

DATE 12/08/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023947

APPLICANT JEFFREY L. COLEMAN PHONE 386.867.3239
ADDRESS 2023 SW SALEM ROAD LAKE CITY FL 32024
OWNER JEFFREY L. COLEMAN PHONE 386.867.3239
ADDRESS 2023 SW SALEM ROAD LAKE CITY FL 32024
CONTRACTOR CORBETT'S MHC PHONE 386.362.4061
LOCATION OF PROPERTY 90-W TO C-252,TL TO BIRLEY ROAD,TR TO SALEM RD,TR TO STOP
SIGN,TL AND GO 1.6 MILES ON R.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION .00
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 19-4S-16-03062-108 SUBDIVISION SUN PARK ESTATES
LOT 8 BLOCK PHASE UNIT TOTAL ACRES 5.00

DIH000017
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 05-1163-N BLK JTH
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: 1 FOOT ABOVE ROAD.

Check # or Cash 1102

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 59.20 WASTE FEE \$ 122.50
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 456.70
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only		Zoning Official <u>BLK 08.12.05</u>	Building Official <u>OK JTH 12-8-05</u>
AP# <u>0512-19</u>	Date Received <u>12/8</u>	By <u>JTH</u>	Permit # <u>23947</u>
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>
Comments <u>- PRE-MI - APPROVED</u> <u>(MINI LIKE NEW/LH)</u>			
<u>051163-N</u>			
FEMA Map #	Elevation	Finished Floor	River In Floodway
<input checked="" type="checkbox"/> Site Plan with Setbacks shown	<input checked="" type="checkbox"/> Environmental Health Signed Site Plan	<input checked="" type="checkbox"/> Env. Health Release	
<input type="checkbox"/> Well letter provided	<input checked="" type="checkbox"/> Existing Well	<u>LOT 8 SUN PARK ESTATE</u>	

- Property ID 19-45-16-03062-108 Must have a copy of the property deed
- New Mobile Home _____ Used Mobile Home ☒ Year 1999
- Subdivision Information Lot 8 Sun Park Estates
- Applicant Jeffrey L Coleman Phone # 386-867-3239
- Address 2023 S.W. Salem Rd. Lake City FL 32024
- Name of Property Owner Same as Above Phone# _____
- 911 Address Same 2023 SW SALEM Rd / LAKE CITY FL 32024
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home Same as Above Phone # _____
- Address _____
- Relationship to Property Owner NEP
- Current Number of Dwellings on Property 0
- Lot Size 5 Acres Total Acreage 5 Acres
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
- Driving Directions US 90 West, Left on CR-252, Left on Birley Rd., Right on Salem Rd. to stop sign. Left at Sign 1.6 miles on Right.
- Is this Mobile Home Replacing an Existing Mobile Home No
- Name of Licensed Dealer/Installer Corbett's M.H.C. Phone # 386-362-4061
- Installers Address 1126 E. Howard ST. Live Oak FL 32064
- License Number DIH000017 Installation Decal # 245418

Buddy Self.

23947

PERMIT NUMBER

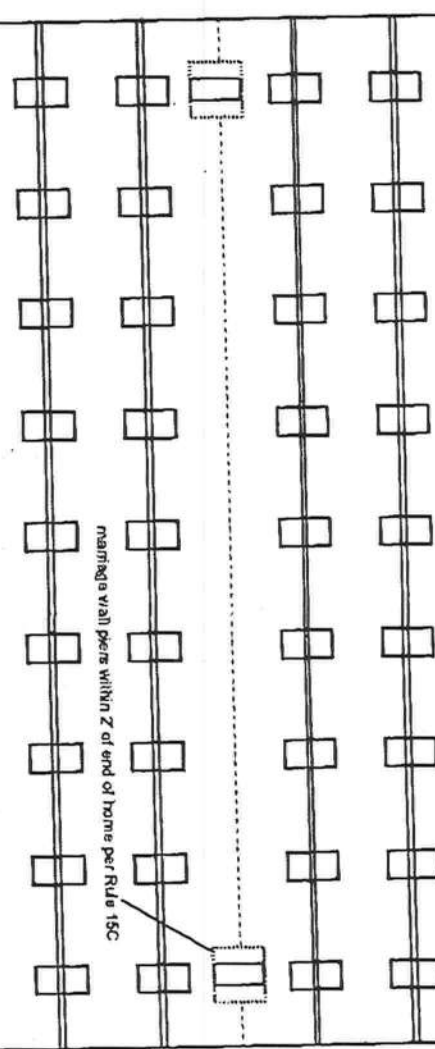
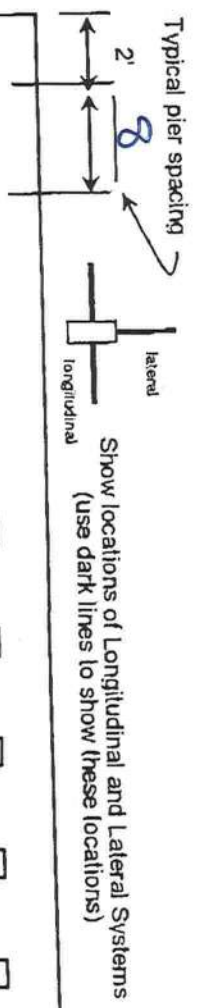
Installer Cobbetts MHC License # D14000017

Address of home being installed 2023 SW SALEM RD
LAKE CITY FL 32024

Manufacturer CRAYTON Length x width 28X52

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a tripe or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall lies exceed 5 ft 4 in. Installer's initials RC



New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 245418

Tripe/Quad ☐ Serial # 9552

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Foeder size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4'6"		6'	7'	8'	8'	8'
2000 psf	6'		8'	8'	8'	8'	8'
2500 psf	7'6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 24X24X1

Perimeter pier pad size 17X14X1

Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 18' LRM Pier pad size 24X24X1

Pad Size	Sq In
18 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

POPULAR PAD SIZES

ANCHORS

4 ft ☒ 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD) _____
Manufacturer Tie Down Eng.
Longitudinal Stabilizing Device w/ Lateral Arms _____
Manufacturer Tie Down Eng.

Sidewall _____
Longitudinal _____
Marriage wall _____
Shearwall _____

Number 18
1850
6
6

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1000 psi or check here to declare 1000 lb. soil without testing.

X 1200

X 1200

X 1200

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1200

X 1200

X 1200

TORQUE PROBE TEST

The results of the torque probe test is 229 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

RPB Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Robert's Mobile Home Center

Date Tested

12/1/06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 18

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 18
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 18

Site Preparation

Debris and organic material removed Swale ☒ Pad ☒ Other ☒

Fastening multi wide units

Floor: Type Fastener: 3/8" Length: 5' Spacing: 12"
Walls: Type Fastener: 3/8" Length: 5' Spacing: 24"
Roof: Type Fastener: 3/8" Length: 5' Spacing: 16"
For used homes: a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

RPB

Type gasket

FOAM

Installed: Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes ☒ No ☒
Driver vent installed outside of skirting. Yes ☒ N/A ☒
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: ☒

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Robert's Mobile Home Center

Date

12-2-06




Roof Load: 20 PSF
Soil Bearing Capacity: 1000 PSF
I-Beam Size: See Note #3 Below
Footer Size: 24" x 24"

NOTES:

1. DOES NOT DEFECT ANY REQUIRED PERMITS, SHEETPILING OR ANY OTHER SPECIAL CONSTRUCTION PERMITS. SEE SECTION 2 OF THE INSTALLATION MANUAL FOR THESE REQUIREMENTS.

2. DOES NOT DEFECT ANY TEARDOWN REQUIREMENTS. SEE SECTION 3 OF THE INSTALLATION MANUAL FOR THESE REQUIREMENTS.

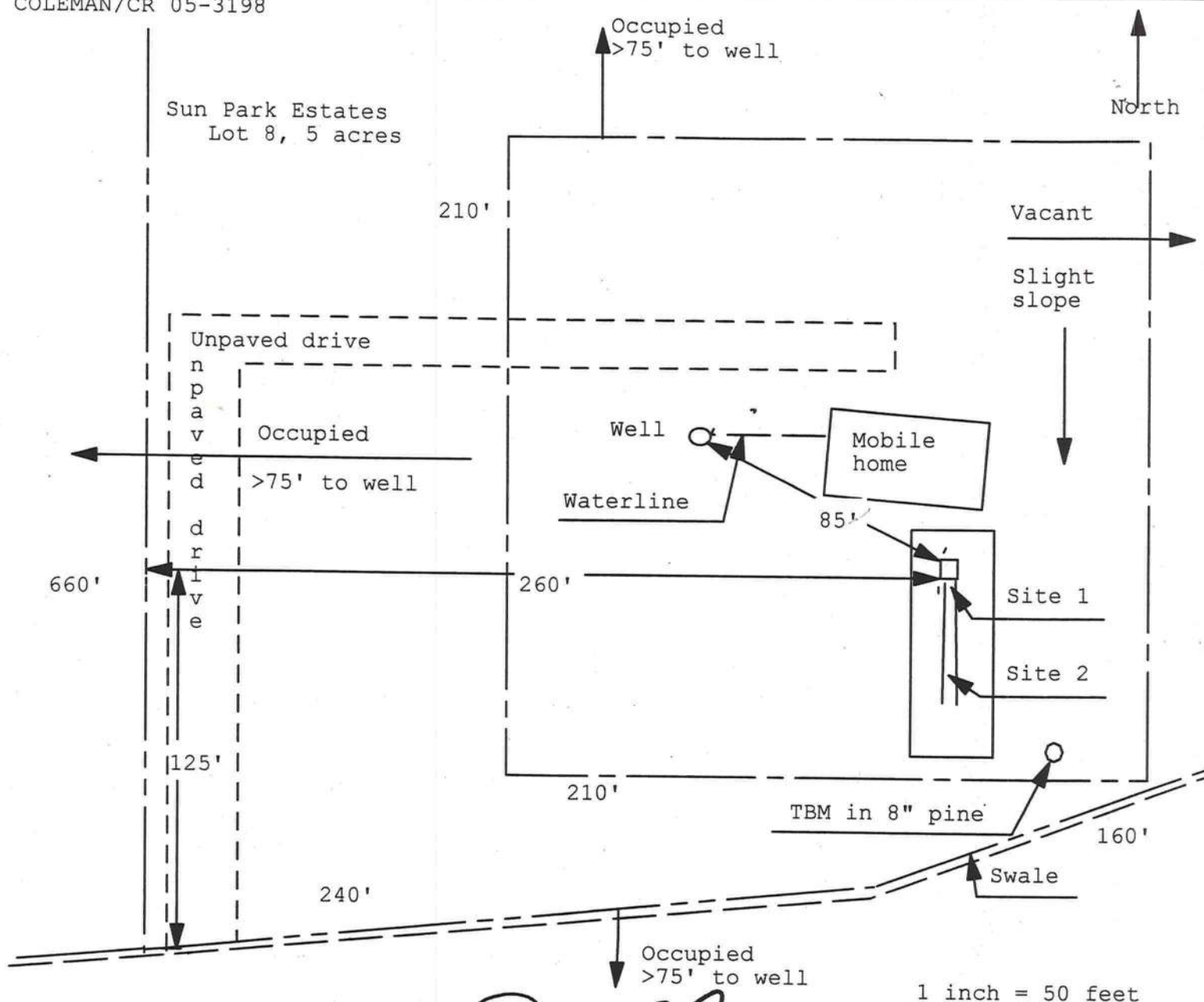
5. THE MAXIMUM SPACING FOR 6" I-BEAMS IS 6 FEET, 10" I-BEAMS IS 10 FEET, 12" I-BEAMS IS 12 FEET.

	Model 206R720563841	Driving A
	Dealer F20204 Serial 1753	304023
Product Designer AVAILABLE	28x56 BROOKFIELD	
24" x 24" FOOTER - 1000 PSF	Ready	

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan
Permit Application Number: 05-1163N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

COLEMAN/CR 05-3198



Site Plan Submitted By Paul Lloyd Date 11/19/05
Plan Approved X Not Approved _____ Date _____

By Salbi Gaddy, ESI, COLUMBIA CPHU

Notes: See attached for entire parcel dimensions.



2005-06 Mobile Home Installer License



Licensee: Corbett's MH Center, Inc.

License Number: DIH000017

Effective Date

Expiration Date

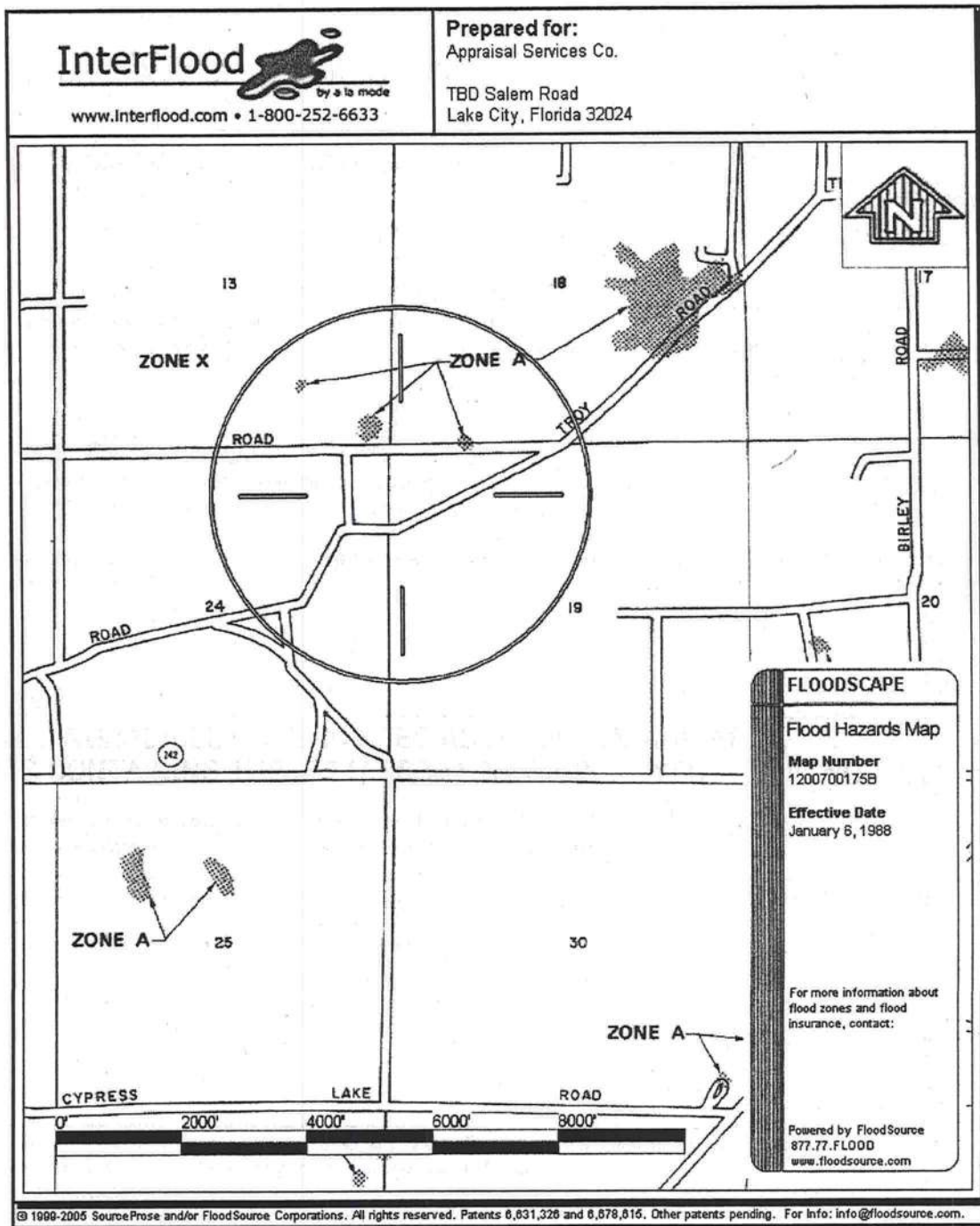
10-1-05

9-30-06

State of Florida - Department of Highway Safety and Motor Vehicles - Division of Motor Vehicles

Flood Map

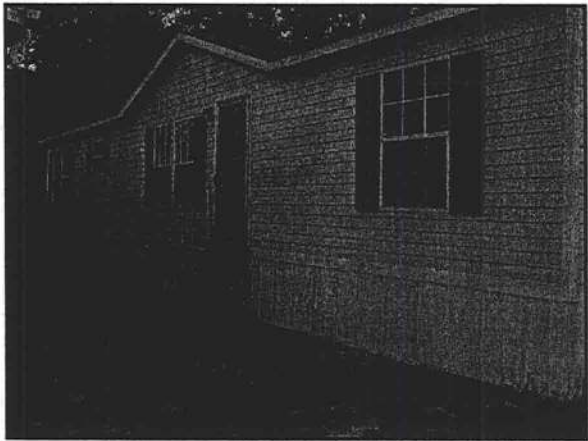
Borrower/Client	Jeffrey Coleman		
Property Address	TBD Salem Road		
City	Lake City	County	Columbia
		State	Florida
		Zip Code	32024
Lender	First Federal Savings Bank		





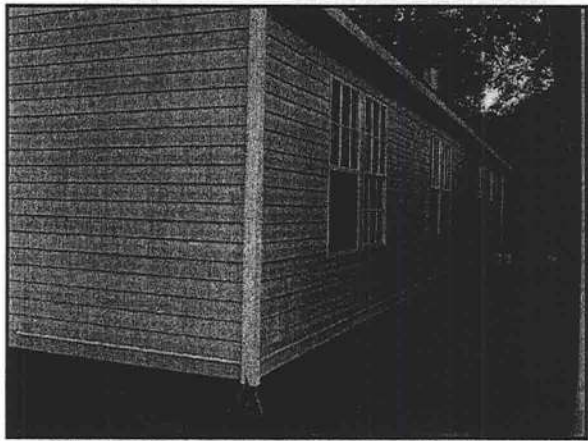
Subject Photo Page

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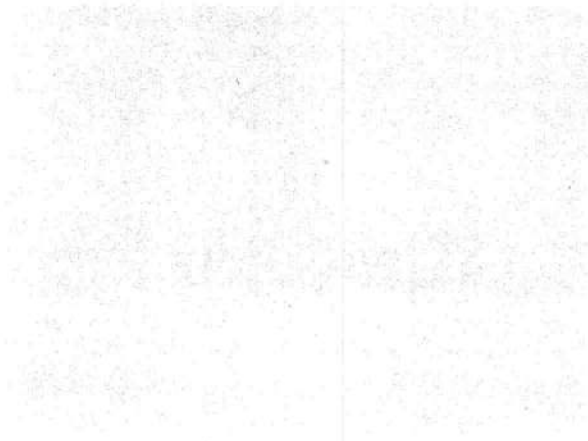


Subject Front

TBD Salem Road	
Sales Price	39,620
Gross Living Area	1,393
Total Rooms	6
Total Bedrooms	3
Total Bathrooms	2
Location	Rural
View	Average
Site	5.00 Acres MOL
Quality	Average
Age	A:7



Subject Rear



Subject Street

FEDERAL EMERGENCY MANAGEMENT AGENCY STANDARD FLOOD HAZARD DETERMINATION		See The Attached Instructions	O.M.B. No. 3067-0264 Expires October 31, 2005	
SECTION I - LOAN INFORMATION				
1. LENDER NAME AND ADDRESS First Federal Savings Bank P.O. Box 2029, Lake City, Florida 32056		2. COLLATERAL (Building/Mobile Home/Personal Property) PROPERTY ADDRESS (Legal Description may be attached) TBD Salem Road Lake City, Florida 32024 Lot 8 Sun Park Estates		
3. LENDER ID. NO. N.A.	4. LOAN IDENTIFIER N.A.	5. AMOUNT OF FLOOD INSURANCE REQUIRED \$ N.A.		
SECTION II				
A. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) COMMUNITY JURISDICTION				
1. NFIP Community Name	2. County(ies)	3. State	4. NFIP Community Number	
Lake City, Florida	Columbia	FL	120070-0175B	
B. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) DATA AFFECTING BUILDING/MOBILE HOME				
1. NFIP Map Number or Community-Panel Number (Community name, if not the same as "A")	2. NFIP Map Panel Effective/ Revised Date	3. LOMA/LOMR	4. Flood Zone	5. No NFIP Map
1200700175B	1/6/1988	<input type="checkbox"/> Yes Date	X	
C. FEDERAL FLOOD INSURANCE AVAILABILITY (Check all that apply)				
1. <input checked="" type="checkbox"/> Federal Flood insurance is available (community participates in NFIP). <input checked="" type="checkbox"/> Regular Program <input type="checkbox"/> Emergency Program of NFIP				
2. <input type="checkbox"/> Federal Flood insurance is not available because community is not participating in the NFIP				
3. <input type="checkbox"/> Building/Mobile Home is in a Coastal Barrier Resources Area (CBRA) or Otherwise Protected Area (OPA), Federal Flood insurance may not be available. CBRA/OPA designation date: _____				
D. DETERMINATION				
IS BUILDING/MOBILE HOME IN SPECIAL FLOOD HAZARD AREA (ZONES CONTAINING THE LETTERS "A" OR "V")? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
If yes, flood insurance is required by the Flood Disaster Protection Act of 1973. If no, flood insurance is not required by the Flood Disaster Protection Act of 1973.				
E. COMMENTS (Optional): The subject property is not located in the flood prone area of NFIP map 120070-0175B. Wells and Septic Tanks are common in this neighborhood and this area.				
This determination is based on examining the NFIP map, any Federal Emergency Management Agency revisions to it, and any other information needed to locate the building/mobile home on the NFIP map.				
F. PREPARER'S INFORMATION				
NAME, ADDRESS, TELEPHONE NUMBER (If other than Lender)		DATE OF DETERMINATION		
Darrell W. Hunt/Asst. by T. Tyre 119 NW Ethan Place Lake City, FL 32055		August 8, 2005		

Manufactured Home Appraisal Report

File # R-25687

The purpose of this summary appraisal report is to provide the lender/client with an accurate, and adequately supported, opinion of the market value of the subject property.

Property Address TBD Salem Road City Lake City State Floric Zip Code 32024
 Borrower Jeffrey Coleman Owner of Public Record Same County Columbia

Legal Description Lot 8 Sun Park Estates Tax Year 2006 R.E. Taxes \$ Proposed
 Assessor's Parcel # 19-4S-16-03062-108 Map Reference 120070 Census Tract 170031-9906.00
 Neighborhood Name Sun Park Estates Project Type (if applicable) ☐ PUD ☐ Condominium ☐ Cooperative ☐ Other (describe)
 Occupant ☒ Owner ☐ Tenant ☐ Vacant HOA \$ N.A. ☐ per year ☐ per month

Special Assessments \$ N.A.
 Property Rights Appraised ☒ Fee Simple ☐ Leasehold ☐ Other (describe)
 Assignment Type ☒ Purchase Transaction ☐ Refinance Transaction ☐ Other (describe)
 Lender/Client First Federal Savings Bank Address P.O. Box 2029, Lake City, Florida 32056
 Is the subject property currently offered for sale or has it been offered for sale in the twelve months prior to the effective date of this appraisal? ☒ Yes ☐ No
 Report data source(s) used, offering price(s), and date(s). The subject property was purchased as vacant land on March 3, 2005 for \$21,000 ORB #1039-2139.

Manufactured homes located in either a condominium or cooperative project require the appraiser to inspect the project and complete the Project Information section of the Individual Condominium Unit Appraisal Report or the Individual Cooperative Interest Appraisal Report and attach it as an addendum to this report.
 I ☒ did ☐ did not analyze the contract for sale for the subject purchase transaction. Explain the results of the analysis of the contract for sale or why the analysis was not performed. The contract analyzed was provided from Corbett Mobile Home Center, Inc. the purchase price reflected below is of a 1998 manufactured home. No land included.
 Contract Price \$ 39,620 Date of Contract 10/26/05 Is the property seller the owner of public record? ☐ Yes ☒ No Data Source(s) Public Record
 Is there any financial assistance (loan charges, sale concessions, gift or downpayment assistance, etc.) to be paid by any party on behalf of the borrower? ☐ Yes ☒ No
 If Yes, report the total dollar amount and describe the items to be paid. N.A.

I ☐ did ☒ did not analyze the manufacturer's invoice. Explain the results of the analysis of the manufacturer's invoice or why the analysis was not performed.
The proposed manufactured home is used and the manufacturer's invoice was not available to the appraiser.

Retailer's Name (New Construction) Clayton

Note: Race and the racial composition of the neighborhood are not appraisal factors.

Neighborhood Characteristics		Manufactured Housing Trends		Manufactured Housing		Present Land Use %	
Location	<input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural	Property Values	<input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining	PRICE	AGE	One-Unit	60 %
Built-Up	<input type="checkbox"/> Over 75% <input checked="" type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%	Demand/Supply	<input type="checkbox"/> Shortage <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply	\$ (000)	(yrs)	2-4 Unit	%
Growth	<input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow	Marketing Time	<input type="checkbox"/> Under 3 mths <input checked="" type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths	10	Low	Multi-Family	%
Neighborhood Boundaries <u>The subject neighborhood is bordered on the North by CR 252, South by CR 242, East by SR 247 and West by Columbia and Suwannee County Boundaries.</u>				265	High	Commercial	%
Neighborhood Description <u>The subject neighborhood is located approximately 8 miles Southwest from the city of Lake City in an area that is predominately residential in nature. Improvements in this area include both site built and manufactured homes on acreage. This area provides convenient access to schools, employment, shopping and travel arteries in both Columbia and Suwannee Counties.</u>				90	Pred.	Other	40 %
Market Conditions (including support for the above conclusions) <u>The subject proposed improvement is consistent with other manufactured homes in the area and surrounding area. Local mortgages are available with interest rates of 6% to 7% with points of 0 to 1 for conventional loans. FHA and VA loans are available with similar interest rates and points.</u>							
Dimensions <u>See Attached Subdivision Plat</u> Area <u>5.00 Acres MOL</u> Shape <u>Irregular</u> View <u>Average</u>							
Specific Zoning Classification <u>Agriculture 3</u> Zoning Description <u>1 Dwelling Per 5 Acres</u>							
Zoning Compliance <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal Nonconforming (Grandfathered Use) <input type="checkbox"/> No Zoning <input type="checkbox"/> Illegal (describe)							
Is the highest and best use of subject property as improved (or as proposed per plans and specifications) the present use? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe							
Utilities	Public <input checked="" type="checkbox"/> Other (describe)	Public	Other (describe)	Off-site Improvements - Type		Public	Private
Electricity	<input checked="" type="checkbox"/> <input type="checkbox"/>	Water	<input type="checkbox"/> Well <input checked="" type="checkbox"/>	Street All Weather Grade		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gas	<input type="checkbox"/> <input checked="" type="checkbox"/>	Sanitary Sewer	<input type="checkbox"/> Sepsic Tank <input checked="" type="checkbox"/>	Alley None		<input type="checkbox"/>	<input type="checkbox"/>
FEMA Special Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No FEMA Flood Zone <u>X</u> FEMA Map # <u>1200700175B</u> FEMA Map Date <u>1/6/1988</u>							
Are the utilities and off-site improvements typical for the market area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe							
Is the site size, shape and topography generally conforming to and acceptable in the market area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, explain							
Is there adequate vehicular access to the subject property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe							
Is the street properly maintained? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe							
Are there any adverse site conditions or external factors (easements, encroachments, environmental conditions, land uses, etc.)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe							
The HUD Data Plate/Compliance Certificate is located on the interior of the subject and contains, among other things, the manufacturer's name, trade/model name, year manufactured and serial number. The HUD Certification Label is located on the exterior of each section of the home.							
Is the HUD Data Plate/Compliance Certificate attached to the dwelling? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, identify the location. If No, provide the data source(s) for the HUD Data Plate/Compliance Certificate information. <u>Bottom Right & Bottom Left</u>							
Is a HUD Certification Label attached to the exterior of each section of the dwelling? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, provide the data source(s) for the HUD Certification Label #'s							
Manufacturer's Serial #(s)/VIN #(s)							
HUD Certification Label #(s) <u>GEO1119954 & GEO1119955</u>							
Manufacturer's Name <u>Clayton</u> Trade/Model <u>Riverwood</u> Date of Manufacture <u>July 18, 1998</u>							
Do the Wind, Roof Load, and Thermal Zones meet the minimum HUD requirements for the location of the subject property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, explain							

Manufactured Home Appraisal Report

File # R-25687

General Description		Foundation		Exterior Description		Interior	
				materials/condition		materials/condition	
# of Units <input checked="" type="checkbox"/> One <input type="checkbox"/> Additions	<input type="checkbox"/> Poured Concrete <input type="checkbox"/> Concrete Runners	Skirting	Vinyl	Floors	Carpet & Vinyl		
# of Stories <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Block & Pier <input type="checkbox"/> Other-att. description	Exterior Walls	Vinyl	Walls	Drywall Panel		
Design (Style) Manuf. home	<input type="checkbox"/> Full Basement <input type="checkbox"/> Partial Basement	Roof Surface	Fiberglass Shingles	Trim/Finish	Wood		
# of Sections <input type="checkbox"/> 1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3	Basement Area N.A. sq.ft.	Gutters & Downspouts	None	Bath Floor	Vinyl		
<input type="checkbox"/> Other	Basement Finish N.A. %	Window Type	SH Aluminum	Bath Wainscot	FG Inserts		
Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/> S-Det/End Unit	<input type="checkbox"/> Outside Entry/Exit <input type="checkbox"/> Sump Pump	Storm Sash/Insulated	N.A.	Car Storage	<input checked="" type="checkbox"/> None		
<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Under Const.	Evidence of <input type="checkbox"/> Infestation	Screens	Yes	Driveway # of Cars	N.A.		
Year Built 1998 Effective Age (Yrs) 7	<input type="checkbox"/> Dampness <input type="checkbox"/> Settlement	Doors	Hollow Core	Driveway Surface	Unpaved		
Attic <input checked="" type="checkbox"/> None	Heating <input checked="" type="checkbox"/> FWA <input type="checkbox"/> HWBB <input type="checkbox"/> Radiant	Amenities	<input type="checkbox"/> Woodstove(s) #	Garage # of Cars			
<input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs	<input type="checkbox"/> Other Fuel	Fireplace(s) #	<input type="checkbox"/> Fence	Carport # of Cars			
<input type="checkbox"/> Floor <input type="checkbox"/> Scuttle	Cooling <input checked="" type="checkbox"/> Central Air Conditioning	Patio/Deck	<input type="checkbox"/> Porch	Attached <input type="checkbox"/> Detached			
<input type="checkbox"/> Finished <input type="checkbox"/> Heated	<input type="checkbox"/> Individual <input type="checkbox"/> Other	Pool	<input type="checkbox"/> Other	Built-in			
Appliances <input checked="" type="checkbox"/> Refrigerator <input checked="" type="checkbox"/> Range/Oven <input type="checkbox"/> Dishwasher <input type="checkbox"/> Disposal <input type="checkbox"/> Microwave <input type="checkbox"/> Washer/Dryer <input type="checkbox"/> Other (describe)		1,393 Square Feet of Gross Living Area Above Grade					
Finished area above grade contains: 6 Rooms 3 Bedrooms 2 Bath(s)		Kitchen Equipment					
Describe any additions or modifications (decks, rooms, remodeling, etc.)							
Installer's Name TBD Date Installed TBD Model Year N.A.							
Is the manufactured home attached to a permanent foundation system? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe the foundation system and the manner of attachment.							
Proposed Block and Pier							
Have the towing hitch, wheels, and axles been removed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, explain Proposed							
Is the manufactured home permanently connected to a septic tank or sewage system and other utilities? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, explain Proposed							
Does the dwelling have sufficient gross living area and room dimensions to be acceptable to the market? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, explain							
Additional features (special energy efficient items, non-realty items, etc.) None							
The appraiser must rate the quality of construction for the subject unit based on objective criteria (such as N.A.D.A. Manufactured Housing Appraisal Guide®, Marshall & Swift Residential Cost Handbook®, or other published cost service). The appraiser must also report the source used for this quality of construction rating determination.							
Quality <input type="checkbox"/> Poor <input type="checkbox"/> Fair <input checked="" type="checkbox"/> Average <input type="checkbox"/> Good <input type="checkbox"/> Excellent Identify source of quality rating Marshall & Swift							
Describe the condition of the property (including needed repairs, deterioration, renovations, remodeling, etc.). The subject is a 3 bedroom 2 bath used manufactured mobile home in average condition.							
Are there any physical deficiencies or adverse conditions that affect the livability, soundness, or structural integrity of the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe							
Does the property generally conform to the neighborhood (functional utility, style, condition, use, construction, etc.)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe							
Provide adequate information for the lender/client to replicate the below cost figures and calculations.							
Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value) MLS #45649, 5.01 acres sold for \$57,500 - 7-11-05							
MLS #46659, 5.01 acres sold for \$58,000 - 9-30-05							
MLS #43956, 5 acres sold for \$43,000 - 4-20-05							
ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input checked="" type="checkbox"/> REPLACEMENT COST NEW							
Source of cost data Effective date of cost data							
\$ 52,500							
OPINION OF SITE VALUE							
26.67 X 52.25 = 1,393.5 Sq. ft.							
Section One 1,393 Sq. ft. @ \$ 30.00 \$ 41,790							
Section Two Sq. ft. @ \$ \$ \$							
Section Three Sq. ft. @ \$ \$ \$							
Section Four Sq. ft. @ \$ \$ \$							
Kitchen equipment \$ 2,000							
Sub-total: \$ 43,790							
Cost Multiplier (if applicable): x							
Modified Sub-total: 43,790							
Physical Depreciation or Condition Modifier: -7,663							
Functional Obsolescence (not used for N.A.D.A.):							
External Depreciation or State Location Modifier:							
Delivery, Installation, and Setup (not used for N.A.D.A.): \$							
Other Depreciated Site Improvements: \$ 4,000							
Market Value of Subject Site (as supported above): \$ 52,500							
Indicated Value by Cost Approach: \$ 92,627							
Estimated Remaining Economic Life (HUD and VA only) 33 Years							
Summary of Cost Approach							

Manufactured Home Appraisal Report

File # R-25687

There are 8 comparable properties currently offered for sale in the subject neighborhood ranging in price from \$ 82,000 to \$ 133,900	
There are 4 comparable sales in the subject neighborhood within the past twelve months ranging in sale price from \$ 94,000 to \$ 119,000	
FEATURE	SUBJECT
Address	TBD Salem Road Lake City, Florida 32024
Proximity to Subject	8.69 miles SE
Sale Price	\$ 39,620
Sale Price/Gross Liv. Area	\$ 28.44 sq.ft.
Manufactured Home	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Data Source(s)	Closed sale - MLS
Verification Source(s)	MLS #46860
VALUE ADJUSTMENTS	DESCRIPTION DESCRIPTION +(-) \$ Adjustment
Sales or Financing	Cash
Concessions	None
Date of Sale/Time	October 2005
Location	Rural
Leasehold/Fee Simple	Fee Simple
Site	5.00 Acres MOL
View	Average
Design (Style)	Manuf. home
Quality of Construction	Average
Actual Age	A:7
Condition	Average
Above Grade	Total Bdrms. Baths
Room Count	6 3 2
Gross Living Area	1,393 sq.ft.
Basement & Finished	N/A
Rooms Below Grade	N/A
Functional Utility	Average
Heating/Cooling	Forced
Energy Efficient Items	Typical
Garage/Carport	None
Porch/Patio/Deck	Kitchen equip.
Site Improvements	None
Net Adjustment (Total)	\$ 110,900
Adjusted Sale Price of Comparables	Net 3.6 % Gross 3.6 %
I <input checked="" type="checkbox"/> did <input type="checkbox"/> did not research the sale or transfer history of the subject property and comparable sales. If not, explain	
My research <input checked="" type="checkbox"/> did <input type="checkbox"/> did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.	
Data source(s) Public records	
My research <input type="checkbox"/> did <input type="checkbox"/> did not reveal any prior sales or transfers of the comparable sales for the year prior to the date of sale of the comparable sale.	
Data source(s)	
Report the results of the research and analysis of the prior sale or transfer history of the subject property and comparable sales (report additional prior sales on page 4).	
ITEM	SUBJECT
Date of Prior Sale/Transfer	3-3-05
Price of Prior Sale/Transfer	\$21,000
Data Source(s)	Public records
Effective Date of Data Source(s)	11-20-05
Analysis of prior sale or transfer history of the subject property and comparable sales	
2139. Subject site sold in March, 2005 as vacant land. Public records, ORB1039, PG 2139.	
Comparable 3 sold in April 2005. Public records, ORB1044, PG 2514	
Summary of Sales Comparison Approach The sales used were the best available known to appraiser with which to compare subject. Research was done in MLS, public records, local realtors and appraisers office files. Some adjustments as well as distance guidelines may have been exceeded but could not be avoided.	
Indicated Value by Sales Comparison Approach \$ 90,000	
Indicated Value by: Sales Comparison Approach \$ 90,000 Cost Approach \$ 92,627 Income Approach (if developed) \$ N.A.	
The market sales approach reflects an estimated value of \$90,000 for subject property as of date of this appraisal. The estimate of value is well supported by the cost approach to value of \$92,627.	
This appraisal is made <input type="checkbox"/> "as is", <input checked="" type="checkbox"/> subject to completion per plans and specifications on the basis of a hypothetical condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a hypothetical condition that the repairs or alterations have been completed, or <input type="checkbox"/> subject to the following required inspection based on the extraordinary assumption that the condition or deficiency does not require alteration or repair:	
Based on a complete visual inspection of the interior and exterior areas of the subject property, defined scope of work, statement of assumptions and limiting conditions, and appraiser's certification, my (our) opinion of the market value, as defined, of the real property that is the subject of this report is \$ 90,000, as of November 17, 2005, which is the date of inspection and the effective date of this appraisal.	

Freddie Mac Form 70B March 2005

Page 3 of 7

Fannie Mae Form 1004C March 2005

Form 1004C — "WinTOTAL" appraisal software by a la mode, inc. — 1-800-ALAMODE

94.018

911

2069 S.W. Salem

470'
Drive Way is 720(2) Feet from Western most Prop. line

330 FT.

Drive Way

140

S.W. Salem

400'
5 acres Total
Planted Pines

240 FT

100 FT

28x52
MOBILE
HOME

257 FT

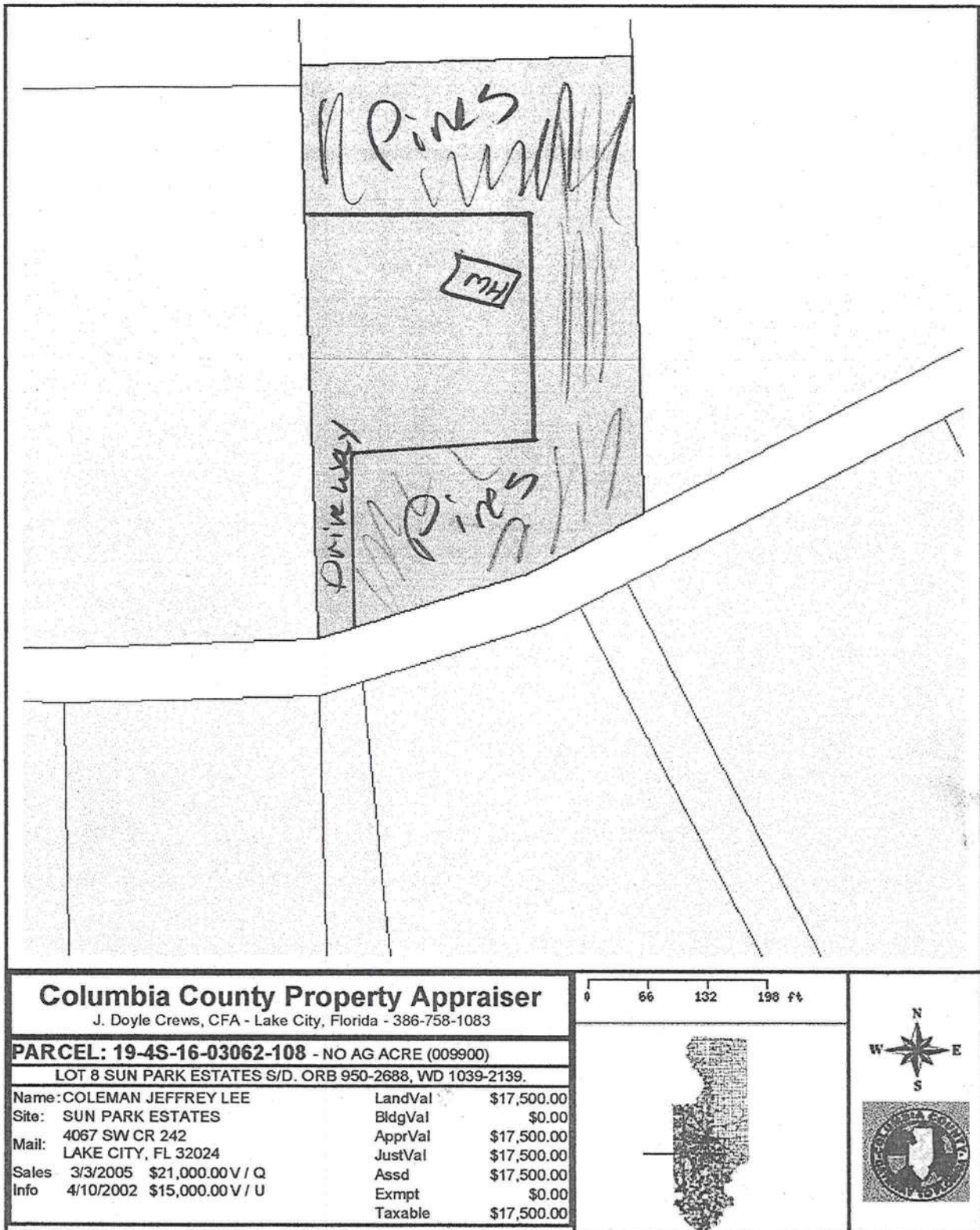
Pines

370'

Tax ID# R03062-108

Planted Pines

1901 S.W. Salem



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 19-4S-16-03062-108 - NO AG ACRE (009900)

LOT 8 SUN PARK ESTATES S/D. ORB 950-2688, WD 1039-2139.

Name:	COLEMAN JEFFREY LEE	LandVal	\$17,500.00
Site:	SUN PARK ESTATES	BldgVal	\$0.00
Mail:	4067 SW CR 242	ApprVal	\$17,500.00
	LAKE CITY, FL 32024	JustVal	\$17,500.00
Sales	3/3/2005 \$21,000.00 V / Q	Assd	\$17,500.00
Info	4/10/2002 \$15,000.00 V / U	Exmpt	\$0.00
		Taxable	\$17,500.00

0 66 132 198 ft



This information, GIS Map Updated: 10/21/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
382 SW Baya Drive
Lake City, Florida 32025

Warranty Deed

Individual to Individual

THIS WARRANTY DEED made the 3rd day of March, 2005 by

James Warner, and his wife, Mendy Warner

hereinafter called the grantor, to

Jeffrey Lee Coleman

whose post office address is: 4067 SW CR 242, Lake City, FL 32024
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, FLORIDA, viz: Parcel ID# R03062-108

Lot 8, Sun Park Estates, a subdivision according to the plat thereof recorded in Plat Book 6, Pages 59-59A, Public Records of Columbia County, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lyndi Skinner
Witness

LYNDI SKINNER

Rhonda B. Green
Witness

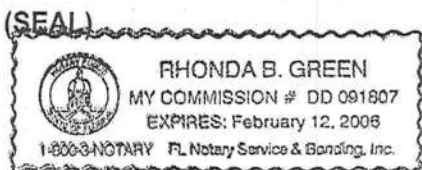
Rhonda B. Green

James Warner
James Warner

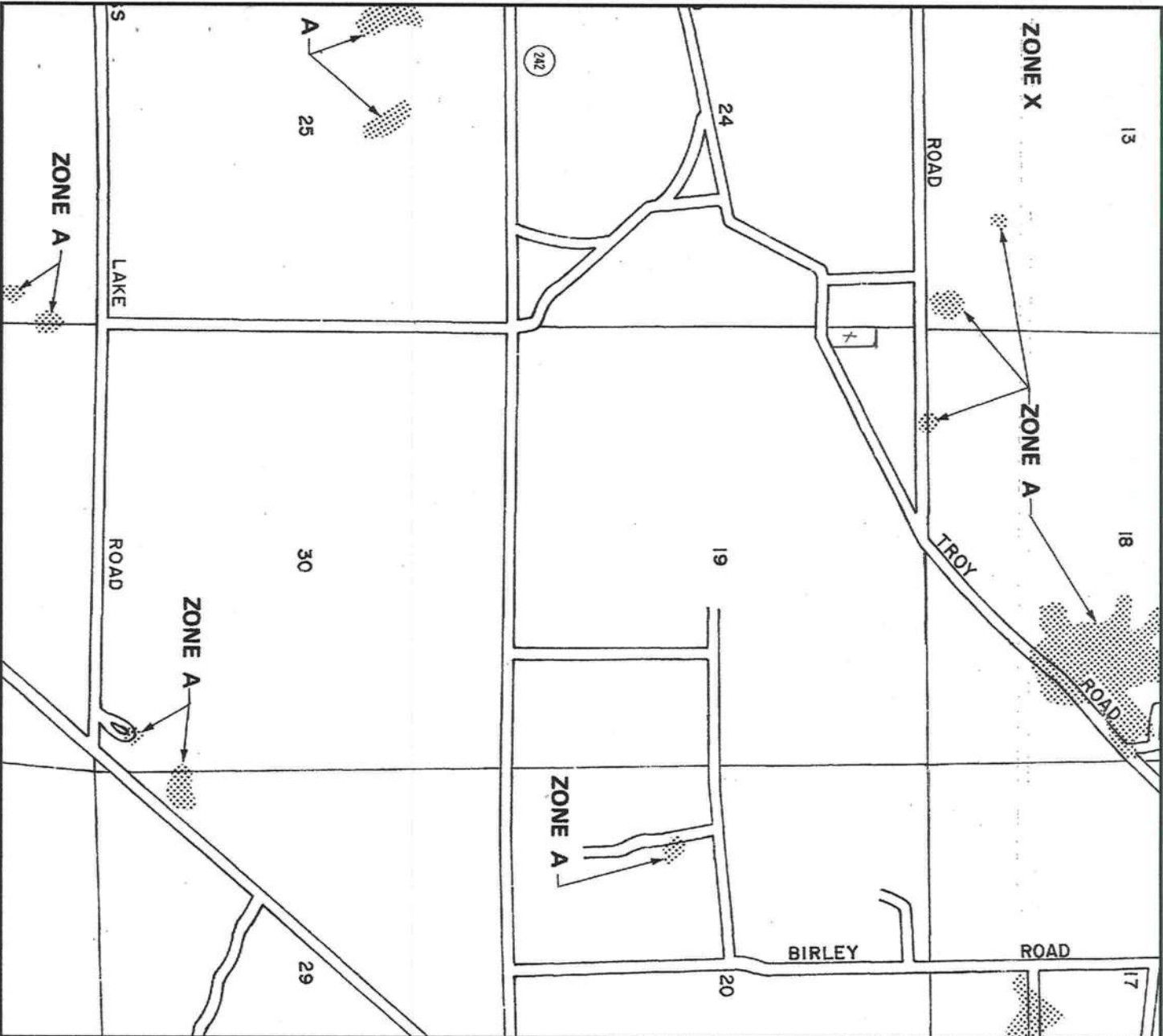
Mendy Warner
Mendy Warner

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 3rd day of March, 2005 by James Warner, and his wife, Mendy Warner personally known to me or, if not personally known to me, who produced Driver's License No. _____ for identification and who did not take an oath.



Rhonda B. Green
Notary Public
Rhonda B. Green



APPROXIMATE SCALE IN FEET



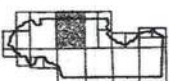
NATIONAL FLOOD INSURANCE PROGRAM

FIRM FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 175 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0175 B

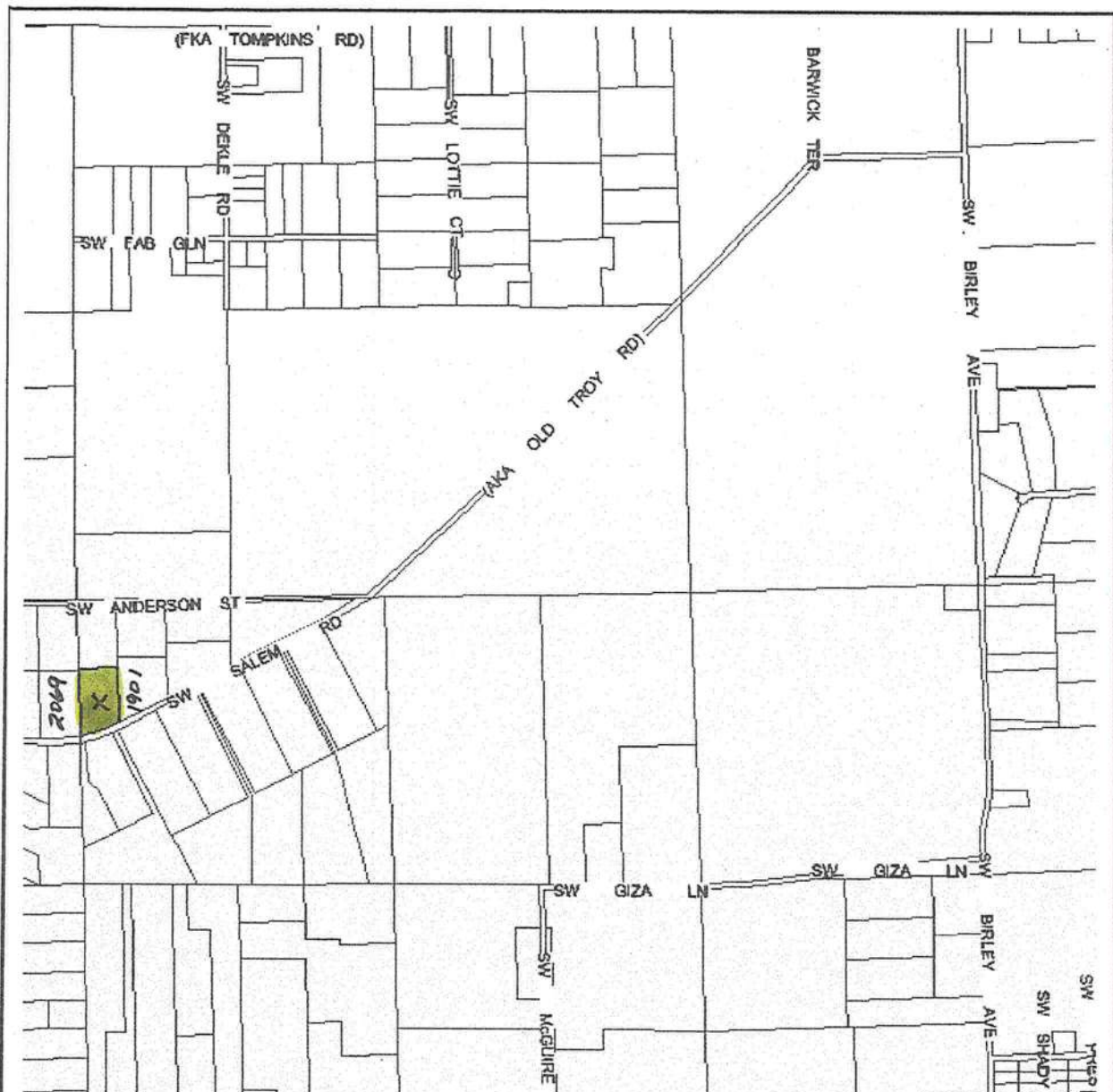
EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifm.



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 19-4S-16-03062-108 - NO AG ACRE (009900)

LOT 8 SUN PARK ESTATES S/D. ORB 950-2688, WD 1039-2139.

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Info	4/10/2002 \$15,000.00 V / U	Exmpt	\$0.00
		Taxable	\$17,500.00

0 0.1 0.2 0.3 mi



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**Bobby Corbett's
Mobile Home Center, Inc.**

1126 Howard Street • US 90 East • Live Oak, Florida 32060
(904) 364-1340 • FAX # (904) 364-5747

Date 12-8-05

To whom it May Concern:

I, Robert P Corbett herein grant
permission to Jeffery Coleman to pull
permits on my behalf for License # 000017

Authorized by: Robert P. Corbett
Signature

Witnessed by Maurice C. Sepp
Signature

Permission granted to _____
Signature

Witnessed by _____
Signature

Notarized in the County of Suwannee, State of Florida on the
8 day of December, 2005. Personally Know _____
Or Produced Identification D.L.

William E. Wilson Seal
Notary



William E. Wilson
Commission # 10132869
Expires July 21, 2006
Bonded Firm
Atlantic Bonding Co., Inc.

Professional Details

Professional Details

TOTAL P.01

**COLUMBIA COUNTY
OF
FLORIDA**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 19-4S-16-03062-108

Building permit No. 000023947

Permit Holder CORBETT'S MHC

Owner of Building JEFFREY L. COLEMAN

Location: 2023 SW SALEM ROAD(SUN PARK EST., LOT 8)



Date: 01/03/2006

A handwritten signature in dark ink, appearing to read "del q", is written over a horizontal line.

Building Inspector

**POST IN A CONSPICUOUS PLACE
(Business Places Only)**