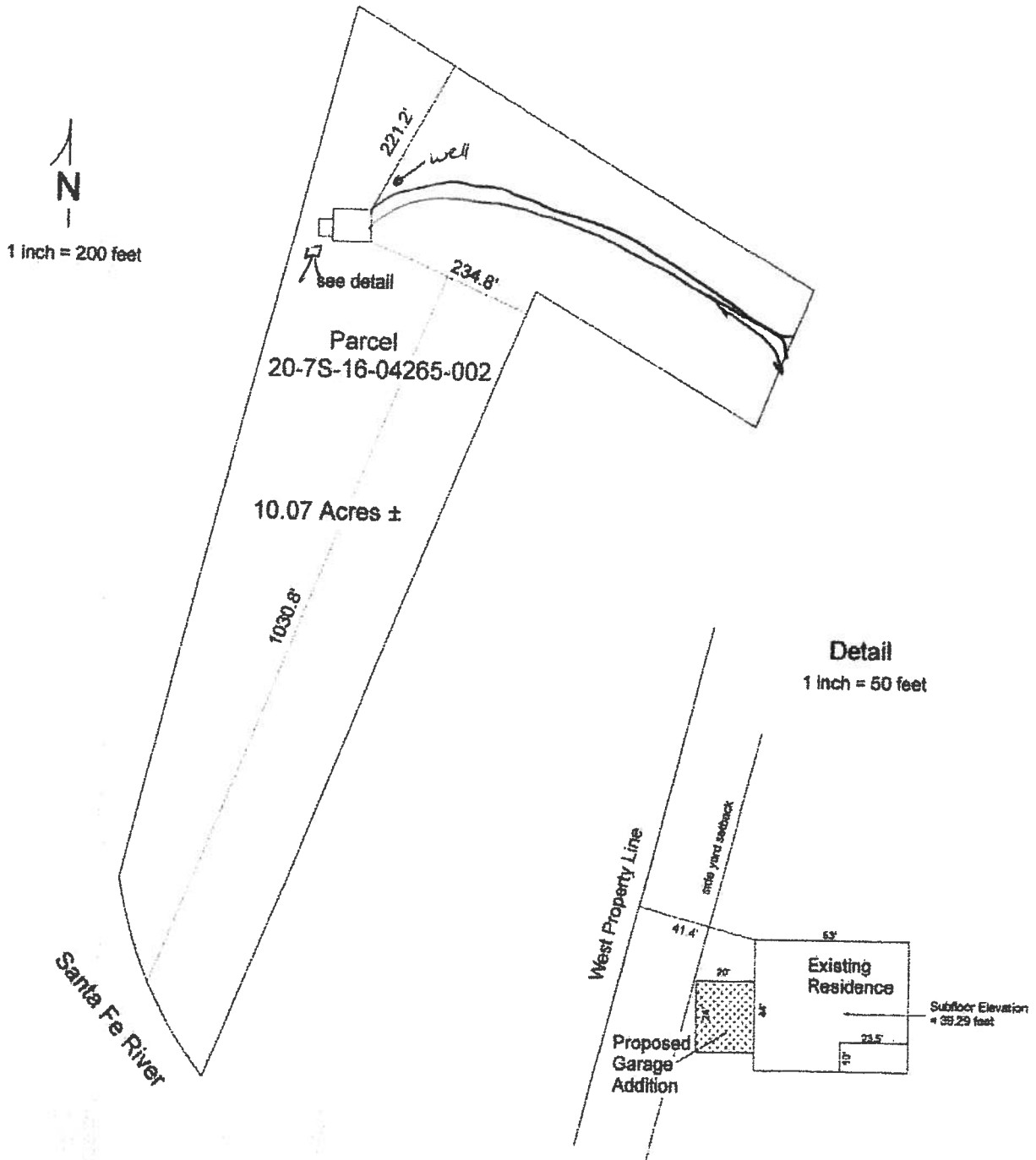
County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Site Plan Chapman Garage Addition

14-2588E

22392 SW State Road 47
Fort White, Florida





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 14-1518E
DATE PAID: 10/10/14
FEE PAID: 60.00
RECEIPT #: 1161622

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Tom ChapmanAGENT: Bryan ZeeherTELEPHONE: 752-8653MAILING ADDRESS: PO Box 815 Lake City, FL 32056

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 20-75-16-04265-002 ZONING: _____ I/M OR EQUIVALENT: [Y / N]PROPERTY SIZE: 10 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / N] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 22392 SW State Rd 47 Ft White, FL 32038DIRECTIONS TO PROPERTY: US 47 South thru Ft White, T/R into driveway across street from CR 138, just before you cross Santa Fe River

BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Home</u>	<u>2</u>	<u>2060</u>	<u>(Putting garage addition)</u>
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: _____

DATE: 10/7/14

DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

Complete & Co
Page 1 of 4
Rec'd 10/10/14

ONE FOOT RISE ANALYSIS AND CERTIFICATION 100 YEAR BASE FLOOD

PROJECT DATA

PARCEL ID: 20-7S-16-04265-002

PROPERTY DESCRIPTION: +/-10 Acres off of SR 47 on north side of Santa Fe River, Columbia County, FL

OWNER: Thomas A. Chapman

PROJECT DESCRIPTION: 20'x24' Addition to west side of existing home

FLOOD ZONE: AE

BASE FLOOD ELEVATION: 85.6 Based on SRWMD Effective Flood Report

EXISTING GRADE ELEVATION (AT BUILDING LOCATION):

+/-32.8, Based on Elevation Letter provided by Mark D, Duren. (Used lowest value)

CONCLUSION

To demonstrate the proposed construction will not cause more that a 1 foot rise in the flood elevation, the following calculation was performed:

Area of Flood Zone = Undetermined, Associated with the Santa Fe River

Depth of Lot below Flood Elevation = 35.6.0 ft – 32.8 ft = 2.8 ft

Storage Volume Removed due to development = 2.8 ft *2* 480 sf = 2,688 cf = 0.06 acre-ft

Flood Level Increase (if flood zone area = lot size = 10 acres) = 0.06 acre–ft / 10 acres = 0.006 ft

This is a very conservative calculation for the following reason:

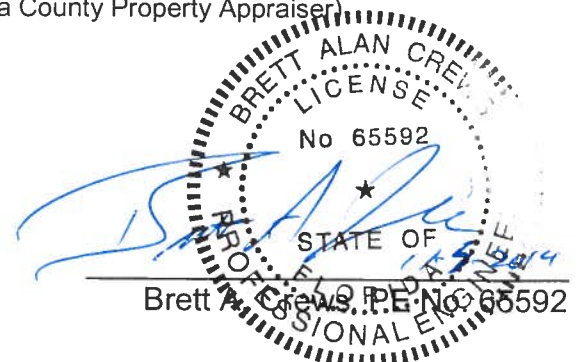
Flood Zone Area is much larger than 10 acres and associated with the Santa Fe River.

CERTIFICATION

I hereby certify that, to the best of my knowledge, construction of the project as described above will increase the flood elevations less than one foot at the project location.

ATTACHEMENTS

SRWMD Effective Flood Report, Ownership Information (Columbia County Property Appraiser)

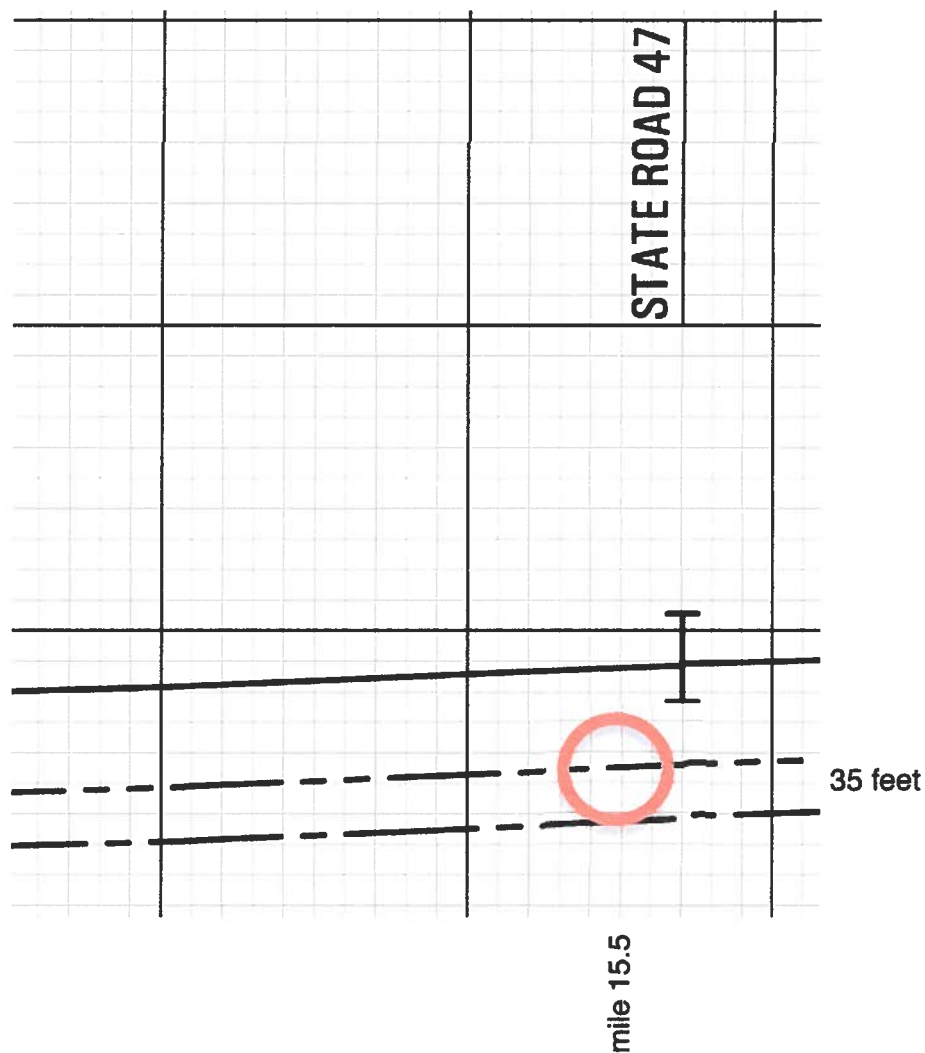


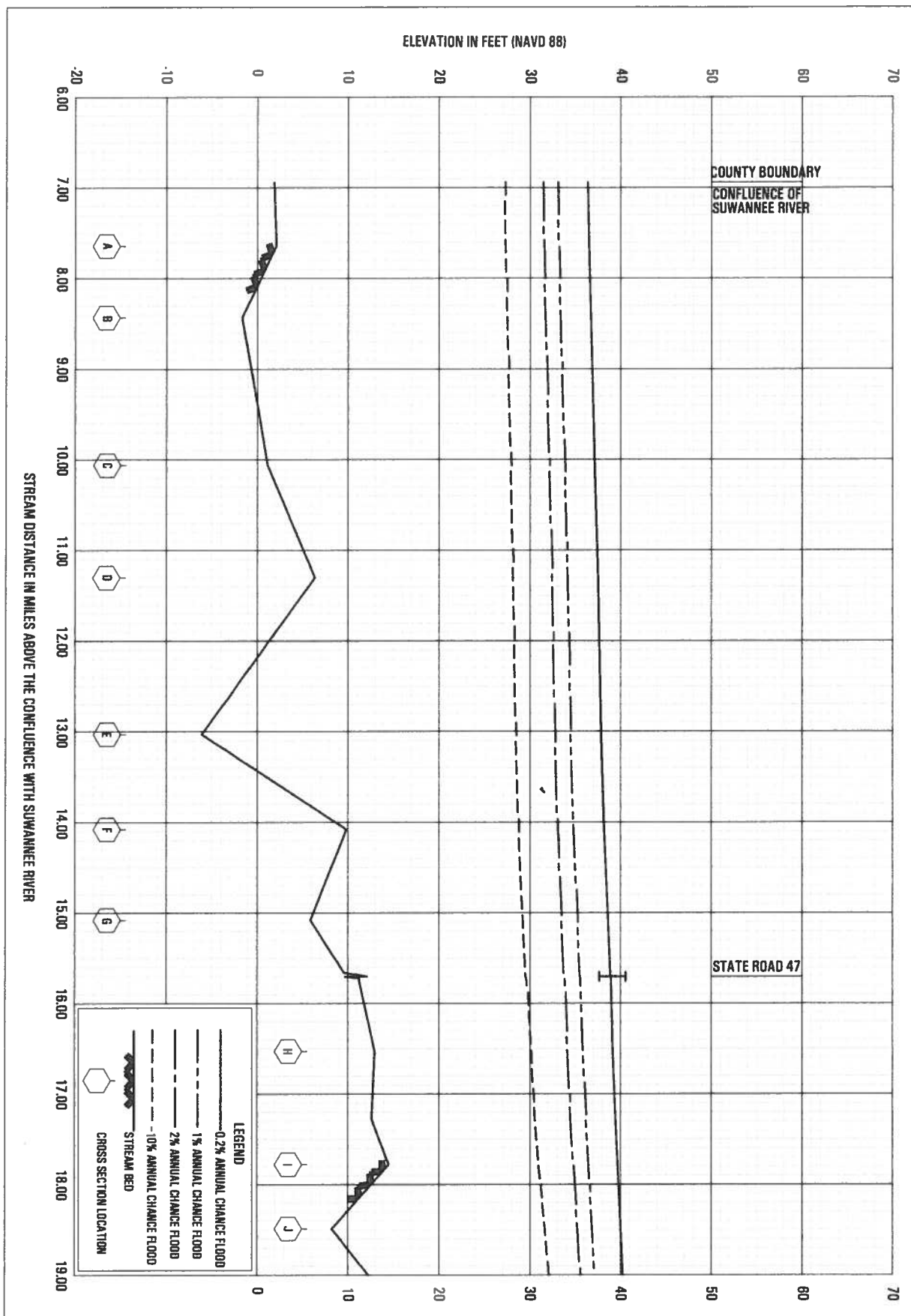
Floodplain Information for Chapman Construction Site

Panel 0526C of the February 4, 2009 FEMA Flood Insurance Rate Map indicates that the construction site lies within the boundaries of Zone AE, the 1% annual flood area where the base flood elevation has been determined. Actual field indications show that the construction site lies above the elevation of the 100 year flood. To quote from the *Columbia County Flood Insurance Study* (Number 12023CV000A) Section 4.1, page 14, "Small areas within the floodplain boundaries may lie above the flood elevations but cannot be shown due to limitations of the map scale and/or lack of detailed topographic data."

Base Flood Elevation Determination

The following is an enlargement of Flood Profile 11P from the *Columbia County Flood Insurance Study*. The original profile is attached. Interpolation indicates a base flood elevation of 35.4 feet (NAVD 88) for the construction site. River mile 15.5 corresponds to the relationship of the Santa Fe River and the site, as shown on the attached Google Earth image, river distance calculated downstream from the Highway 47 bridge at river mile 15.7.







Field Indications for the Chapman Construction Site

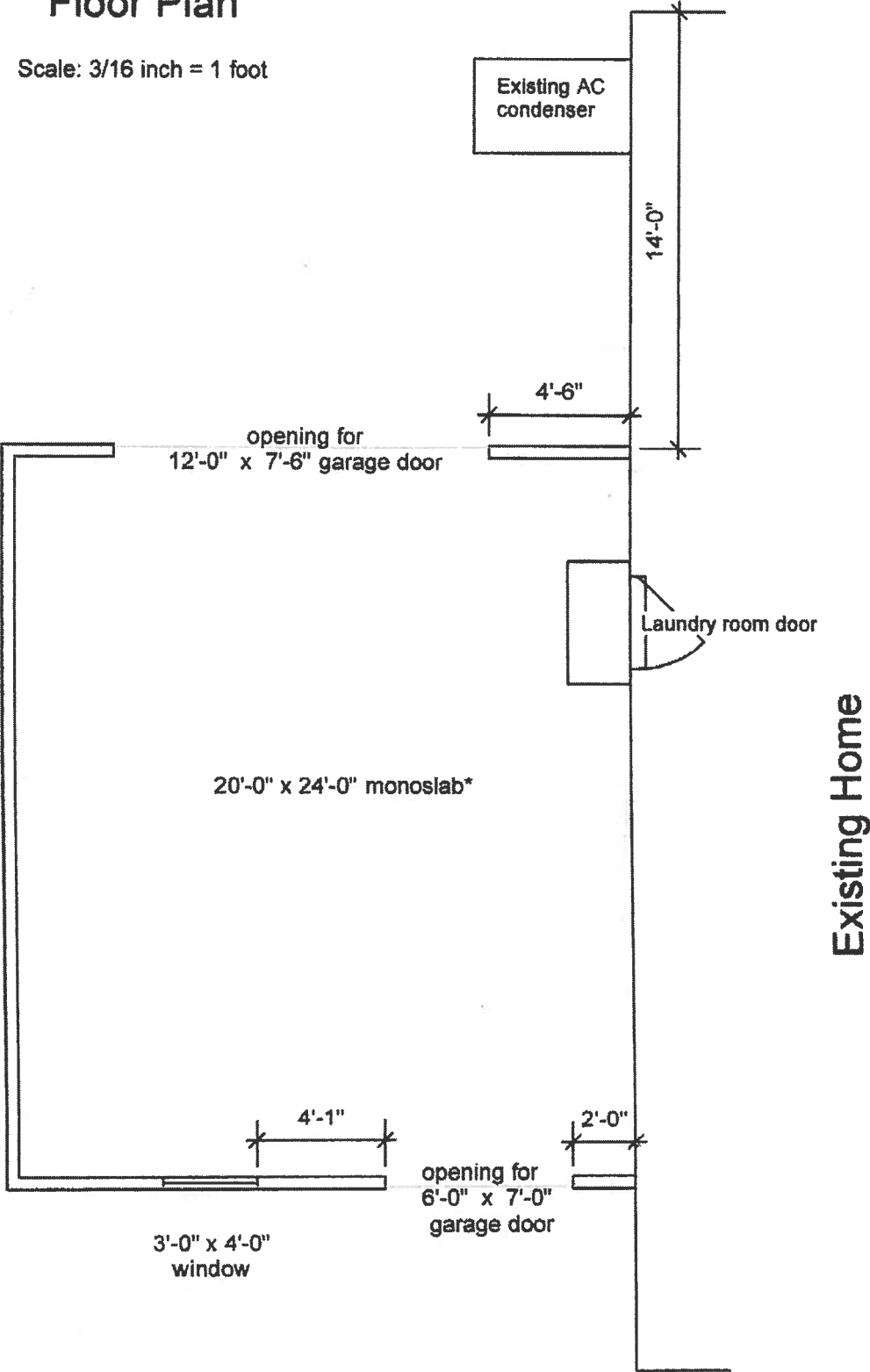
A boundary survey of the parcel by Bailey Bishop & Lane in April, 2006, a copy of which is attached, shows a sub-floor elevation of the existing home of 39.29 feet (NGVD 29). Converting this figure to the vertical datum of the *Columbia County Flood Insurance Study*, NAVD 88, using the suggested correction of -0.84 feet, a benchmark of 38.45 feet NAVD 88 is derived for the subfloor elevation of the existing home. Using this benchmark, it is apparent that the elevation of the site to the North, East, and West of the home is well above the base flood elevation of 35.4 feet. A small area to the south of the home may lie at or below 35.4 feet.

The proposed construction will have a slab formed on grade and have a finished elevation of 37.45 feet NAVD 88, which is slightly more than 2 feet above the base flood elevation, 35.4 feet.

The proposed construction will have no impact on stream flows or measurably impact flood elevations even in the event of a flood that exceeds the 100 year base flood elevation.

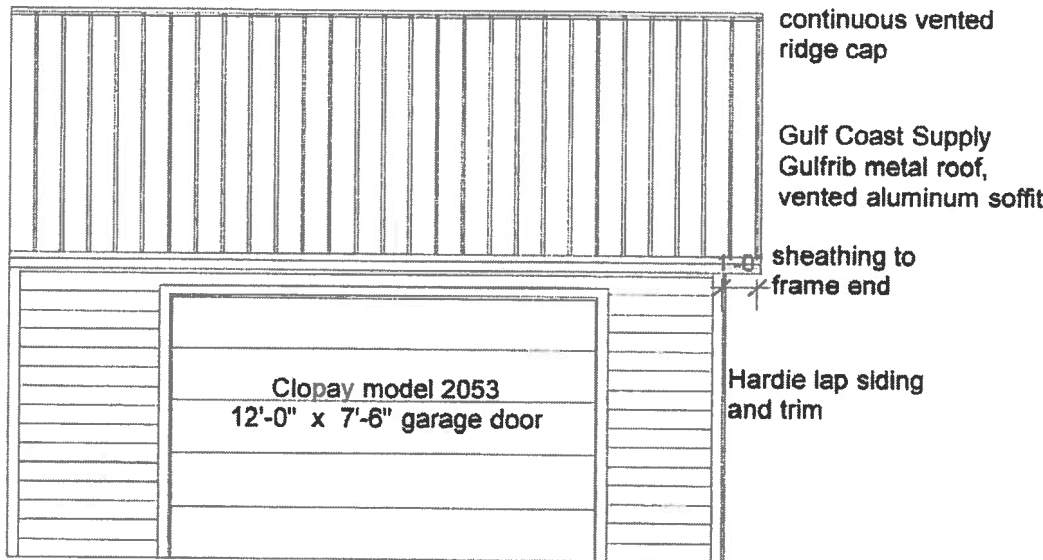
Chapman Garage Addition Floor Plan

Scale: 3/16 inch = 1 foot

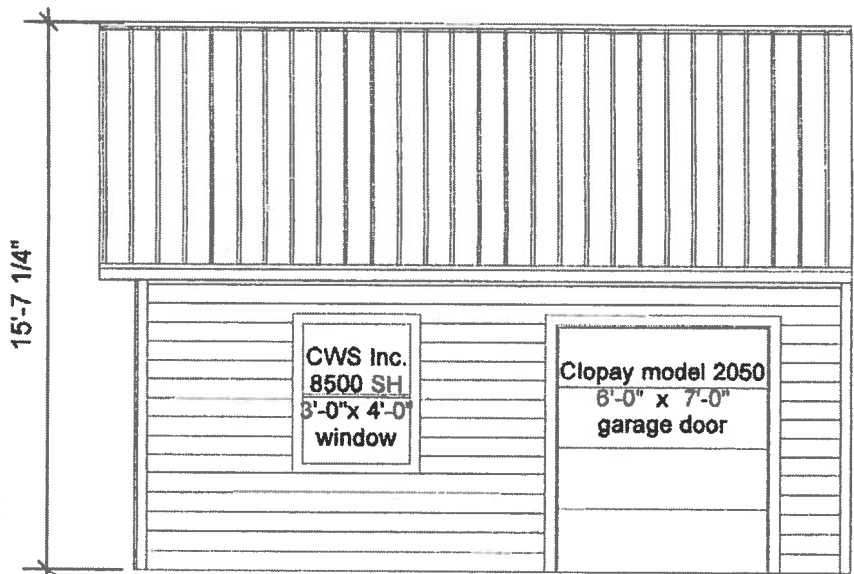


Chapman Garage Addition

Scale: 3/16 inch = 1 foot



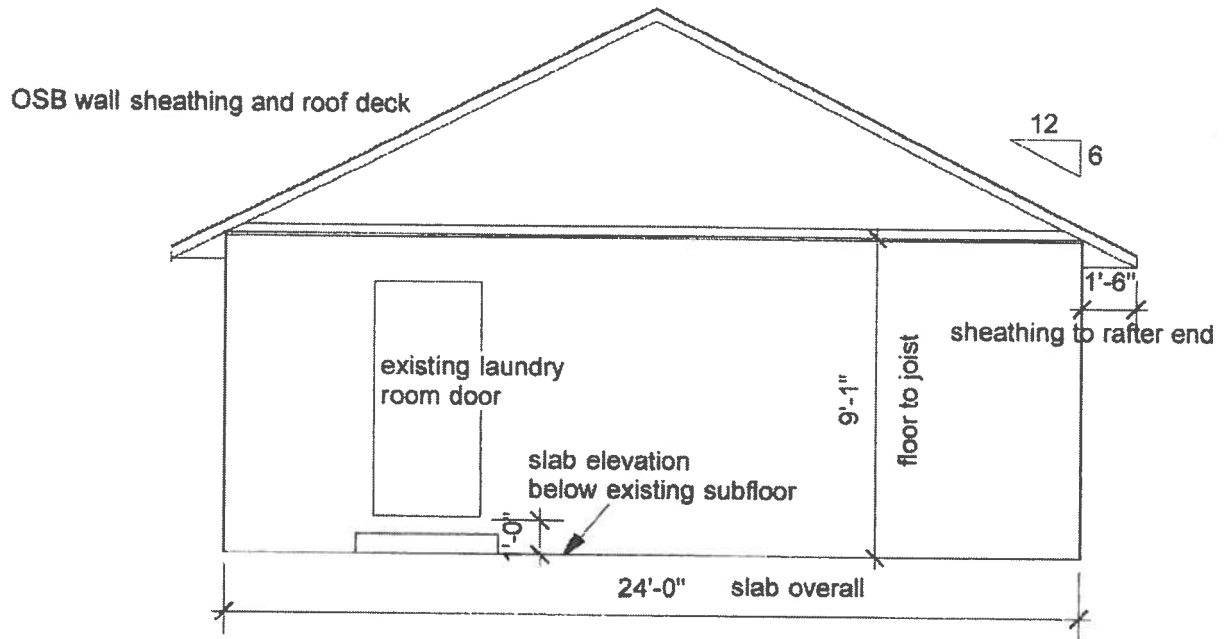
North Elevation



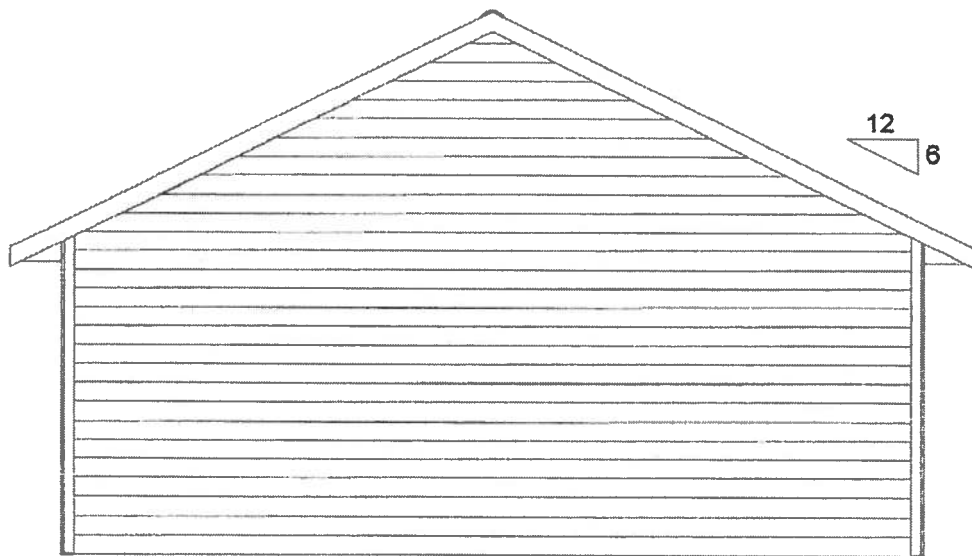
South Elevation

Chapman Garage Addition

Scale: 3/16 inch = 1 foot



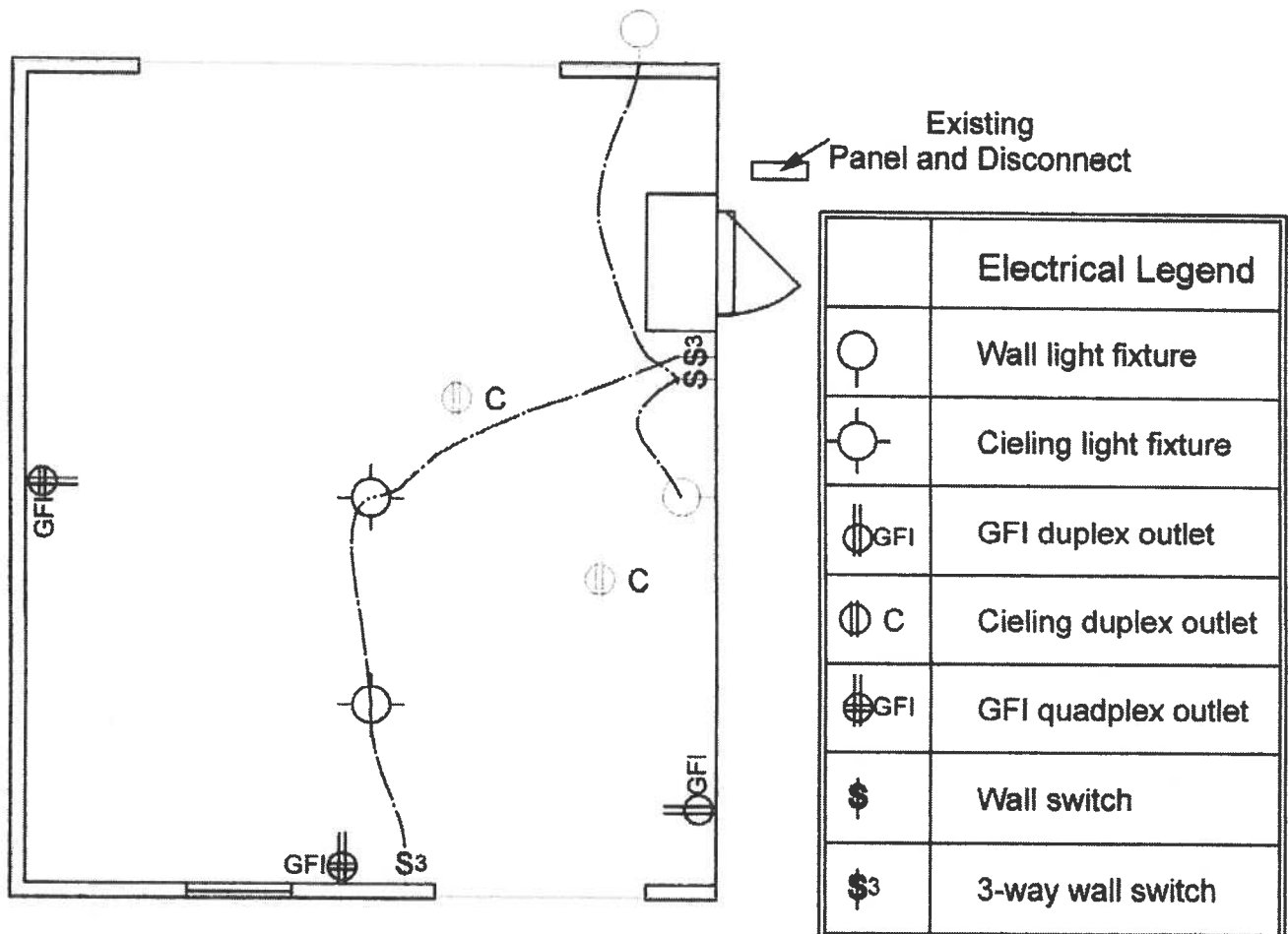
Section at East End Looking East



West Elevation


Chapman Garage Addition Electrical Plan

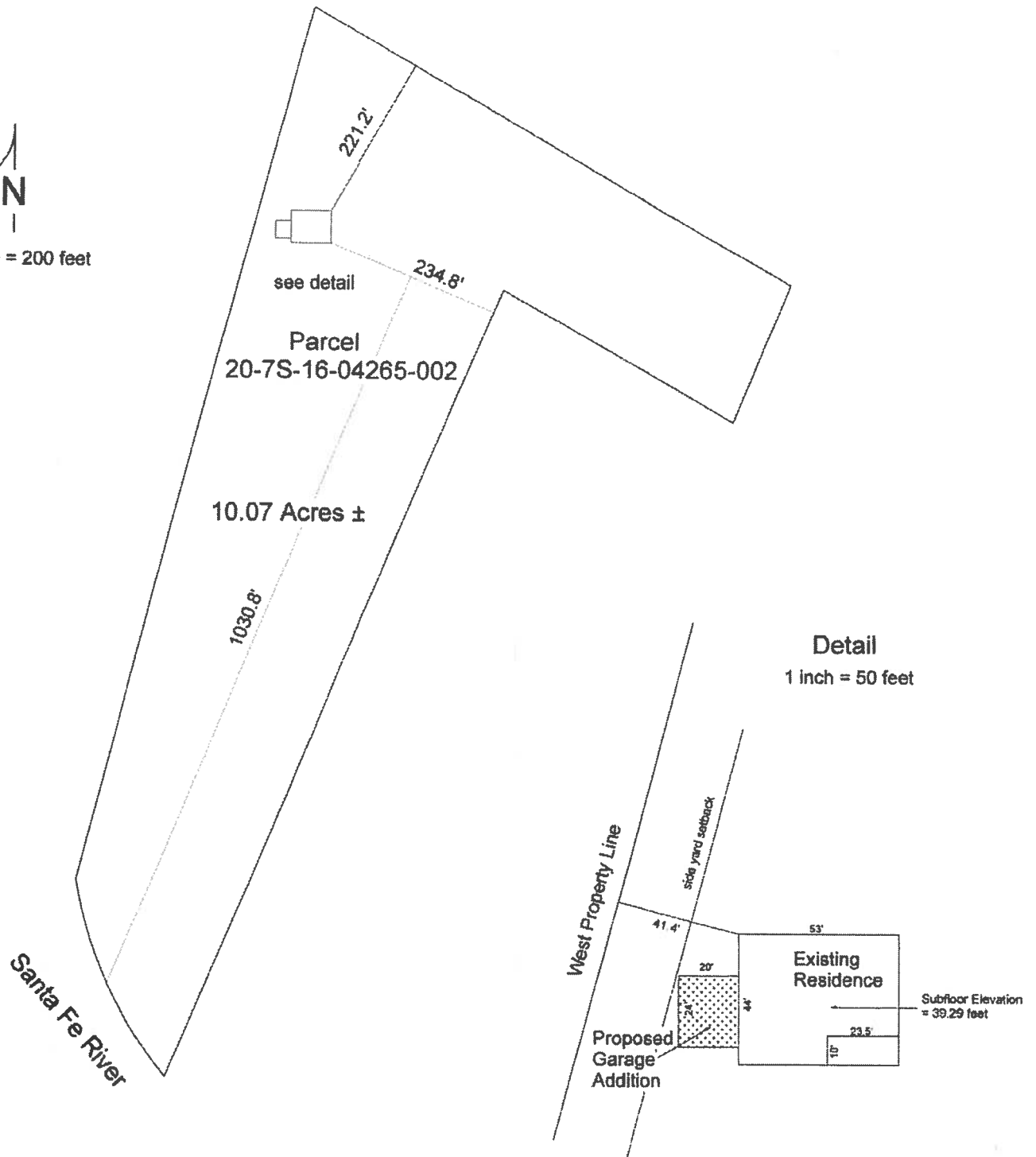
Scale: 3/16 inch = 1 foot



Site Plan Chapman Garage Addition

22392 SW State Road 47
Fort White, Florida


N
1 inch = 200 feet

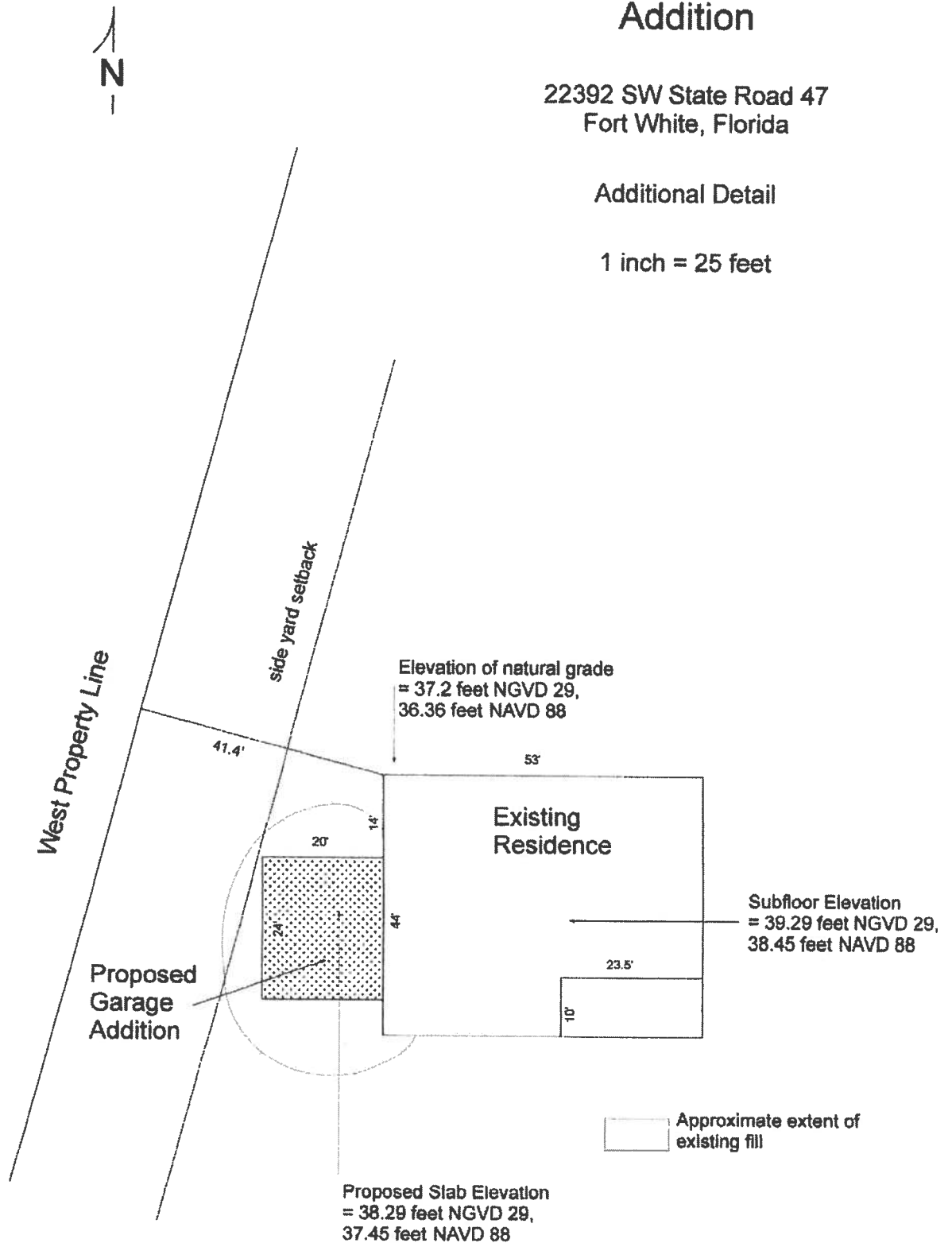


Site Plan Chapman Garage Addition

22392 SW State Road 47
Fort White, Florida

Additional Detail

1 inch = 25 feet

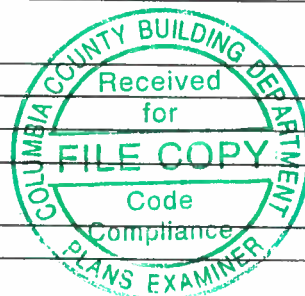


Bryan Zecher Construc
Lake City, Florida

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	Thermo-Tru PGT	exterior hinged doors	FL 5891-R3
B. SLIDING		sliding glass doors	FL 251-R15
C. SECTIONAL		garage doors	FL 5678-R2
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
2. WINDOWS			
A. SINGLE HUNG	PGT	Window	FL 239-R19
B. HORIZONTAL SLIDER	PGT	Window	FL 242-R16
C. CASEMENT			
D. DOUBLE HUNG			
E. FIXED	PGT	Window	FL 243-R14
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
3. PANEL WALL			
A. SIDING	certaineed Kaycon STD	cement fibered siding	FL 1573-R2
B. SOFFITS		aluminum soffit/facia	FL 12198-R1
C. EIFS		stucco finish	FL 15026-R
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES	certaineed	Arch shingles 30yr	FL 5444-R3
B. UNDERLAYMENTS	GAF	Tar paper	FL 4911-R3
C. ROOFING FASTENERS	OMG	roofing nails	FL 699-R3
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			



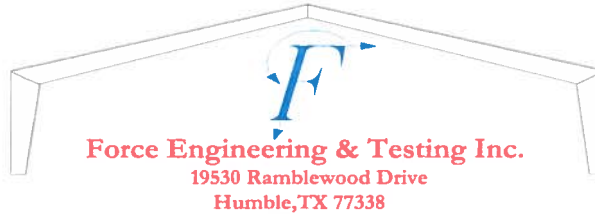
L. ROOFING SLATE		
M. CEMENTS-ADHESIVES COATINGS		

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
5. SHUTTERS			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
6. SKYLIGHTS			
A. SKYLIGHT			
B. OTHER			
7. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS/ ANCHORS	USPC	anchors	FL 5631-R1
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
8. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

CONTRACTOR'S SIGNATURE
LAKE CITY, FLORIDA

BRYAN ZECHER
PRINT NAME



Product Evaluation Report
GULF COAST SUPPLY & MANUFACTURING, LLC.

29 Ga. Tuff Rib Roof Panel over 7/16" OSB Decking

Florida Product Approval # 11651.28 R1

Florida Building Code 2010

Per Rule 9N-3

Method: 1 –D

Category: Roofing

Subcategory: Metal Roofing

Compliance Method: 9N-3.005(1)(d)

NON HVHZ

Product Manufacturer:

GULF COAST SUPPLY & MANUFACTURING, LLC.

4020 S.W. 449th Street

Horseshoe Beach, Florida 32648

Engineer Evaluator:

Terrence E. Wolfe, P.E. # 44923

Florida Evaluation ANE ID: 1920

Validator:

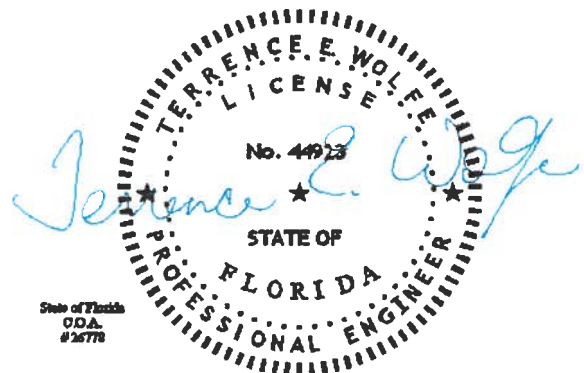
Locke Bowden, P.E., FL #49704

9450 Alysbury Place

Montgomery, AL 36117

Contents:

Evaluation Report Pages 1 – 4



Lucas A. Turner, P.E., MBA

2080 Mauve Ter.
North Port, FL 34286
Ph. 941-380-1574

Evaluation Report 635A

November 30, 2011

Product Description: Series 8500 PVC Single Hung Window, Non Impact, max. unit sizes of 52" x 96" OX Oriel DP90, 52" x 76" OX Equal Split DP90, and 56" x 91" OX Equal Split DP70.

Manufacturer: Custom Window Systems, Inc. 1900 SW 44th Ave, Ocala, FL 34474

Statement of Compliance: This report evaluates the above-listed product per the requirements of FAC Product Approval Rule Chapter 9N-3.005 (4), using 9N-3.005 Method 1 option (d). This product complies with the requirements of the Florida Building Code outside the High Velocity Hurricane Zone. The product testing standards performed are outlined below.

Technical Documentation:

- 1) Approval drawing CWS-635A, signed and sealed by Lucas A. Turner, P.E. on 11/30/2011.
- 2) Test Reports NCTL-210-3748-1A, -2A, and -3B, from National Certified Testing Laboratories, Orlando, FL signed and sealed by Gerard J. Ferrara, P.E.
 - a. Testing Performed: AAMA/WDMA/CSA 101/I.S.2/A440-05
- 3) Supplemental Calculations to support CWS-635A, signed and sealed by Lucas A. Turner, P.E. on 11/30/2011

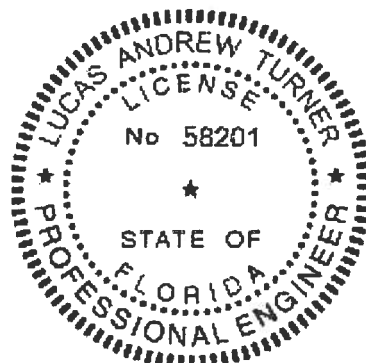
Installation: Units must be installed according to approval document CWS-635A.

Limitations of Use: This product:

- May be used up to sizes indicated above, with glass types and max. glass daylight sizes as shown in CWS-635A
- Achieves design pressures as shown in CWS-635A
- Is nonimpact and requires the use of shutters in windborne debris regions
- May not be used in the High Velocity Hurricane Zone
- Anchors indicated in CWS-635A shall be pan or hex head type and shall have a head or washer (integrated or separate) diameter of 0.420" min.

Certification of Independence: I do not have, nor do I intend to acquire, nor will I acquire, a financial interest in Custom Window Systems or in any company manufacturing or distributing products for which this report is being issued. I do not have, nor do I intend to acquire, nor will I acquire, a financial interest in any other entity involved in the testing or approval process of this product.

Lucas A. Turner, P.E. 2011-11-30 14:43-05:00



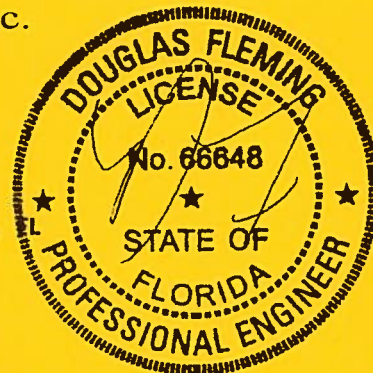
ZZ

11/30/11

Lucas A. Turner, P.E.
FL PE #58201

ITW Building Components Group, Inc.

2400 Lake Orange Drive suite 150 Orlando FL 32837
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: IVAB487-Z0103163843



10/03/2014

Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Truss Fabricator: **Anderson Truss Company**
Job Identification: **14-153--BRYAN ZECHER /Chapman Garage Addition -- Lake City,**
Truss Count: **2**
Model Code: **Florida Building Code 2010**
Truss Criteria: **FBC2010Res/TPI-2007(STD)**
Engineering Software: **Alpine Software, Version 13.02.**
Structural Engineer of Record: **The identity of the structural EOR did not exist as of**
Address: **the seal date per section 61G15-31.003(5a) of the FAC**
Minimum Design Loads: **Roof - 37.0 PSF @ 1.25 Duration**
Floor - N/A
Wind - 120 MPH ASCE 7-10 -Closed

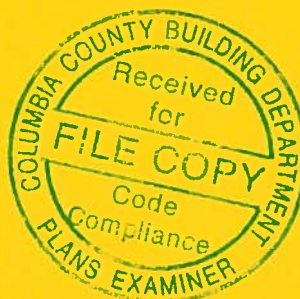
Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR9114

Details: 12015EC1-GBLLETIN-GABRST10-

#	Ref	Description	Drawing#	Date
1	63887--A	24' Common	14276001	10/03/14
2	63888--ADG	24' Gable	14276002	10/03/14

ALPINE



Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP #1
Bot chord 2x4 SP #1
Webs 2x4 SP #3

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

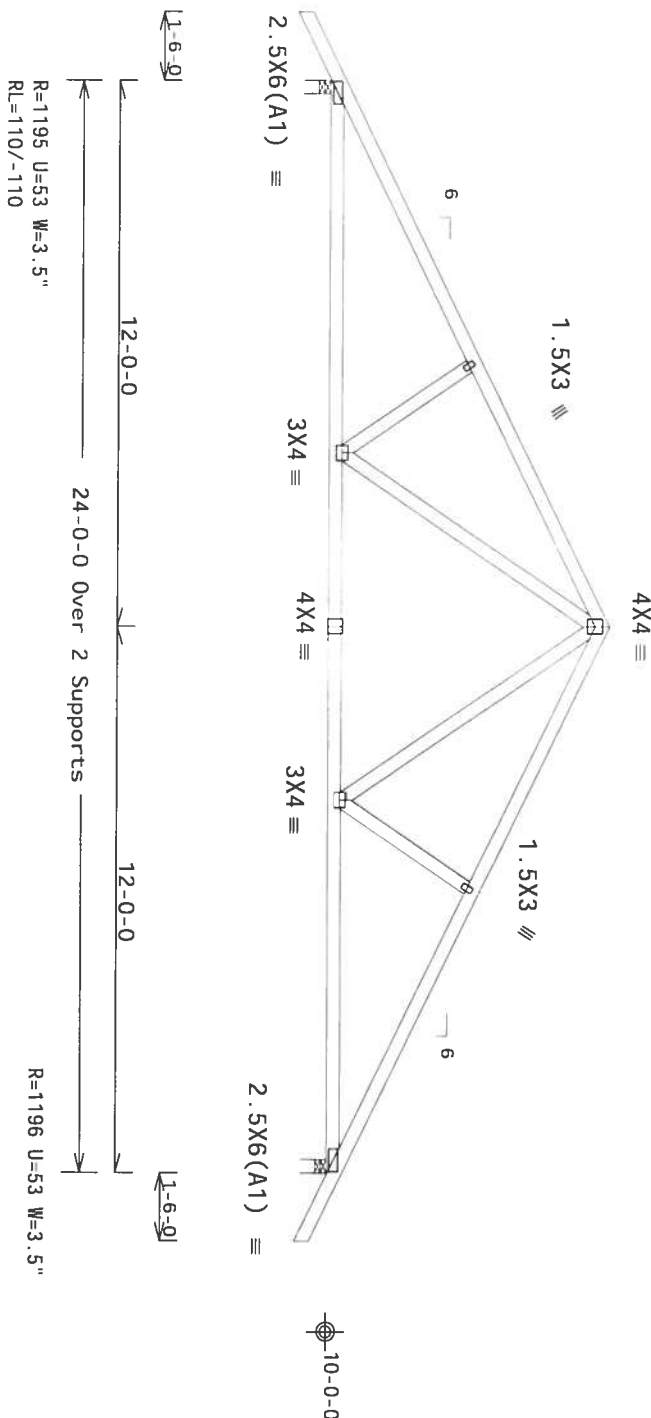
Special loads

-----Lumber

TC- From	Dur. Fac.=1.25 / Plate Dur. Fac.=1.25)	56 pif at -1.50 to 56 pif at 8.36
TC- From		96 pif at 8.36 to 96 pif at 12.00
TC- From		96 pif at 12.00 to 96 pif at 15.64
TC- From		56 pif at 15.64 to 56 pif at 25.50
BC- From		4 pif at -1.50 to 4 pif at 0.00
BC- From		20 pif at 0.00 to 20 pif at 10.75
BC- From		60 pif at 10.75 to 60 pif at 13.33
BC- From		20 pif at 13.33 to 4 pif at 24.00
BC- From		4 pif at 24.00 to 4 pif at 25.50

Wind loads and reactions based on MWFRS with additional C&C member design.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP B, wind TC DL=3.5 psf, wind BC DL=5.0 psf. Gcpl(+/-)=0.18
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



PLT TYP. Wave

Design Crit: FBC2010Res/TP1-2007(STD)
FT/RT=10%(0%)/0(0)

QTY: 10 FL/-/5/-/-/R/-

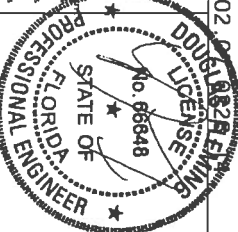
Scale = .25"/Ft.

ALPINE

ITW Building Components Group Inc.

Orlando FL, 32837
FL COA #0 278

IMPORTANT READ AND FOLLOW ALL NOTES ON THIS SHEET
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to any applicable code or specification for details. (Building Component Safety Information by TPI and WICA) for safety practices prior to performing these tasks. Trusses shall be braced in accordance with the design. Unless noted otherwise, top chord shall have properly attached structural sheathing. Bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BC51 sections B3, B7 or B10 as applicable.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design any failure to build the truss in conformance with ANSI/TP1-1 or for handling, shipping, installation, bracing or other factors. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1004.7 for standard plate positions. A seal on this drawing covers page listing this drawing, indicating acceptance of professional engineering. The responsibility of the Building Designer per ANSI/TP1-1 Sec 3 shall remain with the designer. This job's general notes page: ITW-BCG www.bcg.com, TPI www.tpi.com, WICA www.wicaind.com, IBC www.iccinfo.org



TC LL	20.0 PSF	REF	R9114- 63887
TC DL	7.0 PSF	DATE	10/03/14
BC DL	10.0 PSF	DRW	HCUSR9114 14276001
BC LL	0.0 PSF	HC-ENG	SSB/DF
TOT. LD.	37.0 PSF	SEQN-	357051
DUR. FAC.	1.25	FROM	JMM
SPACING	24.0"	JREF-	1VAB487_201

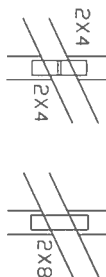
10/03/2014

Refer to appropriate ITW gable detail for minimum plate sizes for vertical studs.

- ④ Refer to Engineered truss design for peak, splice, web, and heel plates.

(*) If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.

Example



1. Reinforcing Member

Toe-nail

Or -

End-nail

1. Reinforcing Member

Provide connections for uplift specified on the engineered truss design

Attach each "I" reinforcing member with

End Driven Nails:

(4) 10d Common (0.148" x 3.7" min) Nails at 4' o.c. plus
(4) nails in the top and bottom chords.

Toenailed Nails

(4) toenails in the top and bottom chords.

This detail to be used with the appropriate ITW gable detail for ASCE wind load.

ASCE 7-98 Goole Detail Drawings

A13015980109, A12015980109, A11015980109, A10015980109

A13030980109, A12030980109, A11030980109, A10030980109,

ASCE 7-02 Cable Detail Drawings

A13015020109, A12015020109, A11015020109, A10015020109, A14015020109,

\13030020109, \12030020109, \11030020109, \10030020109, \14030020109,

ASCE 7-05 Gable Detail Drawings

A13015050109, A12015050109, A11015050109, A10015050109, A14015050109,

A13030050109, A12030050109, A11030050109, A10030050109, A14030050109

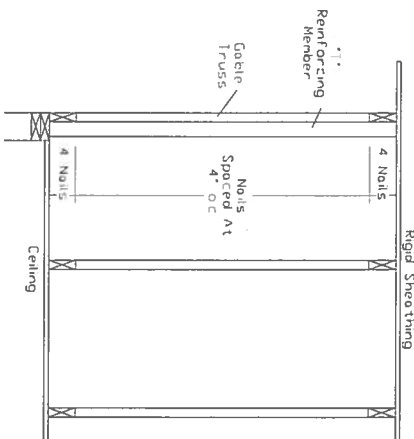
ASCE 7-10 Gable Detail Drawings

A11515ENC100212, A12015ENC100212, A14015ENC100212, A16015ENC100212,

A18015LNC100212, A20015LNC100212, A20015LNCND100212, A20015SPED100212

A11530ENC100212, A12030ENC100212, A14030ENC100212, A16030ENC100212

See appropriate ITW gable detail for maximum unreinforced gable vertical length



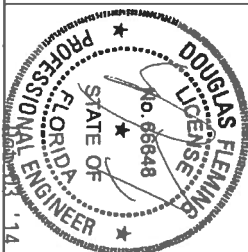
Building Components Group Inc.

Earth City, MO 63045

==WARNING== READ AND FOLLOW ALL NOTES ON THIS DRAWING
FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS

Trusses require extensive care in fabricating, handling, shipping, installing and erecting. Refer to notes on the next edition of BECS Building Component Safety Information, for IBC and AISC for safety practices prior to performing these functions. Installers shall provide temporary bracing per BECS practices, notched otherwise, top chord shall have properly attached structural bracing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BECS sections 8C, 8D or 8D, as applicable. Apply plates to each face of chord and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions.

11 Building Components Group Inc. shall not be responsible for the provision from this drawing or plan to build the truss in conformance with ANSI/TPI-1, or for naming, defining, notation & labeling of trusses. A seal on this drawing or cover page indicating this warranty, indication, acceptance of professional engineering responsibility solely for the design shown. The availability and use of this drawing for any structure is the responsibility of the Building Component Group (BCEI/TPI) See 2.



74

MAX. TOT. LD.	60 PSF
DUR. FAC.	ANY
MAX. SPACING	24.0"

REF	LET-IN VERT
DATE	2/16/12
DRWG	GBLLETIN0212

Maximum allowable "T" reinforced gable vertical length is 14' from top to bottom chord.
 "T" reinforcing member material must match size, specie, and grade of the L" reinforcing member.
 Web Length Increase w/ "T" Brac

Example

1" Reinf. Mbr. Size	1" Increase
2x4	30 %
2x6	20 %

Mean Roof Height = 30 ft, $K_{zt} = 1.00$

Gable Vertical = 24'o.c. SP #13

Reinforcing Member Size = 2x4

- Brace Increase (from Above) = $30\% = 1.30$

(1) $\text{Error Length} = \alpha \cdot \sqrt{\text{Maximum "T" Painforced Fobles Yortti}}$

ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C
Residential Gable End Wind Bracing Requirements - Stiff

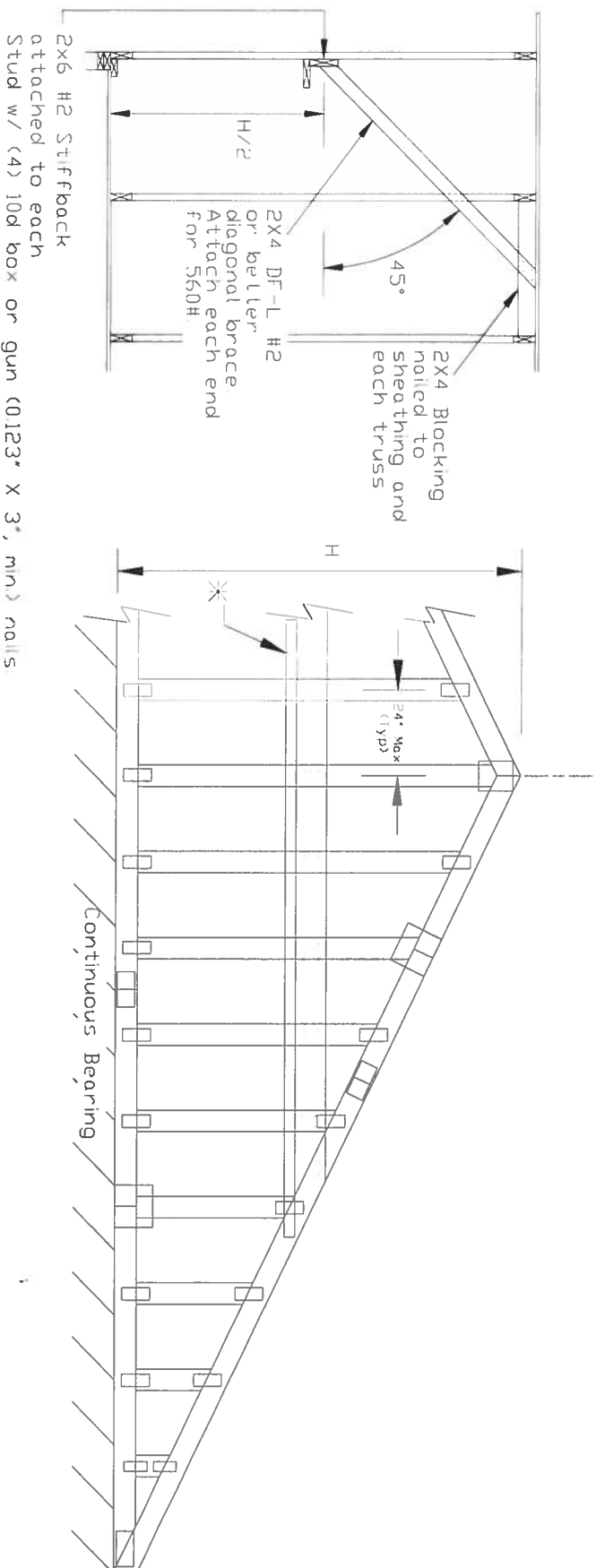
120 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or
100 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or
100 mph, 30ft. Mean Hgt, ASCE 7-10, Part. Enclosed, Exp C,
Kzt = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

Lateral chord bracing requirements

Top: Continuous roof sheathing
Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail for lumber, plates, and other information not shown on this detail.

Nails: 10d box or gun (0.128"x3",min) nails.



H Less than 4'6" - no stud bracing required

H Greater than 4'6" to 7'6" in length
provide a 2x6 stiffback at mid-height and brace stiffback to roof diaphragm every 6'0" (see detail below or refer to DRWG A12030ENC100212).

H Greater than 7'6" to 12'0" max:
provide a 2x6 stiffback at mid-height and brace to roof diaphragm every 4'0" (see detail below or refer to DRWG A12030ENC100212).

* Optional 2x L-reinforcement attached to stiffback with 10d box or gun (0128" x 3", min.) nails @ 6" o.c.



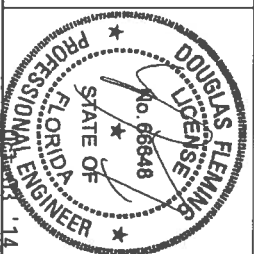
Building Components Group Inc.

Building Components Group Inc

Earth City, MO 63045

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING.
FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS

Trusses require extreme care in fabricating, handling, shipping, storing, and erecting. Refer to and follow the latest edition of BCSS (Building Component Safety) Handbook, (ULC) for the correct practices prior to performing these functions. Inspectors should ensure temporary bracing per BCSS unless noted otherwise, too chord shall have properly attached struts, bracing and bottom chord shall have a properly attached per rigid ceiling. Locations shown for permanent lateral resist of webs shall have bracing installed per BCSS sections 83, 87 or 810, as applicable. Apply plates to each end of truss and position as shown above and on the Joint Details, unless noted otherwise refer to drawings 160A-2 for standard plate positions.

[illegible]

MAX. TOT. LD. 60 PSF

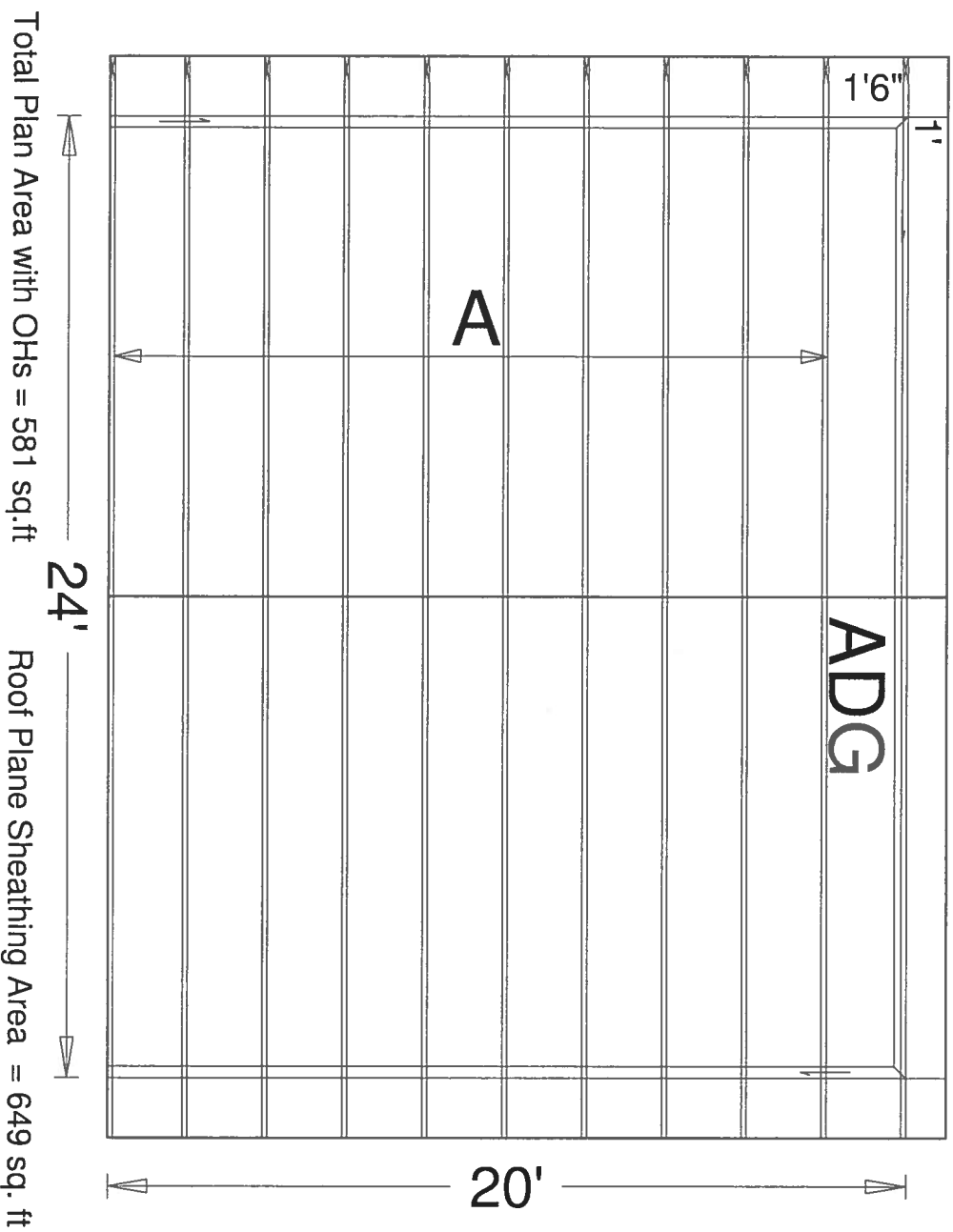
MAX. SPACING

REF GE WHALER

DATE 2/14/12

DRWG GABRST100212

Chapman Garage Addition
 Lake City, FL
 Total Truss Quantity = 11.
 Truss Spacing = 24" O.C. Max

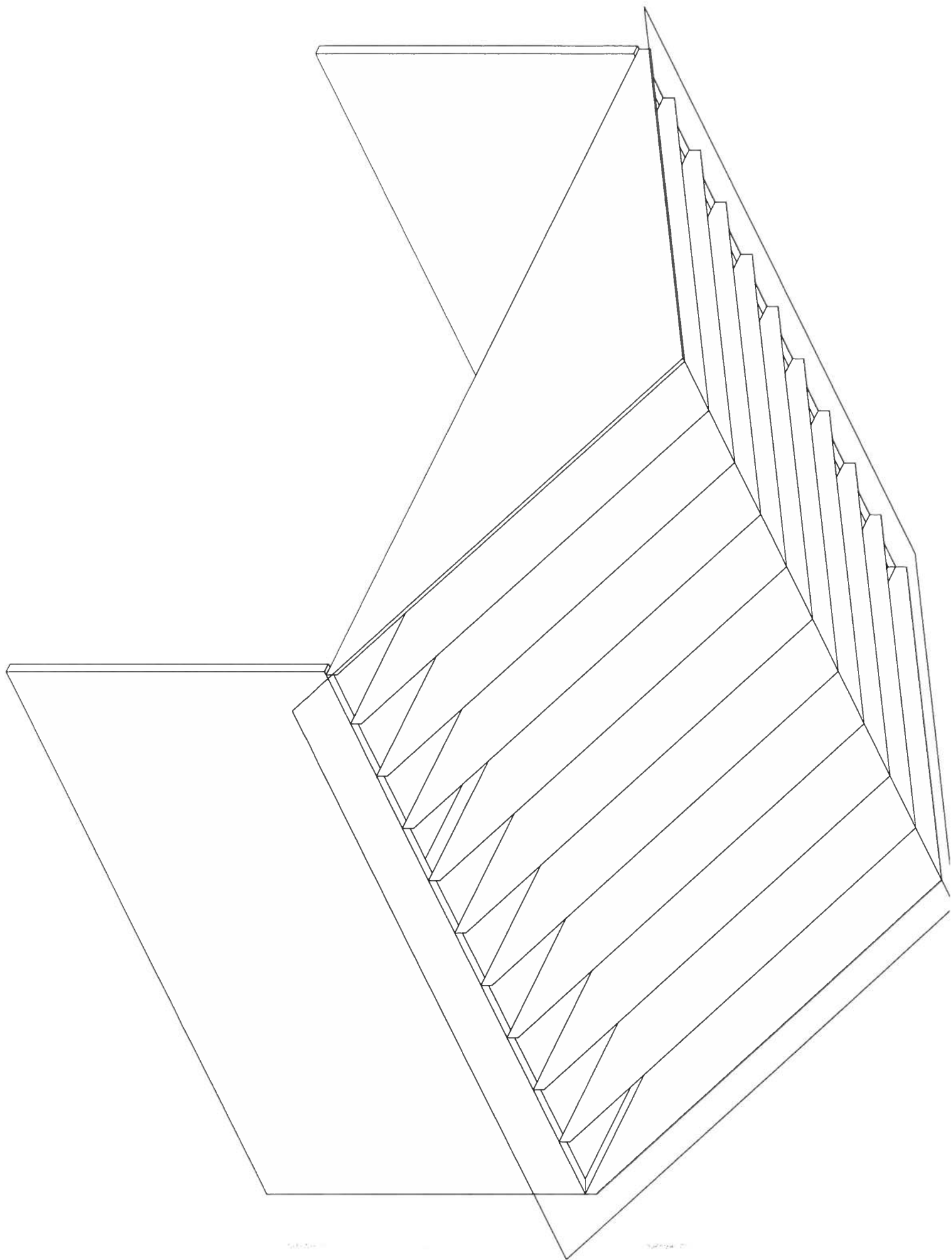


: Chapman
 Created : 10-07-2014
 : <Not Found>

Customer: BRYAN ZECHER
 Job Name: Chapman Garage Addition
 : 22392 SW State Road47
 Job Numb: 14-153
 Designer: Josh Anderson
 Salesman: Curt V Burlingame

JOB NO:
 14-153

PAGE NO:
 1 OF 1





COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2010 EFFECTIVE 15 MARCH 2012 AND THE NATIONAL ELECTRICAL 2008 EFFECTIVE 1 OCTOBER 2009

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2010 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 15 MARCH 2012. NATIONAL ELECTRICAL CODE 2008 EFFECTIVE 1 OCTOBER 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES

GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:				
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void				
3	Condition space (Sq. Ft.)	N/A			
		Total (Sq. Ft.) under roof			
		480			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	✓		
7	Provide a full legal description of property.	✓		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIII	IIII	IIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiably designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)			
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)			✓
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			✓
28	Identify accessibility of bathroom (see FBCR SECTION 320)			✓

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	---

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
31	Any special support required by soil analysis such as piling.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
32	Assumed load-bearing value of soil <u>1000</u> Pound Per Square Foot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 318: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
42	Attachment of joist to girder	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
43	Wind load requirements where applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
44	Show required under-floor crawl space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
45	Show required amount of ventilation opening for under-floor spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
46	Show required covering of ventilation opening	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
47	Show the required access opening to access to under-floor spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

49	Show Draftstopping, Fire caulking and Fire blocking			✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table IRC 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			✓
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			✓
67	Valley framing and support details			✓
68	Provide dead load rating of rafter system			✓

FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assemblies covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering	✓		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			✓
74	Attic space			✓
75	Exterior wall cavity			✓
76	Crawl space			✓

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			✓
78	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required			✓
79	Show clothes dryer route and total run of exhaust duct			✓

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			✓
81	Show the location of water heater			✓

Private Potable Water

82	Pump motor horse power			✓
83	Reservoir pressure tank gallon capacity			✓
84	Rating of cycle stop valve if used			✓

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	✓		
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	✓		
87	Show the location of smoke detectors & Carbon monoxide detectors	✓		
88	Show service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	✓		

90	Appliances and HVAC equipment and disconnects	<input checked="" type="checkbox"/>		
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter , Protection device.	<input checked="" type="checkbox"/>		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center">GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
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THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current On-Line Building Permit Application www.ccpermit.com is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee.	<input checked="" type="checkbox"/>		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also requested. www.columbiacountyfla.com	<input checked="" type="checkbox"/>		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	<input checked="" type="checkbox"/>		
95	City of Lake City A permit showing an approved waste water sewer tap 386-752-2031			<input checked="" type="checkbox"/>
96	Toilet facilities shall be provided for all construction sites	<input checked="" type="checkbox"/>		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			<input checked="" type="checkbox"/>
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	<input checked="" type="checkbox"/>		
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.	<input checked="" type="checkbox"/>		
100	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00	<input checked="" type="checkbox"/>		
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.			<input checked="" type="checkbox"/>
102	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 Ext. 3	<input checked="" type="checkbox"/>		

