

DATE 09/28/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000028106

APPLICANT NADEAN MCINTOSH PHONE 386.754.8678
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055
OWNER AMY ABBOTT PHONE 386.752.0720
ADDRESS 236 SW DAYTIME DRIVE LAKE CITY FL 32024
CONTRACTOR MICHAEL DELAHOZ PHONE 386.754.8678
LOCATION OF PROPERTY 90W, TL ON 247S, TL ON CR 242, TR RALPH TERR.,TR ON
DAYTIME DRIVE, 1ST HOUSE ON LEFT
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 7743.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 28-4S-16-03220-000 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 10.00

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X-09-294 CSB WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 3858 ✓

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Insulation
date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
date/app. by date/app. by date/app. by
Reconnection RV Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 40.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 40.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0909-39 Date Received 9/24/09 By G Permit # 28106
 Zoning Official 220 Date 9/25/09 Flood Zone N/A Land Use A-3 Zoning A-3
 FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner W Date 9/25/09
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL _____

Septic Permit No. X09-294 in box Fax 386-755-1751
 Name Authorized Person Signing Permit Robert or Madean Mcintosh Phone 386-754-8678
 Address 289 NW Corinth Dr Lake City, FL 32055
 Owners Name Abbott, Amy Phone 752-0720
 911 Address 236 SW Daytime Dr Lake City, FL 32024
 Contractors Name Michael A Delahoy Phone 386-754-8678
 Address 927 Hickory St Altamonte Springs, FL 32701
 Fee Simple Owner Name & Address N/A
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address Do Kim 2300 Henderson Blvd Tampa, FL 33684
 Mortgage Lenders Name & Address N/A
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
 Property ID Number 28-45-16-03220-000 HK Estimated Cost of Construction 7743
 Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions Dr on Brandford Hwy then L. onto Hwy 242, R. onto Ralph Terrace, R. onto Daytime Dr, House the only one on L.
 Number of Existing Dwellings on Property 1
 Construction of Pool Enclosure Total Acreage 10 Lot Size _____
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____
 Actual Distance of Structure from Property Lines - Front 55' Side 140' Side 619.6' Rear 70.8'
 Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Inst: 200912016004 Date: 9/24/2009 Time: 9:40 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1181 P: 653

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 28-49-116-03220-000 HV

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): NW 1/4 of NE 1/4 of SW 1/4 ORB 498-641, 819-406
a) Street (job) Address: 236 SW Daytime Dr. Lake City, FL 32024

2. General description of improvements: Pool Enclosure

3. Owner Information

a) Name and address: Abbott Amy L 236 SW Daytime Dr LC
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: owner

4. Contractor Information

a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City FL
b) Telephone No.: 386-754-8678 Fax No. (Opt.): 32055

5. Surety Information

a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):

6. Lender

a) Name and address: N/A
b) Phone No.:

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: N/A
b) Telephone No.: Fax No. (Opt.):

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:

a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr
b) Telephone No.: Lake City FL Fax No. (Opt.): 32055

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

Amy L Abbott
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 5th day of Aug, 2009, by:
_____, as _____ (type of authority, e.g. officer, trustee, attorney
fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ Type Photo

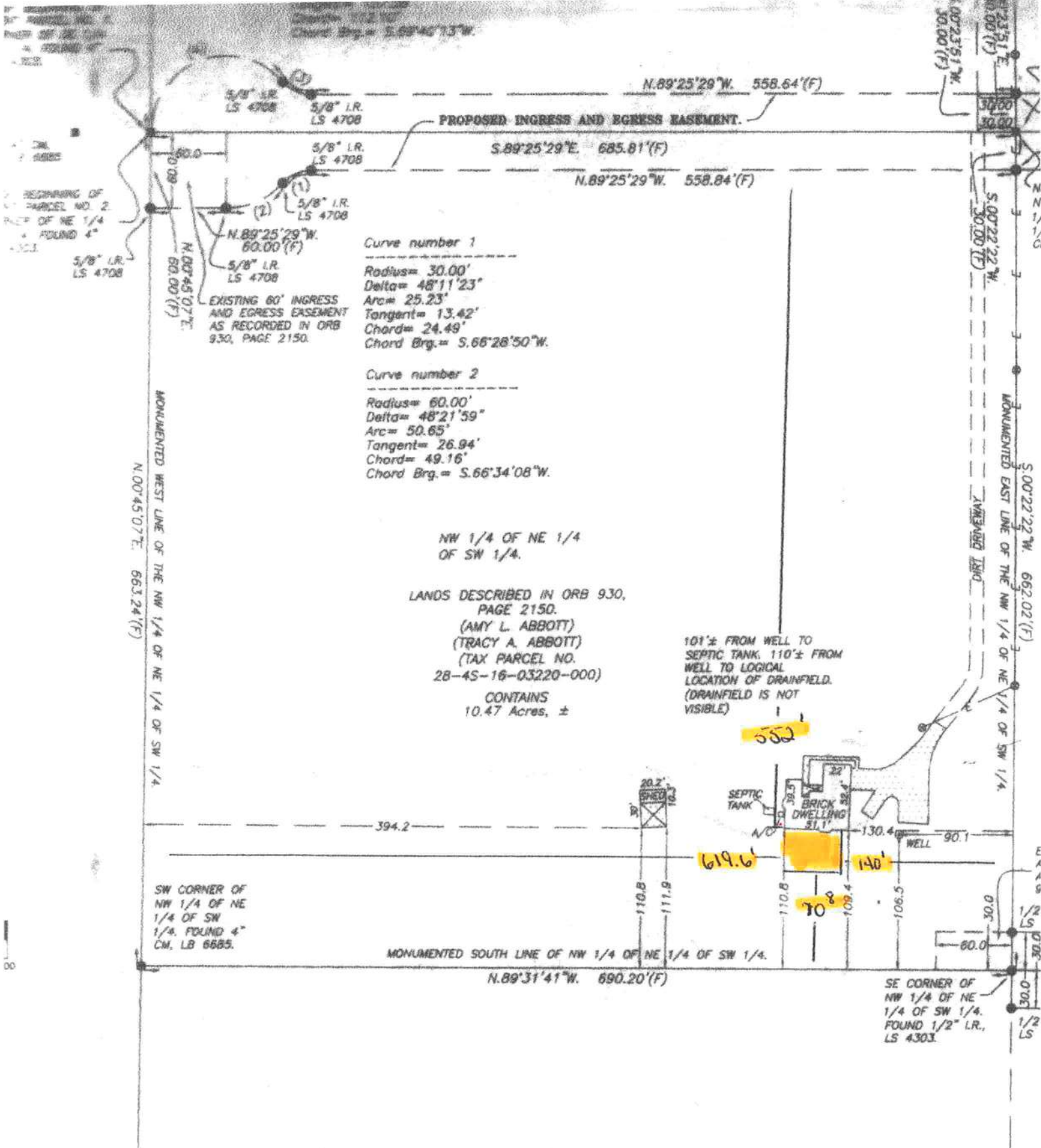
Notary Signature: Nadean G. McIntosh Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF PREVIOUS SURVEYS BY OTHERS IN SECTION 28.
2. BEARINGS BASED ON AN ASSUMED BEARING OF N.00°45'07"E. USING MONUMENTS ON THE WEST LINE OF THE NW 1/4 OF NE 1/4 OF SW 1/4 OF SECTION 28.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED FEBRUARY 4, 2009, COMMUNITY PANEL NO. 12023C0380C.
4. NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT IN RECORDS IN THE POSSESSION OF THIS OFFICE.
5. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.

SE CORNER OF
WEST 1/2 OF
SE 1/4 OF NW
1/4. FOUND 4"
CM. NO ID.

5/8" I.R.
LS 4708

5/8" I.R.
LS 4708

NE CORNER OF
NW 1/4 OF NE
1/4 OF SW
1/4. FOUND 4"
CM. NO ID.

DESCRIPTION: (AS PER ORB 930, PAGE 2150)
SECTION 28 TOWNSHIP 4 SOUTH - RANGE 16 EAST
THE NW 1/4 OF THE NE 1/4 OF THE SW 1/4. COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH: A NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

A STRIP OF LAND 60 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS:
BEGIN AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD NO. C-242 AND THE EAST LINE OF THE NE 1/4 OF THE NW 1/4 OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA; AND RUN THENCE S 01°03'54" E ALONG THE EAST LINE OF SAID NE 1/4 OF NW 1/4, A DISTANCE OF 1273.94 FEET; THENCE RUN S 01°02'52" E ALONG THE EAST LINE OF THE SE 1/4 OF NW 1/4 OF SAID SECTION 28, A DISTANCE OF 1332.37 FEET; THENCE S 01°05'35" E ALONG THE EAST LINE OF THE NE 1/4 OF NE 1/4 OF SW 1/4 OF SAID SECTION 28, A DISTANCE OF 660.90 FEET; THENCE S 89°24'25" W ALONG THE NORTH LINE OF THE S 1/2 OF NE 1/4 OF SW 1/4 OF SAID SECTION 28, A DISTANCE OF 720.15 FEET TO A POINT DESIGNATED AS REFERENCE POINT "A" AND THE POINT OF TERMINATION OF SAID CENTERLINE.

TOGETHER WITH: A NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE EAST 45 FEET OF THE SE 1/4 OF SE 1/4; THE SOUTH 60 FEET OF THE SE 1/4; THE WEST 30 FEET OF THE NW 1/4 OF THE SE 1/4; THE EAST 30 FEET AND THE SOUTH 30 FEET OF THE NE 1/4 OF THE NE 1/4 OF THE SW 1/4; THE NORTH 30 FEET OF THE SE 1/4 OF THE NE 1/4 OF THE SW 1/4; AND THE SOUTH 30 FEET OF THE EAST 60 FEET OF THE NW 1/4 OF THE NE 1/4 OF THE SW 1/4.

GRANTOR RESERVES A NON-EXCLUSIVE PERPETUAL EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE SOUTH 30 FEET OF THE EAST 60 FEET AND THE NORTH 60 FEET OF THE WEST 60 FEET.

ALSO SUBJECT TO THE FOLLOWING DESCRIBED PROPOSED EASEMENT FOR INGRESS AND EGRESS:

PART OF THE NW 1/4 OF THE NE 1/4 OF THE SW 1/4 OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A CONCRETE MONUMENT, LS 4303, MARKING THE NW CORNER OF THE NE 1/4 OF THE SW 1/4 OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89°25'29"E., ALONG THE MONUMENTED NORTH LINE OF SAID NE 1/4 OF THE SW 1/4, A DISTANCE OF 665.81 FEET TO A CONCRETE MONUMENT MARKING THE NE CORNER OF THE NW 1/4 OF SAID NE 1/4 OF THE SW 1/4; THENCE S.00°22'22"W., ALONG THE MONUMENTED EAST LINE OF SAID NW 1/4 OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 30.00 FEET; THENCE N.89°25'29"W., PARALLEL TO THE AFOREMENTIONED NORTH LINE, 558.84 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTH AND HAVING A RADIUS OF 30.00 FEET AND A CENTRAL ANGLE OF 48°11'23" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.66°28'50"W. AND A CHORD LENGTH OF 24.49 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 25.23 FEET TO A POINT OF REVERSE CURVE WITH A CURVE CONCAVE TO THE NORTH AND HAVING A RADIUS OF 60.00 FEET AND A CENTRAL ANGLE OF 48°21'59" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.66°34'08"W. AND A CHORD LENGTH OF 49.16 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 50.65 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE N.89°25'29"W., PARALLEL TO THE AFOREMENTIONED NORTH LINE, 60.00 FEET TO A POINT ON THE MONUMENTED WEST LINE OF SAID NE 1/4 OF THE SW 1/4; THENCE N.00°45'07"E., ALONG SAID WEST LINE, 60.00 FEET TO THE POINT OF BEGINNING.
DESCRIBED PARCEL CONTAINS 0.54 ACRES, MORE OR LESS, AND IS A PORTION OF A PROPOSED ROAD EASEMENT CONNECTING THE SUBJECTED LANDS TO SW COUNTY ROAD NO. 242.

EXISTING 30' INGRESS
AND EGRESS EASEMENT
AS RECORDED IN ORB
930, PAGE 2150.

1/2" I.R.,
LS 4303.

EXISTING 60' INGRESS
AND EGRESS EASEMENT
AS RECORDED IN ORB
930, PAGE 2150.

1/2" I.R.,
LS 4303.

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

2009 Preliminary Values

Parcel: 28-4S-16-03220-000 HX

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 5

Next >>

Owner's Name	ABBOTT AMY L		
Site Address	DAYTIME		
Mailing Address	P O BOX 3501 LAKE CITY, FL 32056		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	028416.00	Tax District	3
UD Codes	MKTA01	Market Area	01
Total Land Area	10.000 ACRES		
Description	NW1/4 OF NE1/4 OF SW1/4. ORB 498-641, 819-406, 885-2550 THRU 2553, 930-2150, DIV 1167- 1962, SWD 1171-1667		

GIS Aerial

**Property & Assessment Values**

Mkt Land Value	cnt: (1)	\$55,404.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$180,951.00
XFOB Value	cnt: (3)	\$2,932.00
Total Appraised Value		\$239,287.00

Just Value	\$239,287.00
Class Value	\$0.00
Assessed Value	\$199,734.00
Exemptions	(code: HX) \$50,000.00
Total Taxable Value	County: \$149,734.00 City: \$149,734.00 Other: \$149,734.00 School: \$174,734.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/21/2009	1171/1667	WD	I	U	11	\$100.00
7/10/2001	930/2150	WD	V	Q		\$40,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2001	Above Avg. (10)	2508	3233	\$180,951.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0021	BARN,FR AE	1993	\$450.00	0000001.000	60 x 25 x 0	(000.00)
0190	FPLC PF	2001	\$1,600.00	0000001.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	2001	\$882.00	0000588.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	0000010.000 AC	1.00/1.00/1.00/1.00	\$5,540.40	\$55,404.00

Columbia County Property Appraiser

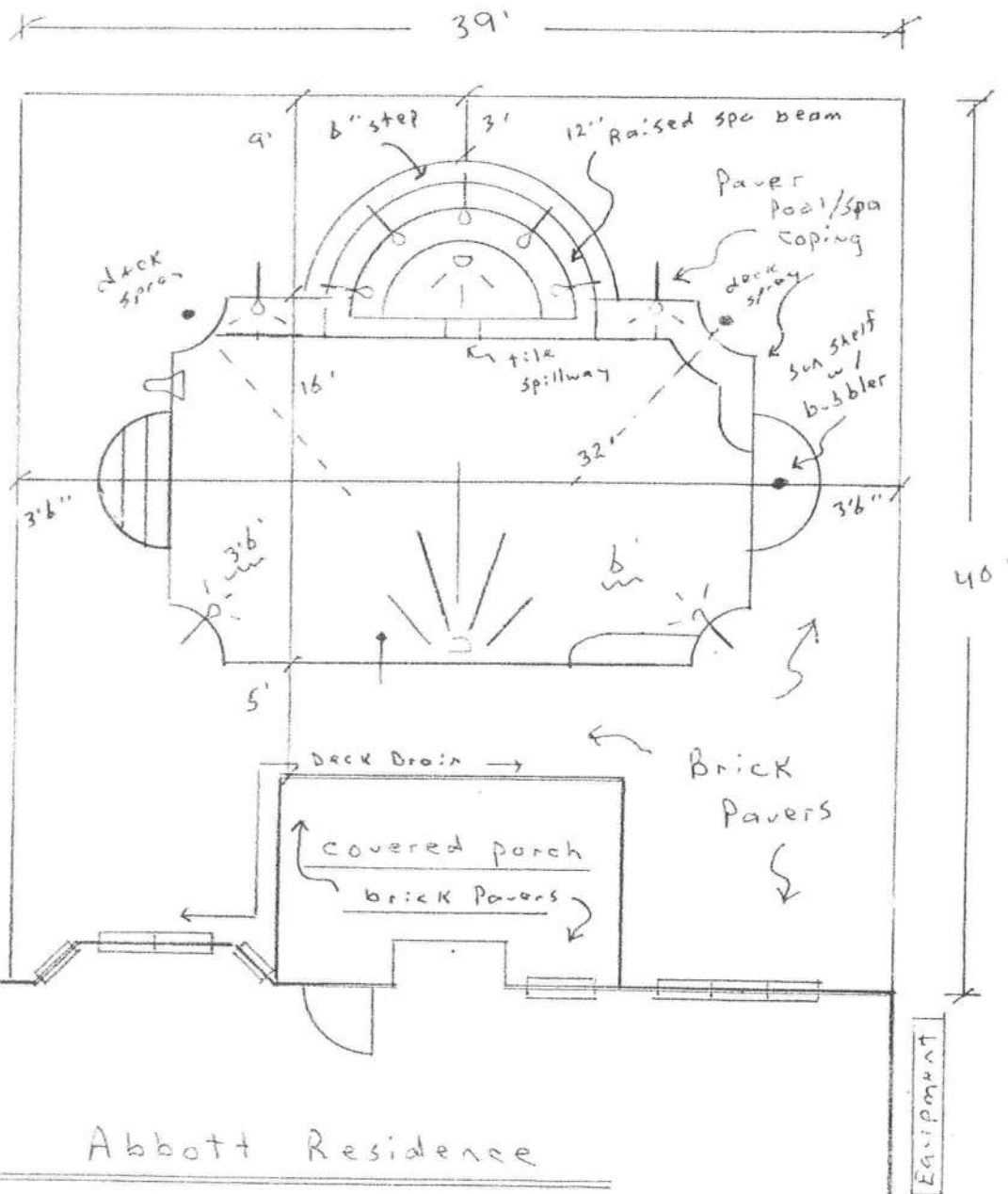
DB Last Updated: 7/22/2009

1 of 5

Next >>

July AT 9:00

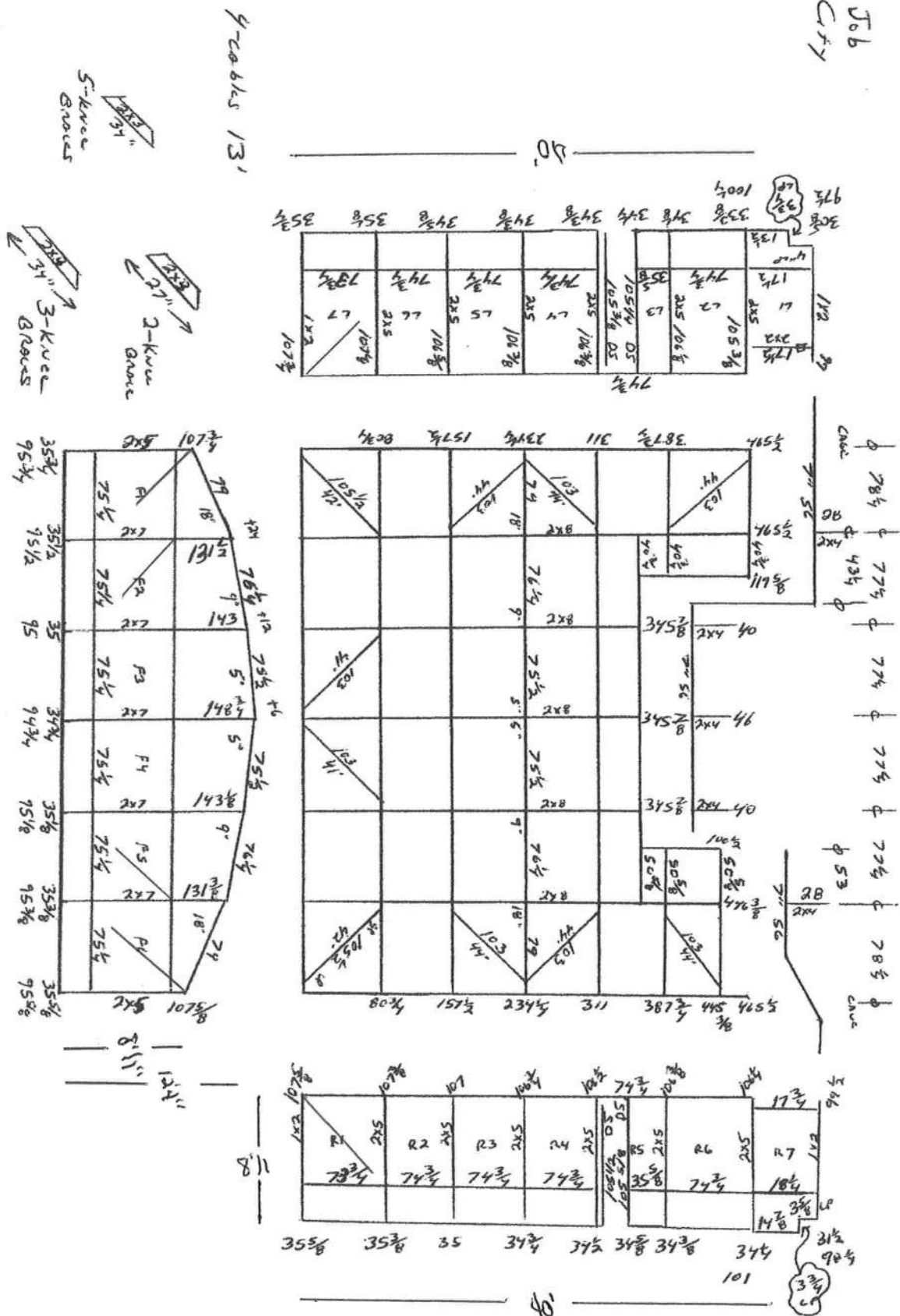
09-29



236 S.W. Daytime Drive - Lake City FL 32024

Note: All plan dimensions
are subject to field verification
and may differ from

Abbott Job
Lake City



Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

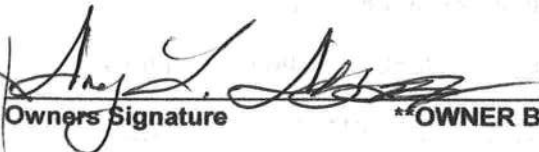
FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.


Owners Signature

(Owners Must Sign All Applications Before Permit Issuance.)

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permittee)

Contractor's License Number SCC056689
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 11th day of Sept 2009.

Personally known ☒ or Produced Identification _____


State of Florida Notary Signature (For the Contractor)

SEAL:



DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
605 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

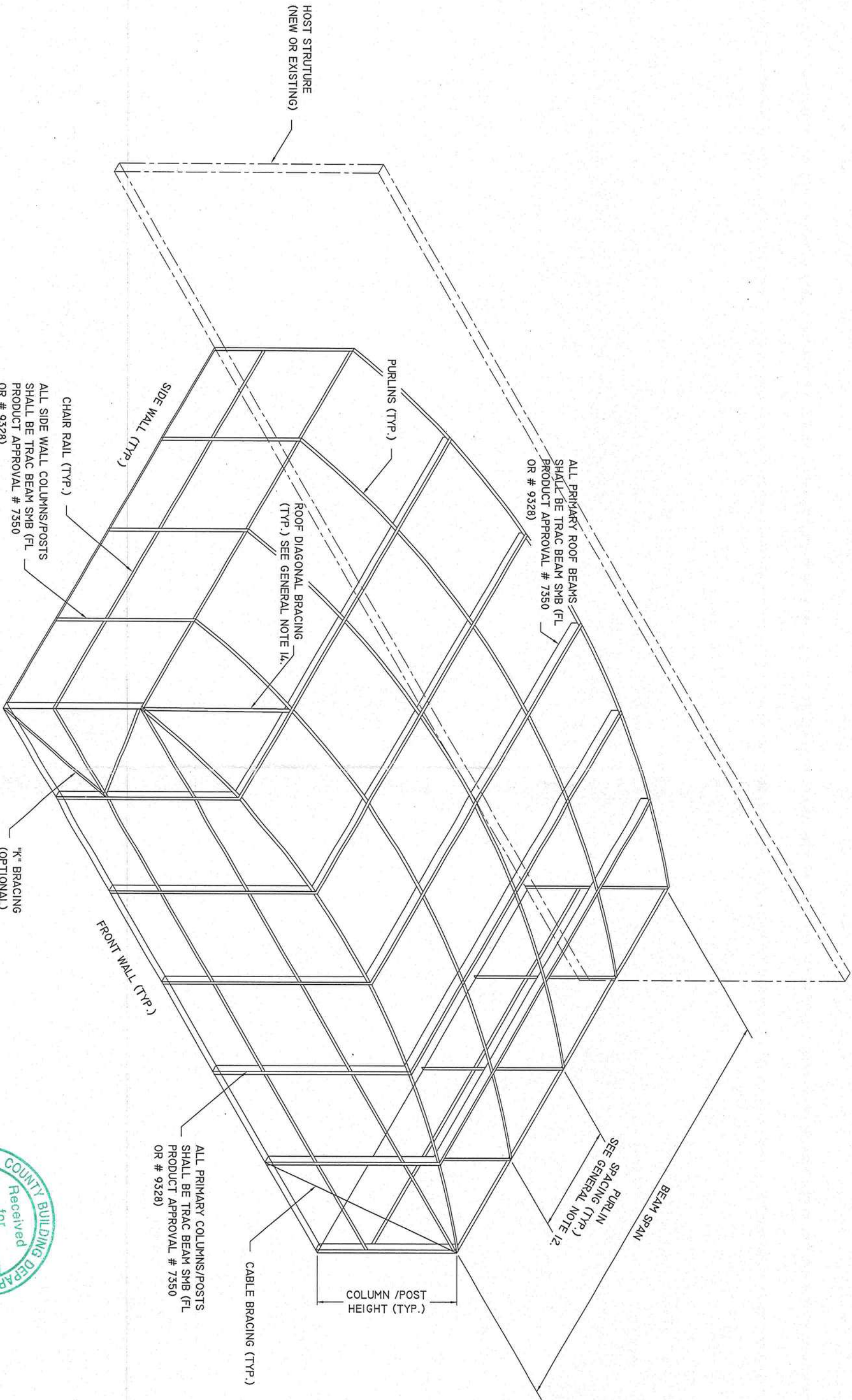
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
C/A# 28887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604

8.5.08

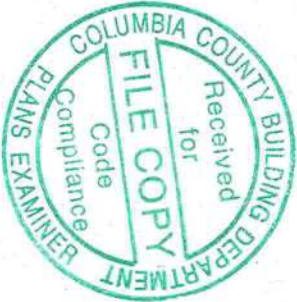
Drawing No. - 060905

SHEET 1 OF 7



TYPICAL DOME ROOF

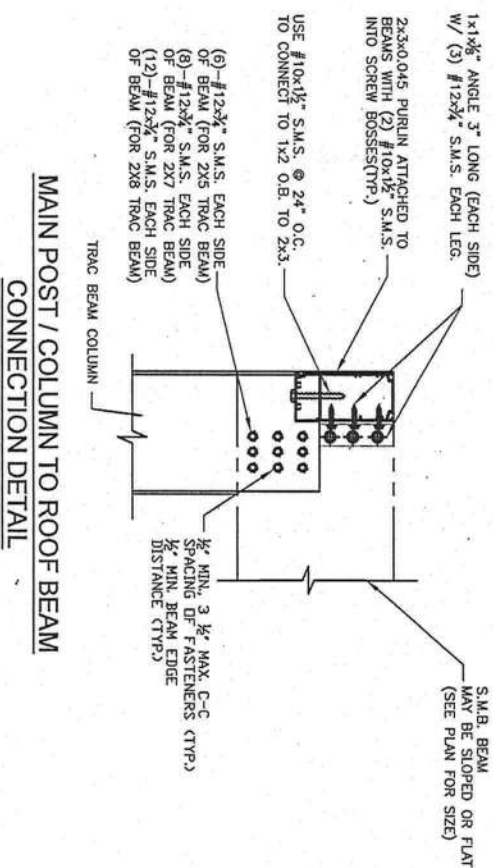
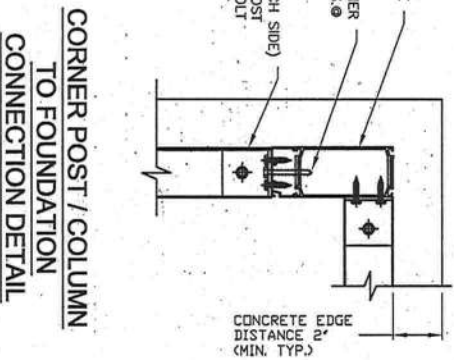
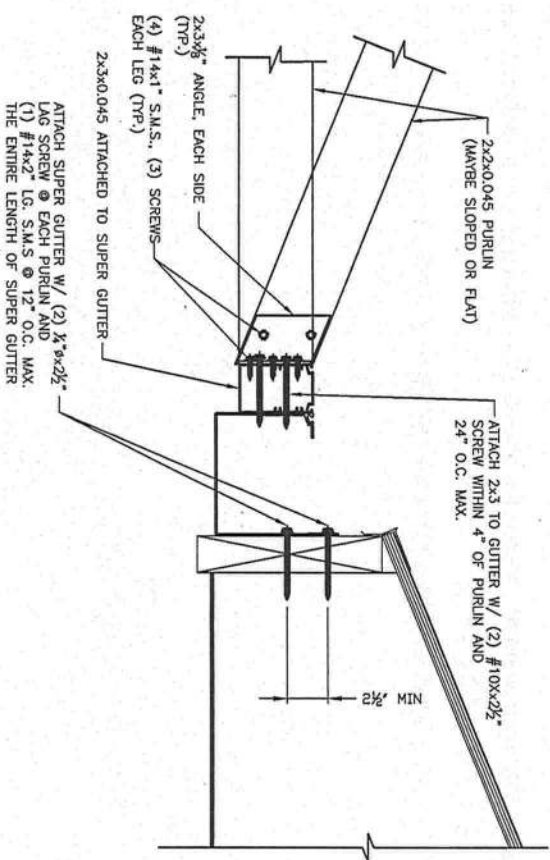
NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.



CLIENT: Florida Pool Enclosures, INC

DESCRIPTION:

Screen Enclosure Details



General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration. The licensed contractor shall be the delegated designer as allowed by FL Statutes for design and construction of these structures covered in these sheets. DKA is solely responsible for the design of the details as shown on these drawings and the contractor shall be in responsible charge to design the structure as allowed by FL Statutes.
- Concrete shall be minimum 28 day compressive strength of f'c=2500 psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318.
- All dimensions are provided by contractor. DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 18 x 14 x 0.013" mesh.
- Connections using screw bosses shall have minimum (4)-#10x2" per connection unless shown otherwise.
- Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

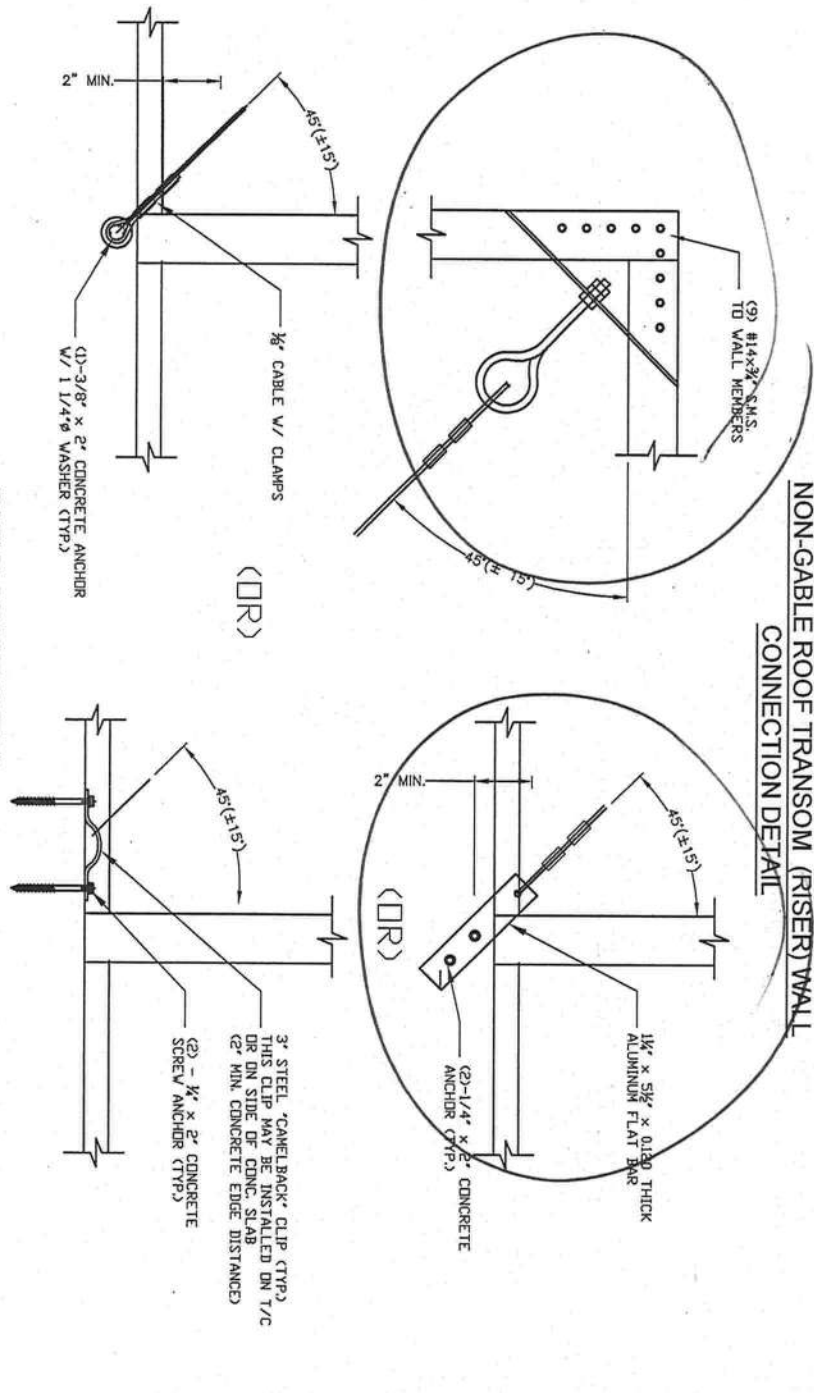
C-1022 Low Carbon Steel SMS & Self-Drilling (TEX) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	3/16"	1/2"
#12	0.219	1/8"	3/4"
#14 (1/4")	0.250	1/2"	3/4"

- Structure has been designed to meet the 2007 FBC w/ 2009 Supplement. Project is sited with basic wind speed up to 120 mph (3-sec gust). I=0.77 for screen enclosures. Exposure C. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, Gfcp, of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Tiltan Screws or approved equal.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- Diagonal bracing shall be installed on 50% of roof screen panels that have at least one side adjacent to an exterior screen wall.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided on the front screen wall for each 500 sf of screened wall area that the wind load is being applied to the side wall orthogonal to the front wall.
- Structures that exceed 4.5 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights. 2x2 and 1x2 aluminum components shall have nominal wall thickness of 0.044". Structural super gutter shall be min. 0.065" for spans 25' or less and 0.096" wall thickness for spans greater than 30'.
- All Aluminum members shall be 6005-T5 Alloy or stronger unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.

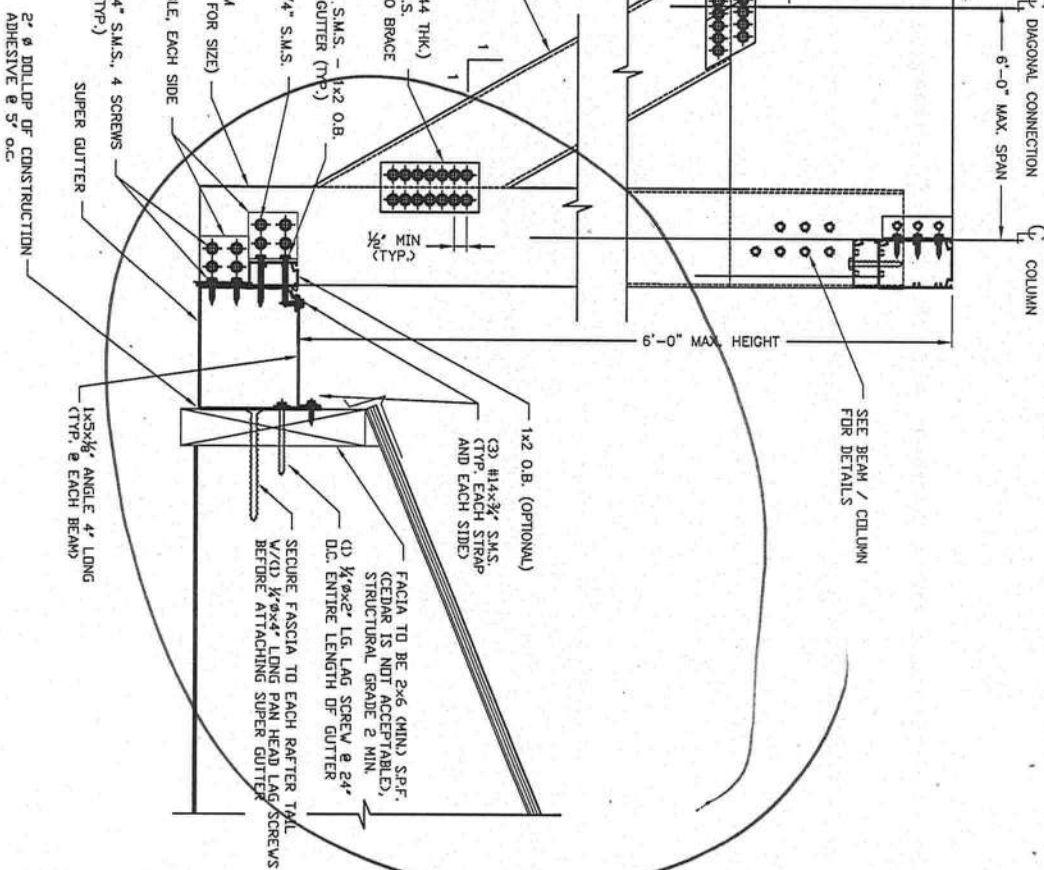
MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)					
BEAM	TRIBUTARY WIDTH				
	10'	15'	20'	25'	30'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'	13.5'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'	16.6'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'	26.8'

Design wind speed up to 120 mph. Exposure B. Reduce spans by 8% for Exposure C.

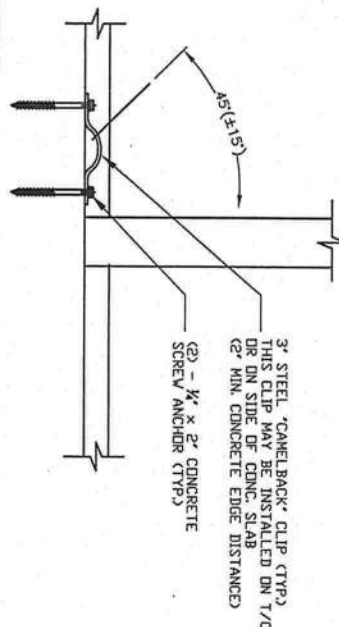
Beam Splicing Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam Splicing Screw @ 24" o.c.	Beam Splicing Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1/2"	#8 x 1/2"
2" x 5" x 0.050 x 0.116	#8 x 3/4"	#8 x 3/4"
2" x 6" x 0.050 x 0.120	#10 x 3/4"	#10 x 3/4"
2" x 7" x 0.055 x 0.120	#10 x 3/4"	#10 x 3/4"
2" x 8" x 0.072 x 0.224	#12 x 3/4"	#12 x 3/4"
2" x 9" x 0.072 x 0.224	#12 x 3/4"	#12 x 3/4"
2" x 9" x 0.082 x 0.306	#14 x 3/4"	#14 x 3/4"
2" x 10" x 0.092 x 0.389	#14 x 3/4"	#14 x 3/4"



NON-GABLE ROOF TRANSOM (RISER) WALL CONNECTION DETAIL



CABLE BRACE DETAIL



DO KIM & ASSOCIATES, LLC CONSULTING STRUCTURAL ENGINEERS

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Fax: (813) 874-5959

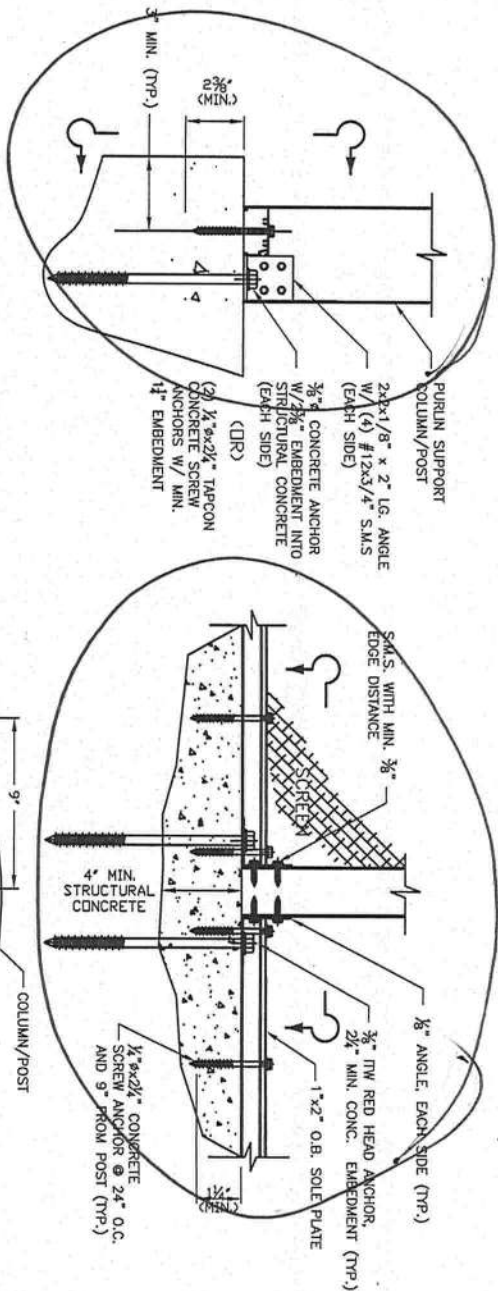
Rev/Date	Description
605 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

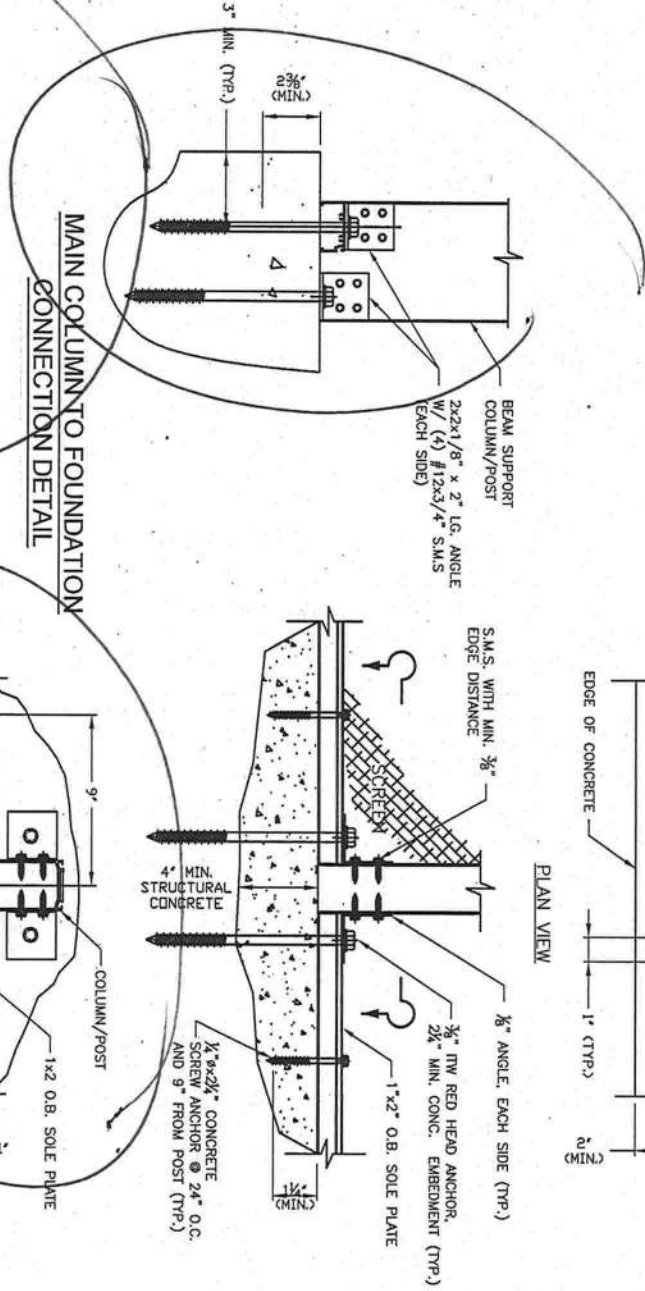
DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

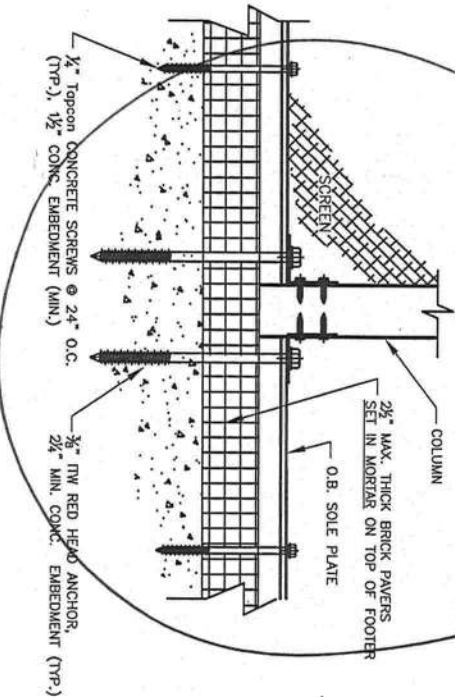
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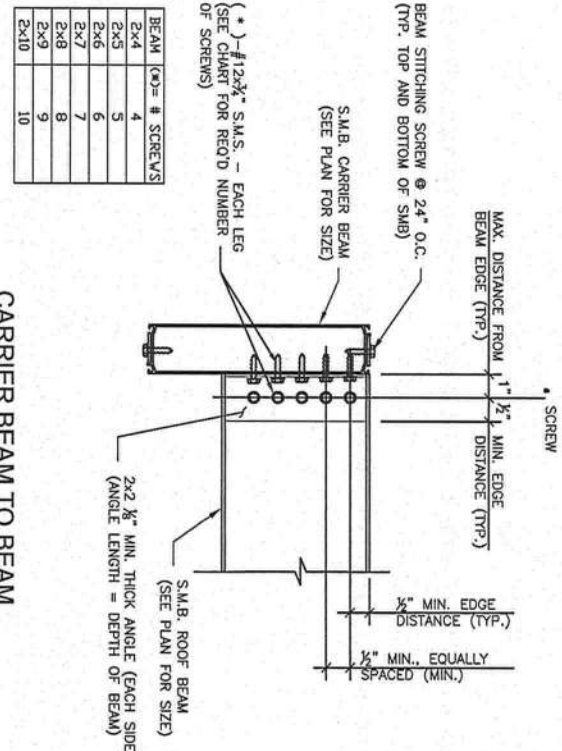
SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL



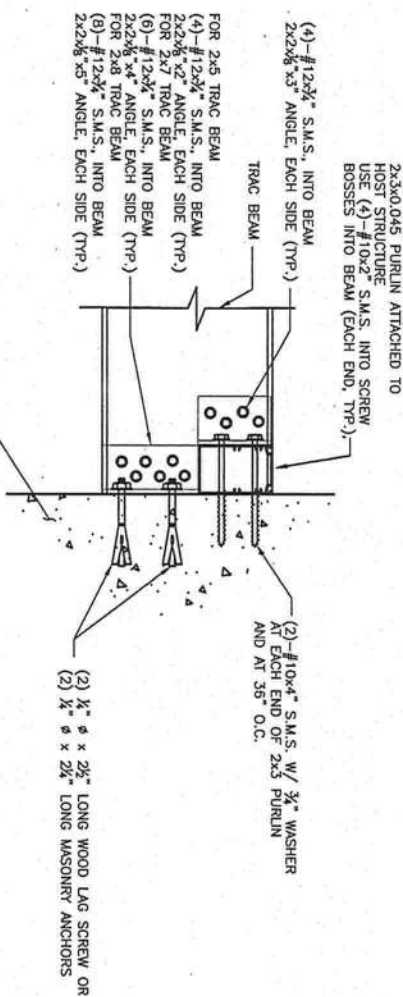
MAIN COLUMN TO FOUNDATION CONNECTION DETAIL



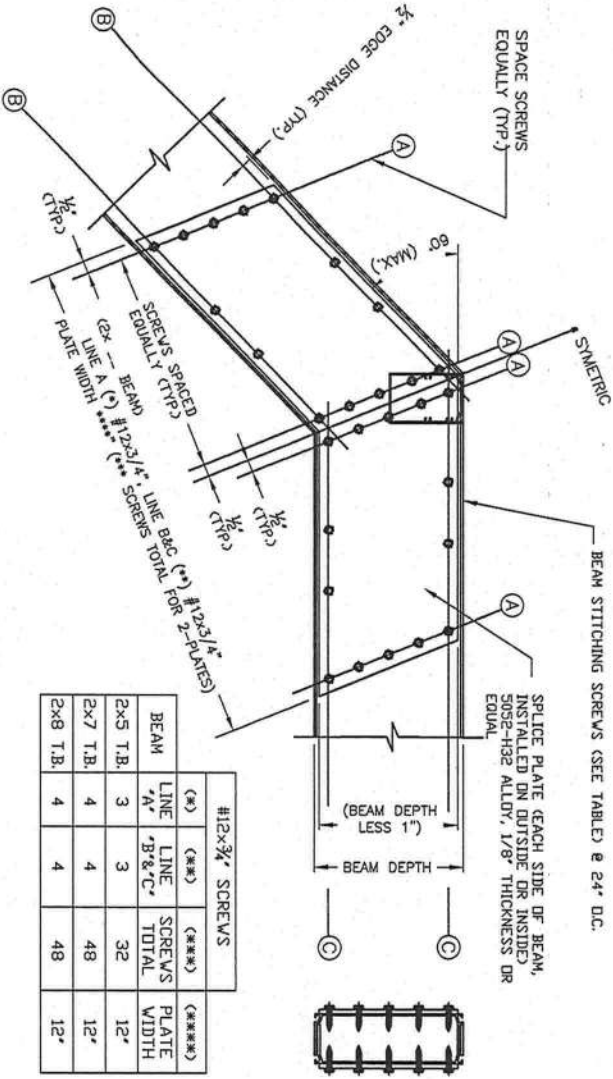
TYPICAL FRONT VIEW OF POST TO FOUNDATION CONNECTION WITH PAVERS



CARRIER BEAM TO BEAM CONNECTION DETAIL



BEAM TO HOST STRUCTURE DETAIL



MANSARD ROOF BEAM CONNECTION DETAIL

BEAM	(O.C.)	# SCREWS
2x4	4	4
2x5	5	5
2x6	6	6
2x7	7	7
2x8	8	8
2x9	9	9
2x10	10	10

#12x3/4" SCREWS	(*)	(**)	(***)	(****)
BEAM	LINE	LINE	SCREWS	PLATE
2x5 T.B.	3	3	32	12"
2x7 T.B.	4	4	48	12"
2x8 T.B.	4	4	48	12"

DO KIM & ASSOCIATES, LLC
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Fax: (813) 874-5959

Rev/Date	Description
6/05 2008	ISSUED

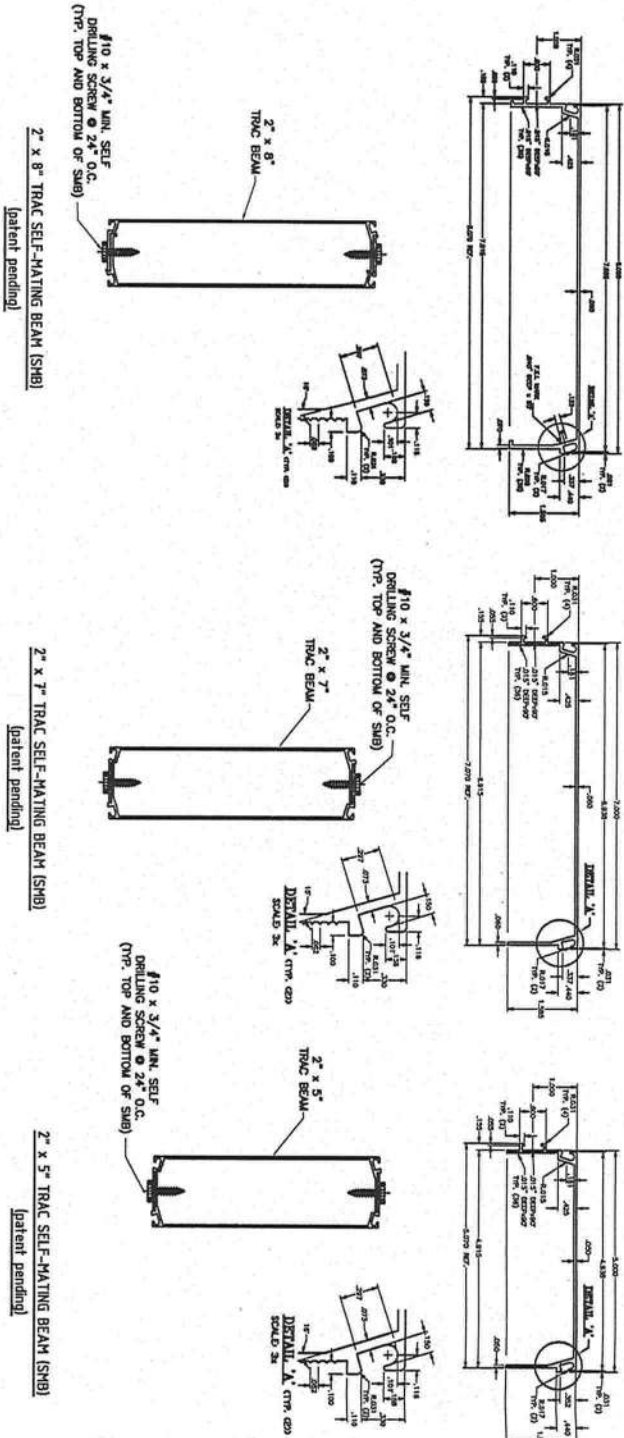
△	
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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION: Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/08

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
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TAMPA, FL 33604

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



- Trac Beam Notes:
1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
 2. Drawings are illustrative purposes only.
 3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduce 7% for each five feet increment. Then reduce spans by 10% for Exposure C.
 4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and computer analysis.
 5. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
 6. Wind loads are based on Chapter 20 and Table 2004.4.
 7. Consult a licensed design professional for use of this product information.
- Maximum allowable deflections limits of L/60 shall be considered by design professional. L/60 in HVHZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' O.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' O.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' O.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' O.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' O.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' O.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' O.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' O.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' O.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	25'	25'	25'	24.12'	23.27'
6' O.C.	25'	25'	25'	23.06'	22.12'
7' O.C.	25'	25'	23.51'	22.16'	21.33'
8' O.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' O.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' O.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' O.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' O.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' O.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' O.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' O.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' O.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' O.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM & ASSOCIATES, LLC

CONSULTING
STRUCTURAL
ENGINEERS

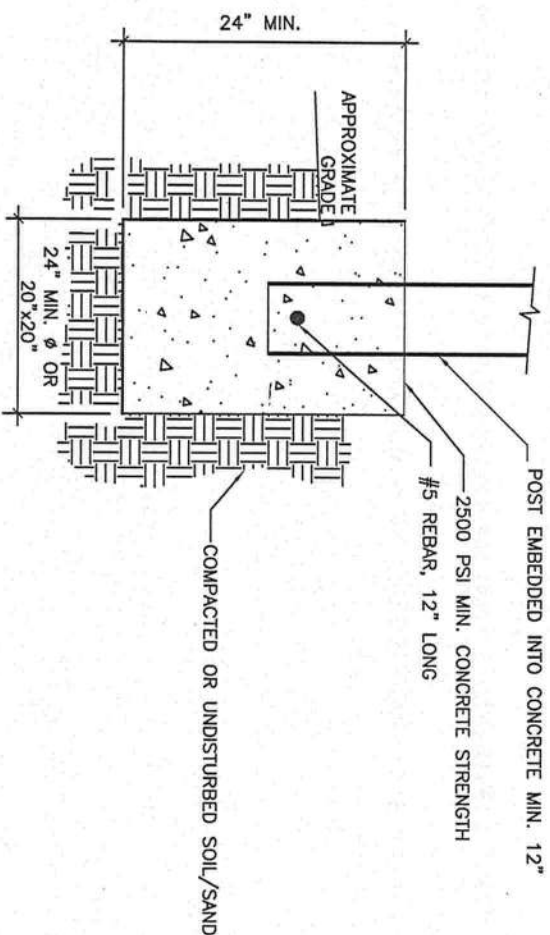
3300 Henderson Blvd., Suite 108
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

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6/05 2008	ISSUED

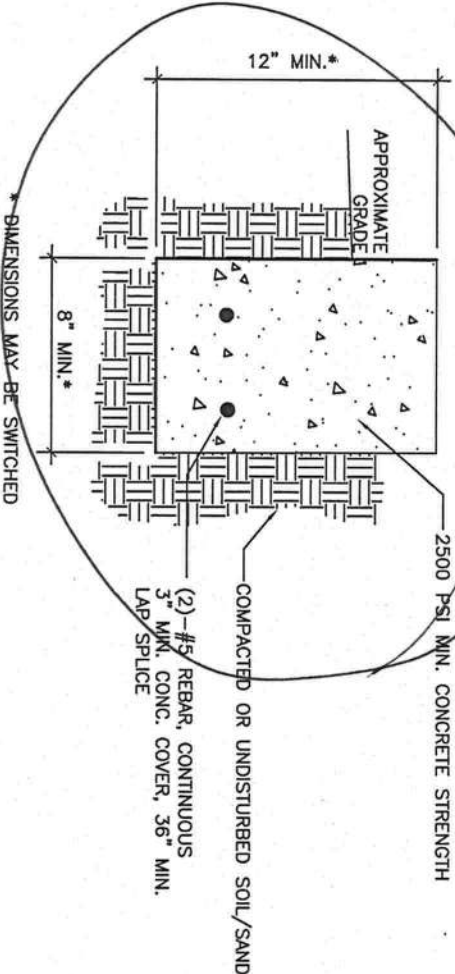
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/05

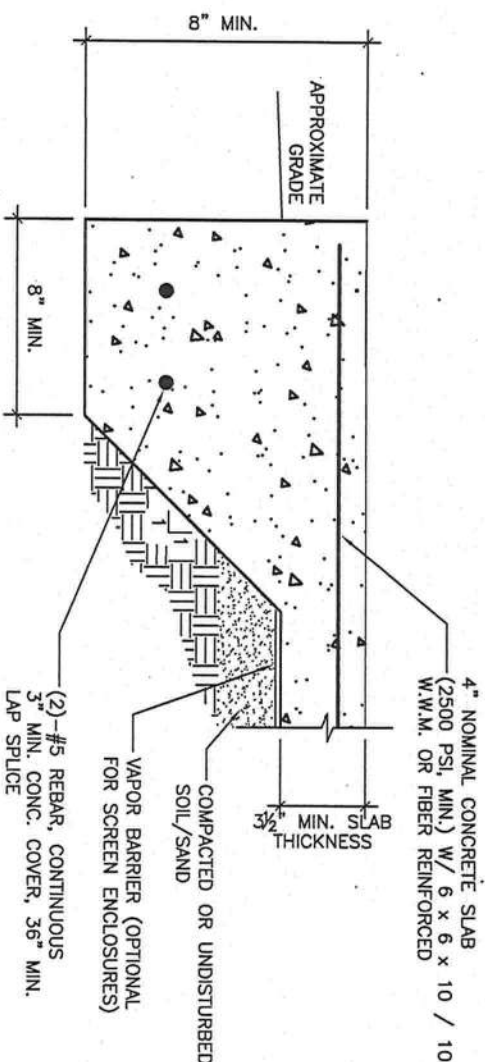
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 28887
3300 HENDERSON BLVD.,
SUITE 108
Tampa, FL 33684
2.5.04



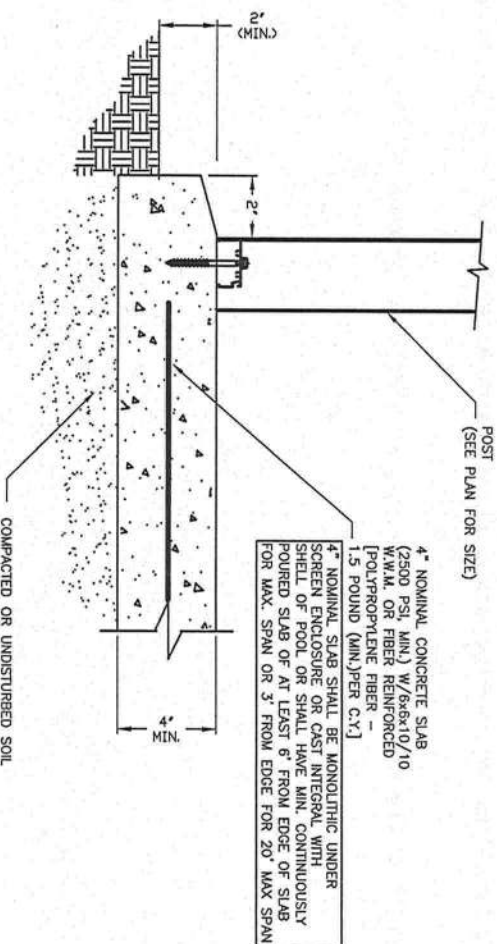
STANDARD TYP. ISOLATED FOOTER



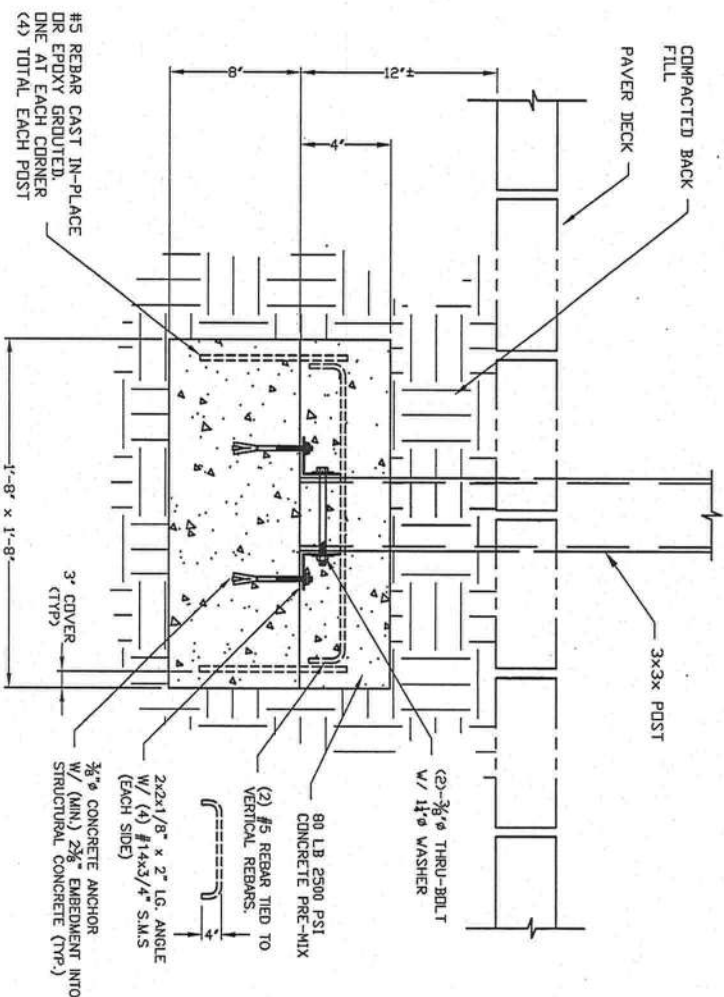
STANDARD TYP. CONTINUOUS PERIMETER FOOTING



STANDARD TYP. TURNDOWN SLAB FOOTING



POST / CONCRETE SLAB DETAIL



POST FOR CARRIER BEAM TO
BURIED FOOTING
CONNECTION DETAIL

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

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Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
605 2008	ISSUED
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Δ	
Δ	
Δ	

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
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SUITE 106
TAMPA, FL 33604

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Rev./Date	Description
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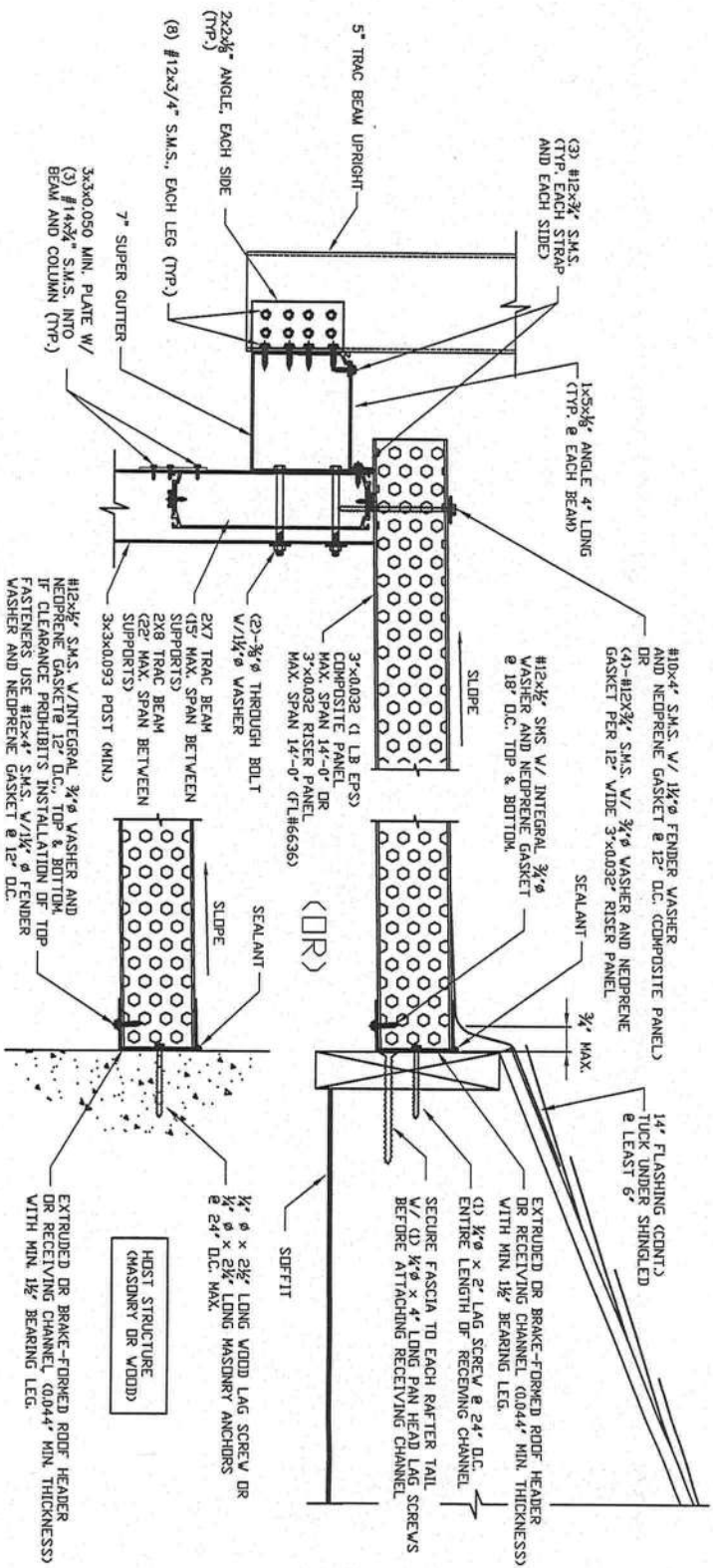
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Screen Enclosure Details

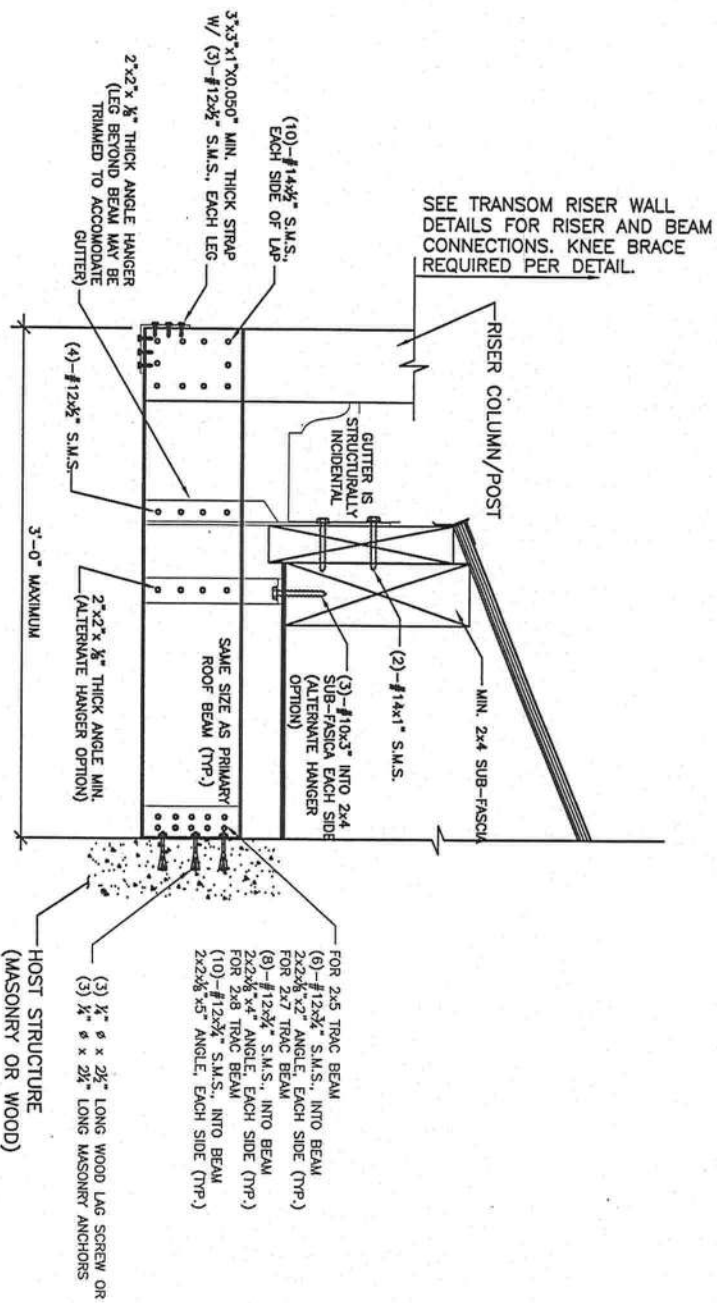
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TIME:	9/05/06

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REG. NUMBER 49497

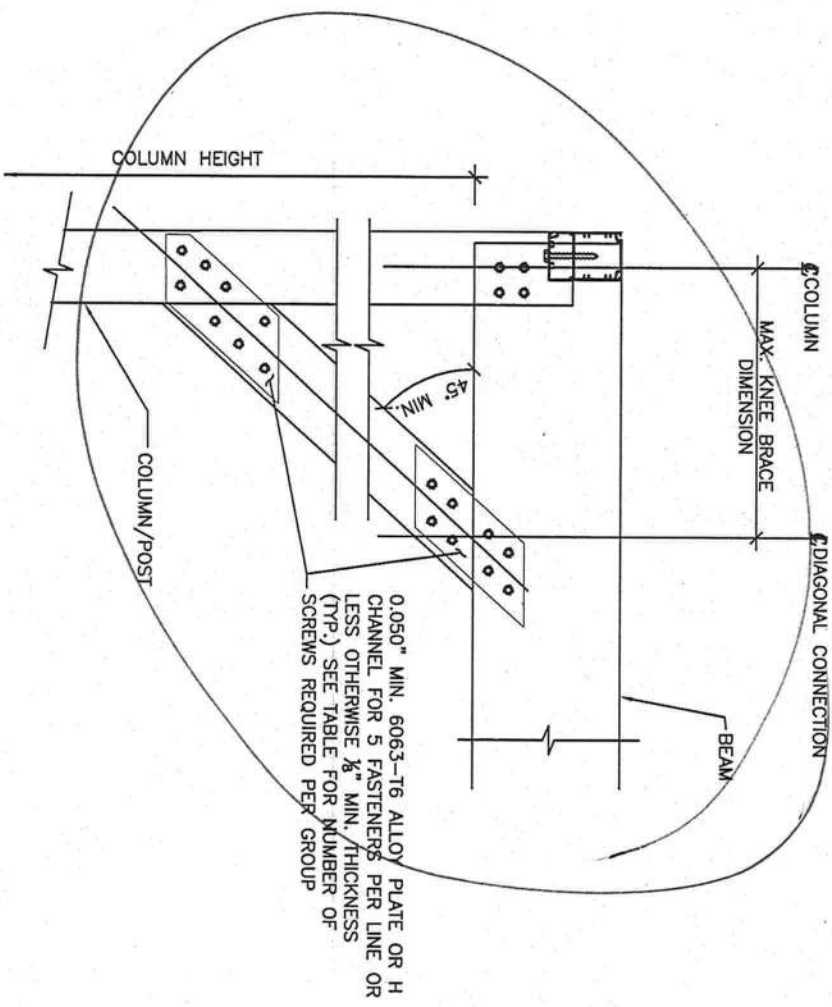
MM & ASSOCIATES, LLC
CA# 26687
RENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



CANTILEVER TRANSOM (RISER) TO HOST WALL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10 $\frac{1}{2}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x3"x0.050 HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6