

DATE07/23/2010

Columbia County Building Permit

PERMIT000028746

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANTROBERT MCINTOSH

PHONE755-1751

ADDRESS289NW COINTH DRIVE

LAKE CITYFL32055

OWNERCHRISTOPHER UMSTEAD

PHONE758-9582

ADDRESS282NW BLACKBERRY CIRCLE

LAKE CITYFL32055

CONTRACTORMICHAEL DELAHOZ

PHONE754-8678

LOCATION OF PROPERTY90W, TR BROWN RD, R NASH RD, L BLACKBERRY CIRCLE, THEN THE 3RD PROPERTY ON LEFT

TYPE DEVELOPMENTPOOL ENCLOSURE

ESTIMATED COST OF CONSTRUCTION8725.00

HEATED FLOOR AREATOTAL AREAHEIGHTSTORIES

FOUNDATIONWALLSROOF PITCHFLOOR

LAND USE & ZONINGPRRD

MAX. HEIGHT

Minimum Set Back Requirments:STREET-FRONT30.00REAR25.00SIDE25.00

NO. EX.D.U.FLOOD ZONEN/A

DEVELOPMENT PERMIT NO.

PARCEL ID17-3S-16-02168-130

SUBDIVISIONBLACKBERRY FARMS

LOT30BLOCKPHASEUNITTOTAL ACRES

SCC056689

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTINGX10-254BKTCN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS: NOC ON FILE

Check # or Cash3972

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary PowerFoundationMonolithic

Under slab rough-in plumbingSlabSheathing/Nailing

FramingInsulation

Rough-in plumbing above slab and below wood floorElectrical rough-in

Heat & Air DuctPeri. beam (Lintel)Pool

Permanent powerC.O. FinalCulvert

Pump poleUtility PoleM/H tie downs, blocking, electricity and plumbing

ReconnectionRVRe-roof

BUILDING PERMIT FEE \$45.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$0.00

ZONING CERT. FEE \$50.00

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$

CULVERT FEE \$

TOTAL FEE95.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

442

CK# 3912

For Office Use Only Application # 1007-25 Date Received 7/16/16 By LH Permit # 28746
 Zoning Official BLK Date 23.07.10 Flood Zone N/A Land Use A-3 Zoning PRRD
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C Date 7-22-10
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL N/A Accessory Structure

Septic Permit No. X10-254 InBox Fax 386-755-1751

Name Authorized Person Signing Permit Robert a Madean Mcintosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City, FL 32055

Owners Name Umstead, Christopher a Victoria Phone 788-9582

911 Address 282 NW Blackberry Cir Lake City, FL 32055

Contractors Name Michael A Delatoy Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 17-39-16-02168-130 Estimated Cost of Construction 8725⁰⁰

Subdivision Name Blackberry Farms Lot 30 Block _____ Unit _____ Phase _____

Driving Directions W 90, Turn right on NW Brown Rd, Right on NW Nash Rd, left on NW Blackberry Ct, 1st house on left

Number of Existing Dwellings on Property 1

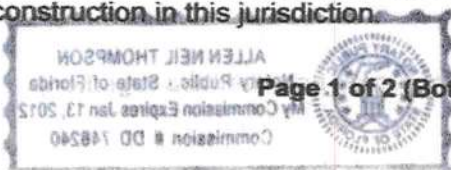
Construction of Pool Enclosure Total Acreage 5 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 203.5 Side 33.2 Side 400 Rear 220

Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



Inst. 201012011344 Date: 7/16/2010 Time: 2:27 PM
 5-DC, P. DeWitt Cason, Columbia County Page 1 of 1 B:1197 P:2596

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 17-3S-16-02168-130

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- Description of property (legal description): Lot 30 Blackberry Farms Plat Book 1 pg 4-12
 a) Street (job) Address: 282 NW Blackberry Cir Lake City, FL 32055
- General description of improvements: Pool Enclosure
- Owner Information
 a) Name and address: Umstead, Chris + Vicki 282 NW Blackberry Cir Lake City, FL
 b) Name and address of fee simple titleholder (if other than owner)
 c) Interest in property: owner
- Contractor Information
 a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City, FL
 b) Telephone No: 386-754-8678 Fax No. (Opt.): 32055
- Surety Information
 a) Name and address: N/A
 b) Amount of Bond:
 c) Telephone No.: Fax No. (Opt.):
- Lender
 a) Name and address: N/A
 b) Phone No.:
- Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 a) Name and address: N/A
 b) Telephone No.: Fax No. (Opt.):
- In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).
 Florida Statutes:
 a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr Lake City, FL
 b) Telephone No.: Fax No. (Opt.): 32055
- Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
 COUNTY OF COLUMBIA

Chris Umstead
 Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Chris Umstead
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 6th day of July, 20 10, by:
 _____ as _____ (type of authority, e.g. officer, trustee, attorney
 fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature [Signature] Notary Stamp or Seal:



—AND—

I, Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

Columbia County Property Appraiser

DB Last Updated: 5/6/2010

2009 Tax Roll Year

Parcel: 17-3S-16-02168-130

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

Interactive GIS Map

Print

Owner & Property Info

<< Prev Search Result: 3 of 12 Next >>

Owner's Name	UMSTEAD CHRISTOPHER D &		
Mailing Address	VICTORIA S UMSTEAD 282 NW BLACKBERRY CIRCLE LAKE CITY, FL 32055		
Site Address	282 NW BLACKBERRY CIR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	17316
Land Area	5.010 ACRES	Market Area	01
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 30 BLACKBERRY FARMS S/D. WD 1031-2021.		

**Property & Assessment Values**

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$81,162.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$225,047.00
XFOB Value	cnt: (2)	\$8,364.00
Total Appraised Value		\$314,573.00
Just Value		\$314,573.00
Class Value		\$0.00
Assessed Value		\$313,639.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value		Cnty: \$263,639 Other: \$263,639 Schl: \$288,639

2010 Working Values

NOTE:
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
11/11/2004	1031/2021	WD	V	Q		\$52,700.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2005	COMMON BRK (19)	3106	4378	\$218,088.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	2005	\$2,000.00	0000001.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2005	\$6,064.00	0003032.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	5.01 AC	1.00/1.00/1.00/1.00	\$14,580.00	\$73,045.00

Columbia County Property Appraiser

DB Last Updated: 5/6/2010

<< Prev

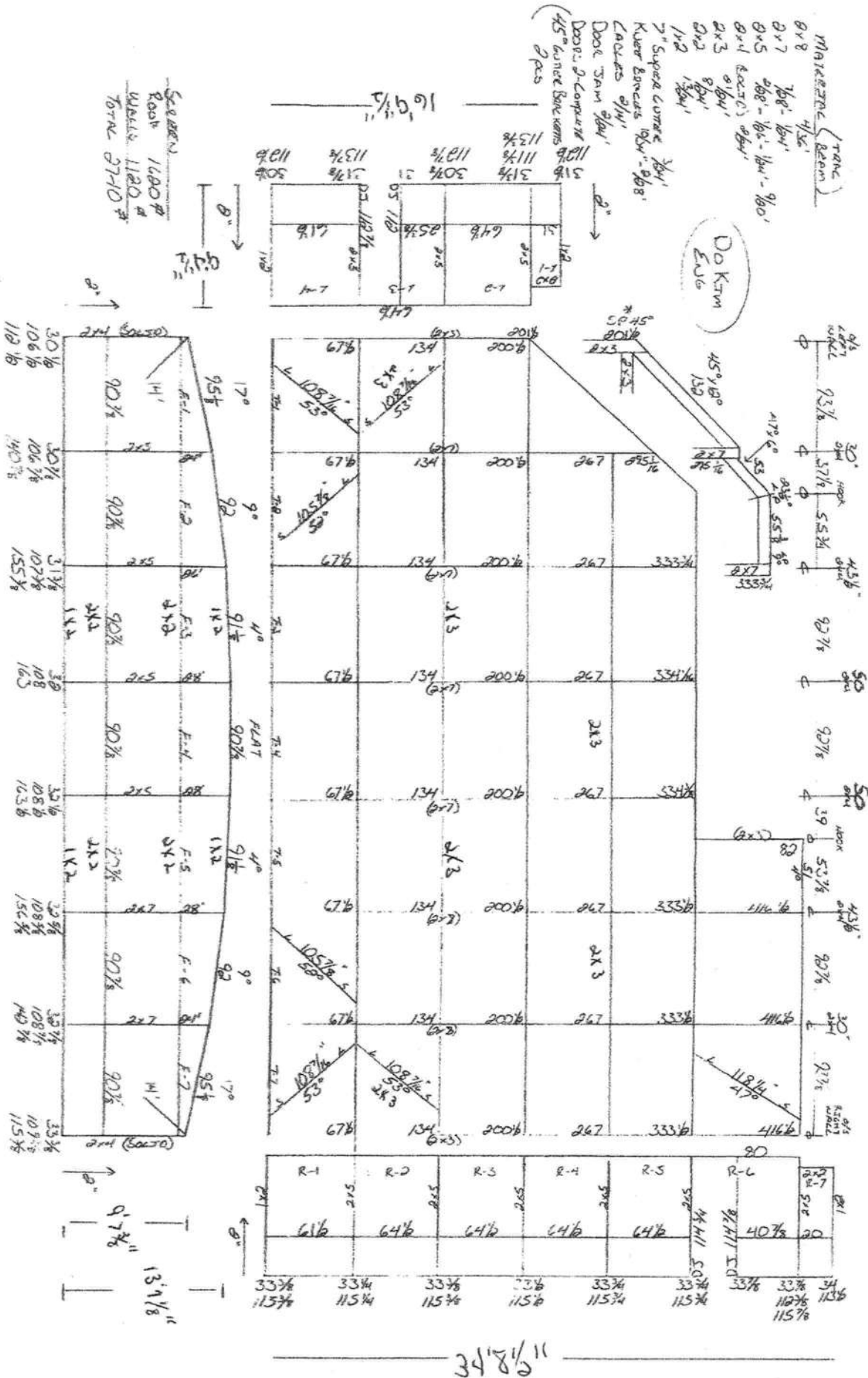
3 of 12

Next >>

DISCLAIMER

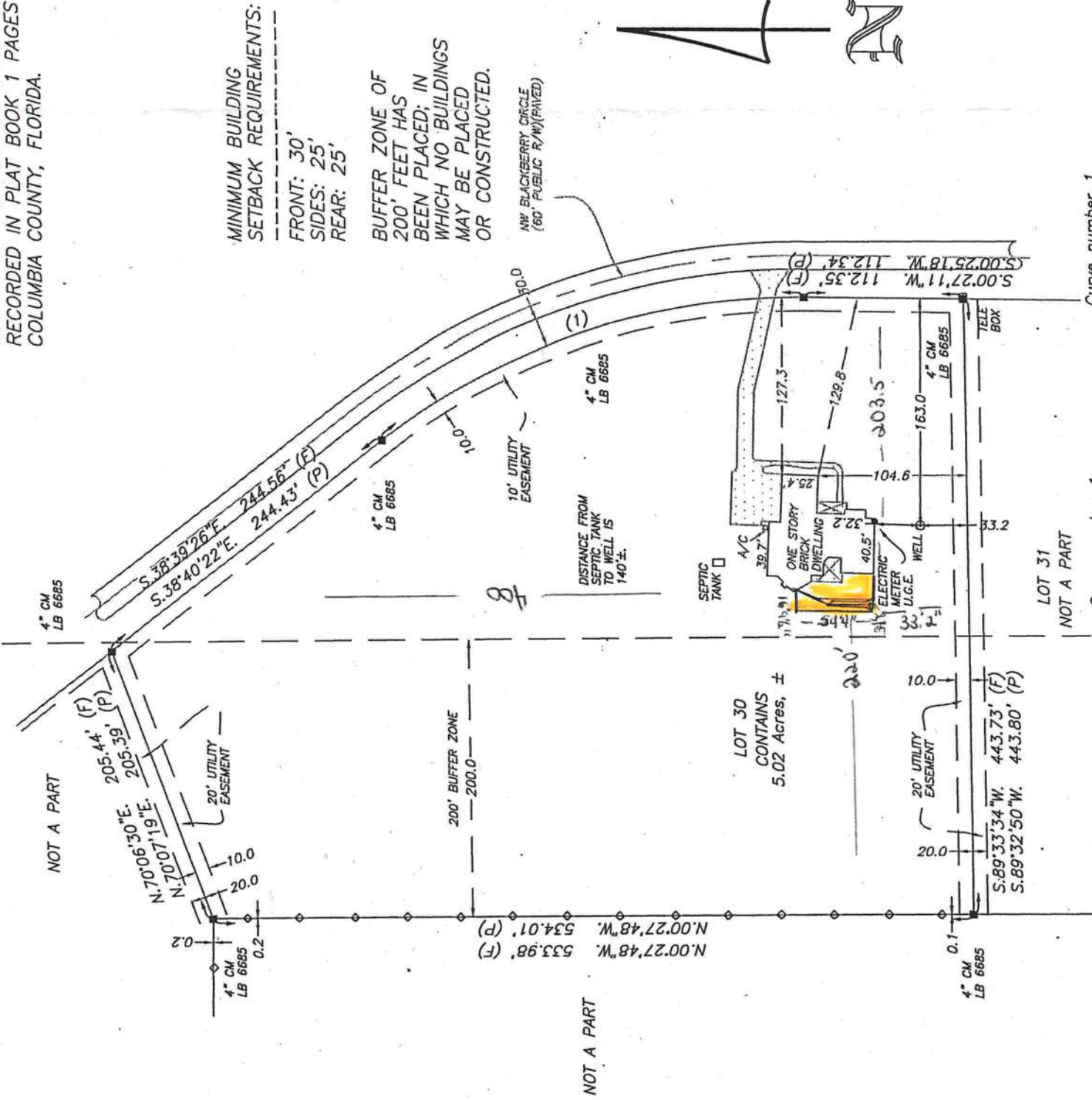
This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

MASSAGE (TAN) ROOM



BOUNDARY SURVEY
IN SECTION 17,
TOWNSHIP 3 SOUTH,
RANGE 16 EAST.
COLUMBIA COUNTY, FLA.

DESCRIPTION:
LOT 30 OF "BLACKBERRY FARMS" A SUBDIVISION AS PER PLAT THEREOF
RECORDED IN PLAT BOOK 1 PAGES 4-12 OF THE PUBLIC RECORDS OF
COLUMBIA COUNTY, FLORIDA.



MINIMUM BUILDING
SETBACK REQUIREMENTS:

FRONT: 30'
SIDES: 25'
REAR: 25'

BUFFER ZONE OF
200' FEET HAS
BEEN PLACED; IN
WHICH NO BUILDINGS
MAY BE PLACED
OR CONSTRUCTED.

NW BLACKBERRY CIRCLE
(60' PUBLIC R/W)(PAVED)

NOT A PART

LOT 30
CONTAINS
5.02 Acres, ±

LOT 31
NOT A PART

Curve number 1
FIELD
Radius= 470.00
Delta= 39°05'19"
Arc= 320.65
Tangent= 166.84
Chord= 314.46
Chord Brg. S. 19°06'56"E.

Curve number 1
PLAT
Radius= 470.00
Delta= 39°05'39"
Arc= 320.69
Chord= 314.51
Chord Brg. S. 19°07'32"E.

SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE
RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.

2. BEARINGS BASED ON PLAT OF RECORD USING MONUMENTS FOUND
ON THE WEST LINE OF THIS LOT.

3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE
500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED
JANUARY 6, 1988, COMMUNITY PANEL NO. 120070 0125 B.

4. NO EASEMENT FOR DRAINAGE IS SHOWN ON THIS LOT
IN RECORDS IN THE POSSESSION OF THIS OFFICE.

5. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE
AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.

6. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES
WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.

7. "NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER."

8. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/7500.

9. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT
OR TITLE POLICY. THEREFORE EXCEPTION IS MADE HEREON REGARDING
EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS
OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS.

10. CERTIFIED TO:

CHRISTOPHER AND VICTORIA UMSTEAD
FIRST FEDERAL SAVINGS BANK OF FLORIDA
TERRY MCDAVID, ATTORNEY AT LAW
ATTORNEY'S TITLE INSURANCE FUND, INC.
FIRST AMERICAN TITLE INSURANCE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

SYMBOL LEGEND

- CONCRETE MONUMENT FOUND
- CONCRETE MONUMENT SET, LS 4708
- IRON PIN OR PIPE FOUND
- 5/8" IRON ROD SET, LS 4708
- WIRE FENCE
- ELECTRIC UTILITY LINE (OVERHEAD)
- UNDERGROUND ELECTRIC SERVICE
- CABLE TV LINE (OVERHEAD)
- CHAIN LINK FENCE
- WOODEN FENCE
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE
- LAND SURVEYOR
- LICENSED BUSINESS
- OFFICIAL RECORD BOOK
- PRM PERMANENT REFERENCE MONUMENT
- PCP PERMANENT CONTROL POINT
- UTILITY POLE
- R/W RIGHT-OF-WAY
- NO IDENTIFICATION
- FLA. DEPT. OF TRANSPORTATION
- CENTERLINE
- CONCRETE MONUMENT
- IRON ROD
- IRON PIPE



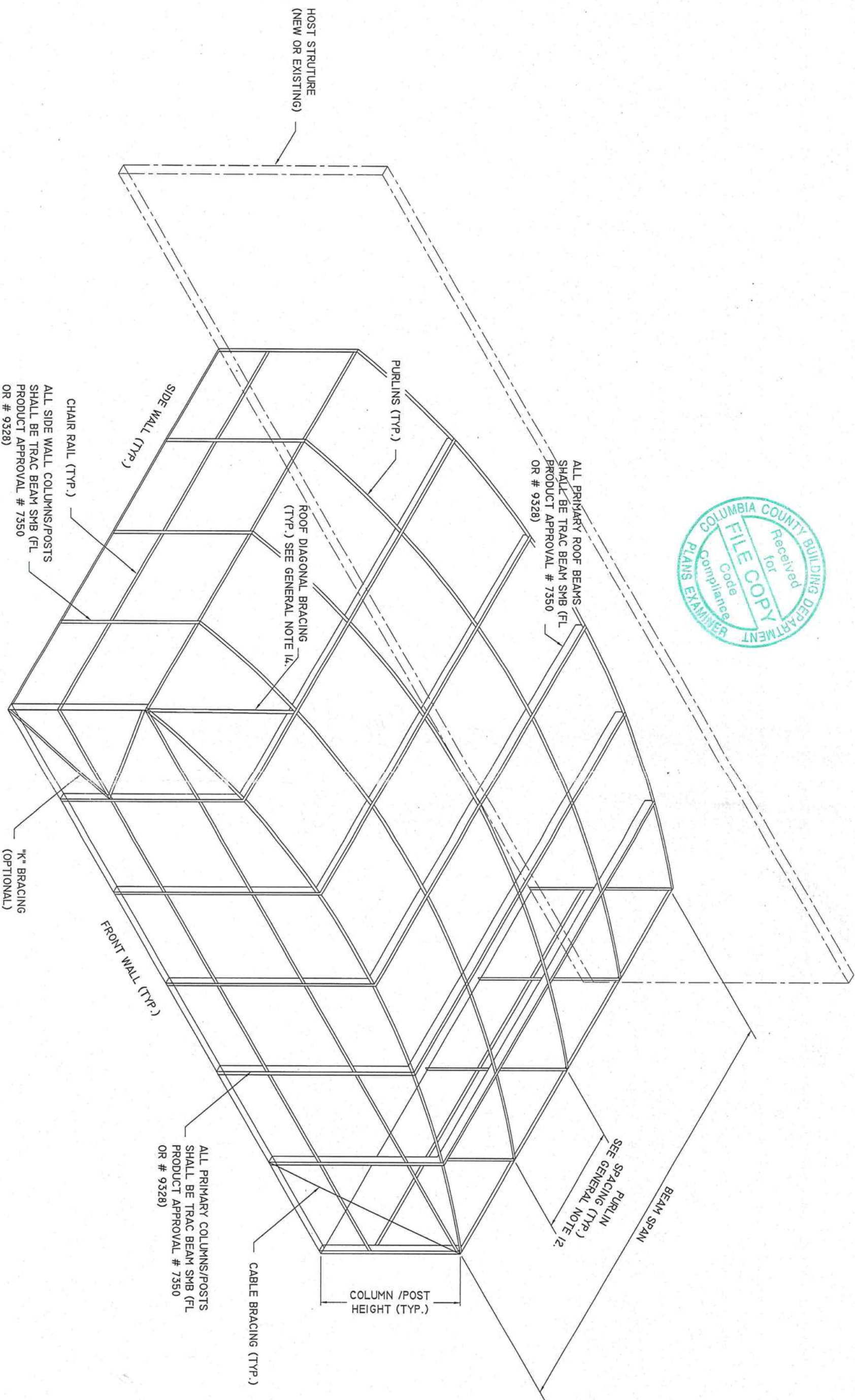
MARK D. DUREN, P.S.M.
LS 4708

1604 SW SISTERS WELCOME ROAD
LAKE CITY, FLA. 32025
(386) 758-9831 OFFICE
(386) 758-8010 FAX

FIELD SURVEY DATE JULY 20, 2005
DATE DRAWN JULY 21, 2005
FOR UMSTEAD

FIELD BOOK 155 PAGE 60
DRAWN BY M. DUREN/S. COONER
WO# 05-603

SIGNED:
MARK D. DUREN, LS 4708



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
6/05 2/08	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

4.3.10

Drawing No. - 060905

SHEET 1 OF 7

3300 Henderson Blvd., Suite 106

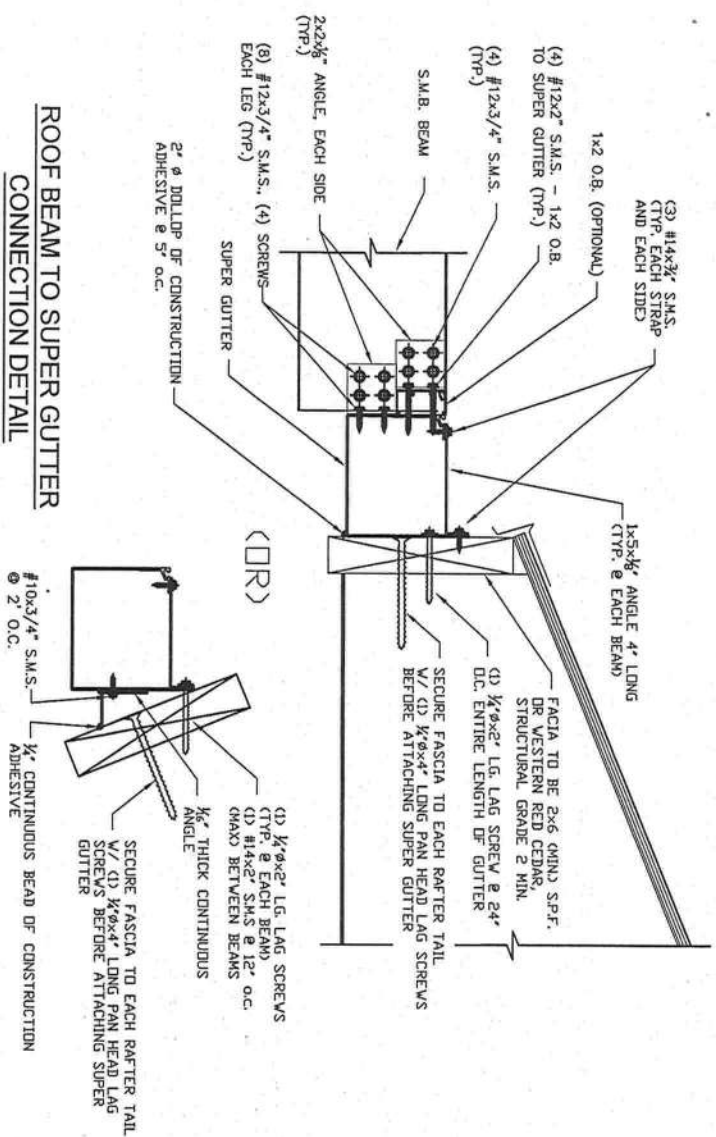
Rev./Date	Description
6/05 2008	ISSUED
▽	
▽	
▽	
▽	
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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

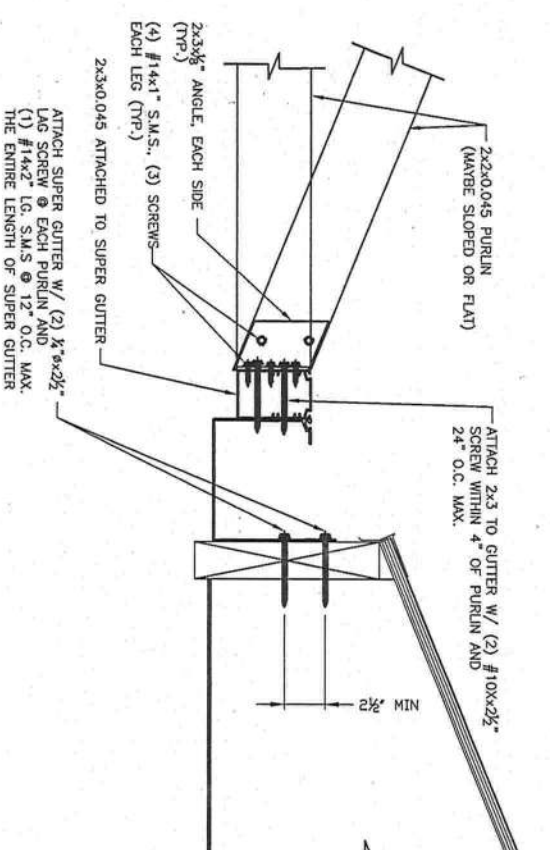
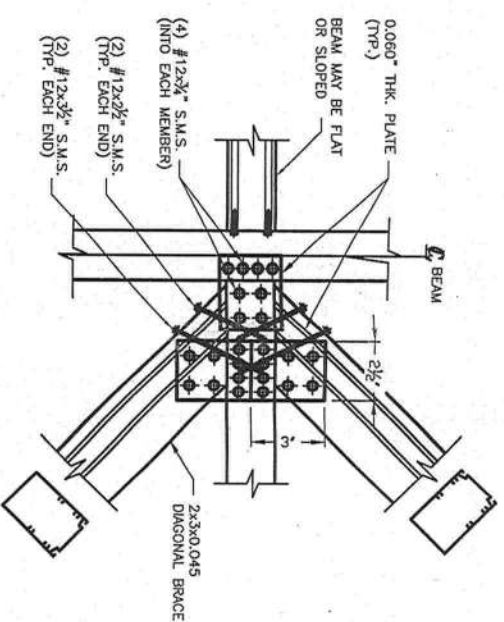
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33664

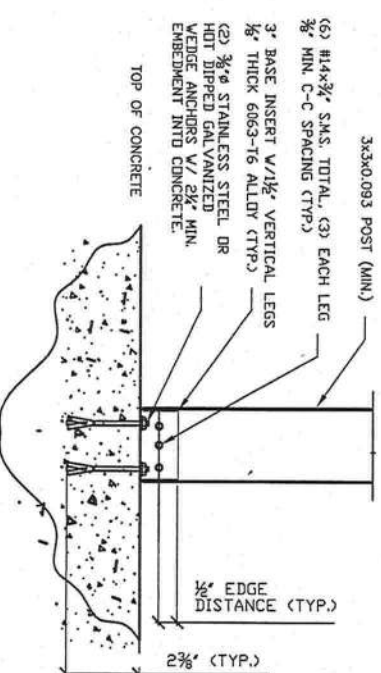
Drawing No. - 060905



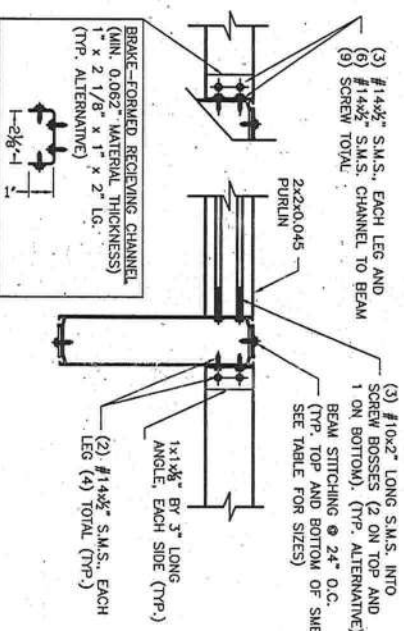
PLAN - TYPICAL ROOF
BRACE TO BEAM CONNECTION



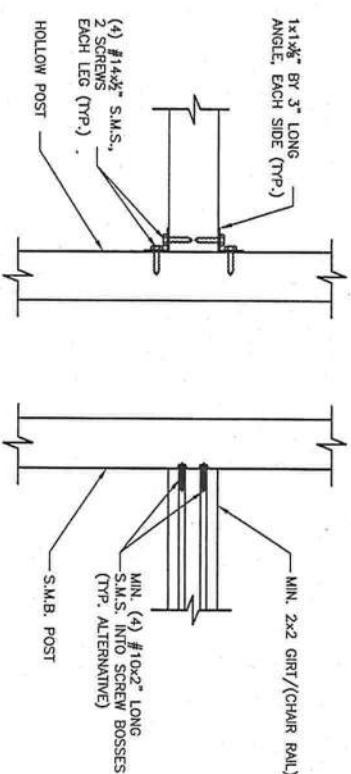
PURLIN TO SUPER GUTTER



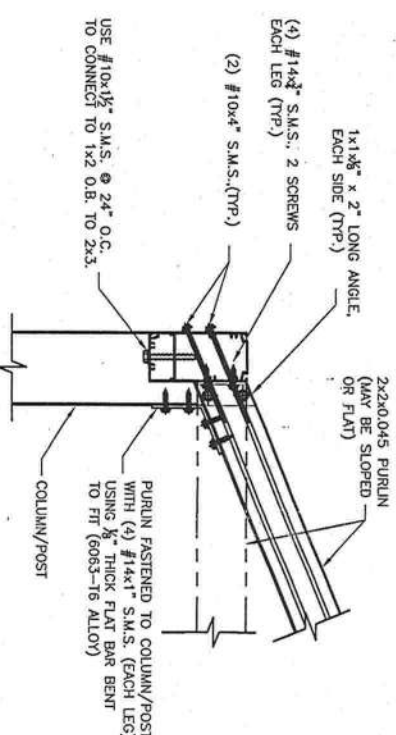
**SCREEN ROOF TO PANEL/ COMPOSITE
COLUMN TO FOUNDATION
CONNECTION DETAIL**



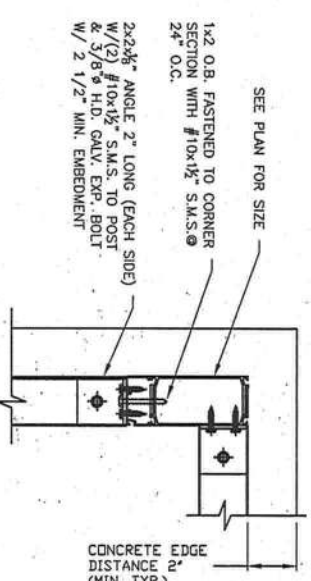
PURLIN TO ROOF BEAM CONNECTION DETAIL



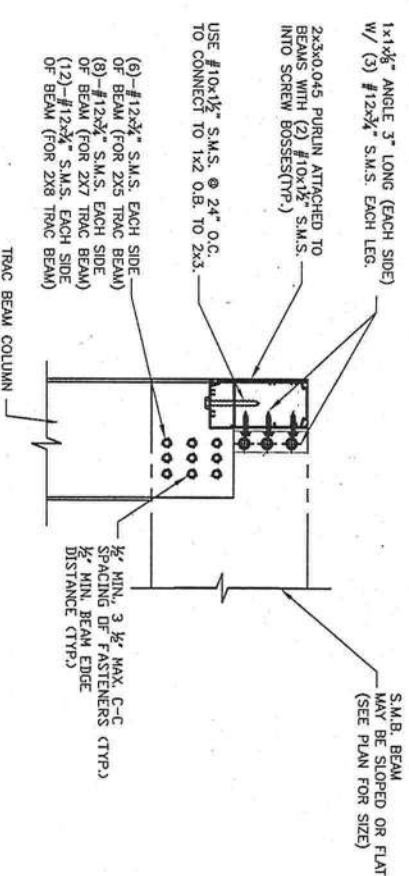
CHAIR RAIL / GIRT TO POST
CONNECTION DETAIL



SIDEWALL POST / COLUMN TO PURLIN CONNECTION DETAIL



**CORNER POST / COLUMN
TO FOUNDATION
CONNECTION DETAIL**



**MAIN POST / COLUMN TO ROOF BEAM
CONNECTION DETAIL**

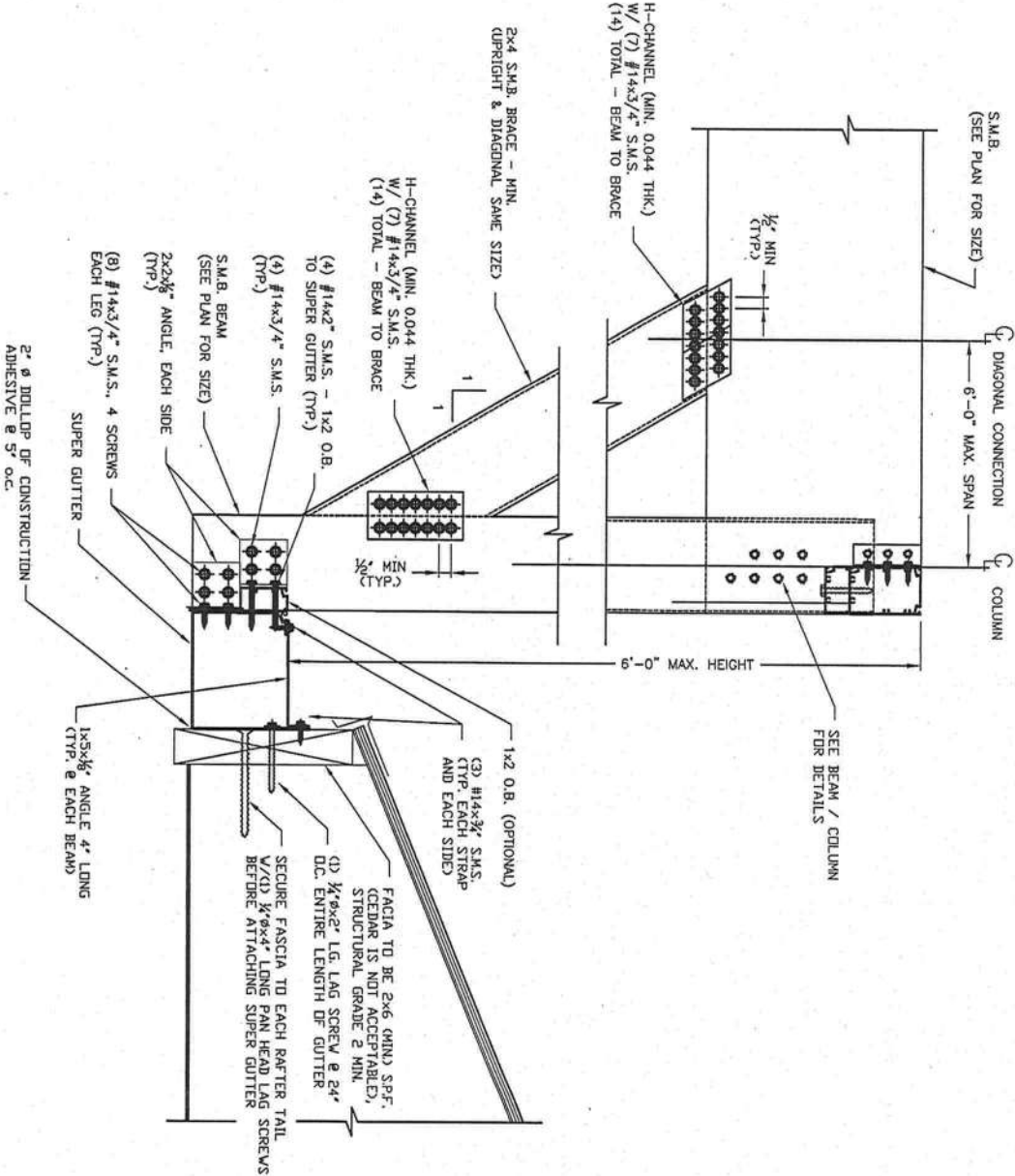
General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration. The licensed contractor shall be the delegated designer as allowed by FL Statues for design and construction of these structures covered in these sheets. DKA is solely responsible for the design of the details as shown on these drawings and the contractor shall be in responsible charge to design the structure as allowed by FL Statues.
- Concrete shall be minimum 28 day compressive strength of $f'c \geq 2500$ psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318.
- All dimensions are provided by contractor. DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.

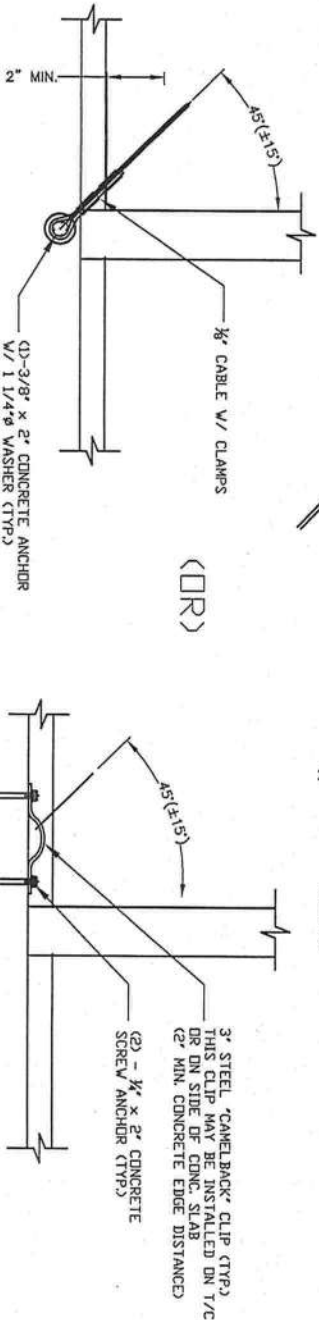
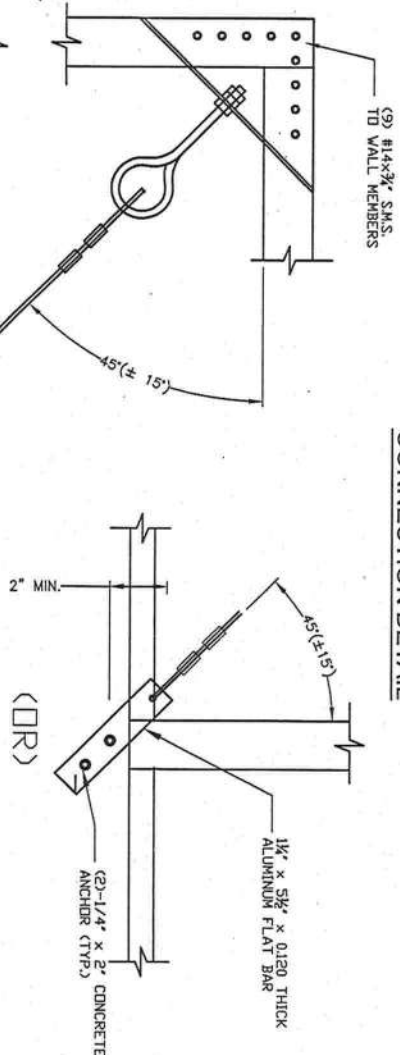
- Screen density shall be a maximum of 18 x 14 x 0.013" mesh.
- Connections using screw bosses shall have minimum (4)-#10x2" per connection unless shown otherwise.
- Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{5}{8}"$	$\frac{1}{2}"$
#12	0.219	$\frac{3}{4}"$	$\frac{3}{4}"$
#14 (1 1/4")	0.250	$\frac{1}{2}"$	$\frac{3}{4}"$

- Structure has been designed to meet the 2007 FBC w/ 2009 Supplement. Project is sited with basic wind speed up to 120 mph (3-sec gust). I=0.77 for screen enclosures. Exposure C. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, Gf_p , of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Construction adhesive shall meet ASTM C-557, MIN shear strength @ 7 days = 425 P.S.I.
- Diagonal bracing shall be installed on 50% of roof screen panels that have at least one side adjacent to an exterior screen wall.
- When knee braces are utilized at uprights and beams, beam spans shown in Tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided on the front screen wall for each 500 sf of screened wall area that the wind load is being applied to the side wall orthogonal to the front wall.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights. 2x2 and 1x2 aluminum components shall have nominal wall thickness of 0.044". Structural super gutter shall be min. 0.065" for spans 25' or less and 0.096" wall thickness for spans greater than 30'.
- All Aluminum members shall be 6005-T5 Alloy or stronger unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



NON-CABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



CABLE BRACE DETAIL

MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH				
	10'	15'	20'	25'	30'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'	13.5'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'	16.6'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'	26.8'

Design wind speed up to 120 mph. Exposure B. Reduce spans by 8% for Exposure C.

Beam Splicing Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam Splicing Screw @ 24" o.c.	Beam Splicing Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"	#8 x 1/2"
2" x 5" x 0.050 x 0.116	#8 x 1/2"	#8 x 1/2"
2" x 6" x 0.050 x 0.120	#10 x 3/4"	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"	#12 x 3/4"
2" x 9" x 0.072 x 0.224	#12 x 3/4"	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"	#14 x 3/4"

DO KIM & ASSOCIATES, LLC

CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
605 2008	ISSUED

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CLIENT: Florida Pool Enclosures, INC

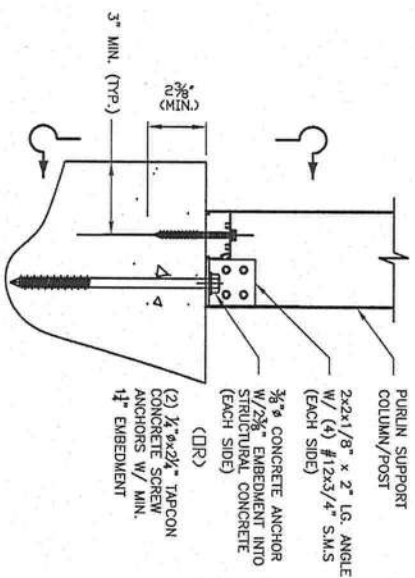
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/08

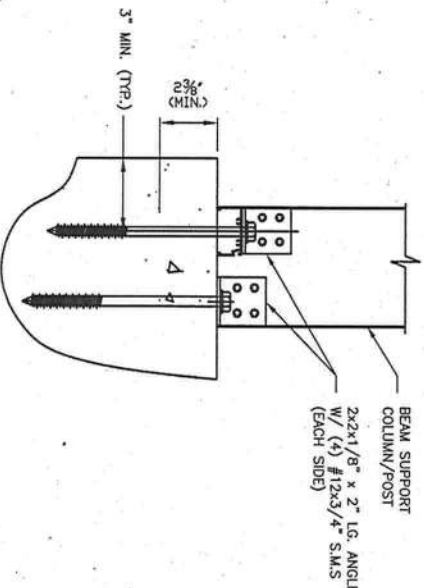
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

4/1/3/10

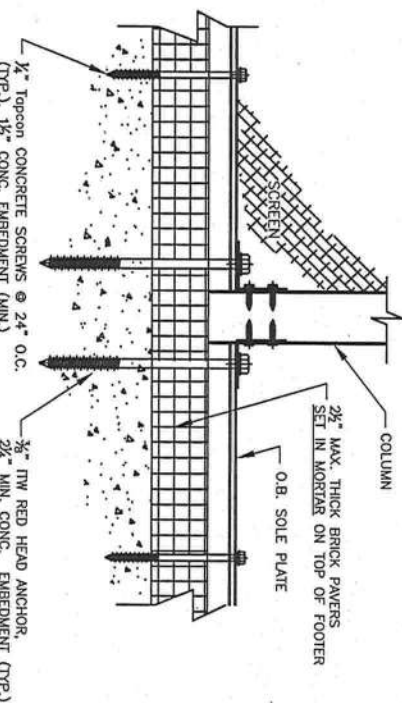
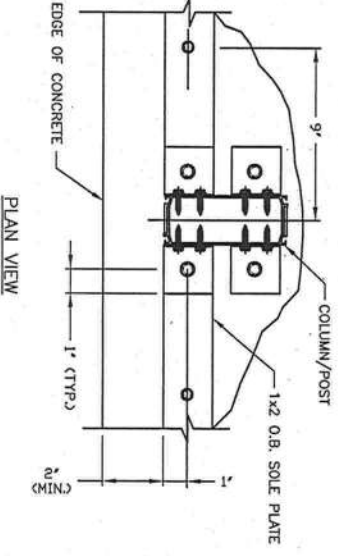
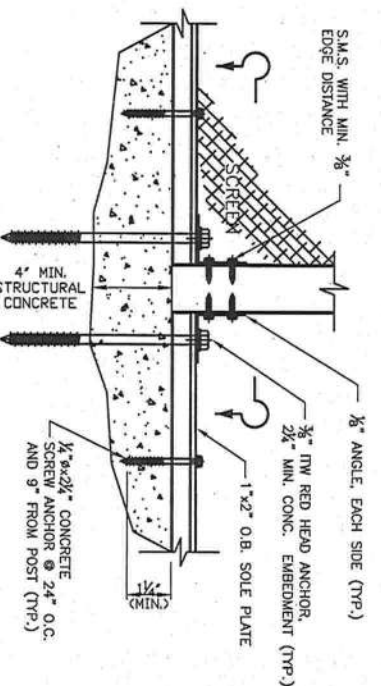
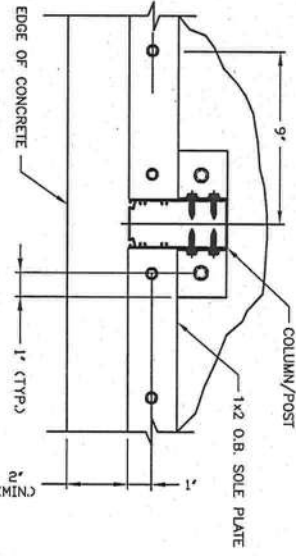
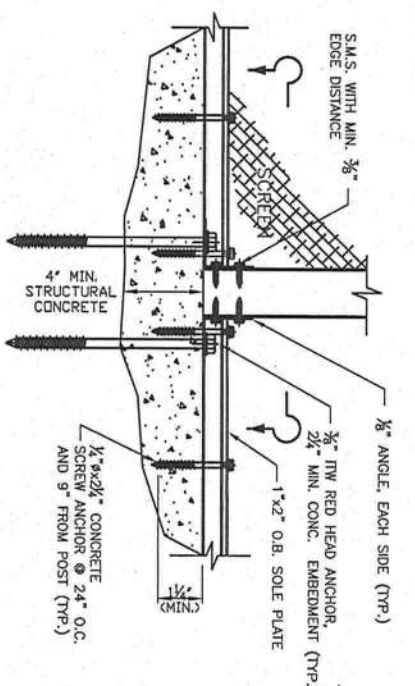
Drawing No. - 060905



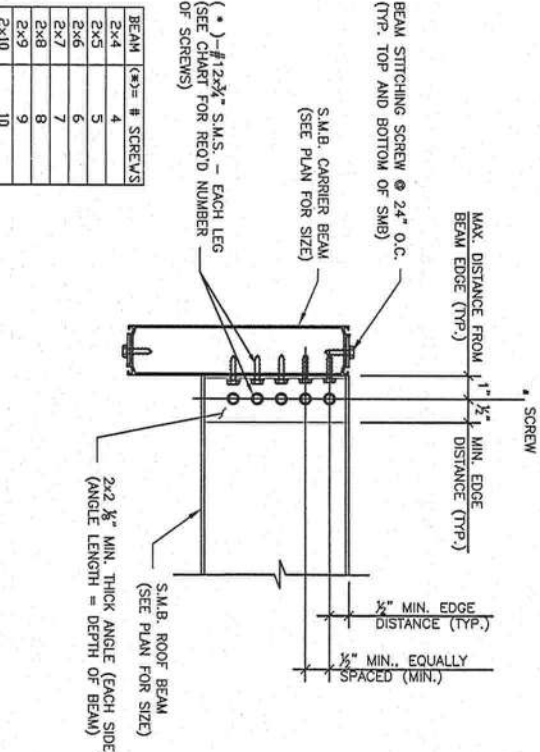
SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL



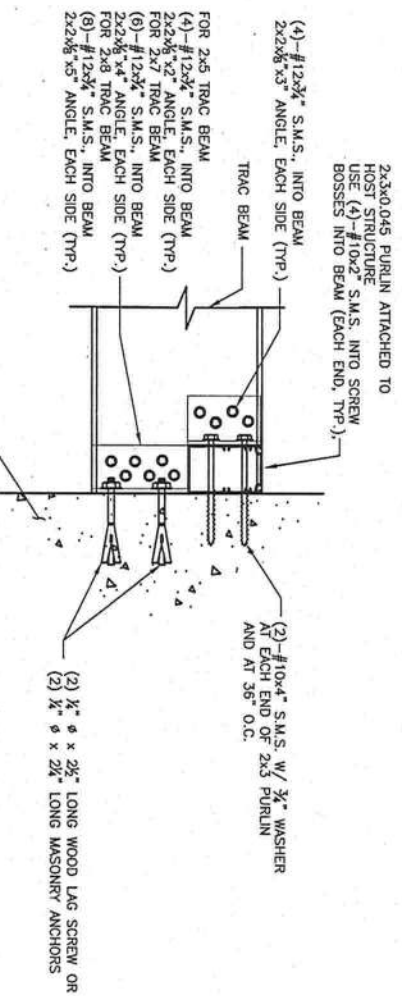
MAIN COLUMN TO FOUNDATION CONNECTION DETAIL



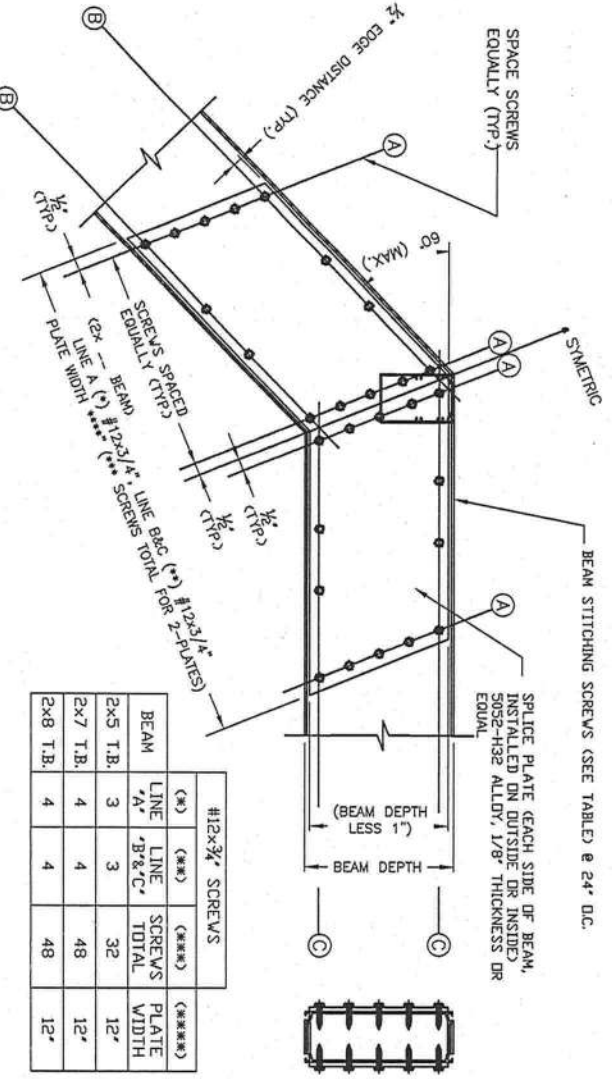
TYPICAL FRONT VIEW OF POST TO FOUNDATION CONNECTION WITH PAVERS



CARRIER BEAM TO BEAM CONNECTION DETAIL



BEAM TO HOST STRUCTURE DETAIL



MANSARD ROOF BEAM CONNECTION DETAIL

BEAM (x) = # SCREWS
2x4
2x5
2x6
2x7
2x8
2x9
2x10

BEAM	LINE	LINE	SCREWS	PLATE
2x5 T.B.	3	3	32	12"
2x7 T.B.	4	4	48	12"
2x8 T.B.	4	4	48	12"

DO KIM & ASSOCIATES, LLC
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2008	

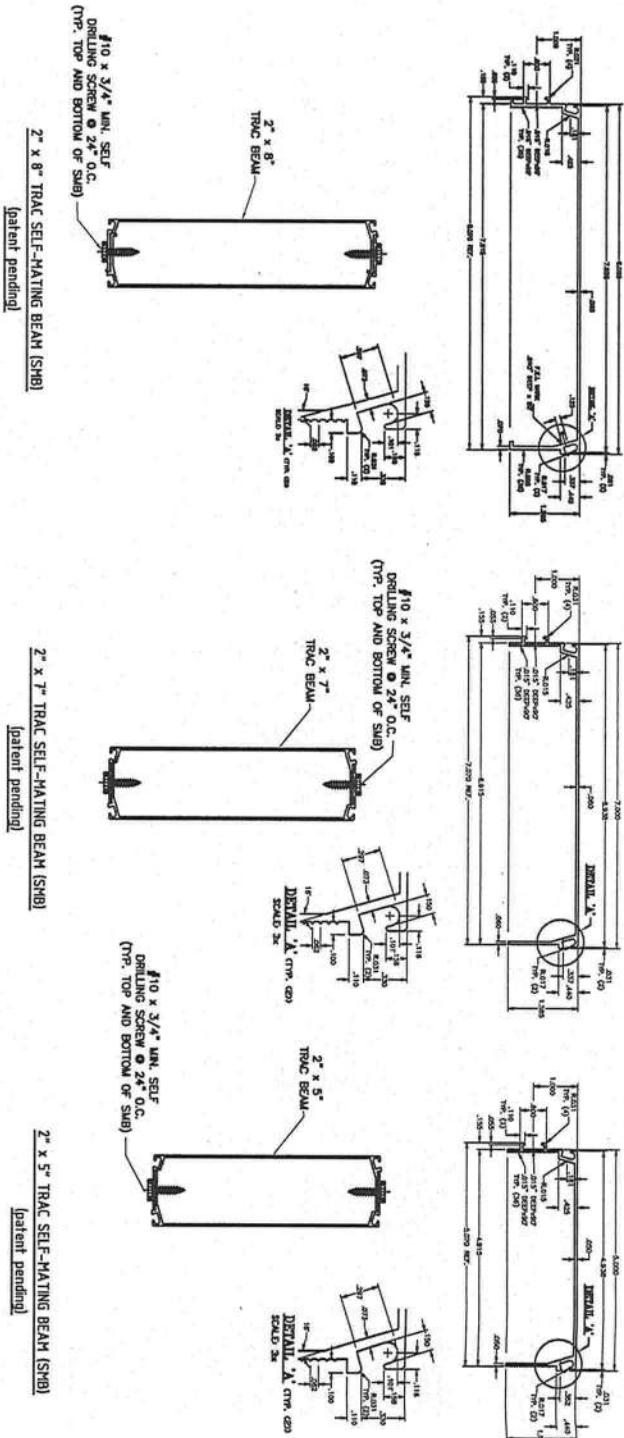
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION: Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
3300 HENDERSON BLVD., SUITE 106
Tampa, FL 33684

Drawing No. - 060905

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
2. Drawings are illustrative purposes only.
3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduce 7% for each five feet increment. Then reduce spans by 10% for Exposure C.
4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
5. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
6. Wind loads are based on Chapter 20 and Table 2004.4.
7. Maximum allowable deflections limits of L/60 shall be considered by design professional. L/80 in HVHZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

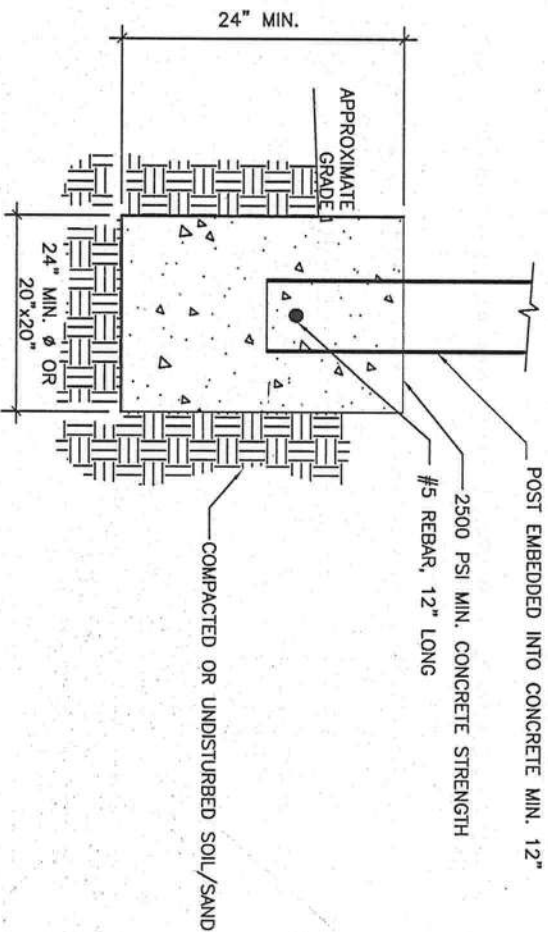
3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
6/05 2008	ISSUED

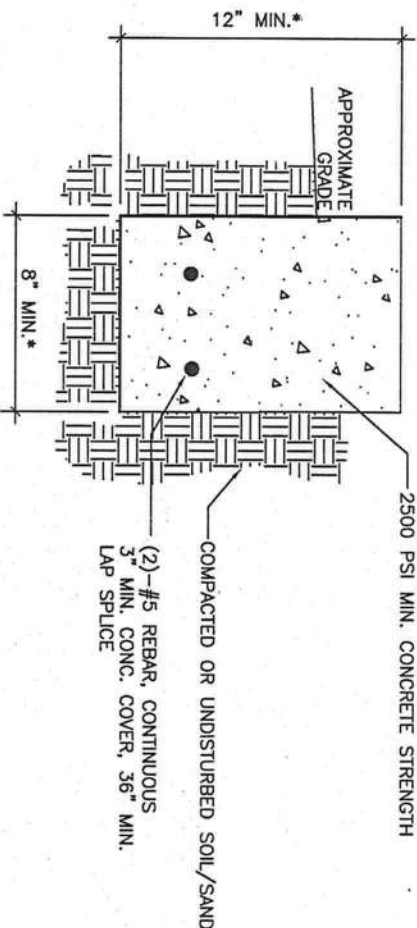
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

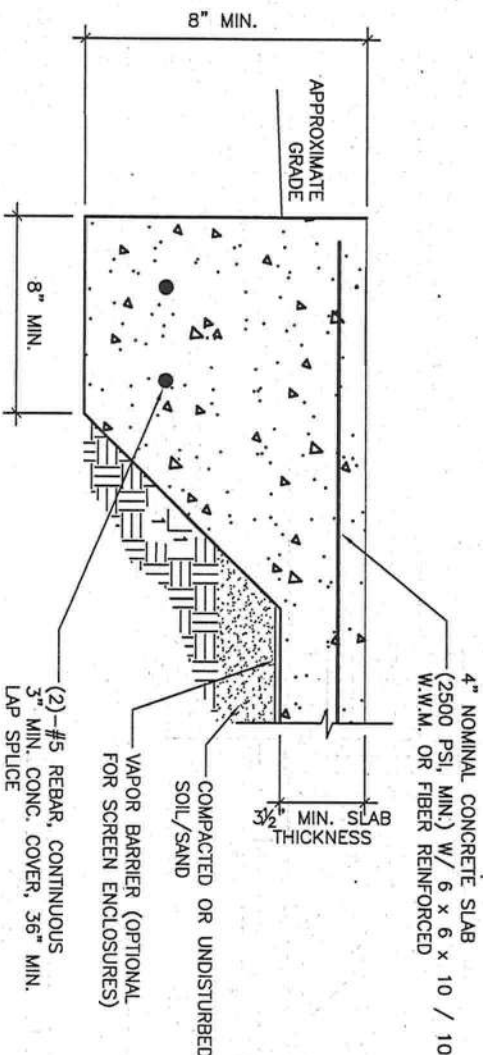
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



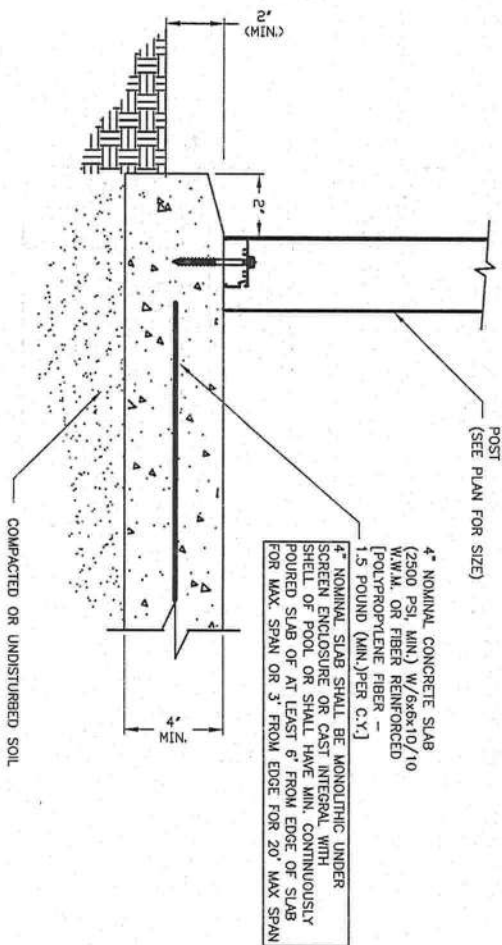
STANDARD TYP. ISOLATED FOOTER



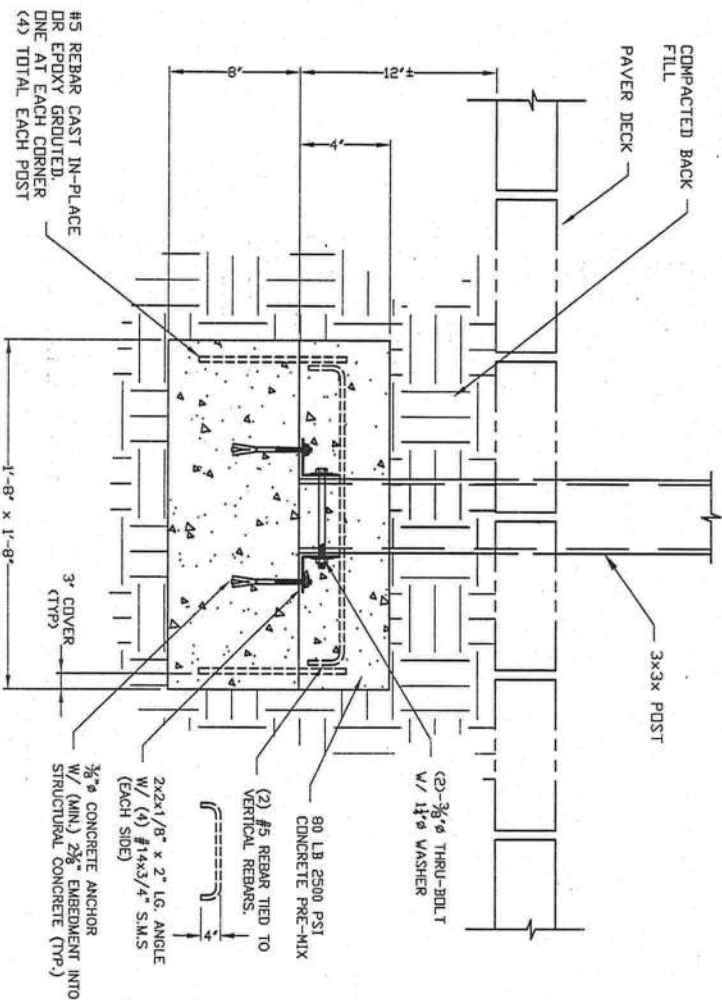
STANDARD TYP. CONTINUOUS PERIMETER FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



POST FOR CARRIER BEAM TO
BURIED FOOTING
CONNECTION DETAIL

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

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Tampa, FL 33609
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Fax: (813) 874-5959

Rev./Date	Description
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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

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FLA. REG. NUMBER 49497
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604# 28937
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

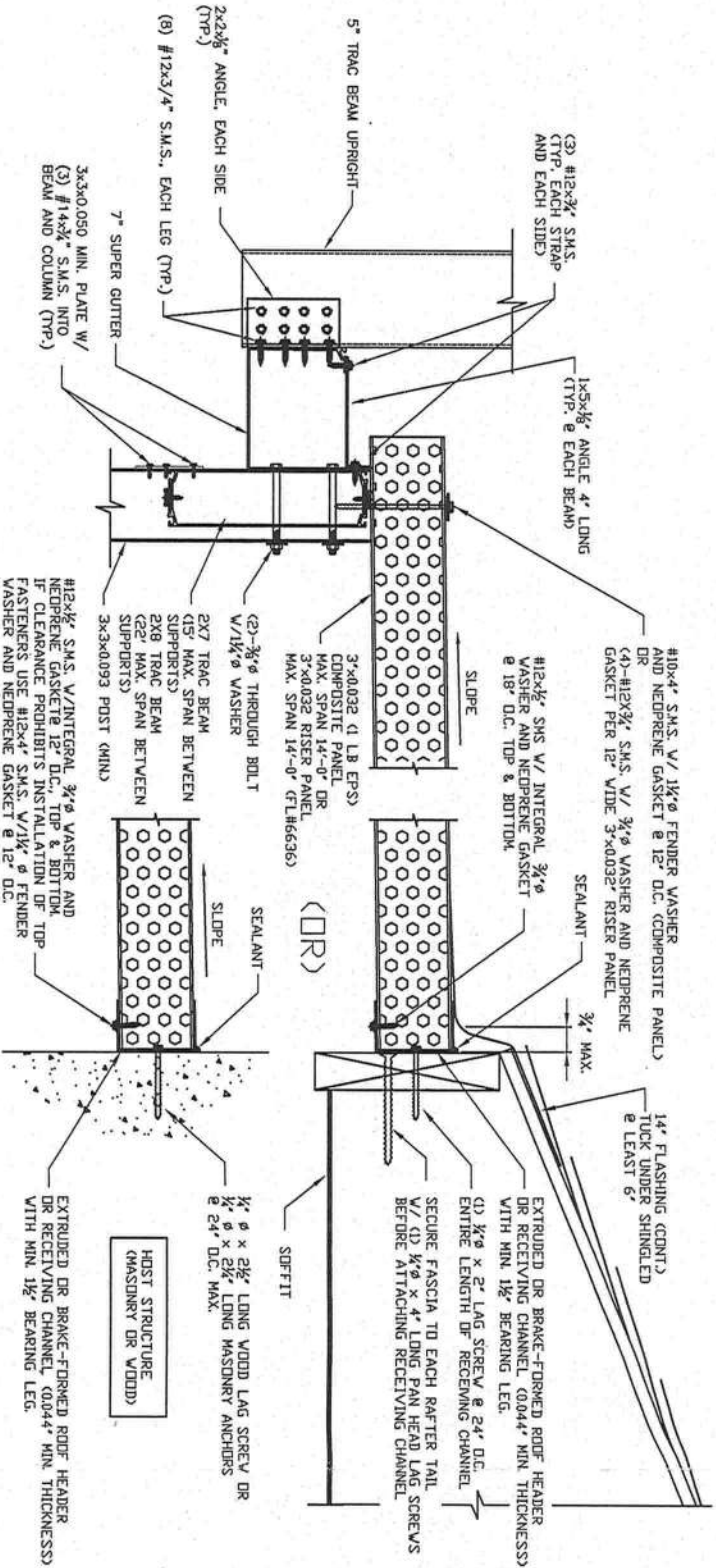
Drawing No. - 060905

Rev./Date	Description
605 2008	ISSUED

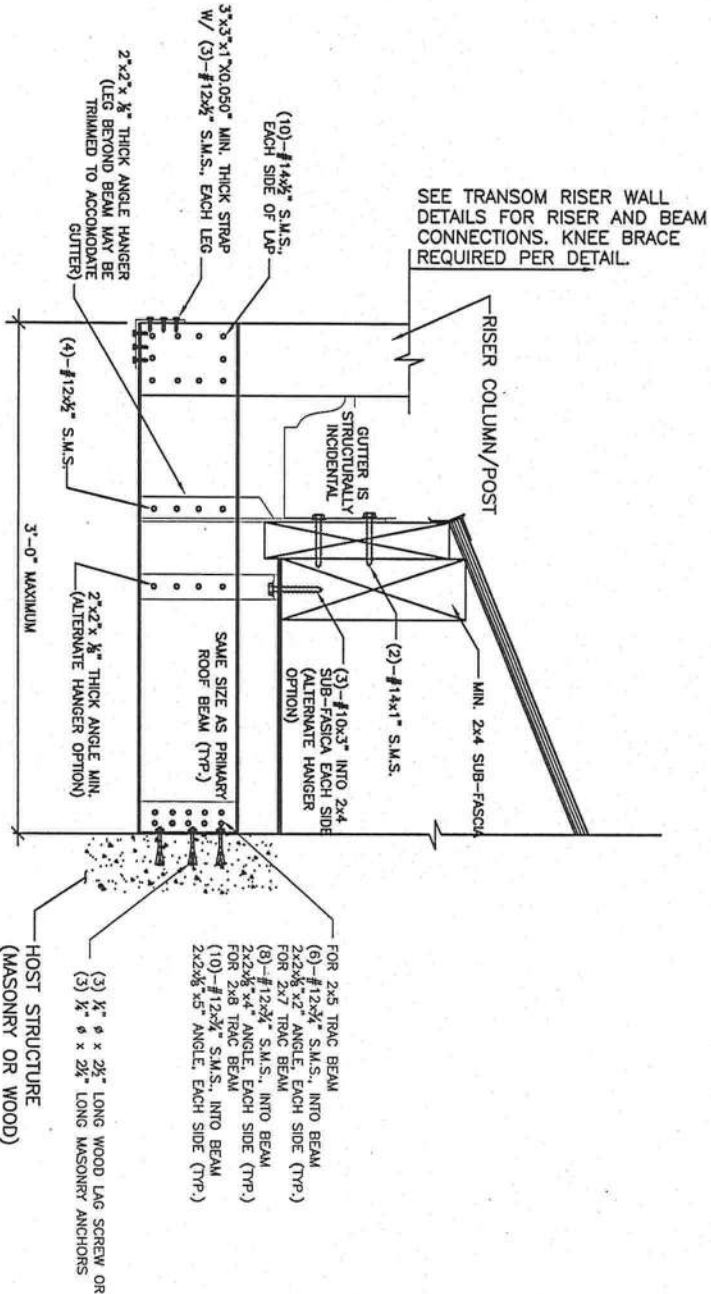
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

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DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

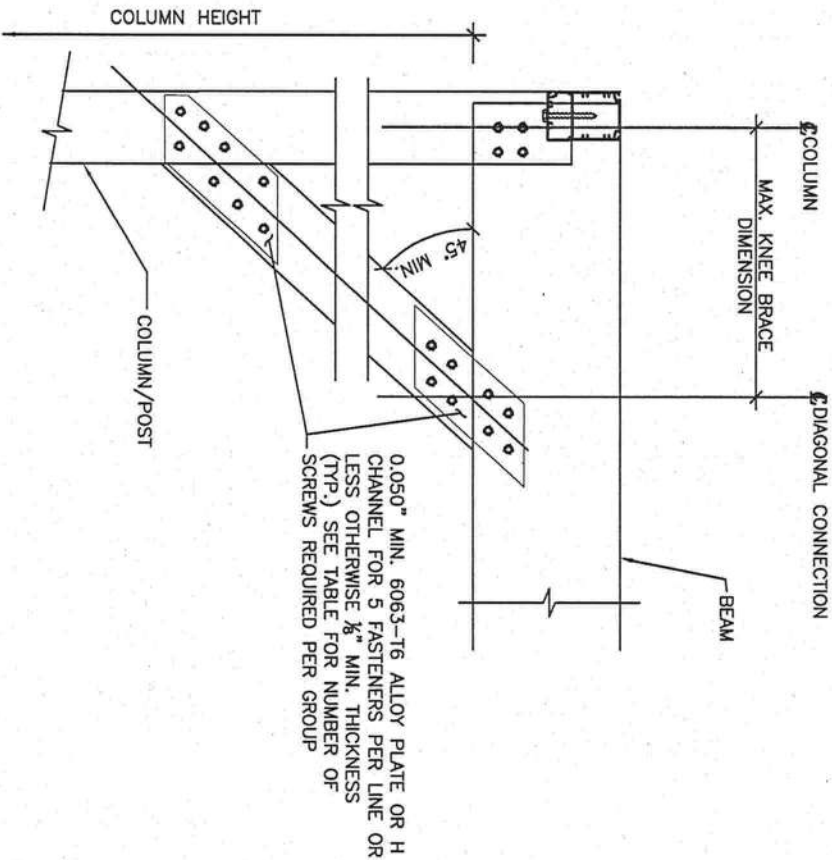


SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



CANTILEVER TRANSOM (RISER) TO HOST WALL

TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL



KNEE BRACE SECTION	MAX. LENGTH	#10x2\" S.M.S.
2\"x2\"x0.044\" HOLLOW	36 INCHES	3
2\"x3\"x0.045\" HOLLOW	44 INCHES	4
2\"x4\"x0.050 HOLLOW	50 INCHES	5
2\"x4\"x0.046x0.100 SMB	62 INCHES	6

