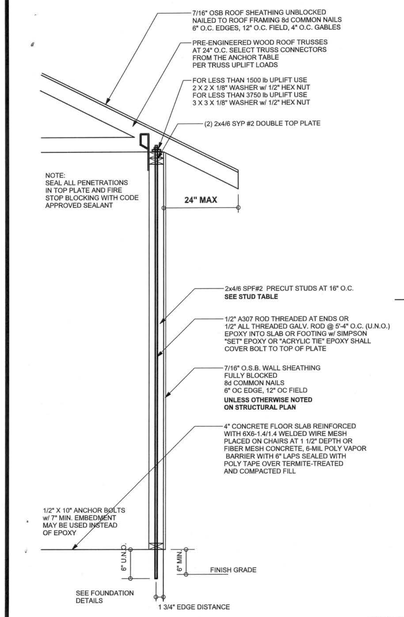
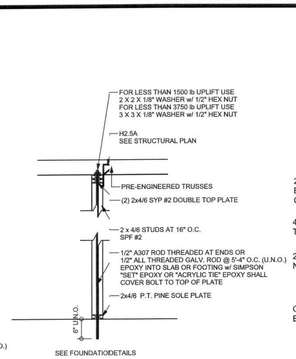


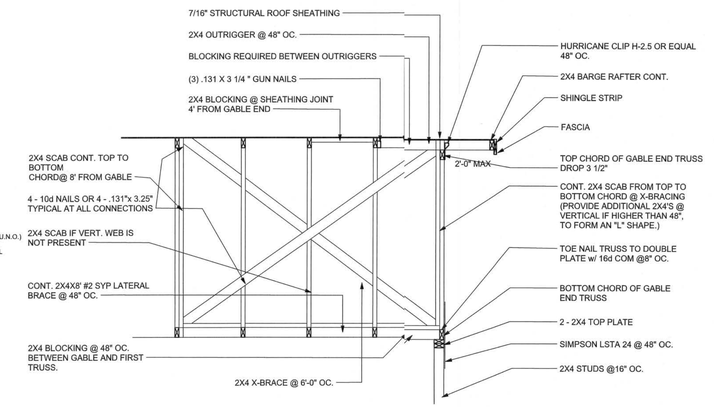
ONE STORY WALL SECTION

SCALE: 3/4" = 1'-0"



INTERIOR BEARING WALL

SCALE: 1/2" = 1'-0"



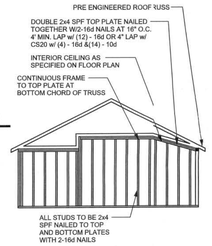
TYPICAL GABLE END (X-BRACING)

ALL MEMBERS SHALL BE SYP

EXTERIOR WALL STUD TABLE FOR SPF #2 STUDS

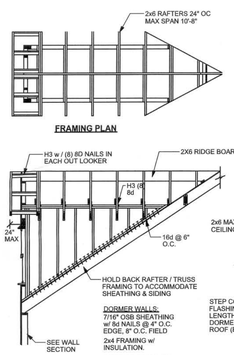
(1) 2x4 @ 16" OC	TO 11'-9" STUD HEIGHT
(1) 2x4 @ 12" OC	TO 13'-0" STUD HEIGHT
(1) 2x6 @ 16" OC	TO 18'-10' STUD HEIGHT
(1) 2x6 @ 12" OC	TO 20.0' STUD HEIGHT

THIS STUD HEIGHT TABLE IS PER WFCM 2001, TABLE 3.20B. EXTERIOR LOAD BEARING & NON LOAD BEARING STUD LENGTHS RESISTING INTERIOR ZONE WINDLOADS 110 MPH EXPOSURE B. STUD SPACINGS SHALL BE MULTIPLIED BY 0.85 FOR FRAMING LOCATED WITHIN 4 FEET OF CORNERS FOR END ZONE LOADING. EXAMPLE 16" O.C. x 0.85 = 13.6" O.C.



CONTINUOUS FRAME TO CEILING DIAPHRAGM DETAIL

SCALE: N.T.S.



FRAMING PLAN

DORMER ANCHORING DETAIL (ON ROOF)

SCALE: N.T.S.

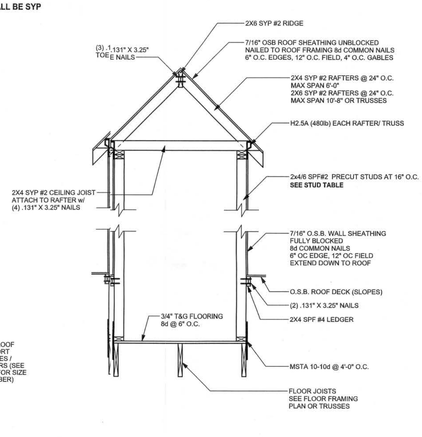
DORMER ROOF:
ROOFING (BY OWNER)

15lb. FELT OVER 7/16' OSB

TRUSSES / RAFTERS (SEE ROOF FRAMING PLAN FOR SIZE & SPACING) TO RIDGE BOARD (FULL DEPTH OF RAFTER CUT).

CEILING JOISTS

CEILING FINISH (BY OWNER)



DORMER ANCHORING DETAIL (ON FLOOR)

SCALE: N.T.S.

ANCHOR TABLE

OBTAIN UPLIFT REQUIREMENTS FROM TRUSS MANUFACTURER'S ENGINEERING

UPLIFT LBS. SYP	UPLIFT LBS. SPF	TRUSS CONNECTOR*	TO PLATES	TO RAFTER/TRUSS	TO STUDS
< 420	< 245	H5A	3-8d	3-8d	
< 455	< 265	H5	4-8d	4-8d	
< 360	< 235	H4	4-8d	4-8d	
< 455	< 320	H3	4-8d	4-8d	
< 415	< 365	H2.5	5-8d	5-8d	
< 600	< 535	H2.5A	5-8d	5-8d	
< 950	< 820	H6	8-8d	8-8d	
< 745	< 565	H8	5-10d, 1 1/2"	5-10d, 1 1/2"	
< 1465	< 1050	H14-1	13-8d	12-8d, 1 1/2"	
< 1465	< 1050	H14-2	15-8d	12-8d, 1 1/2"	
< 990	< 850	H10-1	8-8d, 1 1/2"	8-8d, 1 1/2"	
< 760	< 655	H10-2	6-10d	6-10d	
< 1470	< 1265	H16-1	10-10d, 1 1/2"	2-10d, 1 1/2"	
< 1470	< 1265	H16-2	10-10d, 1 1/2"	2-10d, 1 1/2"	
< 1000	< 860	MTS24C	7-10d 1 1/2"	7-10d 1 1/2"	
< 1450	< 1245	HTS24	12-10d 1 1/2"	12-10d 1 1/2"	
< 2900	< 2490	2 - HTS24			
< 2050	< 1785	LGT2	14 -16d	14 -16d	
		HEAVY GIRDER TIEDOWNS*			**TO FOUNDATION**
< 3965	< 3330	MGT		22 -10d	1-5/8" THREADED ROD 12" EMBEDMENT
< 10980	< 6485	HGT-2		16 -10d	2-5/8" THREADED ROD 12" EMBEDMENT
< 10530	< 9035	HGT-3		16 -10d	2-5/8" THREADED ROD 12" EMBEDMENT
< 9250	< 9250	HGT-4		16 -10d	2-5/8" THREADED ROD 12" EMBEDMENT
		STUD STRAP CONNECTOR*			**TO STUDS**
< 435	< 435	SSP DOUBLE TOP PLATE	3 -10d		4 -10d
< 455	< 420	SSP SINGLE SILL PLATE	1 -10d		4 -10d
< 825	< 825	DSP DOUBLE TOP PLATE	6 -10d		8 -10d
< 825	< 600	DSP SINGLE SILL PLATE	2 -10d		8 -10d
< 885	< 760	SP4			6-10d, 1 1/2"
< 1240	< 1065	SPH4			10-10d, 1 1/2"
< 885	< 760	SP6			6-10d, 1 1/2"
< 1240	< 1065	SPH6			10-10d, 1 1/2"
< 1235	< 1165	LSTA18	14-10d		
< 1235	< 1235	LSTA21	16-10d		
< 1030	< 1030	CS20	18-8d		
< 1705	< 1705	CS16	28-8d		
		STUD ANCHORS*	**TO STUDS**		**TO FOUNDATION**
< 1350	< 1305	LTT19	8-16d		1/2" AB
< 2310	< 2310	LTTI31	18-10d, 1 1/2"		1/2" AB
< 2775	< 2570	HD2A	2-5/8" BOLTS		5/8" AB
< 4175	< 3695	HTT16	18 - 16d		5/8" AB
< 1400	< 1400	PAHD42	16-16d		
< 3335	< 3335	HPAHD22	16-16d		
< 2200	< 2200	ABU44	12-16d		1/2" AB
< 2300	< 2300	ABU66	12-16d		1/2" AB
< 2320	< 2320	ABU88	18 - 16d		2-5/8" AB

GENERAL NOTES:

TRUSSES: TRUSSES SHALL BE DESIGNED BY A FLORIDA LICENSED ENGINEER IN ACCORDANCE WITH THE FBCR 2004. TRUSS ENGINEERING SHALL INCLUDE TRUSS DESIGN, PLACEMENT PLANS, TEMPORARY AND PERMANENT BRACING DETAILS, TRUSS-TO-TRUSS CONNECTIONS, AND UPLIFT AND REACTION LOADS FOR ALL BEARING LOCATIONS. TRUSS ENGINEERING IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER AND SHALL BE SIGNED & SEALED BY THE MANUFACTURER'S DESIGN ENGINEER. IT IS THE BUILDER'S RESPONSIBILITY VERIFY THE TRUSS DESIGNER FULLY SATISFIED ALL THE ABOVE REQUIREMENTS AND TO SELECT UPLIFT CONNECTIONS BASED ON TRUSS ENGINEERING UPLIFT AND PROVIDE FOOTINGS FOR INTERIOR BEARING WALLS. BUILDER IS TO FURNISH TRUSS ENGINEERING TO WIND LOAD ENGINEER FOR REVIEW OF TRUSS REACTIONS ON THE BUILDING STRUCTURE. STRAP 2X6 RAFTERS WITH MIN UPLIFT CONNECTION 415LB EACH END; 2X8 RAFTERS 700 LB EACH END.

SITE PREPARATION: SITE ANALYSIS AND PREPARATION IS NOT PART OF THIS PLAN

FOUNDATION: CONFIRM THAT THE FOUNDATION DESIGN & SITE CONDITIONS MEET GRAVITY LOAD REQUIREMENTS (ASSUME 1000 PSF BEARING CAPACITY UNLESS VISUAL OBSERVATION OR SOILS TEST PROVES OTHERWISE

CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS, F'c = 3000 PSI.

WELDED WIRE REINFORCED SLAB: 6" x 6" W1.4 x W1.4, FB = 85KSI, WELDED WIRE REINFORCEMENT FABRIC (W.W.M.) CONFORMING TO ASTM A185; LOCATED IN MIDDLE OF THE SLAB; SUPPORTED WITH APPROVED MATERIALS OR SUPPORTS AT SPACINGS NOT TO EXCEED 3'.

FIBER CONCRETE SLAB: CONCRETE SLABS ON GROUND CONTAINING SYNTHETIC FIBER REINFORCEMENT. FIBER LENGTH 1/2 INCH TO 2 INCHES. DOSAGE AMOUNTS FROM 0.75 TO 1.5 POUNDS PER CUBIC YARD PER THE MANUFACTURER'S RECOMMENDATIONS. FIBERS TO COMPLY WITH ASTM C 1116. SUPPLIER TO PROVIDE ASTM C 1116 CERTIFICATION OF COMPLIANCE WHEN REQUESTED BY BUILDING OFFICIAL.

CONTROL JOINTS: WHERE SPECIFIED, SAWN CONTROL JOINTS IN SLAB-ON-GRADE SHALL BE CUT IN ACCORDANCE WITH ACI 302. JOINTS SHALL BE CUT WITHIN 12 HOURS OF SLAB PLACEMENT. THE LENGTH / WIDTH RATIOS OF SLAB AREAS SHALL NOT EXCEED 1.5 AND TYPICAL SPACING OF CUTS TO BE 12FT., DO NOT CUT WWM OR REINFORCING STEEL. (RECOMMENDED LOCATION OF CONTROL JOINTS IS SUBJECT TO OWNER AND CONTRACTOR'S APPROVAL. THE CONTROL JOINTS ARE NOT INTENDED TO PREVENT CRACKS BUT RATHER TO ENCOURAGE THE SLAB TO CRACK ON A GIVEN LINE.)

REBAR: ASTM A 615, GRADE 60, DEFORMED BARS, FY = 60 KSI. ALL LAP SPLICES 40 * DB (25" FOR #5 BARS); UNO. ALL REINFORCEMENT SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH ACI 315-56, U.N.O.

GLULAM BEAMS: GLULAM BEAM, GLB, 24F-V3SP, Fb = 2.4ksi, E = 1800ksi; UNO. SUPPLIER MAY SUPPLY AN ALTERNATE BEAM WITH EQUAL PROPERTIES OR MAY SUBMIT THEIR OWN SIZING CALCS.

ROOF SHEATHING: ALL ROOFS ARE HORIZONTAL DIAPHRAGMS; 7/16" OSB SHEATHING, UNBLOCKED, APPLIED PERPENDICULAR TO FRAMING, OVER A MINIMUM OF 3 FRAMING MEMBERS, WITH PANEL EDGES STAGGERED, FASTENED WITH 8d COMMON NAILS (.131), 6"OC PANEL EDGES, 12"OC INTERMEDIATE MEMBERS, GABLE ENDS AND DIAPHRAGM BOUNDARY; 4"OC, UNO.

STRUCTURAL CONNECTORS: MANUFACTURERS AND PRODUCT NUMBER FOR CONNECTORS, ANCHORS, AND REINFORCEMENT ARE LISTED FOR EXAMPLE NOT ENDORSEMENT. AN EQUIVALENT DEVICE OF THE SAME OR OTHER MANUFACTURER CAN BE SUBSTITUTED FOR ANY DEVICES LISTED IN THE EXAMPLE TABLES AS LONG AS IT MEETS THE REQUIRED LOAD CAPACITIES. MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE FOLLOWED TO ACHIEVE RATED LOADS.

ANCHOR BOLTS: A-307 ANCHOR BOLTS WITH MINIMUM EMBEDMENT AS SPECIFIED IN DRAWINGS BUT NO LESS THAN 7" IN CONCRETE OR REINFORCED BOND BEAM OR 15" IN GROUTED CMU.

WASHERS: WASHERS USED WITH 1/2" BOLTS TO BE 2" x 2" x 9/64"; WITH 5/8" BOLTS TO BE 3" x 3" x 9/64"; WITH 3/4" BOLTS TO BE 3" x 3" x 9/64"; WITH 7/8" BOLTS TO BE 3" x 3" x 5/16"; UNO.

NAILS: ALL NAILS ARE COMMON NAILS UNLESS OTHERWISE SPECIFIED OR ACCEPTED BY FBC TEST REPORTS AS HAVING EQUAL STRUCTURAL VALUES.

BUILDER'S RESPONSIBILITY

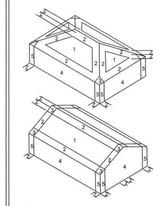
THE BUILDER AND OWNER ARE RESPONSIBLE FOR THE FOLLOWING, WHICH ARE SPECIFICALLY NOT PART OF THE WIND LOAD ENGINEER'S SCOPE OF WORK.
CONFIRM SITE CONDITIONS, FOUNDATION BEARING CAPACITY, GRADE AND BACKFILL HEIGHT, WIND SPEED AND DEBRIS ZONE, AND FLOOD ZONE.
PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, WHICH COMPLY WITH FBCR 2004 REQUIREMENTS FOR THE STATED WIND VELOCITY AND DESIGN PRESSURES.
PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES TO FOUNDATION. IF YOU BELIEVE THE PLAN OMITS A CONTINUOUS LOAD PATH CONNECTION, CALL THE WIND LOAD ENGINEER IMMEDIATELY.
VERIFY THE TRUSS MANUFACTURER'S SEALED ENGINEERING INCLUDES TRUSS DESIGN, PLACEMENT PLANS, TEMPORARY AND PERMANENT BRACING DETAILS, TRUSS-TO-TRUSS CONNECTIONS, AND UPLIFT AND REACTION LOADS FOR ALL BEARING LOCATIONS.

ROOF SYSTEM DESIGN

THE SEAL ON THESE PLANS FOR COMPLIANCE WITH FBCR 2004, SECTION R301.2.1 IS BASED ON REACTIONS, UPLIFTS, AND BEARING LOCATIONS IN TRUSS ENGINEERING SUBMITTED TO THE WIND LOAD ENGINEER. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK ALL DETAILS OF THE COMPLETE ROOF SYSTEM DESIGN SUBMITTED BY THE TRUSS MANUFACTURER AND HAVE IT SIGNED, AND SEALED BY A DESIGN PROFESSIONAL FOR CORRECT APPLICATION OF FBC 2001 REQUIRED LOADS AND ANY SPECIAL LOADS. THE BUILDER IS RESPONSIBLE TO REVIEW EACH INDIVIDUAL TRUSS MEMBER AND THE TRUSS ROOF SYSTEM AS A WHOLE AND TO PROVIDE RESTRAINT FOR ANY LATERAL BRACING. THE BUILDER SHOULD USE CARE CHECKING THE ROOF DESIGN BECAUSE THE WIND LOAD ENGINEER IS SPECIFICALLY NOT RESPONSIBLE FOR THE TRUSS LAYOUT WHICH WAS CREATED BY THE TRUSS MANUFACTURER AND THE TRUSS DESIGNER ALSO DENIES RESPONSIBILITY FOR THE LAYOUT PER NOTES ON THEIR SEALED TRUSS SHEETS.

DESIGN DATA

WIND LOADS PER FLORIDA BUILDING CODE 2004 RESIDENTIAL, SECTION R301.2.1
(ENCLOSED SIMPLE DIAPHRAGM BUILDINGS WITH FLAT, HIPPED, OR GABLE ROOFS; MEAN ROOF HEIGHT NOT EXCEEDING LEAST HORIZONTAL DIMENSION OR 60 FT; NOT ON UPPER HALF OF HILL OR ESCARPMENT 60FT IN EXP. B, 30FT IN EXP. C AND >10% SLOPE AND UNOBSTRUCTED UPWIND FOR 50x HEIGHT OR 1 MILE WHICHEVER IS LESS.)
BUILDING IS NOT IN THE HIGH VELOCITY HURRICANE ZONE
BUILDING IS NOT IN THE WIND-BORNE DEBRIS REGION
1.) BASIC WIND SPEED = 110 MPH
2.) WIND EXPOSURE = B
3.) WIND IMPORTANCE FACTOR = 1.0
4.) BUILDING CATEGORY = II
5.) ROOF ANGLE = 10-45 DEGREES
6.) MEAN ROOF HEIGHT = <30 FT
7.) INTERNAL PRESSURE COEFFICIENT = N/A (ENCLOSED BUILDING)
8.) COMPONENTS AND CLADDING DESIGN WIND PRESSURES (TABLE R301.2(2))



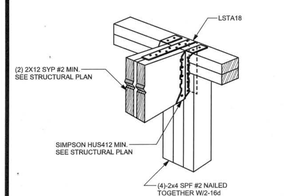
Zone	Effective Wind Area (ft2)	
	10	100
1	19.9 -21.8	18.1 -18.1
2	19.9 -25.5	18.1 -21.8
2 Ohg	-40.6	-40.6
3	19.9 -25.5	18.1 -21.8
3 Ohg	-68.3	-42.4
4	21.8 -23.6	18.5 -20.4
5	21.8 -29.1	18.5 -22.6

Doors & Windows Worst Case (Zone 5, 10 ft2)	21.8	-29.1
8x7 Garage Door	19.5	-22.9
16x7 Garage Door	18.5	-21.0

DESIGN LOADS	
FLOOR	40 PSF (ALL OTHER DWELLING ROOMS)
	30 PSF (SLEEPING ROOMS)
	30 PSF (ATTICS WITH STORAGE)
	10 PSF (ATTICS WITHOUT STORAGE, <3:12)
ROOF	20 PSF (FLAT OR <4:12)
	16 PSF (4:12 TO <12:12)
	12 PSF (12:12 AND GREATER)
STAIRS	40 PSF (ONE & TWO FAMILY DWELLINGS)
SOIL BEARING CAPACITY	1000PSF
NOT IN FLOOD ZONE (BUILDER TO VERIFY)	

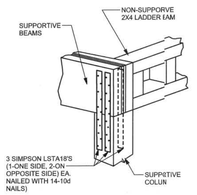
GRADE & SPECIES TABLE

		Fb (psi)	E (10^6 psi)
2x8	SYP #2	1200	1.6
2x10	SYP #2	1050	1.6
2x12	SYP #2	975	1.6
GLB	24F-V3 SP	2400	1.8
LSL	TIMBERSTRAND	1700	1.7
LVL	MICROLAM	2900	2.0
PSL	PARALAM	2900	2.0



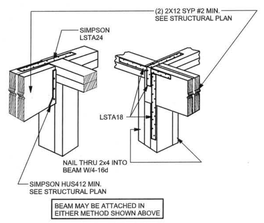
BEAM MID-WALL CONNECTION DETAIL

SCALE: N.T.S.



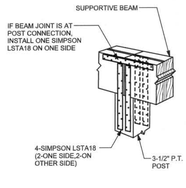
SUPPORTIVE POST TO BEAM DETAIL FOR SINGLE BEAM

SCALE: N.T.S.



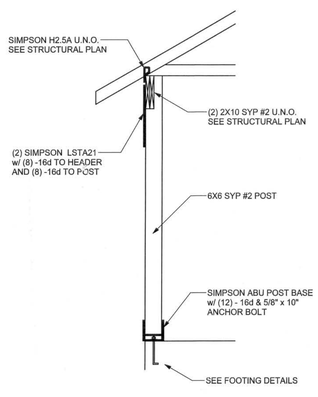
BEAM CORNER CONNECTION. DETAIL

SCALE: N.T.S.



SUPPORTIVE CENTER POST TO BEAM DETAIL

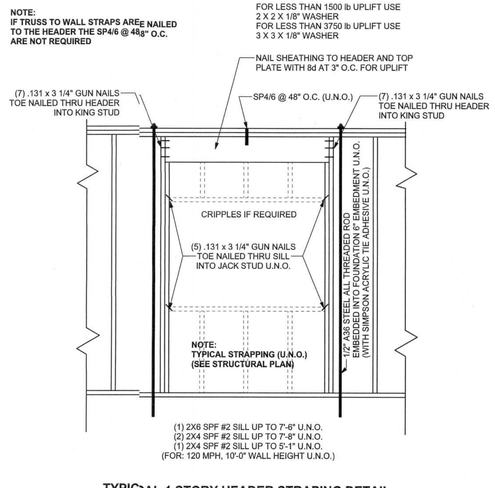
SCALE: N.T.S.



TYPICAL PORCH POST DETAIL

SCALE: 1/2" = 1'-0"

NOTE:
IF TRUSS TO WALL STRAPS ARE NAILED TO THE HEADER THE SP4/6 @ 48" O.C. ARE NOT REQUIRED

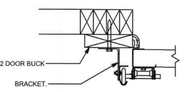


TYPICAL 1 STORY HEADER STRAPING DETAIL

SCALE: 1 1/2" = 1'-0"

2x6 SYP #2 GARAGE DOOR BUCK ATTACHMENT
ATTACH GARAGE DOOR BUCK TO STUD PACK AT EACH SIDE OF DOOR OPENING WITH 3/8"x4" LAG SCREWS w/ 1" WASHER LAG SCREWS MAY BE COUNTERSUNK. HORIZONTAL JAMBS DO NOT TRANSFER LOAD. CENTER LAG SCREWS OR STAGGER 16d NAILS OR (2) ROWS OF .131 x 3 1/4" GN PER TABLE BELOW.

DOOR WIDTH	3/8" x 4" LAG	16d STAGGER	(2) ROWS OF .131 x 3 1/4" GN
8' - 10'	24" O.C.	5" O.C.	5" O.C.
11' - 15'	18" O.C.	4" O.C.	4" O.C.
16' - 18'	16" O.C.	3" O.C.	3" O.C.



GARAGE DOOR BUCK INSTALLATION DETAIL

SCALE: N.T.S.

REVISIONS	

SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE

WIDLOAD ENGINEER: Mark Disoway, PENo.53915, POS 868, Lake City, FL 3256, 386-754-5419

DIENSIONS:
Staed dimensions supercede scaled dimensions. Refer all questions to Mak Disoway, P.E. for resolution. Do not proceed without clarification.

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CEITIFICATION: I hereby certify that I have examined this plan, and that the applicable porions of the plan, relating to wind engineering corply with section R301.2.1, florida building cos residential 2004, to the best of my knowledge.

LIMTATION: This design is valid for one building, at specified location.

MARK DISOSWAY
P.E. 53915

SEAL

Isaac Construction

Mike & Linda Cady Addition

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PRINTED DATE: June 14, 2006

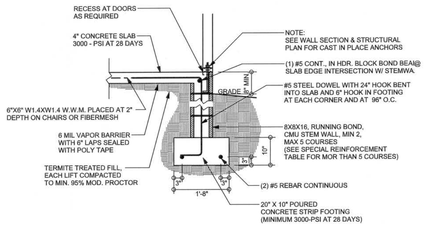
DRAWN BY: | STRUCTURAL BY: David Disosway

FNALS DATE: 6 / Jun / 06

JOB NUMBER: 604122

DRAWING NUMBER **S-1**

OF 4 SHEETS

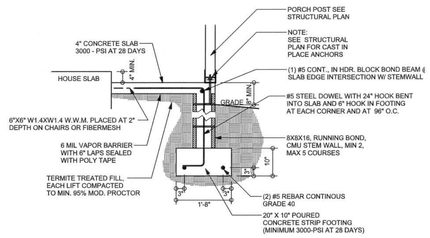


F9 S-2 STEM WALL FOOTING
SCALE: 1/2" = 1'-0"

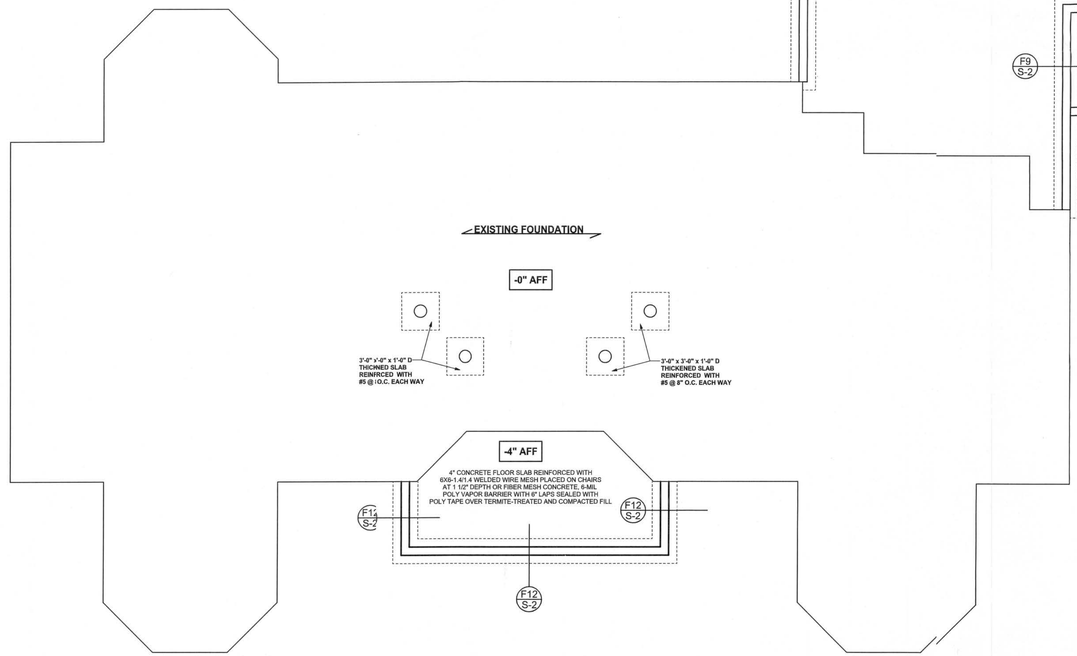
TALL STEM WALL TABLE

The table assumes 60 ksi reinforcing bars with 6" hook in the footing and bent 24" into the reinforced slab at the top. The vertical steel is to be placed toward the tension side of the CMU wall (away from the soil pressure, within 2" of the exterior side of the wall). If the wall is over 8' high, add Durowall ladder reinforcement at 16"OC vertically or a horizontal bond beam with 1#5 continuous at mid height. For higher parts of the wall 12" CMU may be used with reinforcement as shown in the table below.

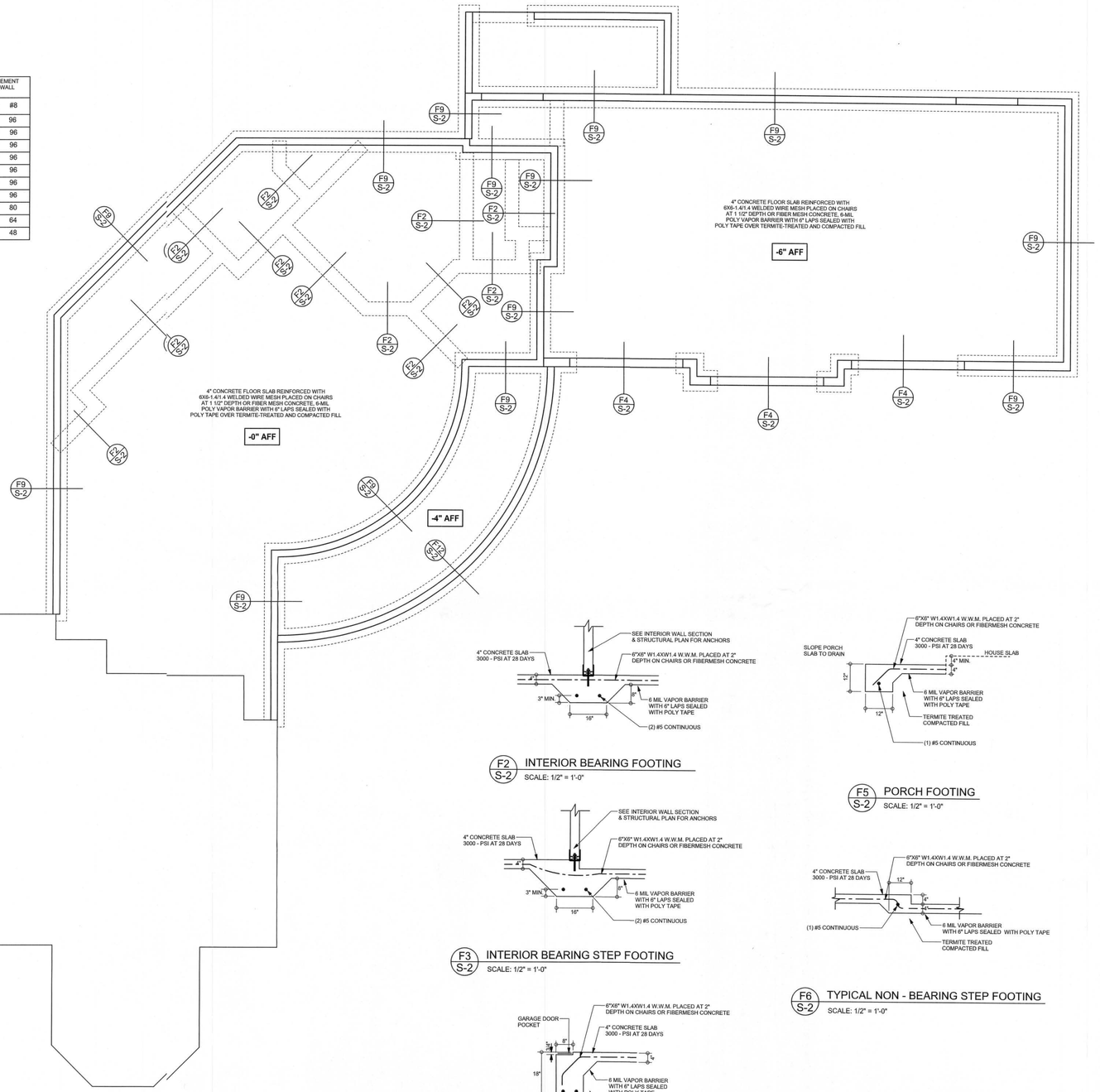
STEMWALL HEIGHT (FEET)	UNBALANCED BACKFILL HEIGHT	VERTICAL REINFORCEMENT FOR 8" CMU STEMWALL (INCHES O.C.)			VERTICAL REINFORCEMENT FOR 12" CMU STEMWALL (INCHES O.C.)		
		#5	#7	#8	#5	#7	#8
3.3	3.0	96	96	96	96	96	96
4.0	3.7	96	96	96	96	96	96
4.7	4.3	88	96	96	96	96	96
5.3	5.0	56	96	96	96	96	96
6.0	5.7	40	80	96	80	96	96
6.7	6.3	32	56	80	56	96	96
7.3	7.0	24	40	56	40	80	96
8.0	7.7	16	32	48	32	64	80
8.7	8.3	8	24	32	24	48	64
9.3	9.0	8	16	24	16	40	48



F12 S-2 ALT. STEM WALL PORCH FOOTING
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"
DIMENSIONS ON STRUCTURAL SHEETS ARE NOT EXACT. REFER TO ARCHITECTURAL FLOOR PLAN FOR ACTUAL DIMENSIONS



F2 S-2 INTERIOR BEARING FOOTING
SCALE: 1/2" = 1'-0"

F3 S-2 INTERIOR BEARING STEP FOOTING
SCALE: 1/2" = 1'-0"

F4 S-2 GARAGE DOOR FOOTING
SCALE: 1/2" = 1'-0"

F5 S-2 PORCH FOOTING
SCALE: 1/2" = 1'-0"

F6 S-2 TYPICAL NON - BEARING STEP FOOTING
SCALE: 1/2" = 1'-0"

REVISIONS	

SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE

WINDLOAD ENGINEER: Mark Disosway, PE No.53915, POB 868, Lake City, FL 32056, 386-754-5419

DIMENSIONS: Stated dimensions supercede scaled dimensions. Refer all questions to Mark Disosway, P.E. for resolution. Do not proceed without clarification.

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CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with section R301.2.1, florida building code residential 2004, to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

MARK DISOSWAY
P.E. 53915

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PRINTED DATE: June 14, 2006

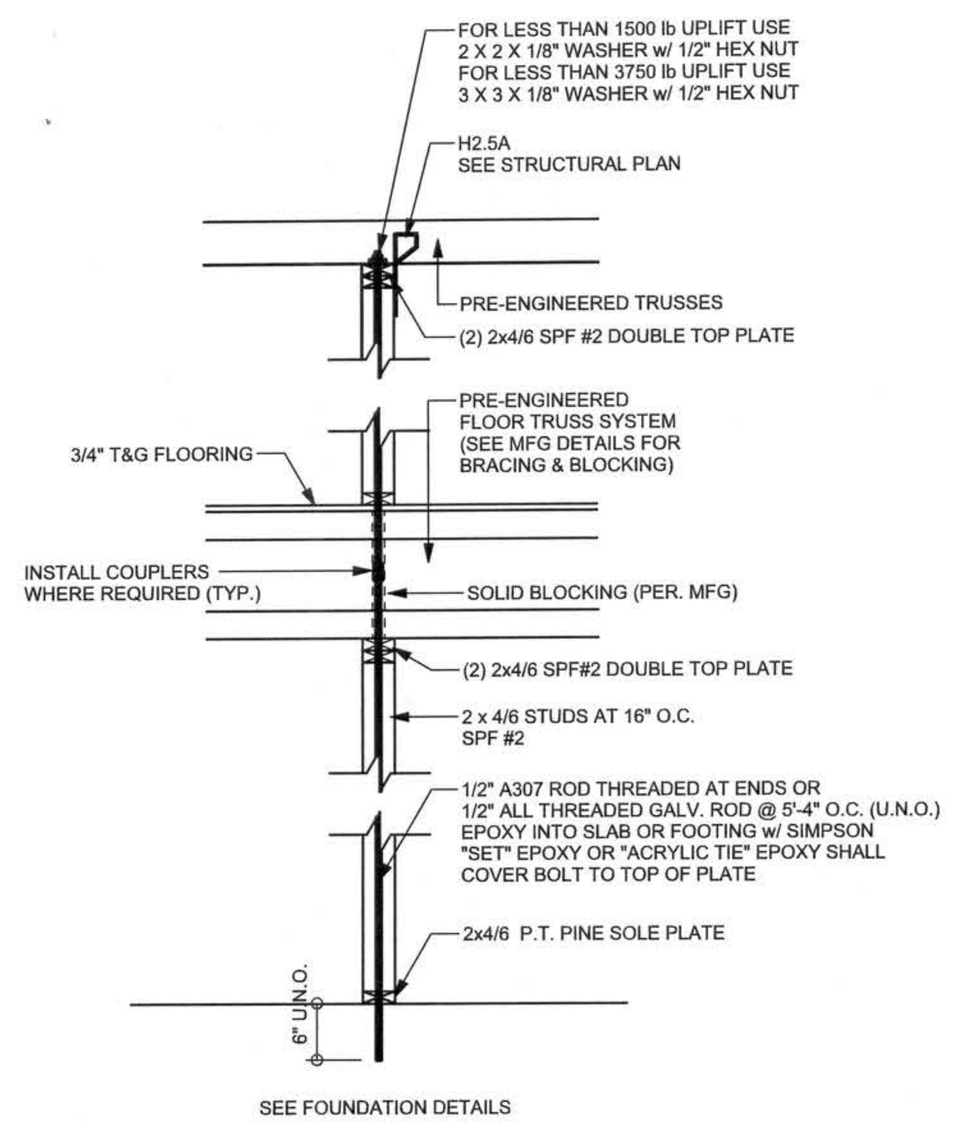
DRAWN BY:

STRUCTURAL BY: David Disosway

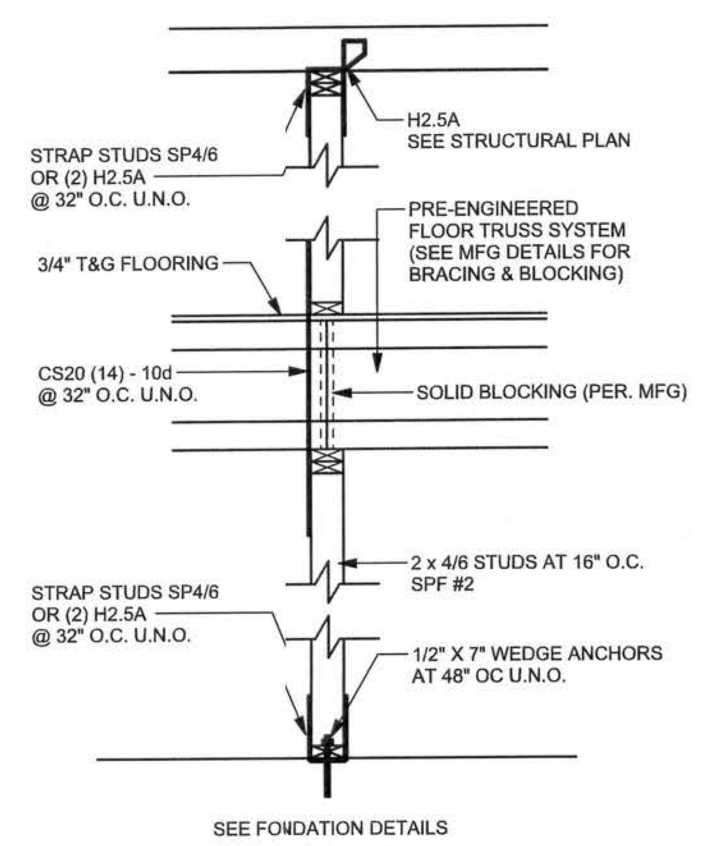
FINALS DATE: 06 / Jun / 06

JOB NUMBER: 604122

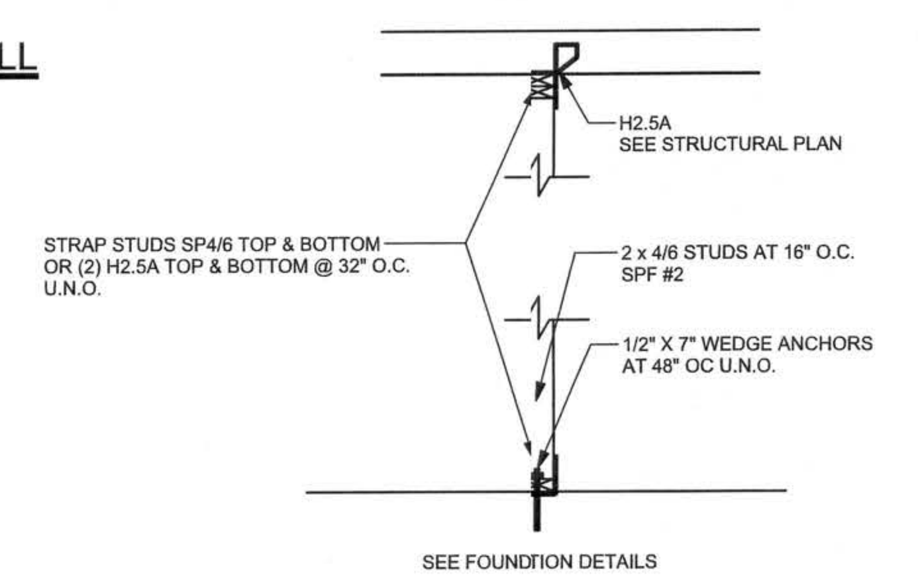
DRAWING NUMBER
S-2
OF 4 SHEETS



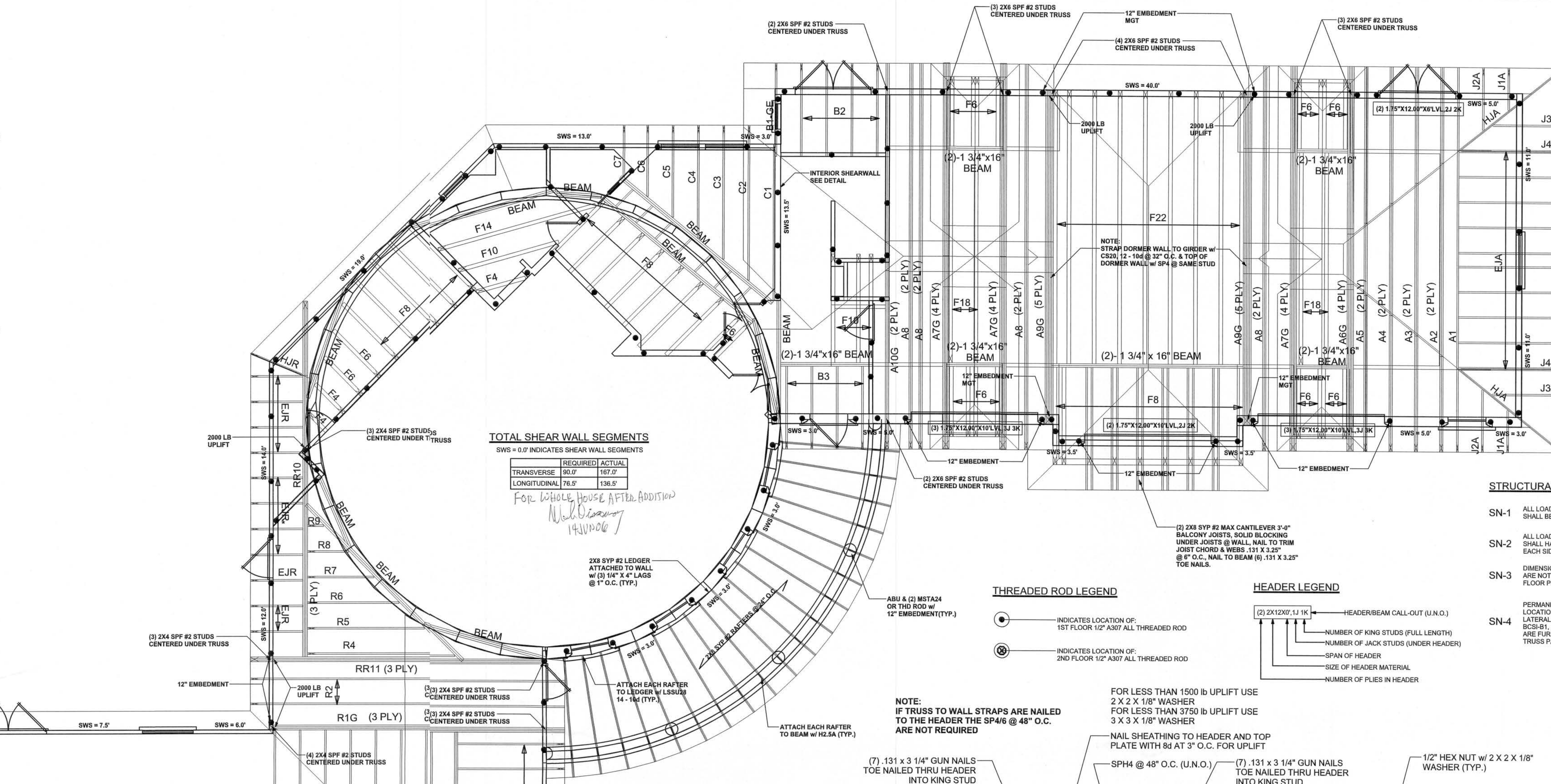
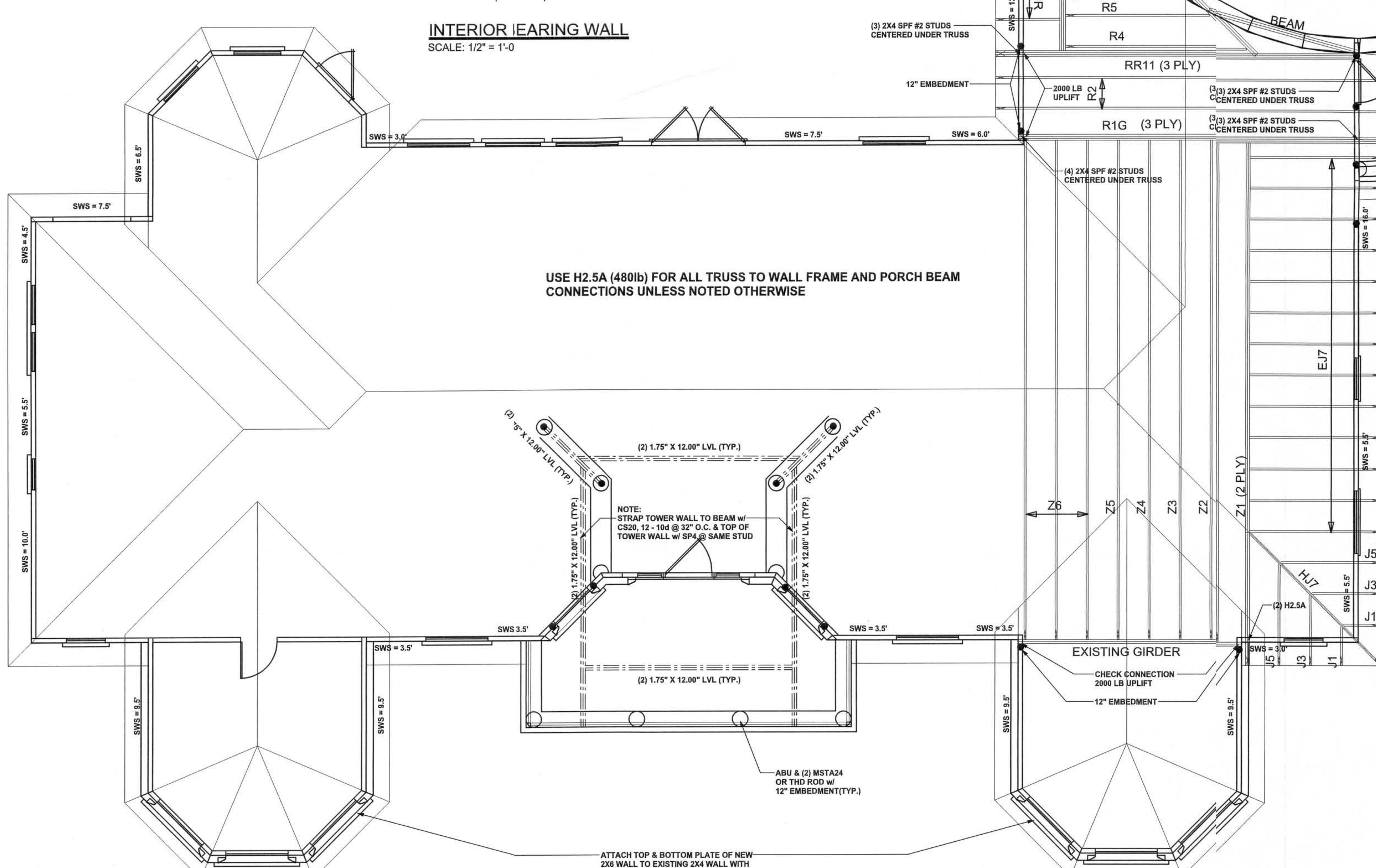
TWO STORY INTERIOR BEARING WALL
SCALE: 1/2" = 1'-0"



2 STORY INT:RIOR BEARING WALL
SCALE: 1/2" = 1'-0"



INTERIOR lEARING WALL
SCALE: 1/2" = 1'-0

STRUCTURAL FLOOR PLAN
SCALE: 3/16" = 1'-0"

TOTAL SHEAR WALL SEGMENTS

SWS = 0.0' INDICATES SHEAR WALL SEGMENTS

	REQUIRED	ACTUAL
TRANSVERSE	90.0'	167.0'
LONGITUDINAL	76.5'	136.5'

FOR WHOLE HOUSE AFTER ADDITION
[signature] 14JUN06

THREADED ROD LEGEND

- INDICATES LOCATION OF: 1ST FLOOR 1/2" A307 ALL THREADED ROD
- INDICATES LOCATION OF: 2ND FLOOR 1/2" A307 ALL THREADED ROD

HEADER LEGEND

(2) 2X12X0',1J 1K — HEADER/BEAM CALL-OUT (U.N.O.)
- NUMBER OF KING STUDS (FULL LENGTH)
- NUMBER OF JACK STUDS (UNDER HEADER)
- SPAN OF HEADER
- SIZE OF HEADER MATERIAL
- NUMBER OF PLIES IN HEADER

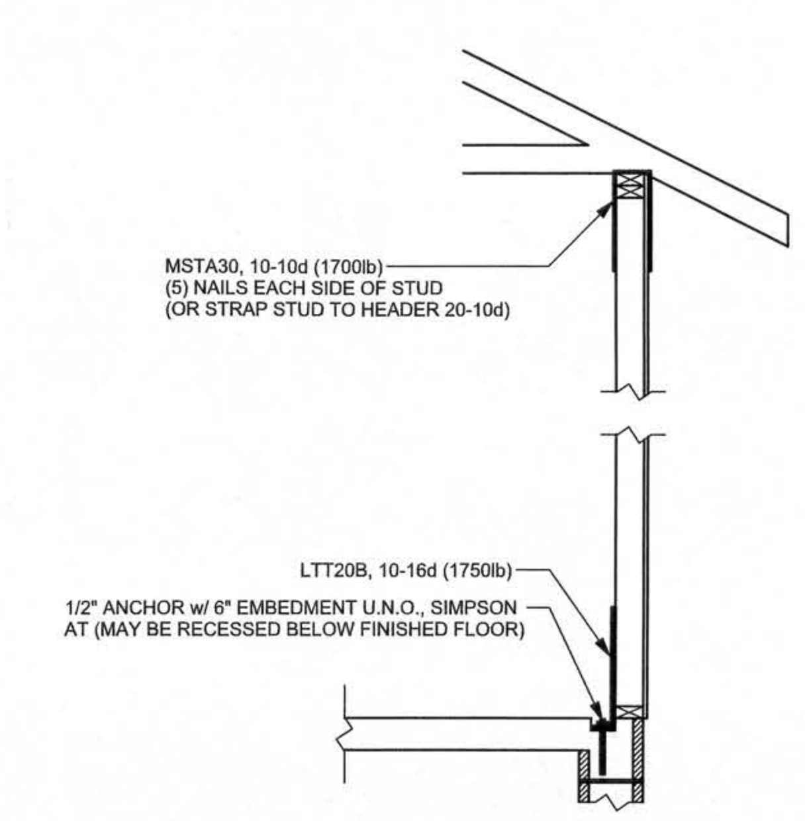
STRUCTURAL PL\N NOTES

SN-1 ALL LOAD BEARNG FRAME WALL & PORCH HEADERS SHALL BE A MINMUM OF (2) 2X12 SYP#2 (U.N.O.)

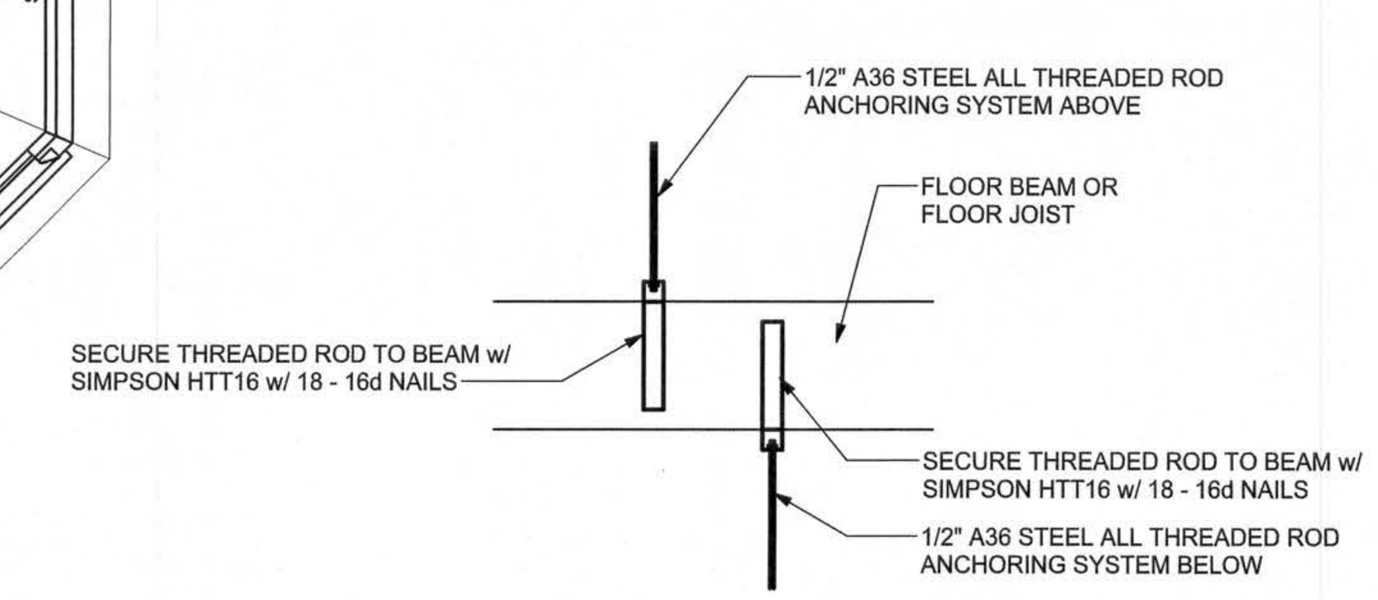
SN-2 ALL LOAD BEARNG FRAME WALL HEADERS SHALL HAVE (1)ACK STUD & (1) KING STUD EACH SIDE (U.N.O.)

SN-3 DIMENSIONS ONSTRUCTURAL SHEETS ARE NOT EXACT REFER TO ARCHITECTURAL FLOOR PLAN FCR ACTUAL DIMENSIONS

SN-4 PERMANENT TRUSS BRACING IS TO BE INSTALLED AT LOCATIONS AS SHOWN ON THE SEALED TRUSS DRAWINGS. LATERAL BRACIG IS TO BE RESTRAINED PER BCSI1-03, BCSI-B1, BCSI-B2, & BCSI-B3. BCSI-B1, BCSI-B2, & BCSI-B3 ARE FURNISHED BY THE TRUSS SUPPLIER, WITH THE SEALED TRUSS PACKAG.

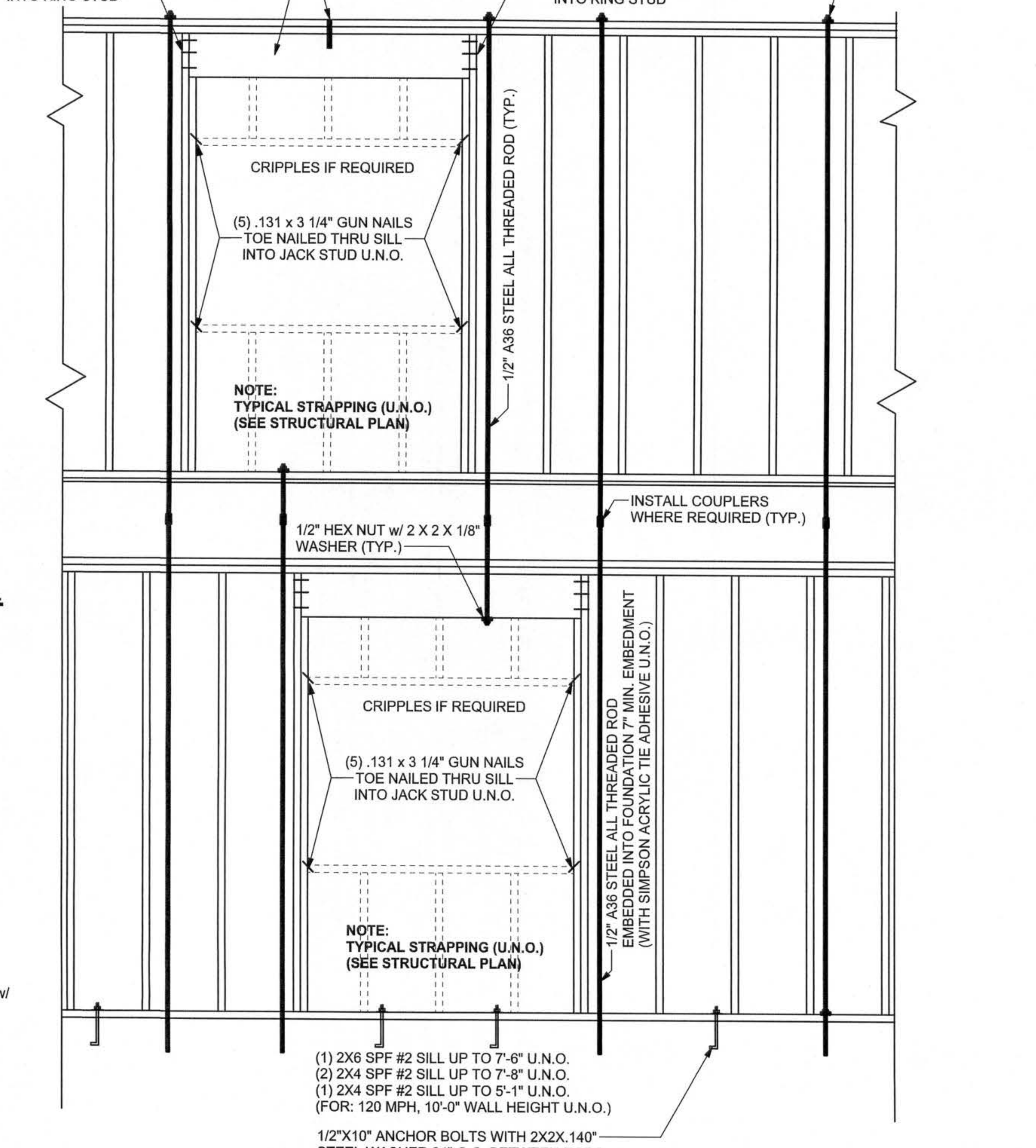


ALTERNATE WALL TIE CONNECTION WHERE THREADED ROD CANNOT BE PLACED IN WALL.
SCALE: 1/2" = 1'-0"



OPTIONAL THREADED ROD TO FLOOR BEAM OR FLOOR JOIST
SCALE: 1/2" = 1'-0"

NOTE:
IF TRUSS TO WALL STRAPS ARE NAILED TO THE HEADER THE SP4/6 @ 48" O.C. ARE NOT REQUIRED



TYPICAL 2 STORY HEADER STRAPING DETAIL
SCALE: 1/2" = 1'-0"

CONNECTIONS, WALL, & HEADER DESIGN IS BASED ON REACTIONS & UPLIFTS FROM TRUSS ENGINEERING FURNISHED BY BUILDER. ANDERSON TRUSS CO. JOB #6-122

REVISIONS

SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE

WINDLOAD ENGINEER: Mark Disosway, PE No.53915, POB 868, Lake City, FL 32056, 386-754-5419

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P.E. 53915
[signature] 14JUN06
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PRINTED DATE: June 14, 2006

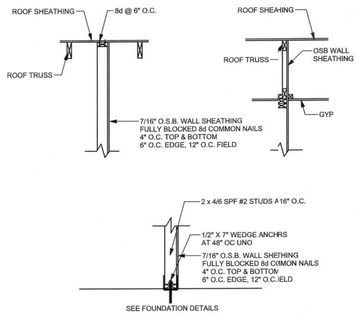
DRAWN BY:

STRUCTURAL BY: David Disosway

FINALS DATE: 06 / Jun / 06

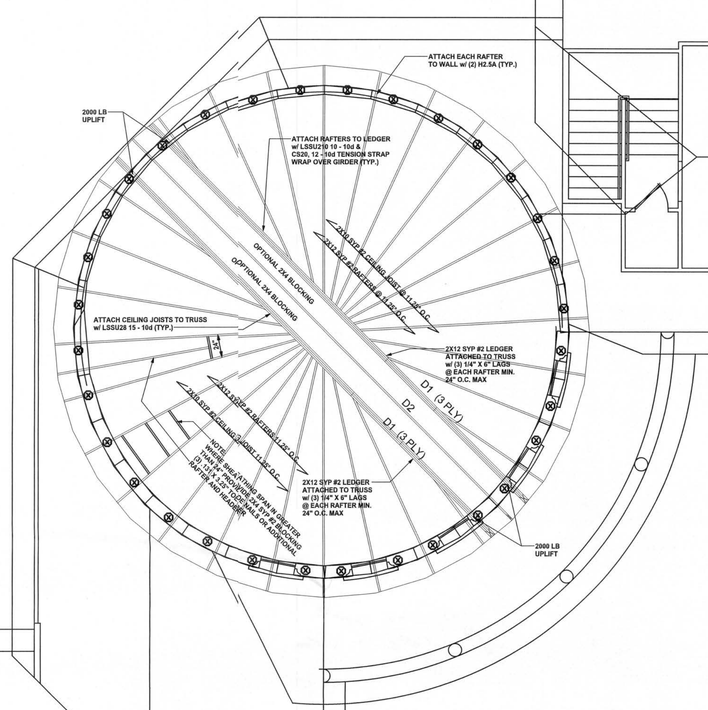
JOB NUMBER: 604122

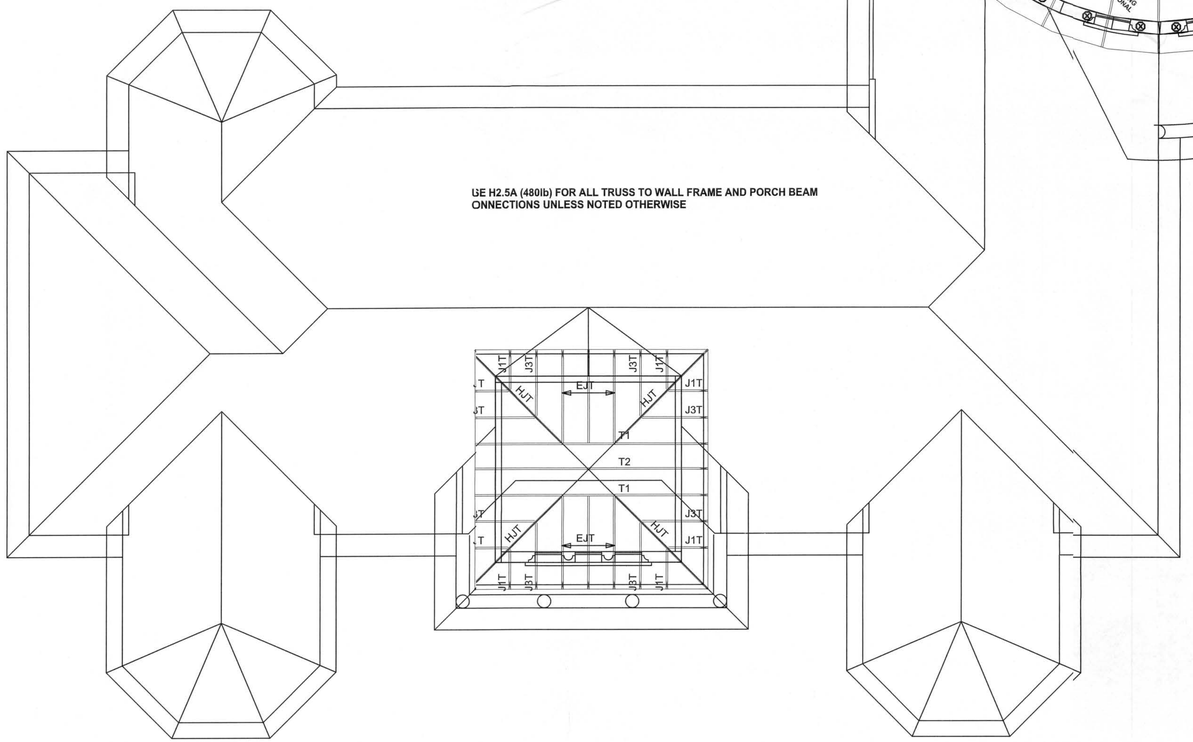
DRAWING NUMBER
S-3
OF 4 SHEETS



INTERIOR SHEAR WALL DETAIL

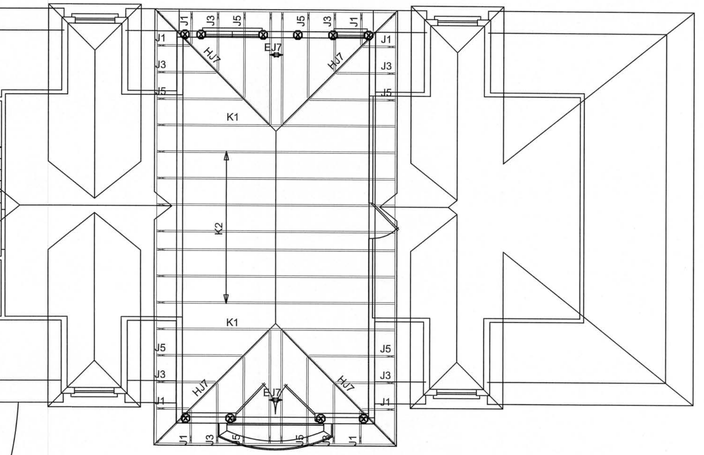
SCALE: 1/2" = 1'-0"

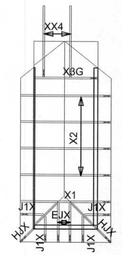




STRUCTURAL ROOF PLAN

SCALE: 3/16" = 1'-0"





STRUCTURAL PLAN NOTES

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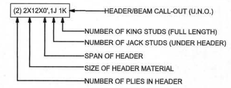
THREADED ROD LEGEND

INDICATES LOCATION OF:
1ST FLOOR 1/2" A307 ALL THREADED ROD

INDICATES LOCATION OF:
2ND FLOOR 1/2" A307 ALL THREADED ROD

HEADER LEGEND



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REVISIONS

SOFTPLAN ARCHITECTURAL DESIGN SOFTWARE

WINDLOAD ENGINEER: Mark Disosway, PE No.59115, POB 868, Lake City, FL 32056, 36-754-5418

DIMENSIONS:
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MARK DISOSWAY
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PRINTED DATE:
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DRAVN BY:

STRUCTURAL BY:
David Disosway

FINAS DATE:
06 / lun / 06

JOB NUMBER:
604122

DRAWING NUMBER
S-4
OF 4 SHEETS

NOTES

(1) IT IS INTENDED THAT THESE DRAWINGS ARE PREPARED FOR BUILDINGS THAT WILL CONFORM TO THE 2004 FLORIDA BUILDING CODE, EXISTING AND RESIDENTIAL.

(2) THE MAXIMUM ALLOWABLE NUMBER OF STORIES AND HEIGHT PER LOCAL ZONING ORDINANCES AND PER THE 2004 FLORIDA BUILDING CODE, RESIDENTIAL, ARE AS FOLLOWS:
A) MAX. NO. OF STORIES = (3)
B) MAX. HEIGHT = 35' FROM GRADE

(3) THE BUILDING CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THE CODE REGARDLESS OF ANY MISSING OR INCOMPLETE DETAILS OR NOTES.

(4) THE BUILDING CONTRACTOR AND HIS SUBCONTACTRACTORS SHALL CONFORM TO ANY LOCAL ORDINANCES AND SHALL VERIFY ALL DIMENSIONS, MATERIALS, AND CONDITIONS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH HIS WORK.

(5) THESE DRAWINGS ARE PREPARED FOR DESIGN AND STRUCTURAL REFERENCE ONLY. THE ELECTRICAL FLOOR PLAN IS INTENDED TO ONLY SUGGEST LOCATIONS FOR FIXTURES, OUTLETS, AND SWITCHES. ELECTRICAL, MECHANICAL, PLUMBING, AND OTHER BUILDING SYSTEMS, IF ANY, ARE TO BE DESIGNED, ENGINEERED AND ARE THE SOLE RESPONSIBILITY OF OTHERS.

(6) NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

(7) SUBSURFACE SOIL CONDITIONS INFORMATION WAS NOT AVAILABLE PRIOR TO THE PREPARATION OF THESE DRAWINGS. THE FOUNDATION AND FOOTINGS ARE DESIGNED FOR A 3000 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL VERIFY AND REPORT ANY DISCREPANCIES PRIOR TO PLACEMENT OF FOOTINGS.

(8) FOOTINGS ARE TO BEAR ON FIRM, LEVEL, COMPACT NATURAL SOIL, FREE OF DEBRIS OR LOOSE MATERIAL, OR UPON SUITABLE SOIL THAT HAS BEEN WELL TAMPED AND COMPACTED IN ACCORDANCE WITH THE 'FOUNDATION NOTES' AS SHOWN ON THE DRAWINGS. BUILDER IS RESPONSIBLE FOR INSURING THAT THE SOIL MEETS ALL APPLICABLE STANDARDS.

(9) CONCRETE MASONRY UNITS SHALL BE ASTM-C90-75 HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, TYPE 1, GRADE N-1, NORMAL WEIGHT, WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI

(10) ALL CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS:
A) SLAB ON GRADE-3000 PSI
B) FOOTINGS-3000 PSI

(11) STRUCTURAL STEEL SHAPES, PLATES, ETC. SHALL CONFORM TO ASTM-A36, "FB"= 24,000 PSI. "E"= 29,000,000 PSI.

(12) WOOD FLOOR JOISTS, CEILINGS, RAFTER, BEAMS AND HEADERS SHALL BE #2 OR BETTER SOUTHERN YELLOW PINE, KD 19, S4S SIZES.

(13) IF ROOF OR FLOOR TRUSSES ARE USED, THE ENGINEERING AND MEMBER SIZES AND SPACING ARE THE SOLE RESPONSIBILITY OF THE MANUFACTURER.

SECTION M1305
APPLIANCE ACCESS

M1305.1 APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT.
APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION. THIRTY INCHES (762 MM) OF WORKING SPACE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. ROOM HEATERS SHALL BE PERMITTED TO BE INSTALLED WITH AT LEAST AN 18-INCH (457 MM) WORKING SPACE. A PLATFORM SHALL NOT BE REQUIRED FOR ROOM HEATERS.

M1305.1.2 APPLIANCES IN ROOMS.
APPLIANCES INSTALLED IN A COMPARTMENT, ALCOVE, BASEMENT OR SIMILAR SPACE SHALL BE ACCESSED BY AN OPENING OR DOOR AND AN UNOBSTRUCTED PASSAGEWAY MEASURING NOT LESS THAN 24 INCHES (610 MM) WIDE AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE IN THE SPACE, PROVIDED THAT A LEVEL SERVICE SPACE OF NOT LESS THAN 30 INCHES (762 MM) DEEP AND THE HEIGHT OF THE APPLIANCE, BUT NOT LESS THAN 30 INCHES (762 MM), IS PRESENT AT THE FRONT OR SERVICE SIDE OF THE APPLIANCE WITH THE DOOR OPEN.

M1305.1.3 APPLIANCES IN ATTICS.
ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH AN OPENING AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. THE PASSAGEWAY SHALL NOT BE LESS THAN 30 INCHES (762 MM) HIGH AND 22 INCHES (559 MM) WIDE AND NOT MORE THAN 6 FEET (1829 MM) IN LENGTH MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE ATTIC ACCESS OPENING TO THE APPLIANCE'S SERVICE PANEL. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24 INCHES (610 MM) WIDE. A LEVEL SERVICE SPACE NOT LESS THAN 30 INCHES (762 MM) DEEP AND 30 INCHES (762 MM) WIDE SHALL BE PRESENT AT THE FRONT OR SERVICE SIDE OF THE APPLIANCE. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES (508 MM BY 762 MM), WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
EXCEPTION: THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE IS CAPABLE OF BEING SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.

M1305.1.3.1 ELECTRICAL REQUIREMENTS.
A LIGHTING FIXTURE WITH RECEPTACLE OUTLET, CONTROLLED BY A SWITCH LOCATED AT THE PASSAGEWAY OPENING, SHALL BE PROVIDED SO AS TO LIGHT THE PASSAGEWAY AND SERVICE AREA AND INSTALLED IN ACCORDANCE WITH CHAPTER 33 OF THIS CODE.

M1305.1.3.2 AIR-HANDLING UNITS.
AIR-HANDLING UNITS SHALL BE ALLOWED IN ATTICS IF THE FOLLOWING CONDITIONS ARE MET:
1. THE SERVICE PANEL OF THE EQUIPMENT IS LOCATED WITHIN 6 FEET (1829 MM) OF AN ATTIC ACCESS.
2. A DEVICE IS INSTALLED TO ALERT THE OWNER OR SHUT THE UNIT DOWN WHEN THE CONDENSATION DRAIN IS NOT WORKING PROPERLY.
3. THE ATTIC ACCESS OPENING IS OF SUFFICIENT SIZE TO REPLACE THE AIR HANDLER.
4. A NOTICE IS POSTED ON THE ELECTRIC SERVICE PANEL INDICATING TO THE HOMEOWNER THAT THE AIR HANDLER IS LOCATED IN THE ATTIC. SAID NOTICE SHALL BE IN ALL CAPITALS, IN 16 POINT TYPE, WITH THE TITLE AND FIRST PARAGRAPH IN BOLD:
NOTICE TO HOMEOWNER

A PART OF YOUR AIR CONDITIONING SYSTEM, THE AIR HANDLER, IS LOCATED IN THE ATTIC. FOR PROPER, EFFICIENT, AND ECONOMIC OPERATION OF THE AIR CONDITIONING SYSTEM, YOU MUST ENSURE THAT REGULAR MAINTENANCE IS PERFORMED. YOUR AIR CONDITIONING SYSTEM IS EQUIPPED WITH ONE OR BOTH OF THE FOLLOWING:

1) A DEVICE THAT WILL ALERT YOU WHEN THE CONDENSATION DRAIN IS NOT WORKING PROPERLY OR

2) A DEVICE THAT WILL SHUT THE SYSTEM DOWN WHEN THE CONDENSATION DRAIN IS NOT WORKING. TO LIMIT POTENTIAL DAMAGE TO YOUR HOME, AND TO AVOID DISRUPTION OF SERVICE, IT IS RECOMMENDED THAT YOU ENSURE PROPER WORKING ORDER OF THESE DEVICES BEFORE EACH SEASON OF PEAK OPERATION.

M1305.1.4.1 CLEARANCES FROM GRADE.
EQUIPMENT AND APPLIANCES INSTALLED AT GRADE LEVEL SHALL BE SUPPORTED ON A LEVEL MINIMUM 3½"-INCH (89 MM) CONCRETE SLAB OR OTHER APPROVED MATERIAL EXTENDING A MINIMUM OF 2 INCHES (51 MM) ABOVE ADJOINING FINISHED GRADE. SUSPENDED EQUIPMENT AND APPLIANCES SHALL BE INSTALLED A MINIMUM OF 6 INCHES (152 MM) ABOVE ADJOINING GRADE TO PROVIDE SUPPORT AND PROTECTION FROM CONTACT WITH SOIL OR WATER.
EXCEPTION: ON CHANGEOUTS OR NEW INSTALLATIONS OF EXISTING BUILDINGS WHERE EQUIPMENT IS REPLACED THAT HAS A SUPPORT PLATFORM APPROVED UNDER A PREVIOUS CODE.

M1305.1.4.3 ELECTRICAL REQUIREMENTS.
A LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING AND A RECEPTACLE OUTLET SHALL BE PROVIDED AT OR NEAR THE APPLIANCE LOCATION IN ACCORDANCE WITH CHAPTER 33 OF THIS CODE.

M1601.3.3 SPACE PROVIDED.
SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO ALL MECHANICAL COMPONENTS LOCATED IN OR FORMING A PART OF THE AIR DISTRIBUTION SYSTEM TO ASSURE ADEQUATE ACCESS FOR (1) CONSTRUCTION AND SEALING IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION M1601.3 OF THIS CODE, (2) INSPECTION AND (3) CLEANING AND MAINTENANCE. A MINIMUM OF 4 INCHES (102 MM) IS CONSIDERED SUFFICIENT SPACE AROUND AIR HANDLING UNITS.
EXCEPTION: RETROFIT OR REPLACEMENT UNITS NOT PART OF A RENOVATION ARE EXEMPT FROM THE MINIMUM CLEARANCE REQUIREMENT.

NOTES:

1) CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ROOF PITCHES, AND CONDITIONS BEFORE THE START OF ANY DEMOLITION OR CONSTRUCTION.
2) CONTRACTOR SHALL FIELD VERIFY EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, FOR ADEQUACY AND SAFETY, SYSTEMS SHALL BE UPGRADED AS REQUIRED.
3) CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND FORMS REQUIRED TO EXECUTE THIS PROJECT.
4) CONTRACTOR SHALL INSURE THAT ALL DEMOLITION, CONSTRUCTION, AND RENOVATION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE TIME OF PERMITTING.
5) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY COLLECTION AND DISPOSAL OF ALL TRASH, DEMOLITION MATERIAL, TRIMMING, REFUSE, ETC. FROM THE SITE.
6) CONTRACTORS SHALL SAVE AND RETAIN ON SITE ANY MATERIAL, EQUIPMENT, OR ITEMS DESIRED BY THE OWNER
7) NEW CONSTRUCTION, TRIM, FINISHES, BRICK, ETC., SHALL MATCH EXISTING. ANY POSSIBLE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE CONSTRUCTION.
8) DURING DEMOLITION AND NEW CONSTRUCTION, ANY UNAFFECTED AREAS SHALL BE ADEQUATELY PROTECTED FROM WEATHER, STRUCTURAL DAMAGE, OR DAMAGE FROM NEW CONSTRUCTION.
9) ANY ELECTRICAL, PLUMBING, OR HVAC LINES TO BE ABANDONED SHALL BE TRIMMED AND CAPPED.
10) ANY AREAS WHERE NEW ROOF MEETS EXISTING ROOF AND/OR STRUCTURE SHALL BE ADEQUATELY FLASHED AND SEALED.
11) STUCCO CONTROL JOINTS TO BE PROVIDED PER PORTLAND CEMENT ASSOCIATION RECOMMENDATIONS.
12) CONTRACTOR TO VERIFY SETBACKS AND LOCATION OF STRUCTURE PRIOR TO CONSTRUCTION.
13) ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE PRESSURE TREATED APPROPRIATELY FOR THE CONDITION.
14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

R311.4.3 LANDINGS AT DOORS.
THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR.
EXCEPTION: WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED FOR THE EXTERIOR SIDE OF THE DOOR.
THE FLOOR OR LANDING AT THE EXIT DOOR REQUIRED BY SECTION R311.4.1 SHALL NOT BE MORE THAN 1.5 INCHES (38 MM) LOWER THAN THE TOP OF THE THRESHOLD.
THE FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN THE EXIT DOOR REQUIRED BY SECTION R311.4.1 SHALL NOT BE REQUIRED TO COMPLY WITH THIS REQUIREMENT BUT SHALL HAVE A RISE NO GREATER THAN THAT PERMITTED IN SECTION R311.5.3 .
EXCEPTION: THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7¾" INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING.
THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.

R311.4.4 TYPE OF LOCK OR LATCH.
ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

R311.5.6 HANDRAILS.
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.

R311.5.6.1 HEIGHT.
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM).

R311.5.6.2 CONTINUITY.
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1½ INCH (38 MM) BETWEEN THE WALL AND THE HANDRAILS.
EXCEPTIONS:
1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN.
2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD.

R311.5.6.3 HANDRAIL GRIP SIZE
1. TYPE I. HANDRAILS WITH CIRCULAR CROSS SECTIONS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1¼" INCHES (32 mm) AND NOT GREATER THAN 2" INCHES (51 mm). IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" INCHES (102 mm) AND NOT GREATER THAN 6¼" INCHES (160 mm) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2¼" INCHES (57 mm).

2. TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 6¼" INCHES (160 mm) SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF ¾" INCH (19 mm) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST " INCH (8 mm) WITHIN ⅞" INCH (22 mm) BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST ⅜" INCH (10 mm) TO A LEVEL THAT IS NOT LESS THAN 1¾" INCHES (45 mm) BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1¼" INCHES (32 mm) TO A MAXIMUM OF 2¾" INCHES (70mm). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES (0.25 mm).

R602.8 FIREBLOCKING REQUIRED.
FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.
1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R311.2.2 .
4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1001.16 .
6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

R1001.16 CHIMNEY FIREBLOCKING.
ALL SPACES BETWEEN CHIMNEYS AND FLOORS AND CEILINGS THROUGH WHICH CHIMNEYS PASS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIAL SECURELY FASTENED IN PLACE. THE FIREBLOCKING OF SPACES BETWEEN CHIMNEYS AND WOOD JOISTS, BEAMS OR HEADERS SHALL BE TO A DEPTH OF 1 INCH (25.4 MM) AND SHALL ONLY BE PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY.

TABLE R301.7
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS AND PLASTERED CEILINGS	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS--WIND LOADS A WITH BRITTLE FINISHES	L/240
EXTERIOR WALLS--WIND LOADS A WITH FLEXIBLE FINISHES	L/120

NOTE: L = SPAN LENGTH, H = SPAN HEIGHT.
A. THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 0.7 TIMES THE COMPONENT AND CLADDING LOADS FOR THE PURPOSE OF THE DETERMINING DEFLECTION LIMITS HEREIN.
B. FOR CANTILEVER MEMBERS, L SHALL BE TAKEN AS TWICE THE LENGTH OF THE CANTILEVER.
C. FOR ALUMINUM STRUCTURAL MEMBERS OR PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, NOT SUPPORTING EDGE OF GLASS OR SANDWICH PANELS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L /60. FOR SANDWICH PANELS USED IN ROOFS OR WALLS OF SUNROOM ADDITIONS OR PATIO COVERS, THE TOTAL LOAD DEFLECTION SHALL NOT EXCEED L/120.

R312.1 GUARDS REQUIRED.
PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES (864 MM) IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE PROVIDED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30 INCHES (762 MM) ABOVE THE FLOOR OR GRADE BELOW.

R312.2 GUARD OPENING LIMITATIONS.
REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102MM) OR MORE IN DIAMETER.
EXCEPTIONS:
1. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152 MM) CANNOT PASS THROUGH.
2. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3 / 8 INCHES (107 MM) TO PASS THROUGH.

R301.5 LIVE LOAD.
THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOAD SHALL BE AS PROVIDED IN TABLE R301.5 .

TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
ATTICS WITH STORAGE B	20
ATTICS WITHOUT STORAGE B	10
DECKS E	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS D	200
GUARDRAILS IN-FILL COMPONENTS F	50
PASSENGER VEHICLE GARAGES A	50 A
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40 C

FOR SI: 1 POUND PER SQUARE FOOT = 0.0479 KN/M 2 , 1 SQUARE INCH = 645 MM 2 , 1 POUND = 4.45 N.
A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000-POUND LOAD APPLIED OVER A 20-SQUARE-INCH AREA.
B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS.
C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300-POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
E. SEE SECTION R502.2.1 FOR DECKS ATTACHED TO EXTERIOR WALLS.
F. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

M1307.3 WIND RESISTANCE.
MECHANICAL EQUIPMENT, APPLIANCES AND SUPPORTS THAT ARE EXPOSED TO WIND SHALL BE DESIGNED AND INSTALLED TO RESIST THE WIND PRESSURES ON THE EQUIPMENT AND THE SUPPORTS AS DETERMINED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, BUILDING. THIS MAY BE ACCOMPLISHED BY DESIGN OR BY APPLICATION OF SECTION M1307.3.1 .

M1307.3.1 GROUND-MOUNTED UNITS.
GROUND-MOUNTED UNITS FOR GROUP R3 RESIDENTIAL APPLICATIONS MAY BE ANCHORED WITH #14 SCREWS WITH GASKETED WASHERS ACCORDING TO THE FOLLOWING.
1. FOR UNITS WITH SIDES LESS THAN 12 INCHES (305 MM), ONE SCREW SHALL BE USED AT EACH SIDE OF THE UNIT
2. FOR UNITS BETWEEN 12 AND 24 INCHES (305 AND 610 MM), TWO SCREWS SHALL BE USED PER SIDE.
3. FOR UNITS BETWEEN 24 AND 36 INCHES (610 AND 9144 MM), THREE SCREWS SHALL BE USED PER SIDE.
4. FOR UNITS GREATER THAN 36 INCHES OR 5 TONS (9144 MM AND 18 KW), ANCHORAGE SHALL BE DESIGNED IN ACCORDANCE WITH SECTION M1307.3.
NOTES:
1. CORROSION PROTECTION. BUILDINGS LOCATED WITHIN 3,000 FEET (914 400 MM) OF THE OCEAN SHOULD UTILIZE NONFERROUS METAL, STAINLESS STEEL OR STEEL WITH MINIMUM G-90 HOT-DIP GALVANIZED COATING FOR EQUIPMENT STANDS AND ANCHORS AND STAINLESS STEEL SCREWS.
2. STRAPPING. JOB-SITE STRENGTHENING OF FAN COWLINGS AND VENT HOODS IS RECOMMENDED. TWO OR FOUR STAINLESS STEEL CABLES ARE RECOMMENDED, DEPENDING ON DESIGN WIND CONDITIONS. ALTERNATIVELY, ADDITIONAL, HEAVY STRAPS CAN BE SCREWED TO THE COWLING AND CURB.

ADDITIONAL NOTES:

(1) THESE PLANS ARE DESIGNED TO BE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN THE 2004 FLORIDA BUILDING CODE, RESIDENTIAL, SECTION R301 OR AN ENGINEERED DESIGN PER R301.1.3
(2) THE BUILDING IS LOCATED IN THE WIND BORNE DEBRIS REGION. THE BUILDING DESIGN SHALL ALLOW IT TO WITHSTAND THE INTERNAL PRESSURE BUILD UP WHEN AN OPENING IS BREACHED.
(3) THE MAIN WIND FORCE RESISTING SYSTEMS ARE DESIGNED TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 100 MPH. (3 SECOND GUST).
(4) THE WIND IMPORTANCE FACTOR SHALL BE (1) AS PER THE FLORIDA BUILDING CODE, BUILDING, TABLE 1604.5
(5) THE BUILDING CATEGORY SHALL BE (II) AS PER 2004 FBC ASCE 7-02, TABLE 1-1.
(6) THE BUILDING SHALL HAVE A WIND EXPOSURE CATEGORY OF "EXPOSURE B".
(7) THE BUILDING SHALL HAVE AN INTERNAL PRESSURE COEFFICIENT IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL, FOR A "PARTIALLY ENCLOSED" BUILDING.
(8) THE COMPONENTS AND CLADDING HAVE BEEN SELECTED, AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS, IN ACCORDANCE WITH R301.2(2) OF THE FLORIDA BUILDING CODE, RESIDENTIAL. APPLY THE APPROPRIATE HEIGHT AND EXPOSURE COEFFICIENT FROM TABLE R301.2(3).
(9) GARAGE DOORS ARE TO MEET DESIGN PRESSURES BASED ON THE FLORIDA BUILDING CODE, RESIDENTIAL, AND (ASCE 7-02) EXPOSURE B.
(10) SEE STRUCTURAL ENGINEERING SHEETS FOR DESIGN COMPLIANCE

AREA TABULATION

EXISTING 1st FLOOR HEATED	3612
NEW 1st FLOOR HEATED	1078
2nd FLOOR HEATED	1128
TOTAL HEATED	5818
[illegible]	[illegible]
REAR PERGOLA	511
NEW SIDE PORCH	297
BOX STORAGE	374
ENTRY TOWER	196
UNDER ROOF TOTALS	
FIRST FLOOR	6438
ENTIRE STRUCTURE	7940
TOTAL ENCLOSED	7839
TOTAL UNENCLOSED	814

ABBRS

ABBRS	- ABBREVIATIONS	GYP	- GYPSUM	PR	- POWDER ROOM
APPROX	- APPROXIMATE	H'CP	- HANDICAPPED	PSF	- POUNDS PER SQUARE FOOT
&	- AND	HGT	- HEIGHT	PSI	- POUNDS PER SQUARE INCH
@	- AT	HW	- HOT WATER	PLY'WD	- PLYWOOD
BM	- BEAM	HDR	- HEADER	REQ'D	- REQUIRED
BLK	- BLOCK	IN (")	- INCH	RM	- ROOM
BD	- BOARD	INCL	- INCLUDE	RECEPT	- RECEPTACLE
BLDG	- BUILDING	INFO	- INFORMATION	RES	- RESIDENTIAL
BTR	- BETTER	ID	- INSIDE DIMENSION	R'S	- RISERS
CLG	- CEILING	INSUL	- INSULATE	RD & SH	- ROD & SHELF
℄	- CENTERLINE	INT	- INTERIOR	S	- SOUTH
COL	- COLUMN	JT	- JOINT	SKY'LT	- SKYLIGHT
CONC	- CONCRETE	JSTS	- JOISTS	SH	- SHELF
CONT	- CONTINUOUS	L	- LAVATORY	SH'S	- SHELVES
COMM	- COMMERCIAL	LT	- LIGHT	STOR	- STORAGE
CRS	- COURSE	LL	- LIVE LOAD	STL	- STEEL
DL	- DEAD LOAD	MAX	- MAXIMUM	SUSP	- SUSPENDED
DIAM OR ⌀	- DIAMETER	MECH	- MECHANICAL	T'S	- TREADS
DBL	- DOUBLE	MET	- METAL	(TYP)	- TYPICAL
DN	- DOWN	MIN	- MINIMUM	T&G	- TONGUE & GROOVE
DWG	- DRAWING	MIR	- MIRROR	VLT	- VAULT
DIM	- DIMENSION	MISC	- MISCELLANEOUS	W/	- WITH
ELEC	- ELECTRIC	N	- NORTH	W/O	- WITHOUT
EXP	- EXPANSION	NTS	- NOT TO SCALE		
EXT	- EXTERIOR	NO	- NUMBER		
FT (')	- FOOT	OPNG	- OPENING		
FG	- FIXED GLASS	OA	- OVER-ALL		
FIN	- FINISH	OHD	- OVERHEAD DOOR		
FL	- FLOOR	O/	- OVER		
1ST	- FIRST	OPT	- OPTIONAL		
FLUOR	- FLUORESCENT				
FTG	- FOOTING				
FOUND	- FOUNDATION				

SYMBOLS

WALL SECTION — 1 / 11-A: WALL SECTION NUMBER; DIRECTION THAT THE SECTION IS TAKEN; SHEET NUMBER ON WHICH THE SECTION IS DRAWN

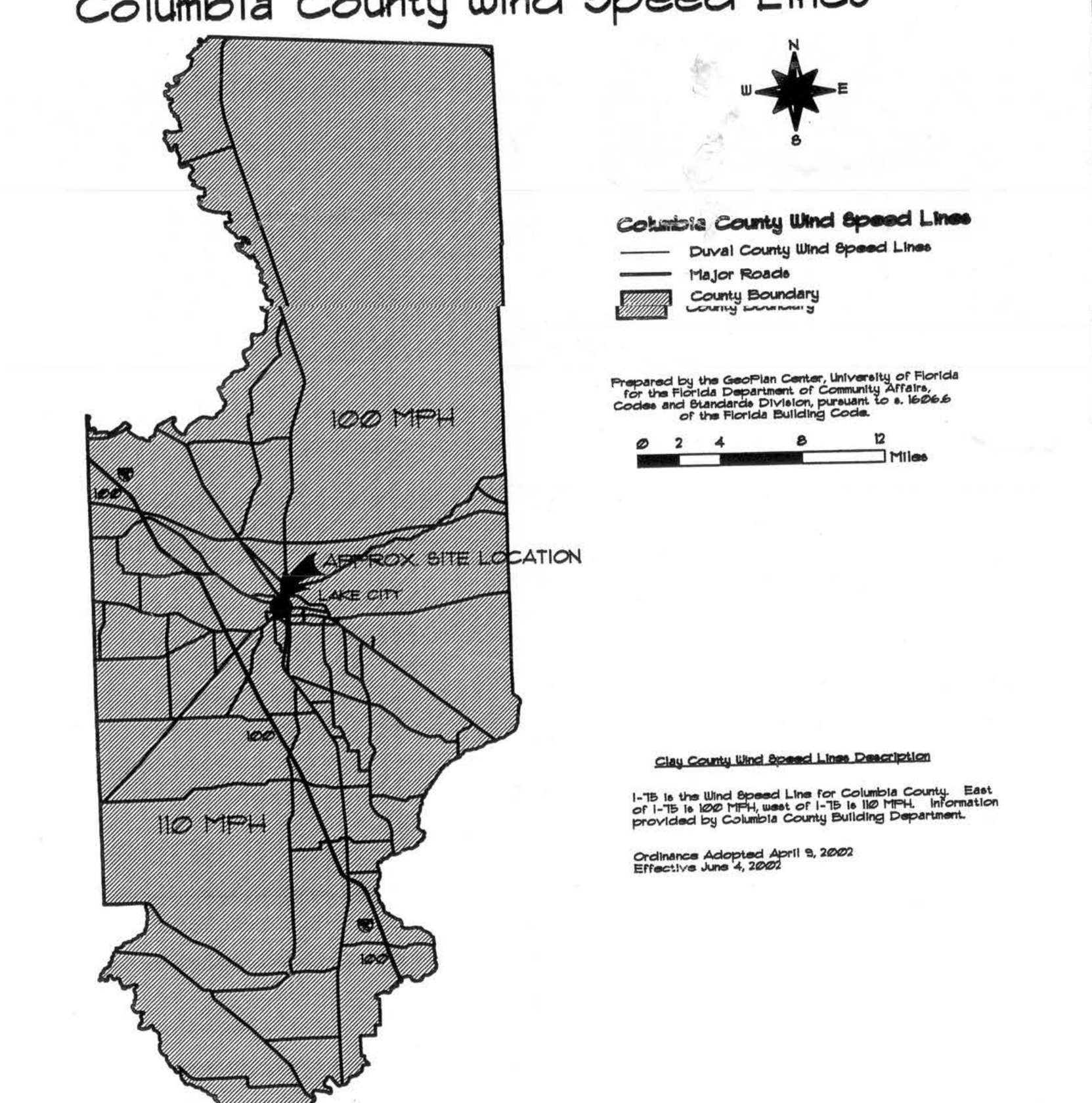
CROSS-SECTIONS — A / 11-A: CROSS-SECTION LETTER; DIRECTION THAT THE SECTION IS TAKEN; SHEET NUMBER ON WHICH THE SECTION IS DRAWN

DETAILS — 1 / 11-A: DETAIL NUMBER; SHEET NUMBER ON WHICH THE DETAIL IS DRAWN

ELEVATIONS — 1 / 11-A: DIRECTION THAT THE ELEVATION IS TAKEN; ELEVATION NUMBER; SHEET NUMBER ON WHICH THE ELEVATION IS DRAWN

CONTROLLED HEIGHT — TOP OF SLAB = 0'-0"

Columbia County Wind Speed Lines



INDEX

ADDITIONS AND RENOVATIONS TO THE:

MIKE & LINDA CADY RESIDENCE

161 N.W. LAKE JEFFREY ROAD
LAKE CITY , FLORIDA

NOTE:
DIMENSIONS, HEIGHTS AND SITE ELEVATIONS ARE APPROXIMATE AND SUBJECT TO FIELD CONDITIONS. CONTRACTOR TO VERIFY BEFORE COMMENCEMENT

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MIKE & LINDA CADY RESIDENCE
161 N.W. LAKE JEFFREY ROAD
LAKE CITY , FLORIDA

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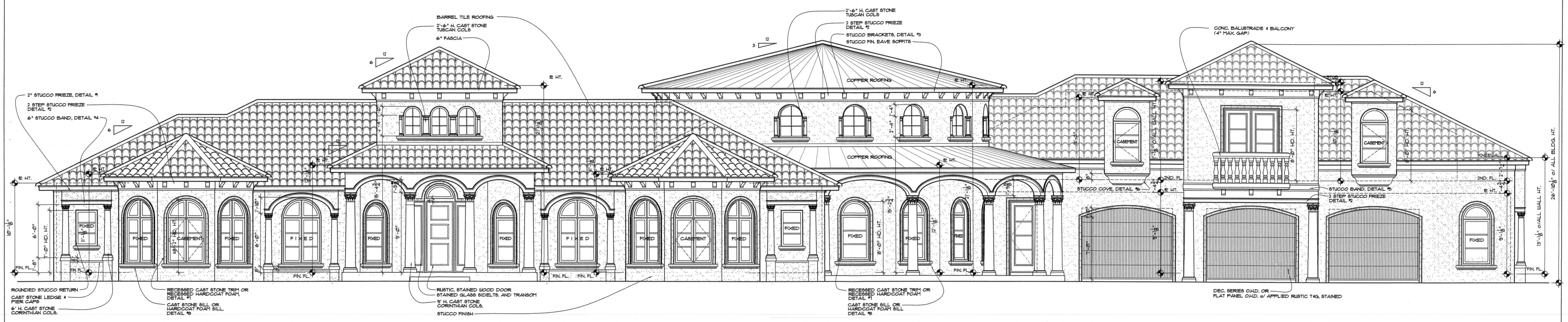
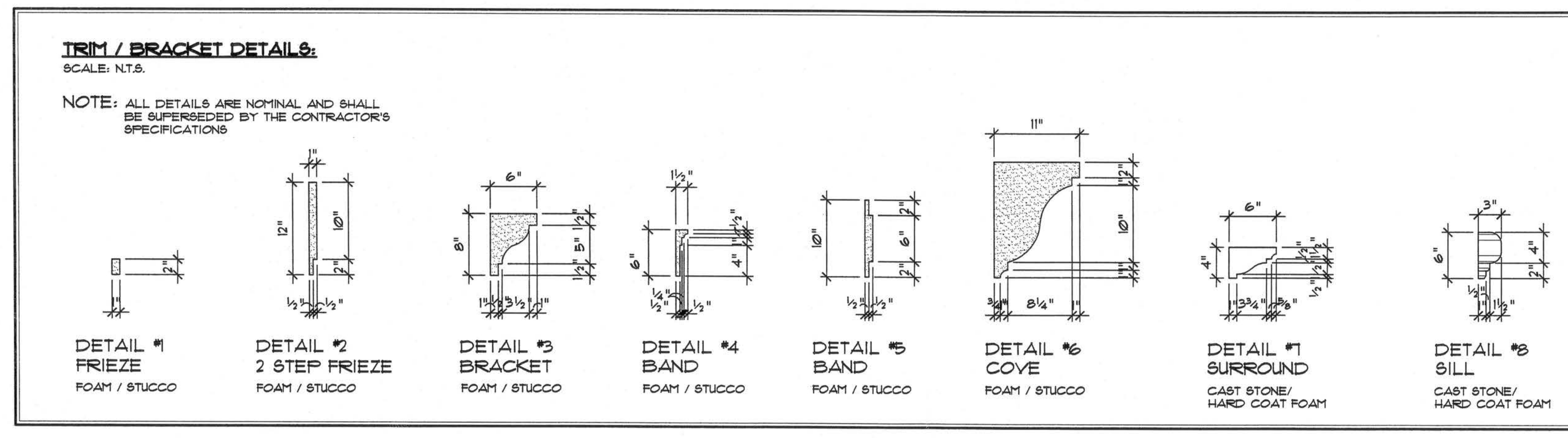
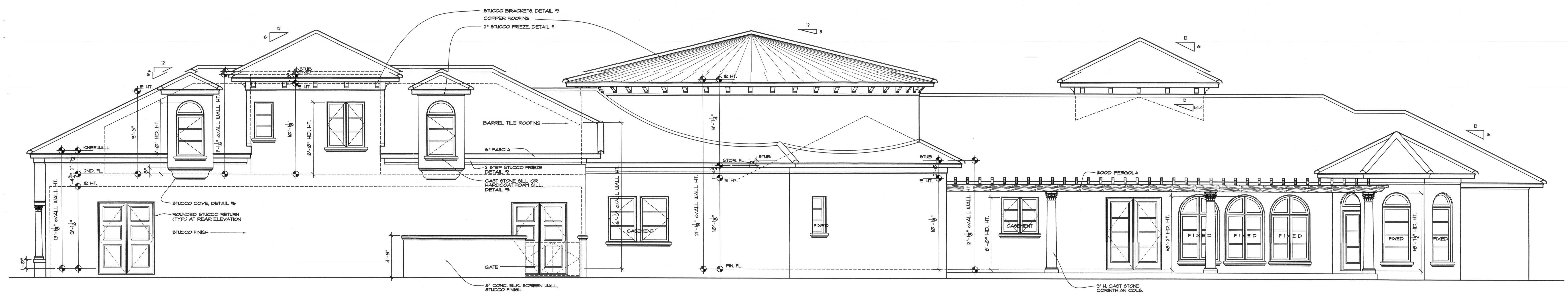
SCALE:	AS NOTED
JOB NUMBER:	****
REVISED:	
DWG NO:	1 OF 13



FRONT ELEVATION





REAR ELEVATION

STUCCO

ALL STUCCO APPLICATIONS SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PORTLAND CEMENT ASSOCIATION, ASTM STANDARDS C926-98a, C926, A222, C932-03, C1063-03, C1328-00, AND THE FOLLOWING

1) DIAMOND MESH LATH WITH GRADE D FELT SHALL OVERLAP A MINIMUM OF 2 INCHES. LATH SHALL BE ATTACHED OVER SHEATHING WITH FASTENERS THAT PENETRATE WOOD FRAMING NOT LESS THAN ¾ INCH AND SPACED NOT MORE THAN (7) INCHES ON CENTER.
2) LATH SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS. FLANGES OF ACCESSORIES SHALL BE SECURED TO THE FACE OF THE PLASTER BASE OF NOT MORE THAN (7) INCH INTERVALS. FELT TO BE INSTALLED BEHIND ALL CONTROL JOINTS.
3) EXTERNAL CORNER REINFORCEMENT SHALL BE INSTALLED TO REINFORCE ALL EXTERNAL CORNERS. WHERE NO EXTERNAL CORNER BEAD IS USED, LATH SHALL BE FURRED OUT AND CARRIED AROUND CORNERS NOT LESS THAN ONE FRAMING SUPPORT ON FRAME CONSTRUCTION.
4) CONTROL JOINTS SHALL BE INSTALLED IN WALLS TO DELINEATE AREAS NOT MORE THAN 144 SQUARE FEET AND TO DELINEATE AREAS NOT MORE THAN 100 SQUARE FEET FOR ALL HORIZONTAL APPLICATIONS, I.E., CEILINGS, CURVES OR ANGLE-TYPE STRUCTURES. THE DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED (10) FEET IN EITHER DIRECTION. AT A MINIMUM, A CONTROL JOINT SHALL BE INSTALLED: AT THE CEILING FRAMING, WHEN FURRING CHANGES DIRECTION AND WHERE EXPANSION AND CONTROL JOINTS OCCUR IN THE SUBSTRATE (I.E. AT THE BASE OF AN EXTERIOR WALL AND MONOLITHIC SLAB AND AT JOINTS IN C.M.U. AND CONCRETE.
5) IN WALLS OR PARTITIONS, DOOR FRAMES SHALL BE CONSIDERED AS CONTROL JOINTS.
6) FOUNDATION WEEP SCREED SHALL BE INSTALLED AT THE BOTTOM OF ALL STEEL OR WOOD FRAME EXTERIOR WALLS. THE NOSE OF THE SCREED SHALL BE PLACED NOT LESS THAN (6) INCHES ABOVE RAW EARTH OR (4) INCHES ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE.
7) PLASTER THICKNESS FOR STUCCO SHALL BE INSTALLED IN COATS OVER:
   A) FRAME CONSTRUCTION:
      FIRST (BROWN) COAT 3/8 INCH THICK
      SECOND (SCRATCH) COAT 3/8 INCH THICK
      THIRD (FINISH) COAT 1/8 INCH THICK.
   B) MASONRY CONSTRUCTION:
      BONDING AGENT ASTM C-932-03
      FIRST COAT 3/8 INCH THICK
      SECOND COAT 1/8 INCH THICK
8) PROVIDE AN EXTERIOR SEALANT.

NOTES:

1) CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ROOF PITCHES, AND CONDITIONS BEFORE THE START OF ANY DEMOLITION OR CONSTRUCTION.
2) CONTRACTOR SHALL FIELD VERIFY EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, FOR ADEQUACY AND SAFETY, SYSTEMS SHALL BE UPGRADED AS REQUIRED.
3) CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND FORMS REQUIRED TO EXECUTE THIS PROJECT.
4) CONTRACTOR SHALL INSURE THAT ALL DEMOLITION, CONSTRUCTION, AND RENOVATION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE TIME OF PERMITTING.
5) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY COLLECTION AND DISPOSAL OF ALL TRASH, DEMOLITION MATERIAL, TRIMMING, REFUSE, ETC. FROM THE SITE.
6) CONTRACTORS SHALL SAVE AND RETAIN ON SITE ANY MATERIAL, EQUIPMENT, OR ITEMS DESIRED BY THE OWNER
7) NEW CONSTRUCTION, TRIM, FINISHES, BRICK, ETC., SHALL MATCH EXISTING. ANY POSSIBLE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE CONSTRUCTION.
8) DURING DEMOLITION AND NEW CONSTRUCTION, ANY UNAFFECTED AREAS SHALL BE ADEQUATELY PROTECTED FROM WEATHER, STRUCTURAL DAMAGE, OR DAMAGE FROM NEW CONSTRUCTION.
9) ANY ELECTRICAL, PLUMBING, OR HVAC LINES TO BE ABANDONED SHALL BE TRIMMED AND CAPPED.
10) ANY AREAS WHERE NEW ROOF MEETS EXISTING ROOF AND/OR STRUCTURE SHALL BE ADEQUATELY FLASHED AND SEALED.
11) STUCCO CONTROL JOINTS TO BE PROVIDED PER PORTLAND CEMENT ASSOCIATION RECOMMENDATIONS.
12) CONTRACTOR TO VERIFY SETBACKS AND LOCATION OF STRUCTURE PRIOR TO CONSTRUCTION.
13) ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE PRESSURE TREATED APPROPRIATELY FOR THE CONDITION.
14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

NOTE:

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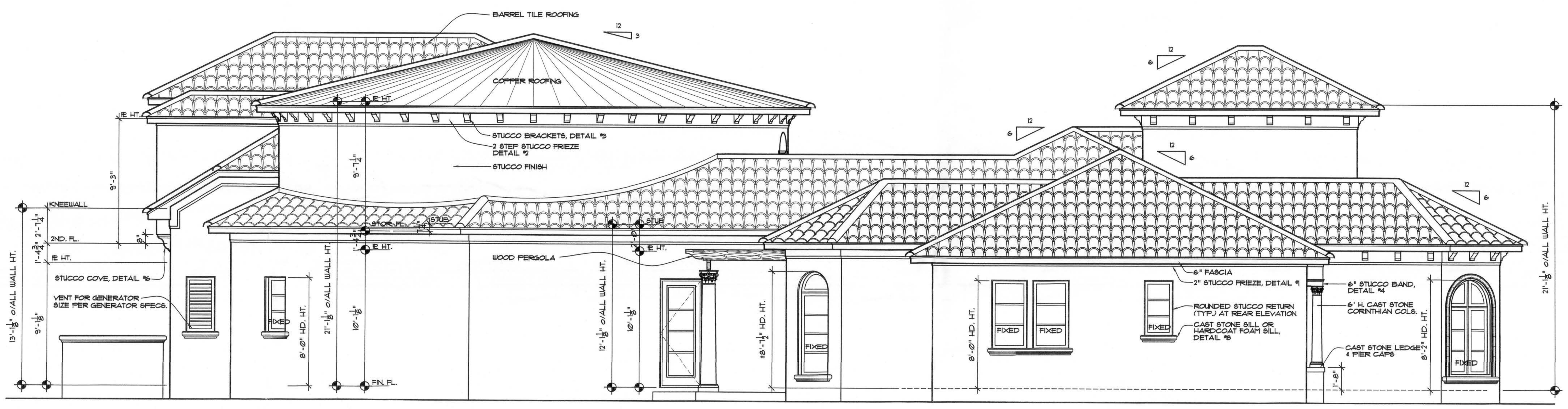
DWG NO:	3 OF 13

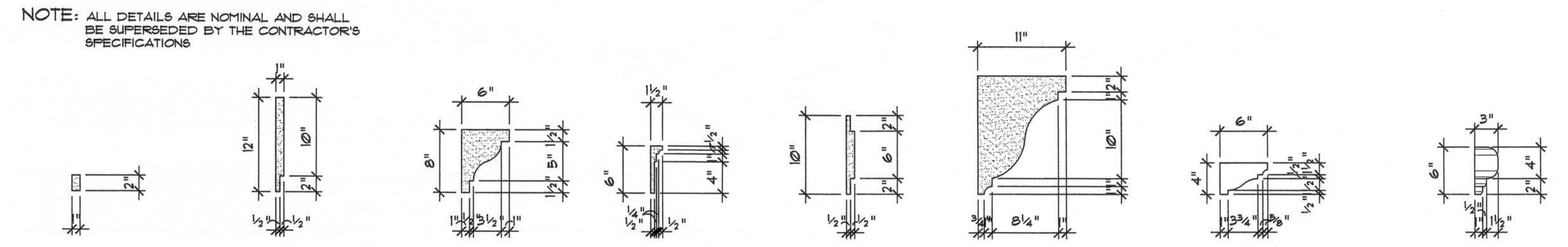


LEFT SIDE ELEVATION

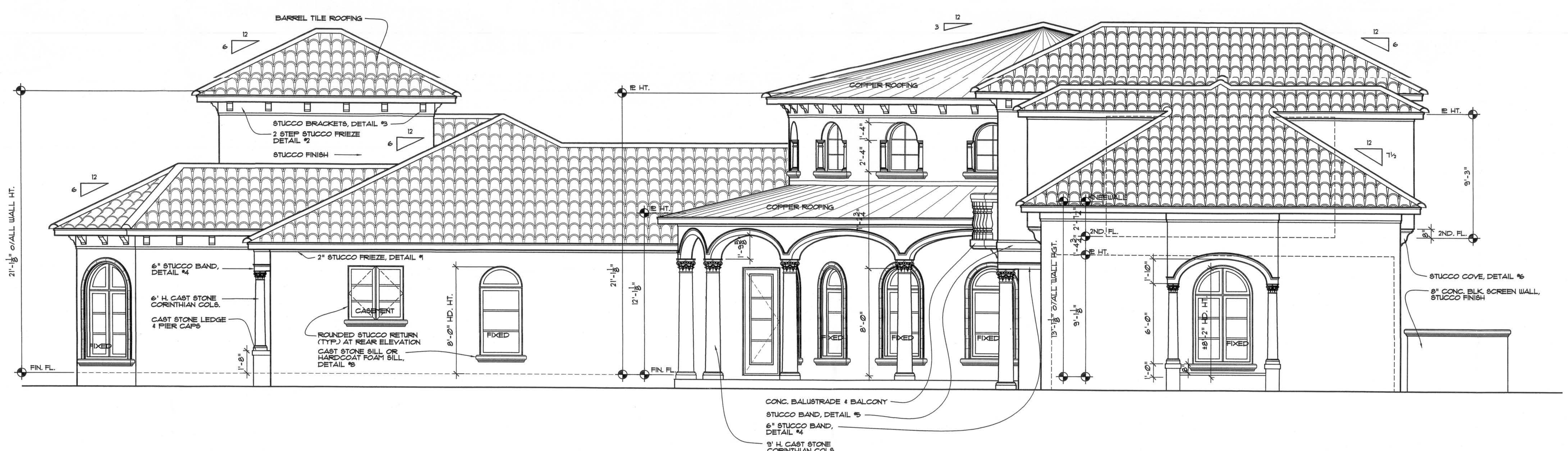
TRIM / BRACKET DETAILS:

SCALE: N.T.S.

NOTE: ALL DETAILS ARE NOMINAL AND SHALL BE SUPERSEDED BY THE CONTRACTOR'S SPECIFICATIONS



DETAIL #1	DETAIL #2	DETAIL #3	DETAIL #4	DETAIL #5	DETAIL #6	DETAIL #7	DETAIL #8
FRIEZE	2 STEP FRIEZE	BRACKET	BAND	BAND	COVE	SURROUND	SILL
FOAM / STUCCO	FOAM / STUCCO	FOAM / STUCCO	FOAM / STUCCO	FOAM / STUCCO	FOAM / STUCCO	CAST STONE/ HARD COAT FOAM	CAST STONE/ HARD COAT FOAM



RIGHT SIDE ELEVATION

STUCCO

ALL STUCCO APPLICATIONS SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PORTLAND CEMENT ASSOCIATION, ASTM STANDARDS C926-98a, C926, A222, C932-03, C1063-03, C1328-00, AND THE FOLLOWING

1) DIAMOND MESH LATH WITH GRADE D FELT SHALL OVERLAP A MINIMUM OF 2 INCHES. LATH SHALL BE ATTACHED OVER SHEATHING WITH FASTENERS THAT PENETRATE WOOD FRAMING NOT LESS THAN ¾ INCH AND SPACED NOT MORE THAN (7) INCHES ON CENTER.
2) LATH SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS. FLANGES OF ACCESSORIES SHALL BE SECURED TO THE FACE OF THE PLASTER BASE OF NOT MORE THAN (7) INCH INTERVALS. FELT TO BE INSTALLED BEHIND ALL CONTROL JOINTS.
3) EXTERNAL CORNER REINFORCEMENT SHALL BE INSTALLED TO REINFORCE ALL EXTERNAL CORNERS. WHERE NO EXTERNAL CORNER BEAD IS USED, LATH SHALL BE FURRED OUT AND CARRIED AROUND CORNERS NOT LESS THAN ONE FRAMING SUPPORT ON FRAME CONSTRUCTION.
4) CONTROL JOINTS SHALL BE INSTALLED IN WALLS TO DELINEATE AREAS NOT MORE THAN 144 SQUARE FEET AND TO DELINEATE AREAS NOT MORE THAN 100 SQUARE FEET FOR ALL HORIZONTAL APPLICATIONS, I.E., CEILINGS, CURVES OR ANGLE-TYPE STRUCTURES. THE DISTANCE BETWEEN CONTROL JOINTS SHALL NOT EXCEED (10) FEET IN EITHER DIRECTION. AT A MINIMUM, A CONTROL JOINT SHALL BE INSTALLED: AT THE CEILING FRAMING, WHEN FURRING CHANGES DIRECTION AND WHERE EXPANSION AND CONTROL JOINTS OCCUR IN THE SUBSTRATE (I.E. AT THE BASE OF AN EXTERIOR WALL AND MONOLITHIC SLAB AND AT JOINTS IN C.M.U. AND CONCRETE.
5) IN WALLS OR PARTITIONS, DOOR FRAMES SHALL BE CONSIDERED AS CONTROL JOINTS.
6) FOUNDATION WEEP SCREED SHALL BE INSTALLED AT THE BOTTOM OF ALL STEEL OR WOOD FRAME EXTERIOR WALLS. THE NOSE OF THE SCREED SHALL BE PLACED NOT LESS THAN (6) INCHES ABOVE RAW EARTH OR (4) INCHES ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER AND LATH SHALL ENTIRELY COVER THE VERTICAL ATTACHMENT FLANGE AND TERMINATE AT THE TOP EDGE OF THE NOSE OR GROUND FLANGE.
7) PLASTER THICKNESS FOR STUCCO SHALL BE INSTALLED IN COATS OVER:
   - A) FRAME CONSTRUCTION:
     - FIRST (BROWN) COAT 3/8 INCH THICK
     - SECOND (SCRATCH) COAT 3/8 INCH THICK
     - THIRD (FINISH) COAT 1/8 INCH THICK
   - B) MASONRY CONSTRUCTION:
     - BONDING AGENT ASTM C-932-03
     - FIRST COAT 3/8 INCH THICK
     - SECOND COAT 1/8 INCH THICK
8) PROVIDE AN EXTERIOR SEALANT.

NOTES:

1) CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ROOF PITCHES, AND CONDITIONS BEFORE THE START OF ANY DEMOLITION OR CONSTRUCTION.
2) CONTRACTOR SHALL FIELD VERIFY EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, FOR ADEQUACY AND SAFETY, SYSTEMS SHALL BE UPGRADED AS REQUIRED.
3) CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND FORMS REQUIRED TO EXECUTE THIS PROJECT.
4) CONTRACTOR SHALL INSURE THAT ALL DEMOLITION, CONSTRUCTION, AND RENOVATION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE TIME OF PERMITTING.
5) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY COLLECTION AND DISPOSAL OF ALL TRASH, DEMOLITION MATERIAL, TRIMMING, REFUSE, ETC. FROM THE SITE.
6) CONTRACTORS SHALL SAVE AND RETAIN ON SITE ANY MATERIAL, EQUIPMENT, OR ITEMS DESIRED BY THE OWNER.
7) NEW CONSTRUCTION, TRIM, FINISHES, BRICK, ETC., SHALL MATCH EXISTING. ANY POSSIBLE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE CONSTRUCTION.
8) DURING DEMOLITION AND NEW CONSTRUCTION, ANY UNAFFECTED AREAS SHALL BE ADEQUATELY PROTECTED FROM WEATHER, STRUCTURAL DAMAGE, OR DAMAGE FROM NEW CONSTRUCTION.
9) ANY ELECTRICAL, PLUMBING, OR HVAC LINES TO BE ABANDONED SHALL BE TRIMMED AND CAPPED.
10) ANY AREAS WHERE NEW ROOF MEETS EXISTING ROOF AND/OR STRUCTURE SHALL BE ADEQUATELY FLASHED AND SEALED.
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12) CONTRACTOR TO VERIFY SETBACKS AND LOCATION OF STRUCTURE PRIOR TO CONSTRUCTION.
13) ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE PRESSURE TREATED APPROPRIATELY FOR THE CONDITION.
14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

NOTE:

DIMENSIONS, HEIGHTS AND SITE ELEVATIONS ARE APPROXIMATE AND SUBJECT TO FIELD CONDITIONS. CONTRACTOR TO VERIFY BEFORE COMMENCEMENT

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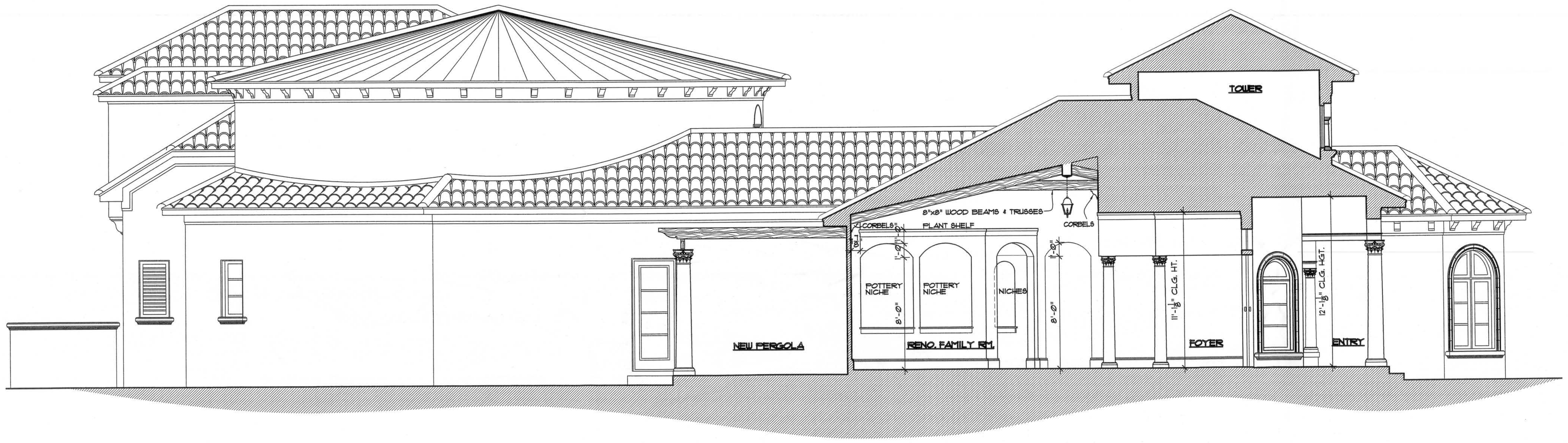
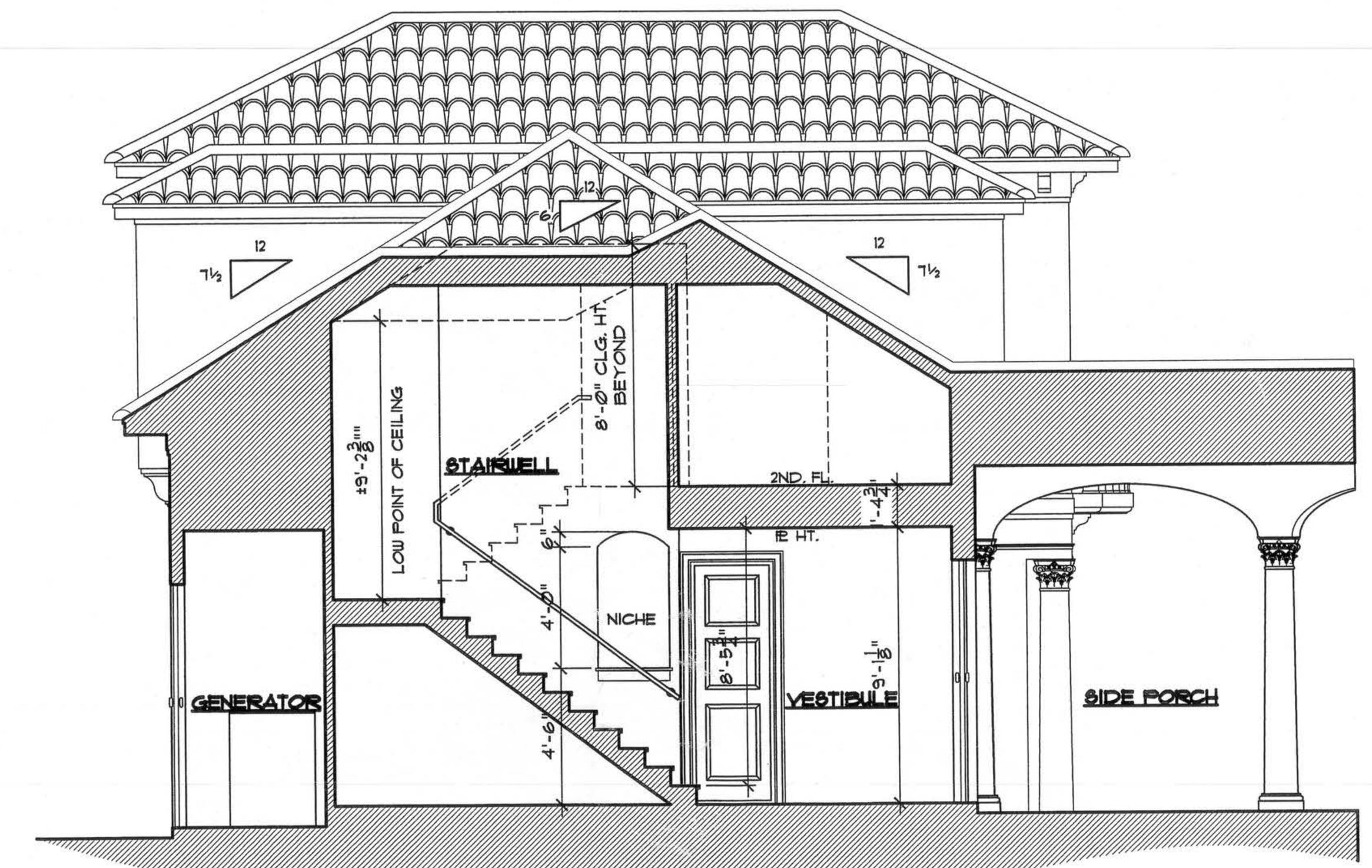
ADDITIONS AND RENOVATIONS TO THE:
MIKE & LINDA CADY RESIDENCE
161 N.W. LAKE JEFFREY ROAD
LAKE CITY, FLORIDA

DRAWN BY:	AA RPF
CHECKED BY:	
DATE:	02/17/06
SCALE:	1/4" = 1'-0"
JOB NUMBER:	****
REVISED:	
DWG NO:	4 OF 13



SECTION A-A

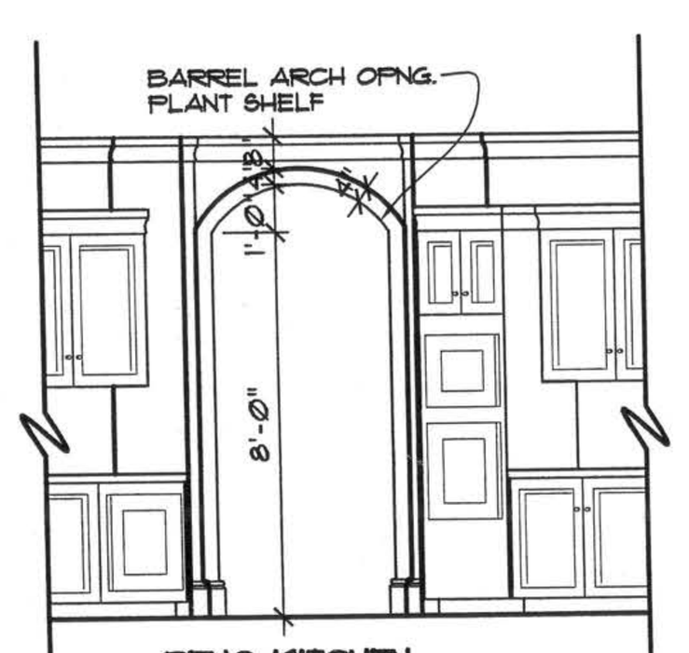
SECTION B-B



SECTION C-C

SECTION D-D

SECTION E-E



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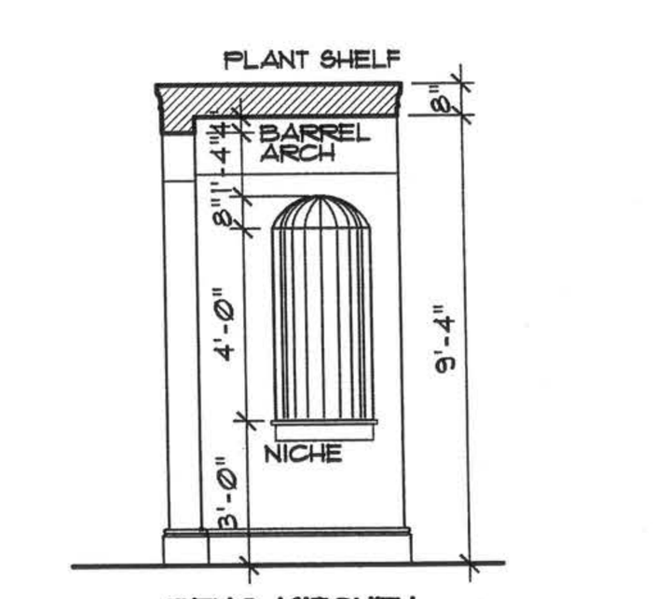

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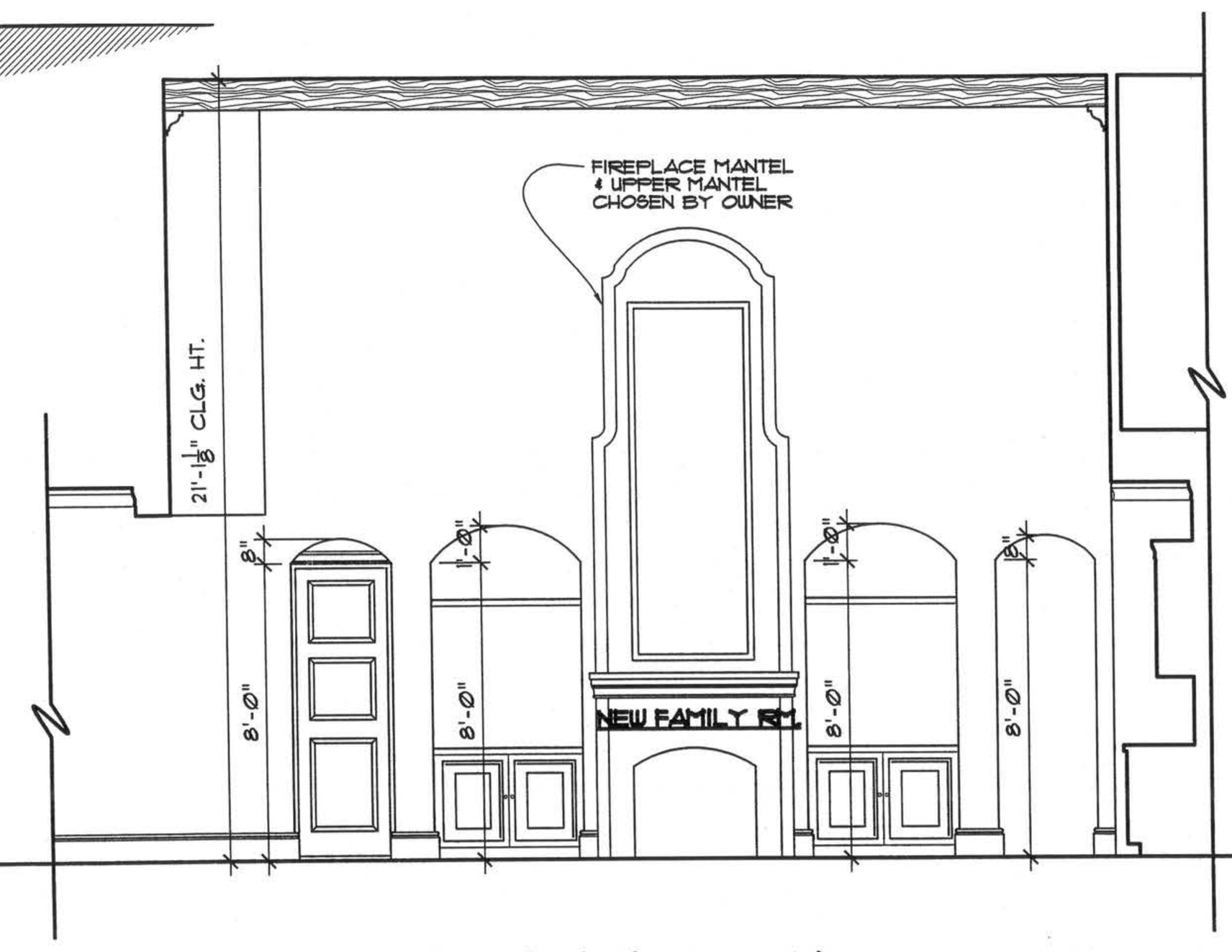

INT. ELEV. H

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LAKE CITY, FLORIDA

DRAWN BY:	AA RPF
CHECKED BY:	
DATE:	02/17/06
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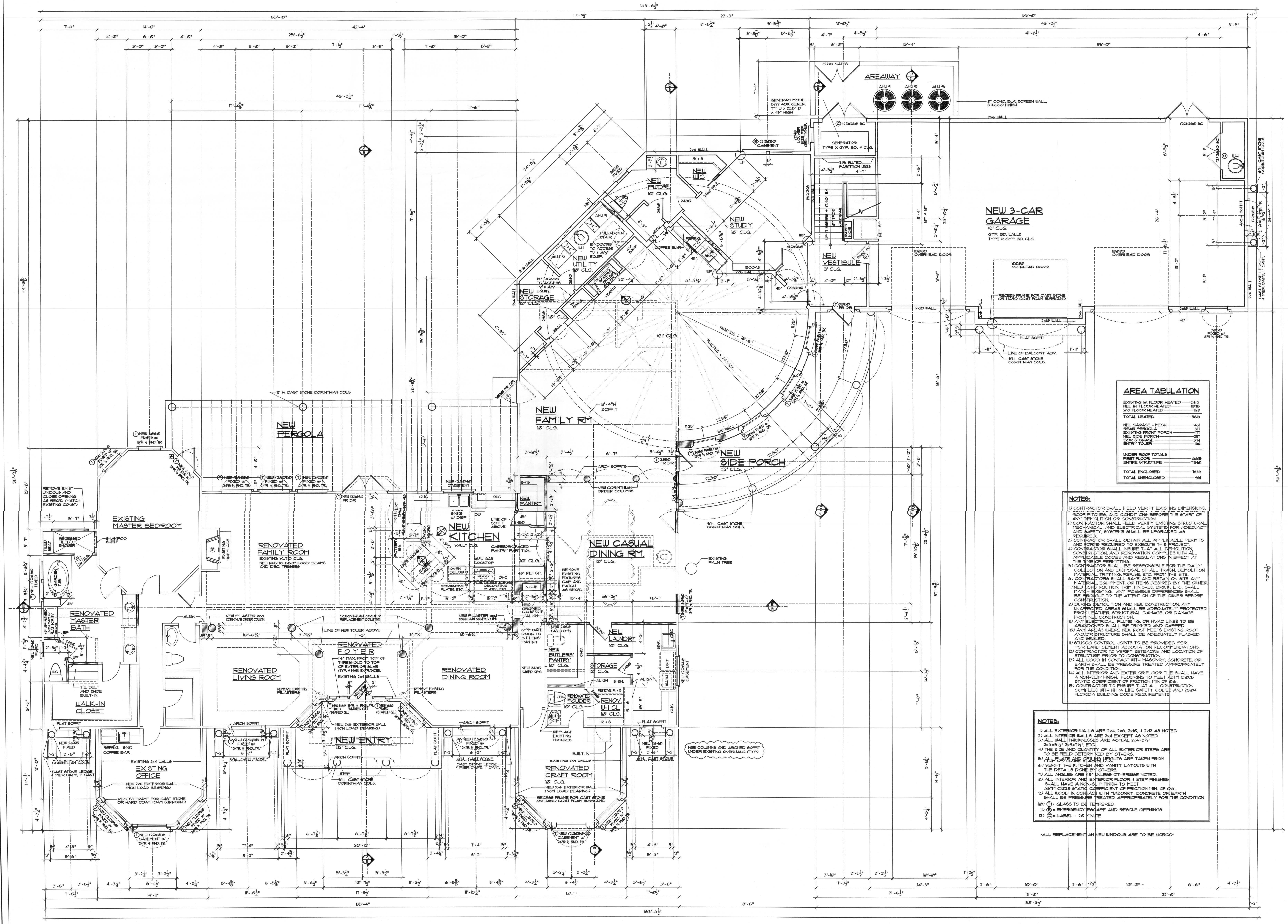
DWG NO:	5 OF 13



AREA TABULATION

EXISTING 1st FLOOR HEATED	3612
NEW 1st FLOOR HEATED	1078
2nd FLOOR HEATED	1128
TOTAL HEATED	5818
NEW GARAGE + MECH.	1451
REAR PERGOLA	517
EXISTING FRONT PORCH	177
NEW SIDE PORCH	297
BOX STORAGE	374
ENTRY TOWER	196
UNDER ROOF TOTALS	
FIRST FLOOR	6615
ENTIRE STRUCTURE	7940
TOTAL ENCLOSED	7839
TOTAL UNENCLOSED	991

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NOTES:

1) ALL EXTERIOR WALLS ARE 2x4, 2x6, 2x10, & 2x12 AS NOTED
2) ALL INTERIOR WALLS ARE 2x4 EXCEPT AS NOTED
3) ALL WALL THICKNESSES ARE ACTUAL 2x4=3½" 2x6=5½" 2x8=7¼", ETC.
4) THE SIZE AND QUANTITY OF ALL EXTERIOR STEPS ARE TO BE FIELD DETERMINED BY OTHERS.
5) ALL PLATE AND CEILING HEIGHTS ARE TAKEN FROM (TOP OF) HOUSE SLAB/BLOCK
6) VERIFY THE KITCHEN AND VANITY LAYOUTS WITH THE DETAILS DONE BY OTHERS.
7) ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED.
8) ALL INTERIOR AND EXTERIOR FLOOR & STEP FINISHES SHALL HAVE A NON-SLIP FINISH TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN. OF 0.6.
9) ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH SHALL BE PRESSURE TREATED APPROPRIATELY FOR THE CONDITION
10) (T) = GLASS TO BE TEMPERED
11) ⟨E⟩ = EMERGENCY ESCAPE AND RESCUE OPENINGS
12) (C) = LABEL - 20 MINUTE

ALL REPLACEMENT AN NEW WINDOWS ARE TO BE NORCO

FIRST FLOOR PLAN

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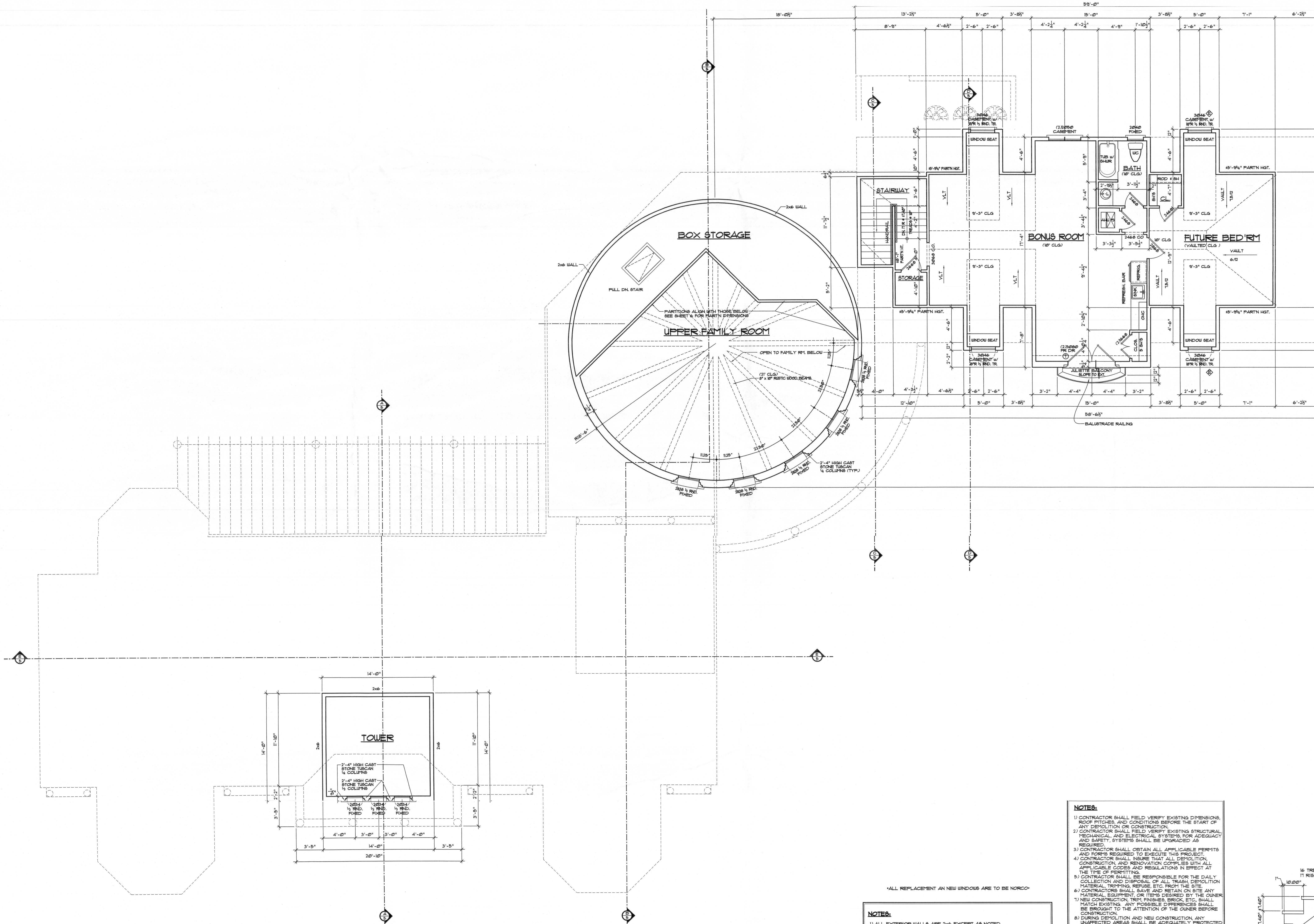

SECOND FLOOR PLAN

ALL REPLACEMENT AN NEW WINDOWS ARE TO BE NORCO

NOTES:

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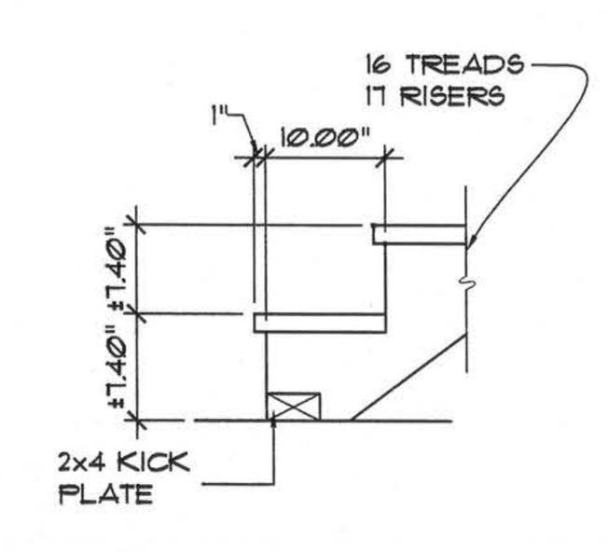

STAIR DETAIL #1

SCALE: 3/4" = 1'-0"

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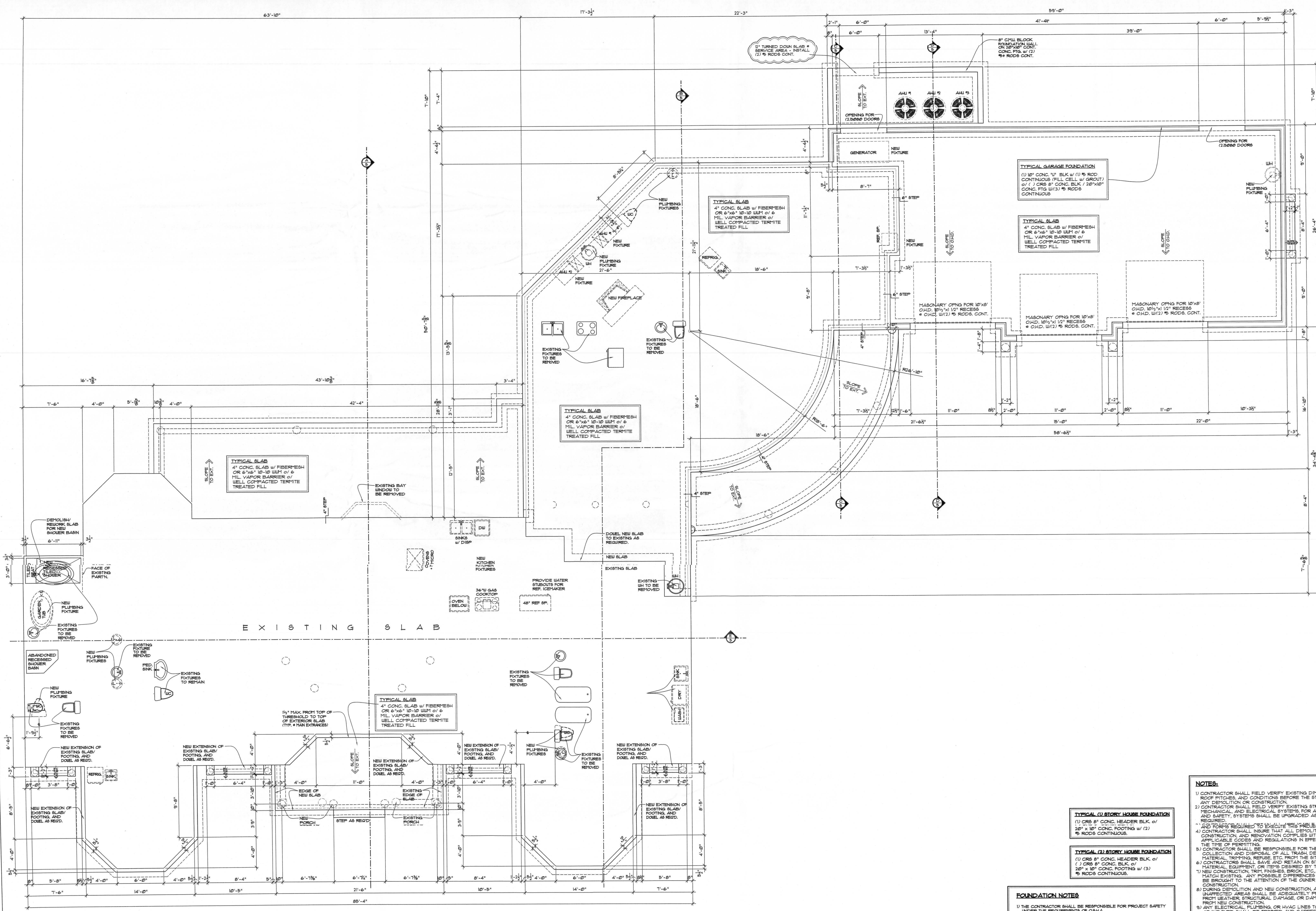

FOUNDATION PLAN

TYPICAL (1) STORY HOUSE FOUNDATION

(1) CRS 8" CONC. HEADER BLK. o/
20" x 10" CONC. FOOTING w/ (2)
#5 RODS CONTINUOUS.

TYPICAL (2) STORY HOUSE FOUNDATION

(1) CRS 8" CONC. HEADER BLK. o/
( ) CRS 8" CONC. BLK. o/
20" x 10" CONC. FOOTING w/ (3)
#5 RODS CONTINUOUS.

FOUNDATION NOTES

1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROJECT SAFETY UNDER THE REQUIREMENTS OF O.S.H.A.
2) ALL WORK SHALL BE IN STRICT COMPLIANCE WITH THE FLORIDA BUILDING CODE (F.B.C.) AND COUNTY BUILDING DEPARTMENT.
3) STRIP TOPSOIL, TREES, STUMPS, ROOTS, ETC. FROM ALL AREAS WHERE CONSTRUCTION WILL OCCUR UNLESS NOTED OTHERWISE.
4) WHILE KNOWN UTILITIES ARE SHOWN, THE CONTRACTOR SHALL EXERCISE CAUTION WITH EARTHWORK AS UNMARKED UTILITIES MIGHT BE ENCOUNTERED.
5) ALL UTILITIES SHALL BE LOCATED AND CLEARLY MARKED PRIOR TO ANY WORK.
6) FILL SHALL BE FIRMLY COMPACTED, CLEAR SAND/CLAY MATERIAL: FREE OF ROOTS, ORGANIC MATTER OR OTHER DEBRIS.
7) FILL SHALL BE PLACED IN 12" LOOSE LIFTS, COMPACTED TO 95% MODIFIED PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM 0-1557-METHOD 'A'
8) SOIL BORING TEST SHOULD BE PERFORMED BY A FLORIDA REGISTERED SOIL ENGINEER WITHIN BUILDING FOOTPRINTS, SAME ENGINEER SHOULD CONFIRM EXCAVATION AND 'ENGINEERED' BACKFILL REQUIRED PSI CONCRETE AND VERIFY FOOTING DESIGN, SAME ENGINEER SHOULD APPROVE BACKFILL FOR MATERIAL MAKE-UP.
9) SOIL ENGINEER SHOULD CONDUCT SIX COMPACTION TESTS TO VERIFY ABOVE REQUIREMENTS.
10) INTERIOR BEARING LOCATIONS SHOULD BE COORDINATED WITH TRUSS MANUFACTURER.
11) PROVIDE SOIL TREATMENT AND VAPOR BARRIERS AT ALL SLABS (INTERIOR).

NOTES:

1) CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ROOF PITCHES, AND CONDITIONS BEFORE THE START OF ANY DEMOLITION OR CONSTRUCTION.
2) CONTRACTOR SHALL FIELD VERIFY EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, FOR ADEQUACY AND SAFETY, SYSTEMS SHALL BE UPGRADED AS REQUIRED.
3) CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS AND FORMS REQUIRED TO EXECUTE THIS PROJECT.
4) CONTRACTOR SHALL INSURE THAT ALL DEMOLITION, CONSTRUCTION, AND RENOVATION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE TIME OF PERMITTING.
5) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY COLLECTION AND DISPOSAL OF ALL TRASH, DEMOLITION MATERIAL, TRIMMING, REFUSE, ETC. FROM THE SITE.
6) CONTRACTORS SHALL SAVE AND RETAIN ON SITE ANY MATERIAL, EQUIPMENT, OR ITEMS DESIRED BY THE OWNER
7) NEW CONSTRUCTION, TRIM, FINISHES, BRICK, ETC., SHALL MATCH EXISTING. ANY POSSIBLE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE CONSTRUCTION.
8) DURING DEMOLITION AND NEW CONSTRUCTION, ANY UNAFFECTED AREAS SHALL BE ADEQUATELY PROTECTED FROM WEATHER, STRUCTURAL DAMAGE, OR DAMAGE FROM NEW CONSTRUCTION.
9) ANY ELECTRICAL, PLUMBING, OR HVAC LINES TO BE ABANDONED SHALL BE TRIMMED AND CAPPED.
10) ANY AREAS WHERE NEW ROOF MEETS EXISTING ROOF AND/OR STRUCTURE SHALL BE ADEQUATELY FLASHED AND SEALED.
11) STUCCO CONTROL JOINTS TO BE PROVIDED PER PORTLAND CEMENT ASSOCIATION RECOMMENDATIONS.
12) CONTRACTOR TO VERIFY SETBACKS AND LOCATION OF STRUCTURE PRIOR TO CONSTRUCTION.
13) ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EARTH SHALL BE PRESSURE TREATED APPROPRIATELY FOR THE CONDITION.
14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

NOTE:

DIMENSIONS, HEIGHTS AND SITE ELEVATIONS ARE APPROXIMATE AND SUBJECT TO FIELD CONDITIONS. CONTRACTOR TO VERIFY BEFORE COMMENCEMENT

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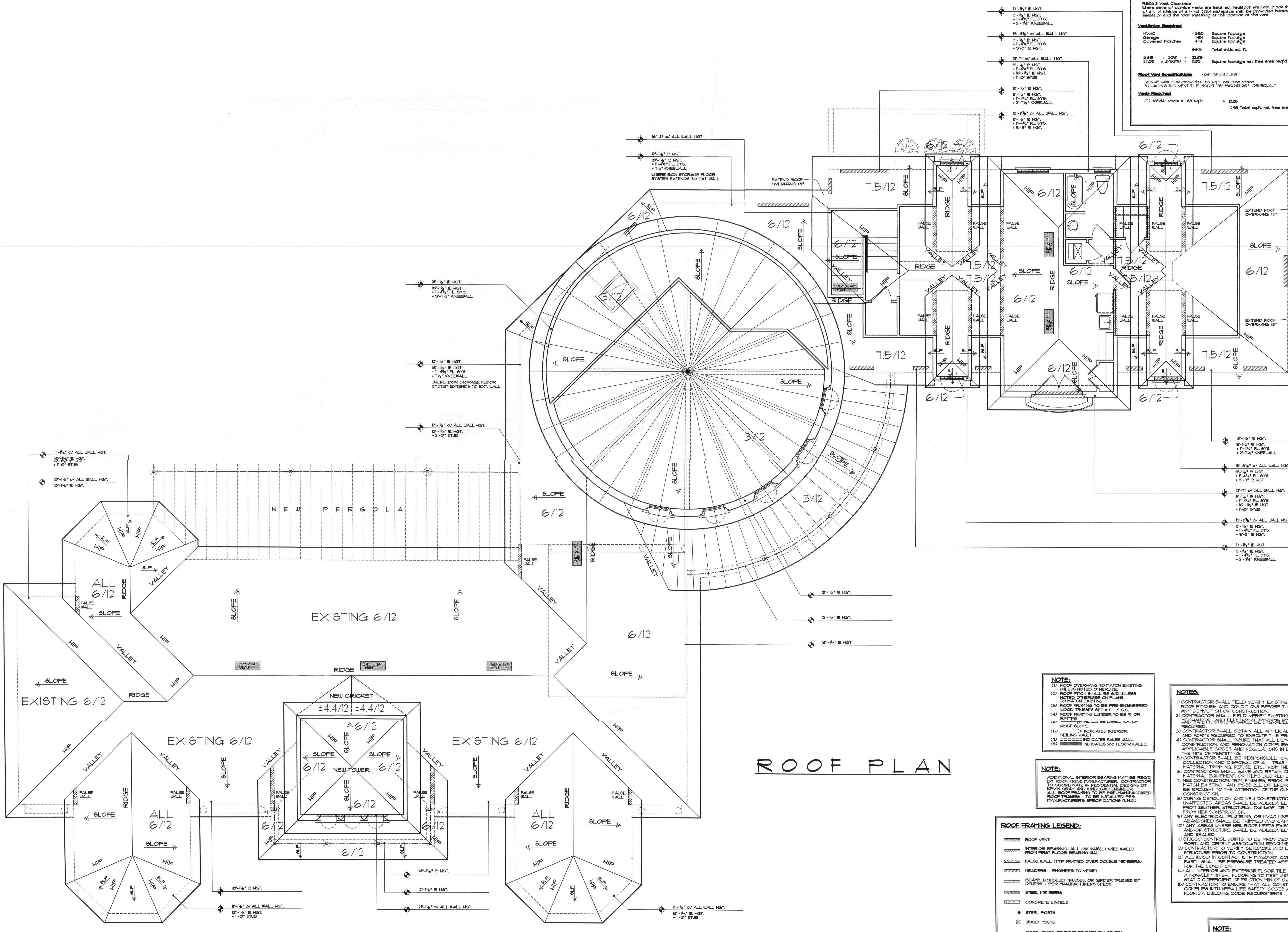
ADDITIONS AND RENOVATIONS TO THE:
MIKE & LINDA CADY RESIDENCE
161 N.W. LAKE JEFFREY ROAD
LAKE CITY, FLORIDA

DRAWN BY:	AA RPF
CHECKED BY:	
DATE:	02/17/06
SCALE:	1/4" = 1'-0"
JOB NUMBER:	****
REVISED:	
DWG NO:	8 OF 13



ROOF PLAN

ROOF ATTIC/VENTILATION AREA CALCULATIONS

Excerpt of the 2004 Florida Building Code, Residential R806

R806.1 Ventilation required
Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separated space by ventilating openings protected against the entrace of rain. Ventilating openings shall be provided with corrosion-resistant wire mesh, with 1/8 inch (3.2 mm) minimum to 1/4 inch (6.4 mm) maximum openings.

R806.2 Minimum Area
The total net free ventilating area shall not be less than 1 to 150 of the area of the space ventilated except that the total area is permitted to be reduced to 1 to 300, provided at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1 to 300 when a vapor barrier having a transmission rate not exceeding 1 perm (57.4 mg/s . m2 . Pa) is installed on the warm side of the ceiling.

R806.3 Vent Clearance
Where eave of cornice vents are installed, insulation shall not block the free flow of air. A minimum of a 1-inch (25.4 mm) space shall be provided between the insulation and the roof sheathing at the location of the vent.

Ventilation Required

HVAC		4690	Square footage
Garage		1451	Square footage
Covered Porches		474	Square footage
		6615	Total attic sq. ft.
6615	÷ 300 =	22.05	
22.05	x .5(50%) =	11.03	Square footage net free area req'd

Roof Vent Specifications (per manufacturer)

38"x14" vent tiles-provides 1.85 sq.ft. net free space
"O'HAGIN'S INC. VENT TILE MODEL "S" #50042 20" OR EQUAL"

Vents Required

(7) 38"x14" vents @ 1.85 sq.ft. = 12.95

12.95 Total sq.ft. net free area provided

NOTE:

(1) ROOF OVERHANG TO MATCH EXISTING UNLESS NOTED OTHERWISE.
(2) ROOF PITCH SHALL BE 6/12 UNLESS NOTED OTHERWISE ON PLANS. TO MATCH EXISTING
(3) ROOF FRAMING TO BE PRE-ENGINEERED WOOD TRUSSES SET @ ( )" O.C.
(4) ROOF FRAMING LUMBER TO BE #2 OR BETTER.
(5) ——> INDICATES DIRECTION OF ROOF SLOPE.
(6) ——> INDICATES INTERIOR CEILING VAULT.
(7) ====== INDICATES FALSE WALL.
(8) ▬▬ INDICATES 2nd FLOOR WALLS.

NOTE:

ADDITIONAL INTERIOR BEARING MAY BE REQ'D BY ROOF TRUSS MANUFACTURER. CONTRACTOR TO COORDINATE w/ RESIDENTIAL DESIGNS BY KEVIN GRAY AND WINDLOAD ENGINEER ALL ROOF FRAMING TO BE PRE-MANUFACTURED ROOF TRUSSES - TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (U.N.O.)

ROOF FRAMING LEGEND:

- ROOF VENT
- INTERIOR BEARING WALL OR RAISED KNEE WALLS FROM FIRST FLOOR BEARING WALL
- FALSE WALL (TYP FRAMED OVER DOUBLE MEMBERS)
- HEADERS - ENGINEER TO VERIFY
- BEAMS, DOUBLED TRUSSES, OR GIRDER TRUSSES BY OTHERS - PER MANUFACTURERS SPECS
- STEEL MEMBERS
- CONCRETE LINTELS
- ● STEEL POSTS
- ⊠ WOOD POSTS
- — - — ROOF JOISTS OR ROOF TRUSSES BY OTHERS - PER MANUFACTURERS SPECS
- BEAM, JOIST, OR TRUSS HANGERS

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ADDITIONS AND RENOVATIONS TO THE:
MIKE & LINDA CADY RESIDENCE
161 N.W. LAKE JEFFREY ROAD
LAKE CITY, FLORIDA

DRAWN BY:	AA RPF
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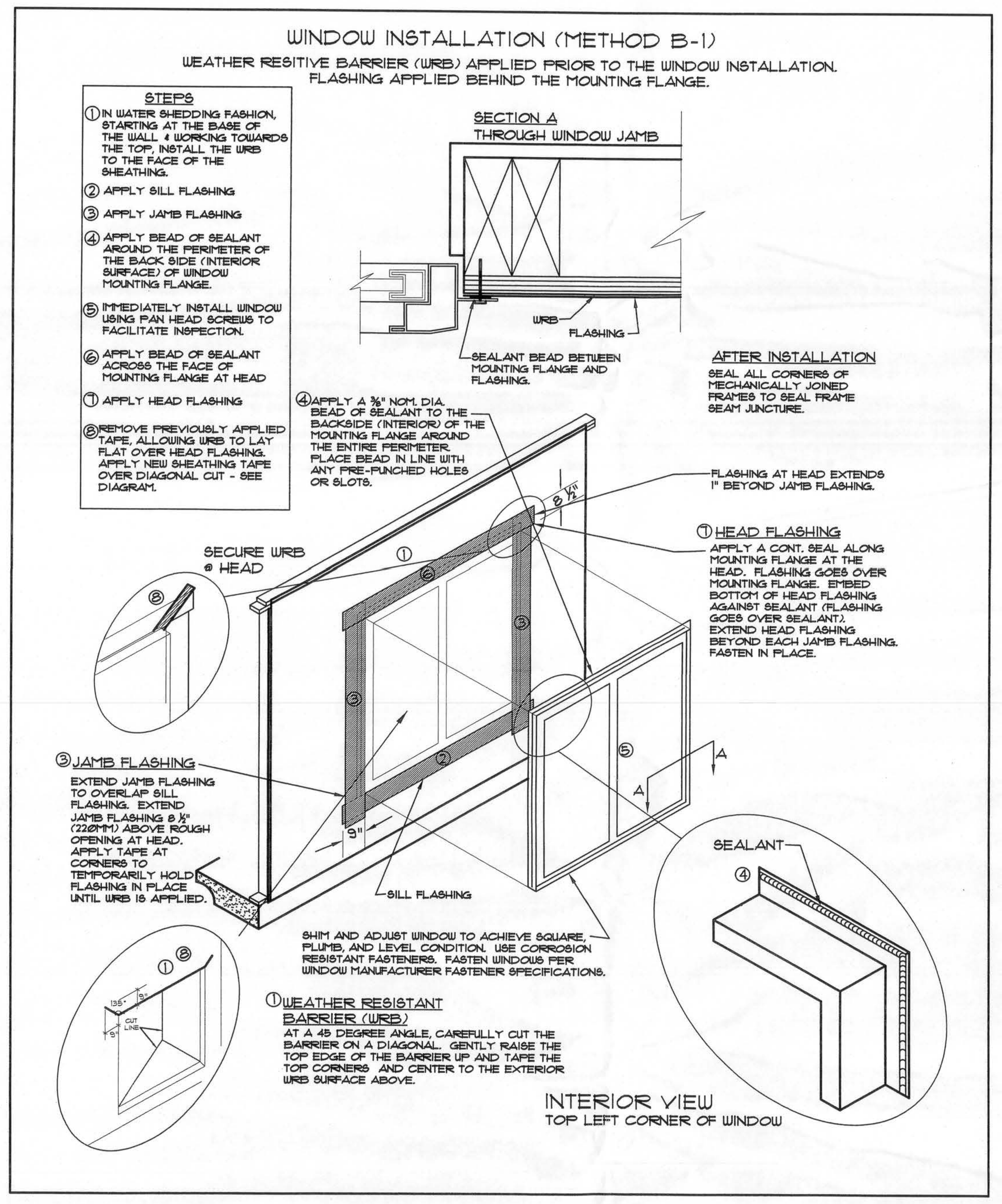
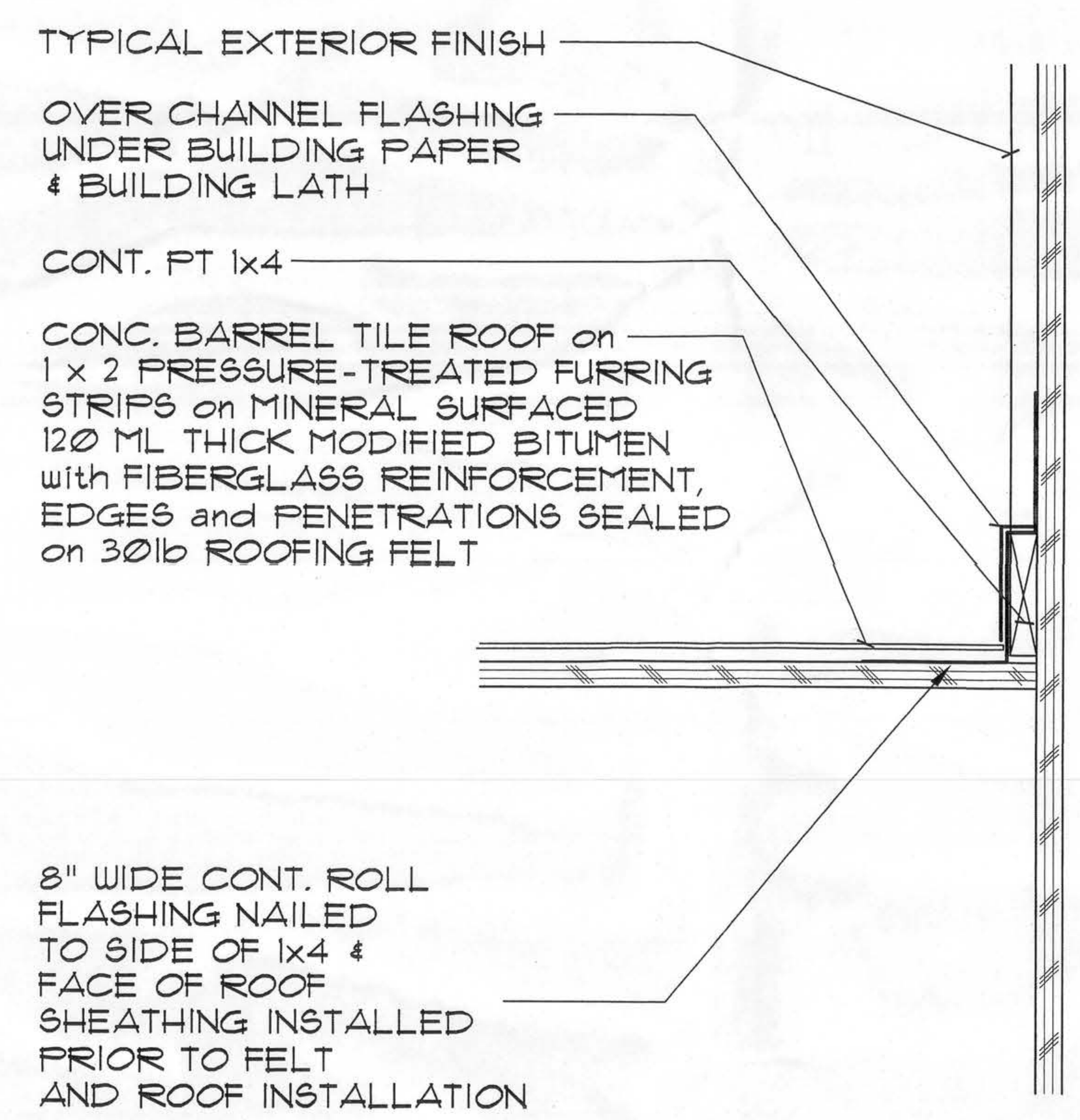
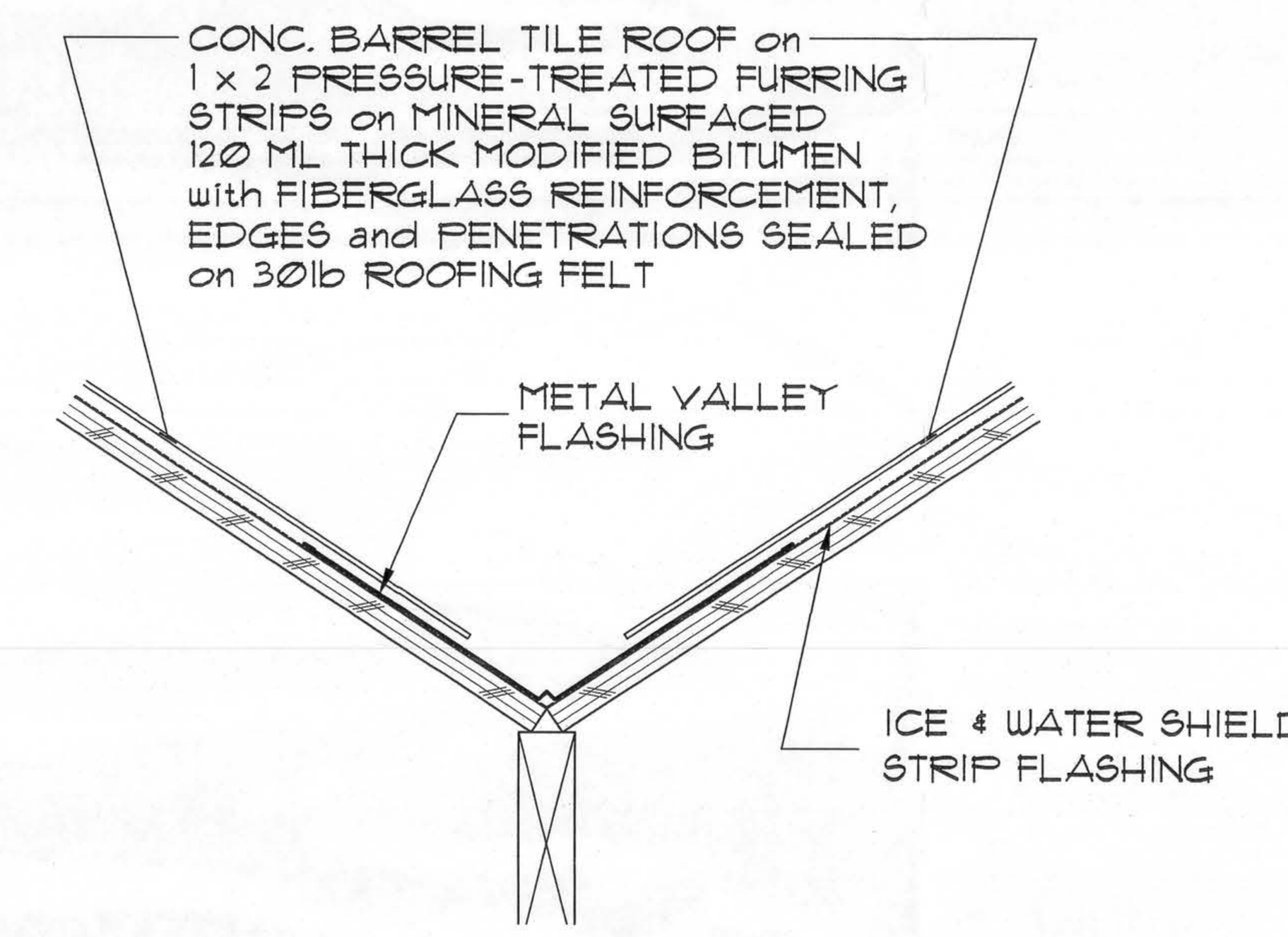
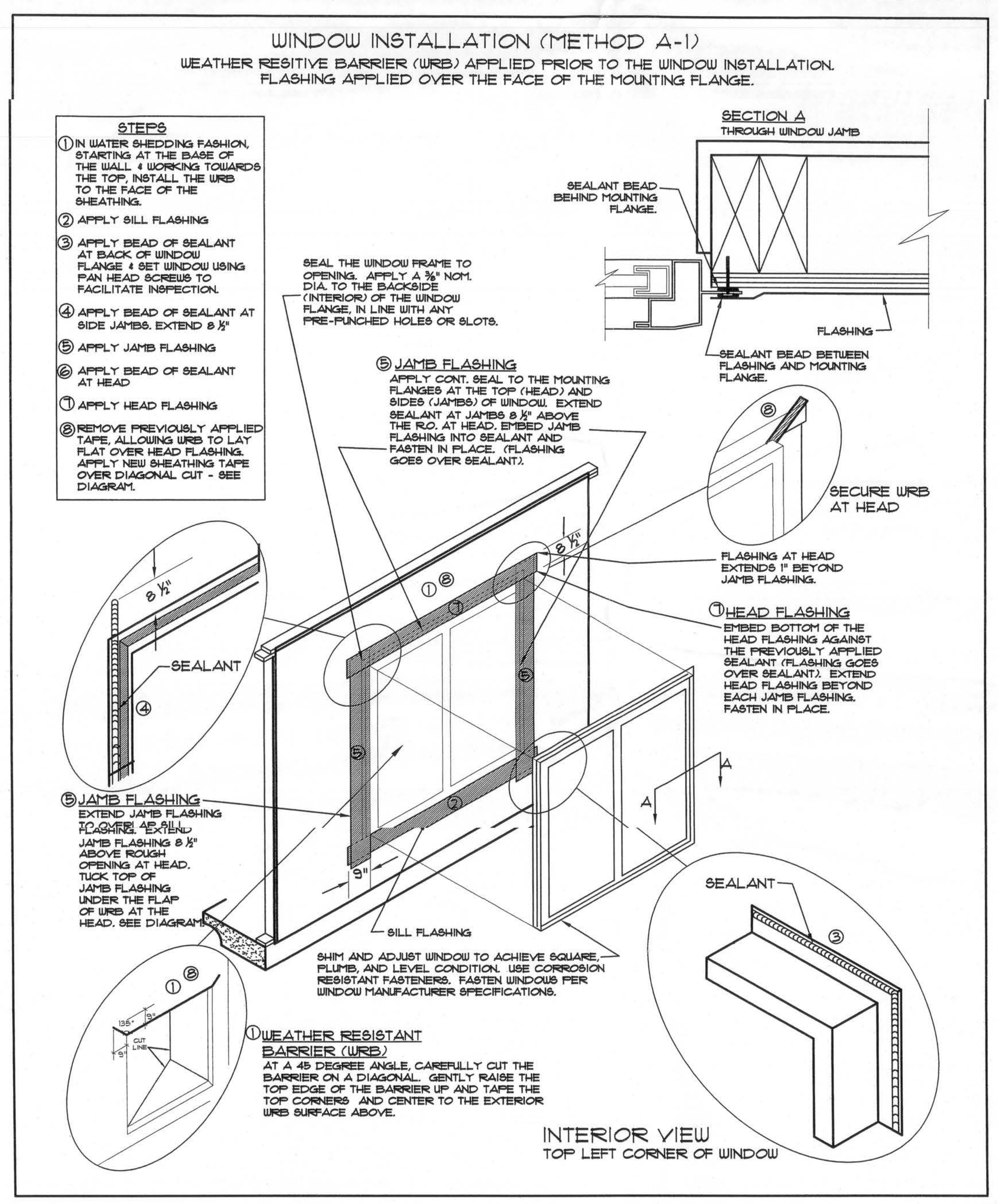

WINDOW INSTALLATION (METHOD B-1)
WEATHER RESITIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED BEHIND THE MOUNTING FLANGE.
STEPS
① IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL & WORKING TOWARDS THE TOP, INSTALL THE WRB TO THE FACE OF THE SHEATHING.
② APPLY SILL FLASHING
③ APPLY JAMB FLASHING
④ APPLY BEAD OF SEALANT AROUND THE PERIMETER OF THE BACK SIDE (INTERIOR SURFACE) OF WINDOW MOUNTING FLANGE.
⑤ IMMEDIATELY INSTALL WINDOW USING PAN HEAD SCREWS TO FACILITATE INSPECTION.
⑥ APPLY BEAD OF SEALANT ACROSS THE FACE OF MOUNTING FLANGE AT HEAD
⑦ APPLY HEAD FLASHING
⑧ REMOVE PREVIOUSLY APPLIED TAPE, ALLOWING WRB TO LAY FLAT OVER HEAD FLASHING. APPLY NEW SHEATHING TAPE OVER DIAGONAL CUT - SEE DIAGRAM.
SECTION A
THROUGH WINDOW JAMB
WRB
FLASHING
SEALANT BEAD BETWEEN MOUNTING FLANGE AND FLASHING.
AFTER INSTALLATION
SEAL ALL CORNERS OF MECHANICALLY JOINED FRAMES TO SEAL FRAME SEAM JUNCTURE.
④ APPLY A 3/8" NOM. DIA. BEAD OF SEALANT TO THE BACKSIDE (INTERIOR) OF THE MOUNTING FLANGE AROUND THE ENTIRE PERIMETER. PLACE BEAD IN LINE WITH ANY PRE-PUNCHED HOLES OR SLOTS.
FLASHING AT HEAD EXTENDS 1" BEYOND JAMB FLASHING.
⑦ HEAD FLASHING
APPLY A CONT. SEAL ALONG MOUNTING FLANGE AT THE HEAD. FLASHING GOES OVER MOUNTING FLANGE. EMBED BOTTOM OF HEAD FLASHING AGAINST SEALANT (FLASHING GOES OVER SEALANT). EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING. FASTEN IN PLACE.
SECURE WRB @ HEAD
③ JAMB FLASHING
EXTEND JAMB FLASHING TO OVERLAP SILL FLASHING. EXTEND JAMB FLASHING 8 1/2" (228MM) ABOVE ROUGH OPENING AT HEAD. APPLY TAPE AT CORNERS TO TEMPORARILY HOLD FLASHING IN PLACE UNTIL WRB IS APPLIED.
SILL FLASHING
SEALANT
SHIM AND ADJUST WINDOW TO ACHIEVE SQUARE, PLUMB, AND LEVEL CONDITION. USE CORROSION RESISTANT FASTENERS. FASTEN WINDOWS PER WINDOW MANUFACTURER SPECIFICATIONS.
① WEATHER RESISTANT BARRIER (WRB)
AT A 45 DEGREE ANGLE, CAREFULLY CUT THE BARRIER ON A DIAGONAL. GENTLY RAISE THE TOP EDGE OF THE BARRIER UP AND TAPE THE TOP CORNERS AND CENTER TO THE EXTERIOR WRB SURFACE ABOVE.
INTERIOR VIEW
TOP LEFT CORNER OF WINDOW

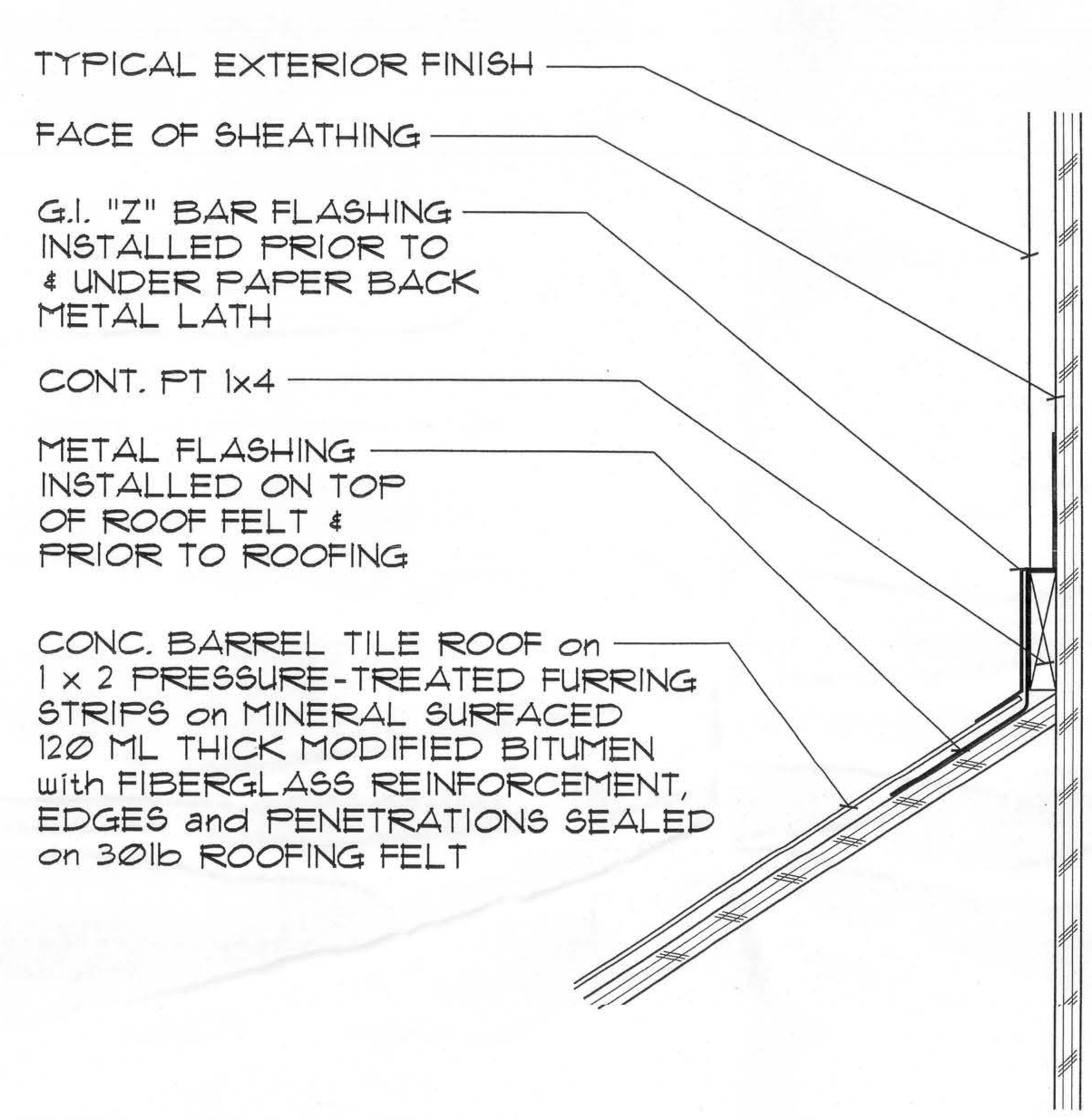

TYPICAL EXTERIOR FINISH
OVER CHANNEL FLASHING UNDER BUILDING PAPER & BUILDING LATH
CONT. PT 1x4
CONC. BARREL TILE ROOF on 1 x 2 PRESSURE-TREATED FURRING STRIPS on MINERAL SURFACED 120 ML THICK MODIFIED BITUMEN with FIBERGLASS REINFORCEMENT, EDGES and PENETRATIONS SEALED on 30lb ROOFING FELT
8" WIDE CONT. ROLL FLASHING NAILED TO SIDE OF 1x4 & FACE OF ROOF SHEATHING INSTALLED PRIOR TO FELT AND ROOF INSTALLATION

ROOF TO WALL FLASHING
(ROOF SLOPE PARALLEL TO WALL)
SCALE: 3" = 1'-0"

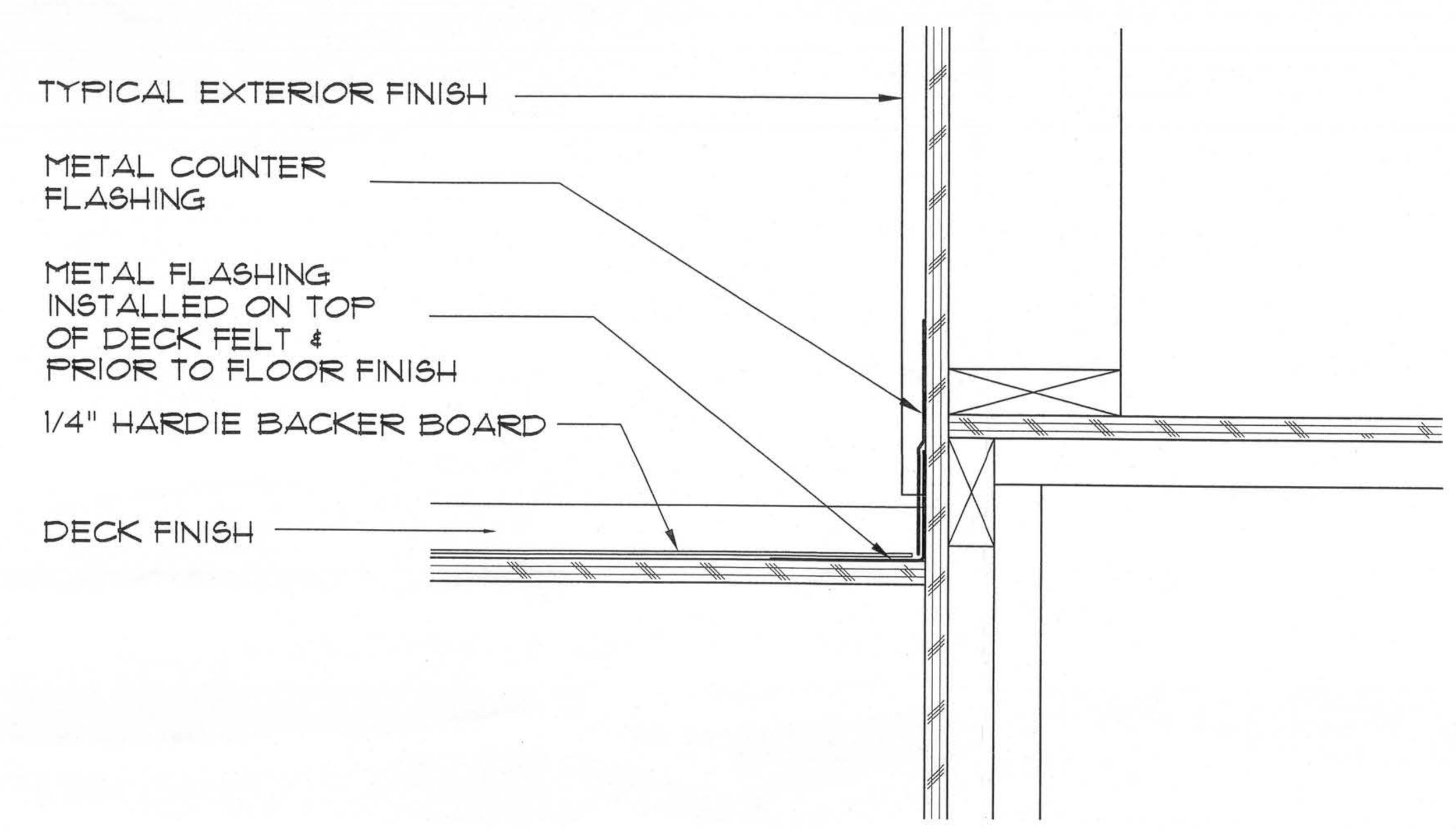

CONC. BARREL TILE ROOF on 1 x 2 PRESSURE-TREATED FURRING STRIPS on MINERAL SURFACED 120 ML THICK MODIFIED BITUMEN with FIBERGLASS REINFORCEMENT, EDGES and PENETRATIONS SEALED on 30lb ROOFING FELT
METAL VALLEY FLASHING
ICE & WATER SHIELD STRIP FLASHING

VALLEY FLASHING
SCALE: 3" = 1'-0"


WINDOW INSTALLATION (METHOD A-1)
WEATHER RESITIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.
STEPS
① IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL & WORKING TOWARDS THE TOP, INSTALL THE WRB TO THE FACE OF THE SHEATHING.
② APPLY SILL FLASHING
③ APPLY BEAD OF SEALANT AT BACK OF WINDOW FLANGE & SET WINDOW USING PAN HEAD SCREWS TO FACILITATE INSPECTION.
④ APPLY BEAD OF SEALANT AT SIDE JAMBS. EXTEND 8 1/2"
⑤ APPLY JAMB FLASHING
⑥ APPLY BEAD OF SEALANT AT HEAD
⑦ APPLY HEAD FLASHING
⑧ REMOVE PREVIOUSLY APPLIED TAPE, ALLOWING WRB TO LAY FLAT OVER HEAD FLASHING. APPLY NEW SHEATHING TAPE OVER DIAGONAL CUT - SEE DIAGRAM.
SECTION A
THROUGH WINDOW JAMB
SEALANT BEAD BEHIND MOUNTING FLANGE.
SEAL THE WINDOW FRAME TO OPENING. APPLY A 3/8" NOM. DIA. TO THE BACKSIDE (INTERIOR) OF THE WINDOW FLANGE, IN LINE WITH ANY PRE-PUNCHED HOLES OR SLOTS.
SEALANT BEAD BETWEEN FLASHING AND MOUNTING FLANGE.
⑤ JAMB FLASHING
APPLY CONT. SEAL TO THE MOUNTING FLANGES AT THE TOP (HEAD) AND SIDES (JAMBS) OF WINDOW. EXTEND SEALANT AT JAMBS 8 1/2" ABOVE THE R.O. AT HEAD. EMBED JAMB FLASHING INTO SEALANT AND FASTEN IN PLACE. (FLASHING GOES OVER SEALANT.)
SECURE WRB AT HEAD
FLASHING AT HEAD EXTENDS 1" BEYOND JAMB FLASHING.
⑦ HEAD FLASHING
EMBED BOTTOM OF THE HEAD FLASHING AGAINST THE PREVIOUSLY APPLIED SEALANT (FLASHING GOES OVER SEALANT). EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING. FASTEN IN PLACE.
SEALANT
⑤ JAMB FLASHING
EXTEND JAMB FLASHING TO COVER SEALANT. EXTEND JAMB FLASHING 8 1/2" ABOVE ROUGH OPENING AT HEAD. TUCK TOP OF JAMB FLASHING UNDER THE FLAP OF WRB AT THE HEAD. SEE DIAGRAM.
SILL FLASHING
SHIM AND ADJUST WINDOW TO ACHIEVE SQUARE, PLUMB, AND LEVEL CONDITION. USE CORROSION RESISTANT FASTENERS. FASTEN WINDOWS PER WINDOW MANUFACTURER SPECIFICATIONS.
① WEATHER RESISTANT BARRIER (WRB)
AT A 45 DEGREE ANGLE, CAREFULLY CUT THE BARRIER ON A DIAGONAL. GENTLY RAISE THE TOP EDGE OF THE BARRIER UP AND TAPE THE TOP CORNERS AND CENTER TO THE EXTERIOR WRB SURFACE ABOVE.
INTERIOR VIEW
TOP LEFT CORNER OF WINDOW


TYPICAL EXTERIOR FINISH
FACE OF SHEATHING
G.I. "Z" BAR FLASHING INSTALLED PRIOR TO & UNDER PAPER BACK METAL LATH
CONT. PT 1x4
METAL FLASHING INSTALLED ON TOP OF ROOF FELT & PRIOR TO ROOFING
CONC. BARREL TILE ROOF on 1 x 2 PRESSURE-TREATED FURRING STRIPS on MINERAL SURFACED 120 ML THICK MODIFIED BITUMEN with FIBERGLASS REINFORCEMENT, EDGES and PENETRATIONS SEALED on 30lb ROOFING FELT

ROOF TO WALL FLASHING
(ROOF SLOPE MEETS WALL)
SCALE: 3" = 1'-0"



BALCONY FLASHING
SCALE: 3" = 1'-0"

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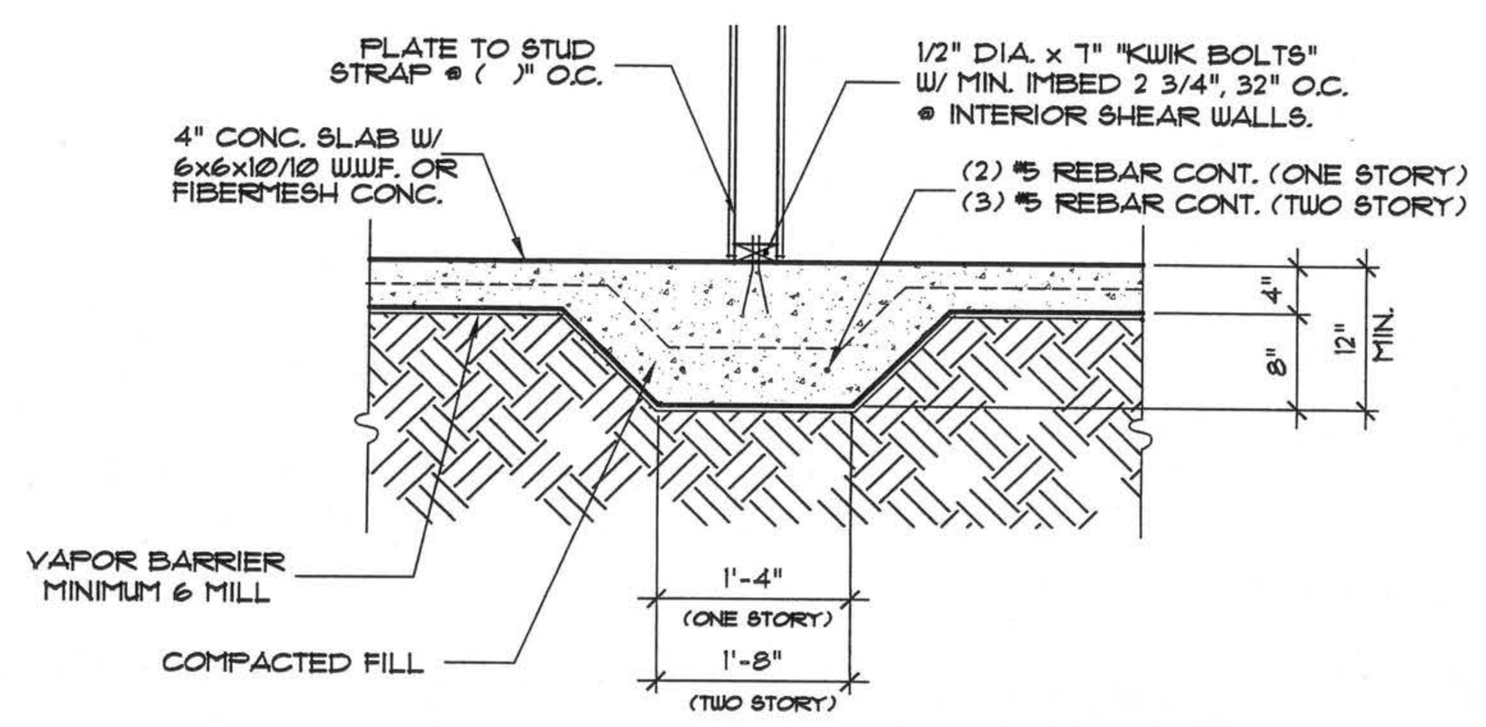
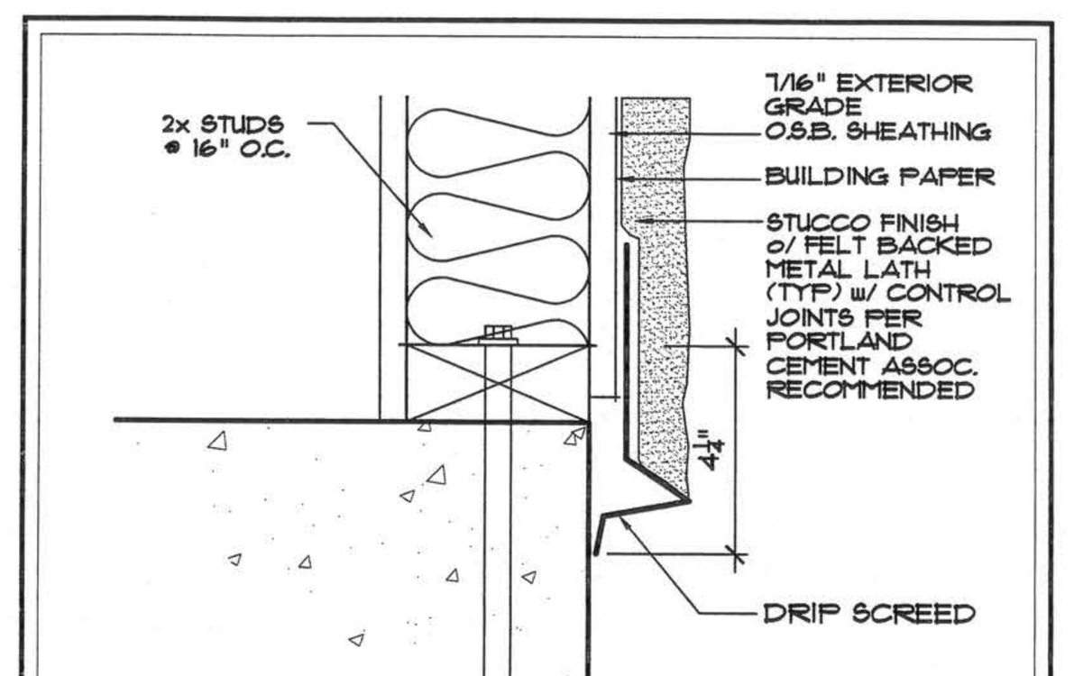


TYPICAL BEARING WALL

SCALE: 3/4" = 1'-0"



STUCCO TERMINATION @ BASE

SCALE: N.T.S.

Design No. U333

Bearing Wall Rating— hr.

Finish Rating—23 Min.

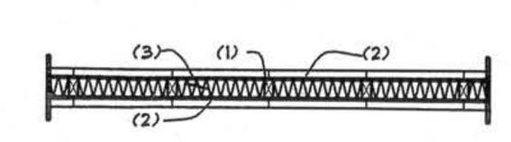
(1) WOOD STUDS - NOM. 2 BY 4 IN. SPACED 16 IN. OC EFFECTIVELY CROSSED BRACED.

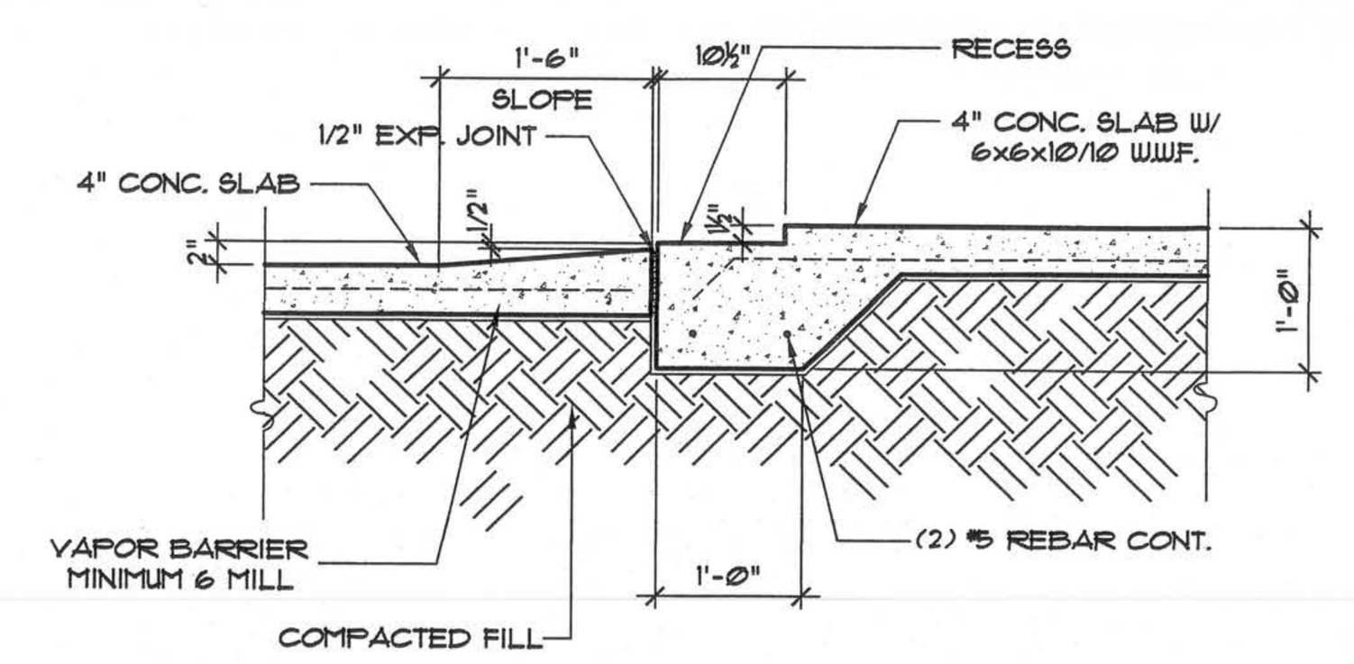
(2) WALLBOARD, GYPSUM - 5/8 IN. THICK, 4 FT. WIDE, APPLIED EITHER VERTICALLY OR HORIZONTALLY, SCREW ATTACHED TO STUDS AND PLATES WITH 1¼ IN. LONG TYPE W STEEL SCREWS, SPACED 8 IN. OC.

(3) BATTS AND BLANKETS - (OPTIONAL) MINERAL WOOL INSULATION, PARTIALLY OR COMPLETELY FILLING STUD CAVITY.

(4) JOINTS AND NAILHEADS - WALLBOARD JOINTS COVERED WITH TAPE AND JOINT COMPOUND, SCREW HEADS COVERED WITH JOINT COMPOUND.

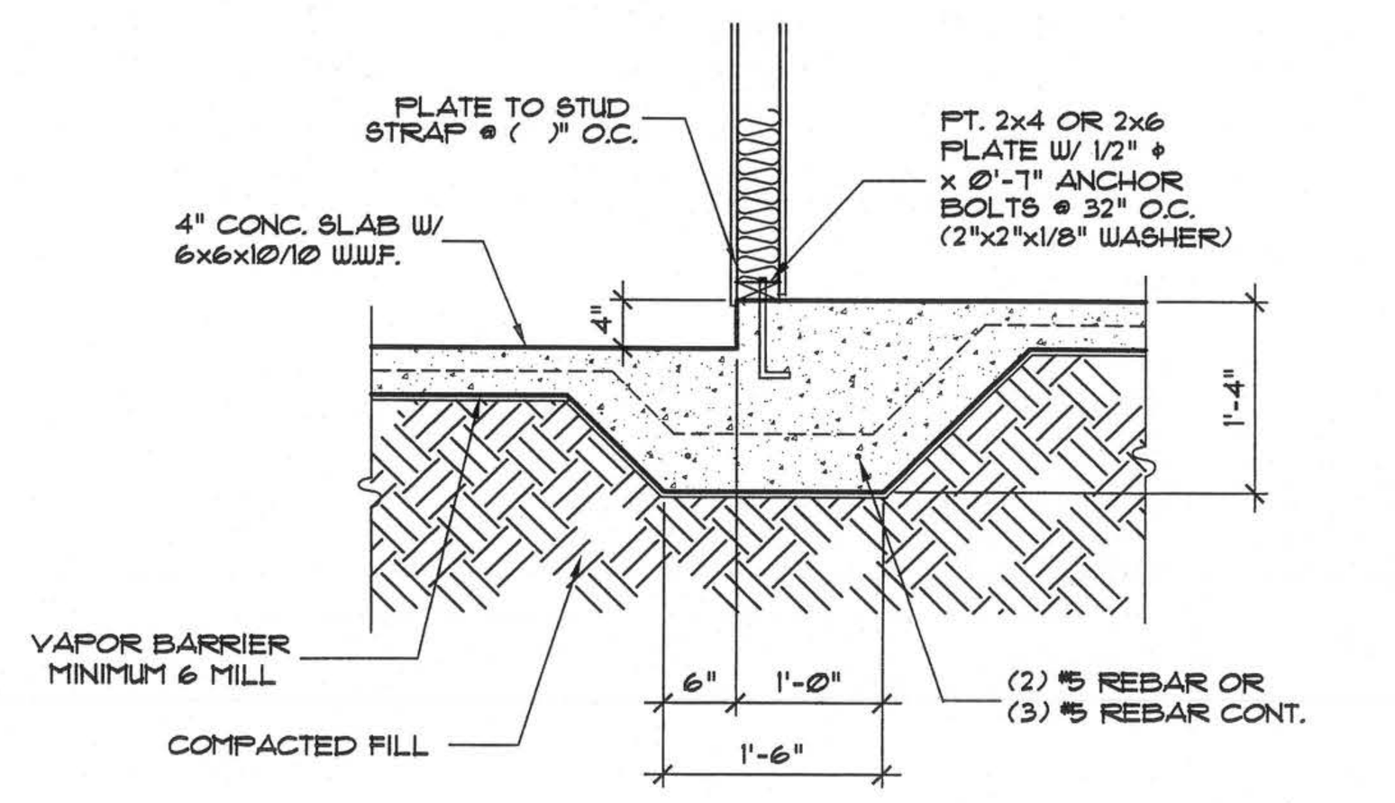
* BEARING THE UL CLASSIFICATION MARKING





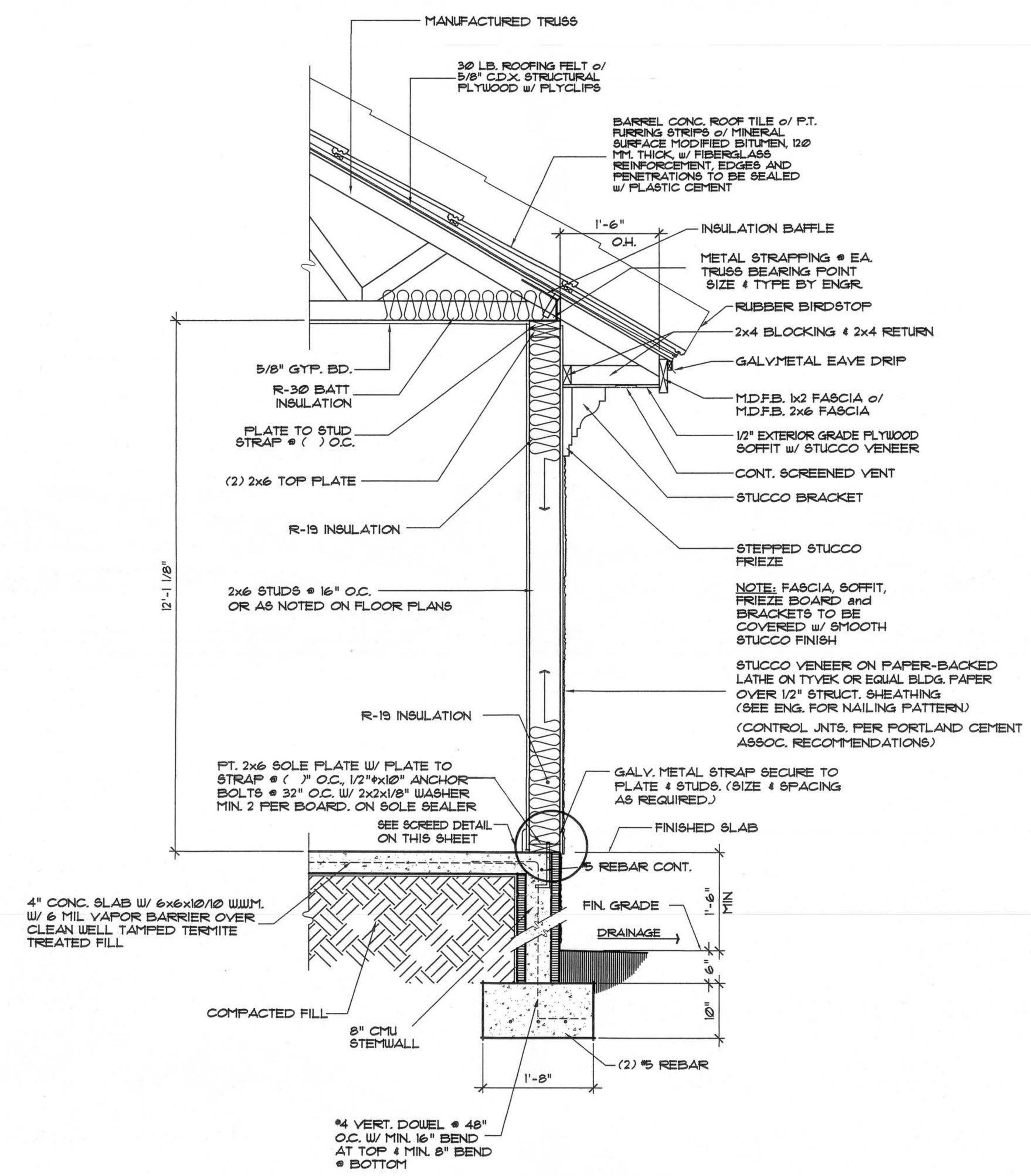
TURN DOWN @ GARAGE DOOR

SCALE: 3/4" = 1'-0"



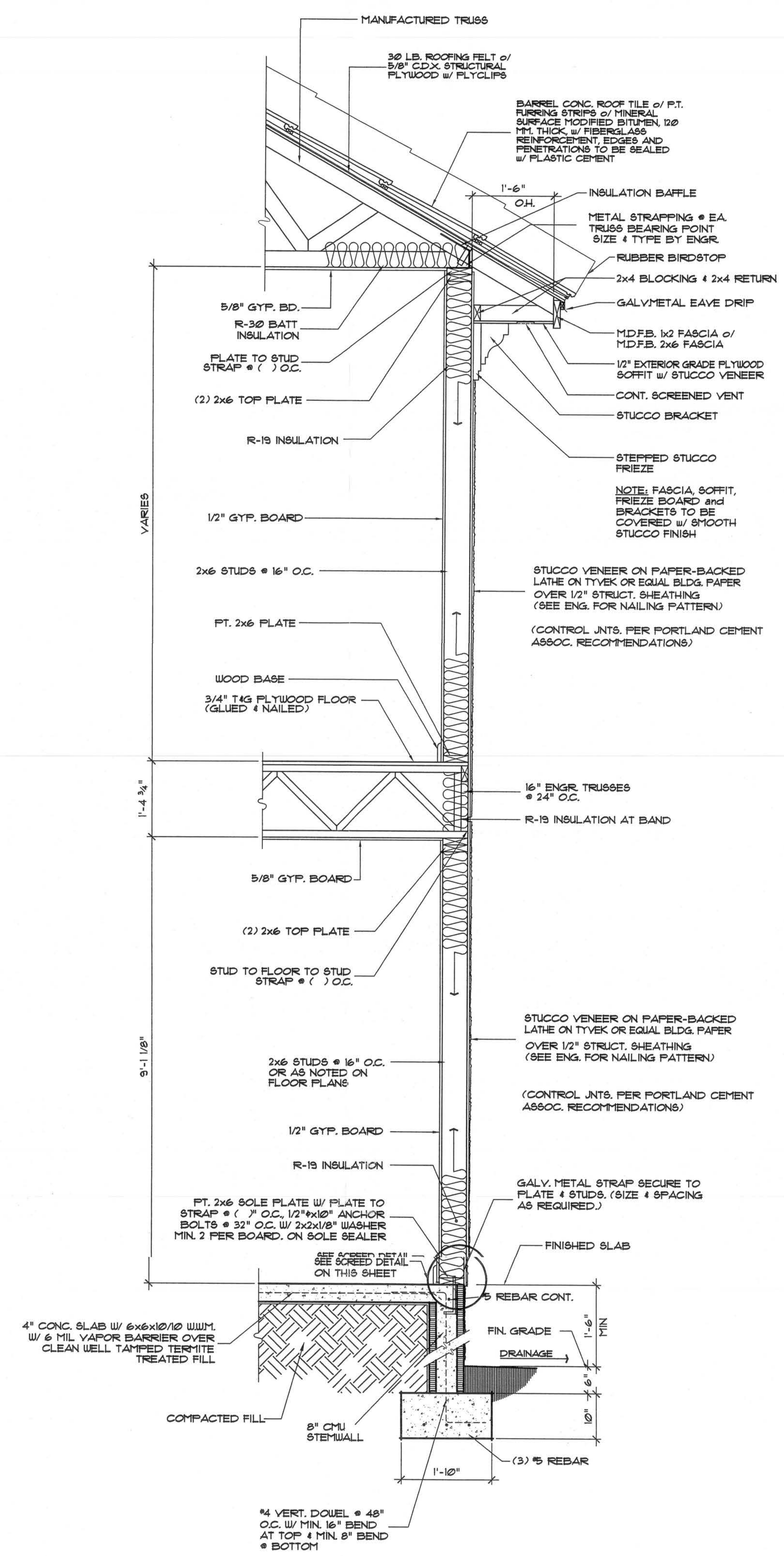
TYPICAL STEP FOOTING

SCALE: 3/4" = 1'-0"



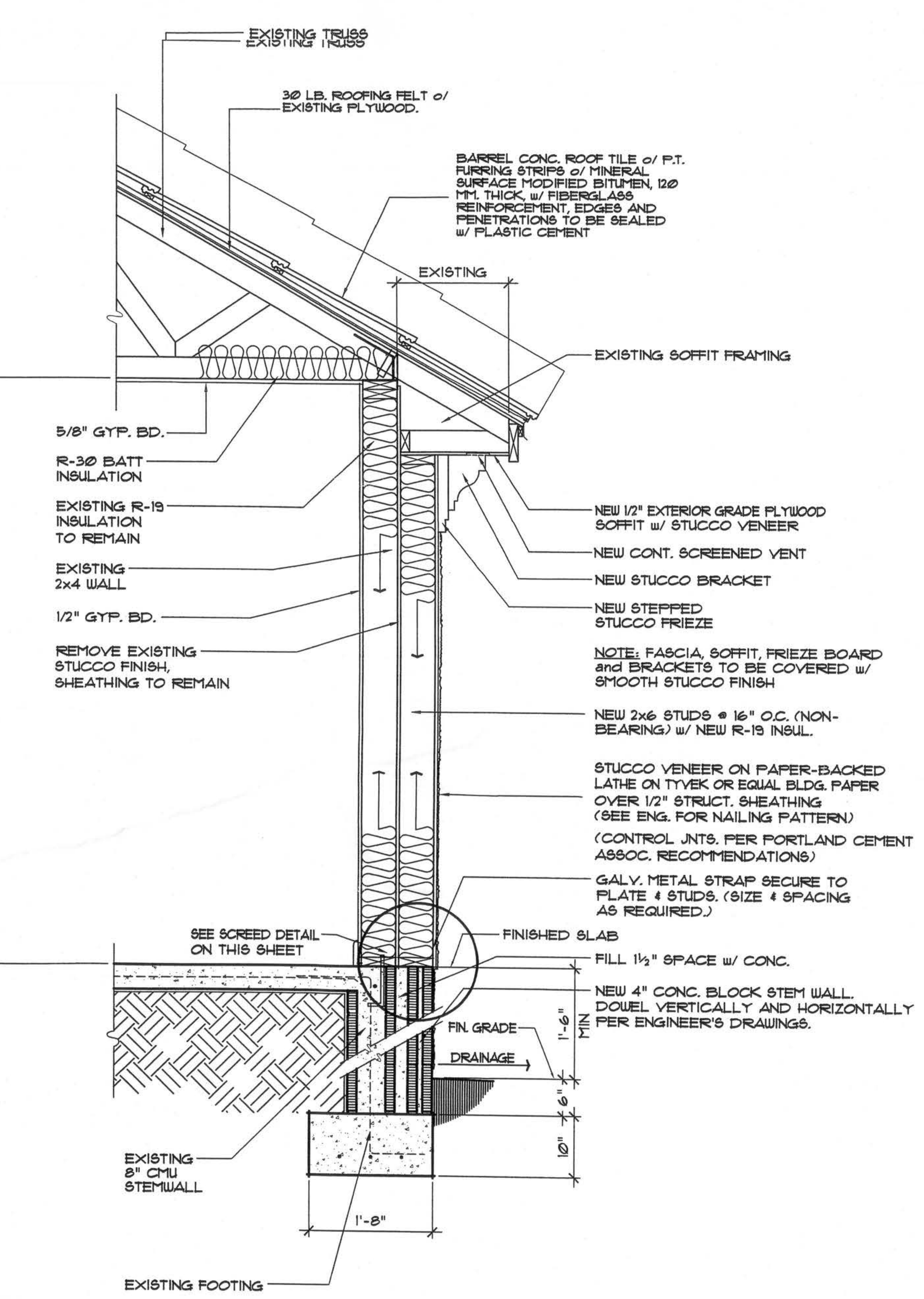
TYPICAL ONE STORY EXTERIOR WALL

SCALE: 3/4"=1'-0"



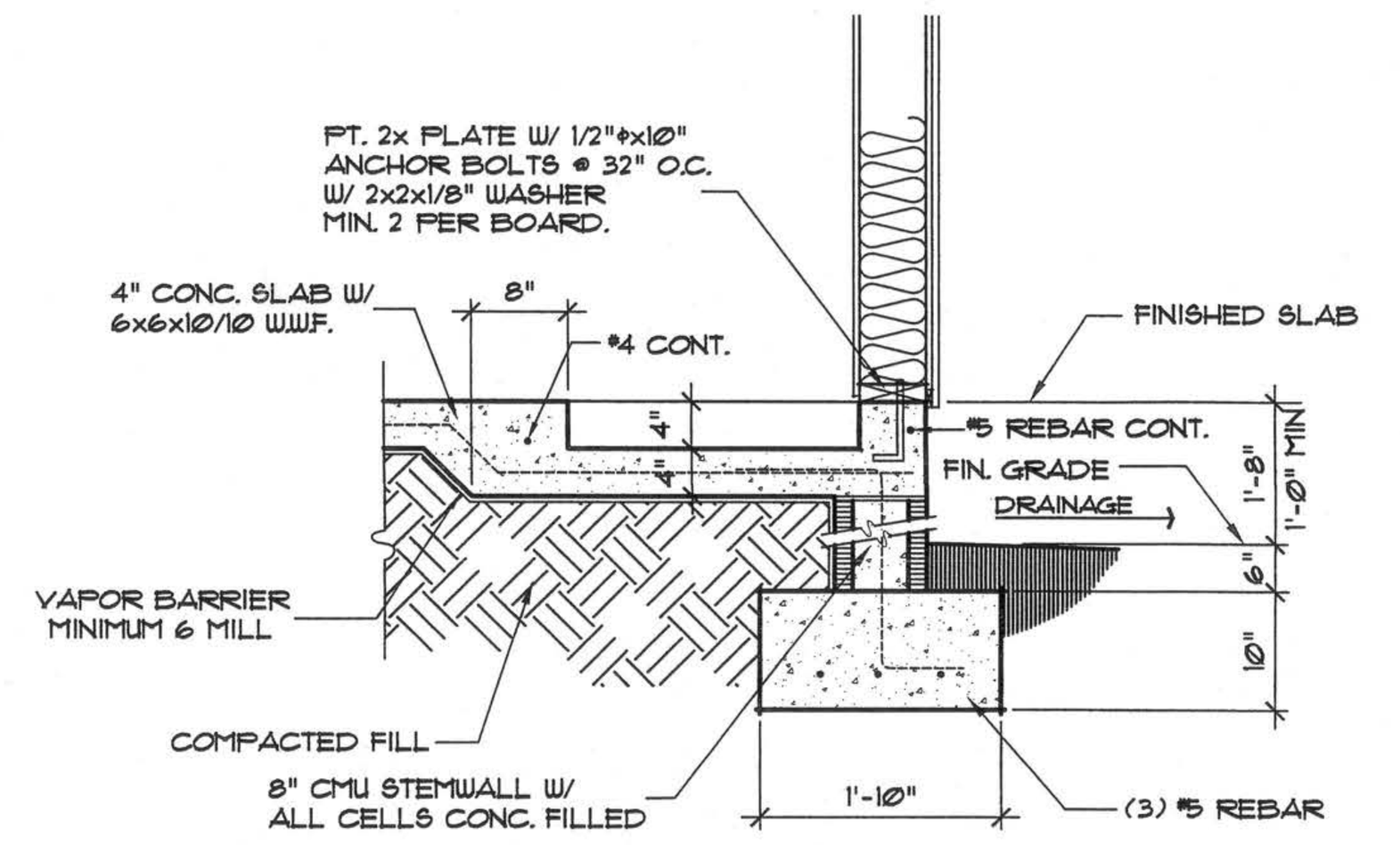
TYPICAL TWO STORY EXTERIOR WALL

SCALE: 3/4"=1'-0"



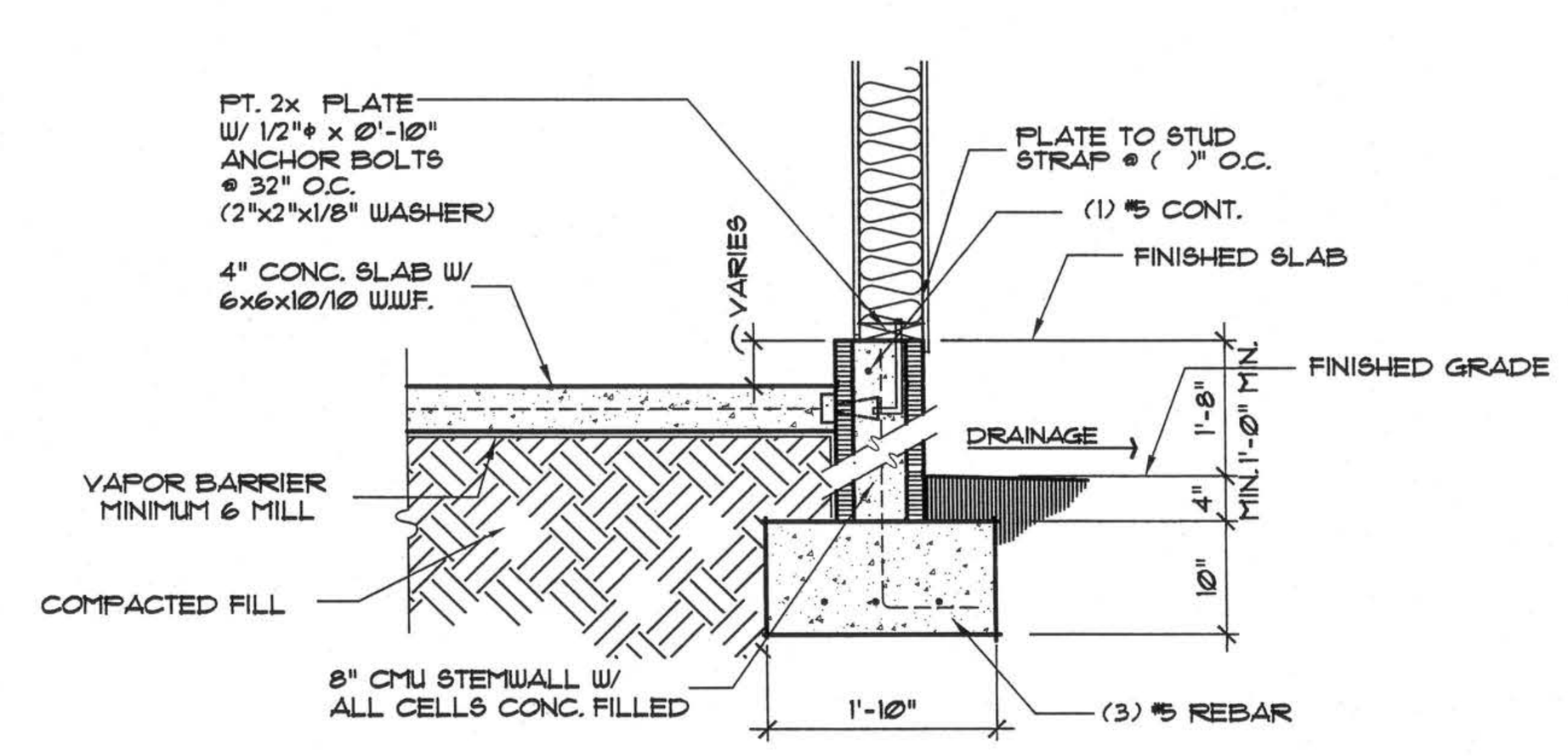
FURRED OUT EXTERIOR WALL

SCALE: 3/4"=1'-0"



RECESSED SHOWER DETAIL

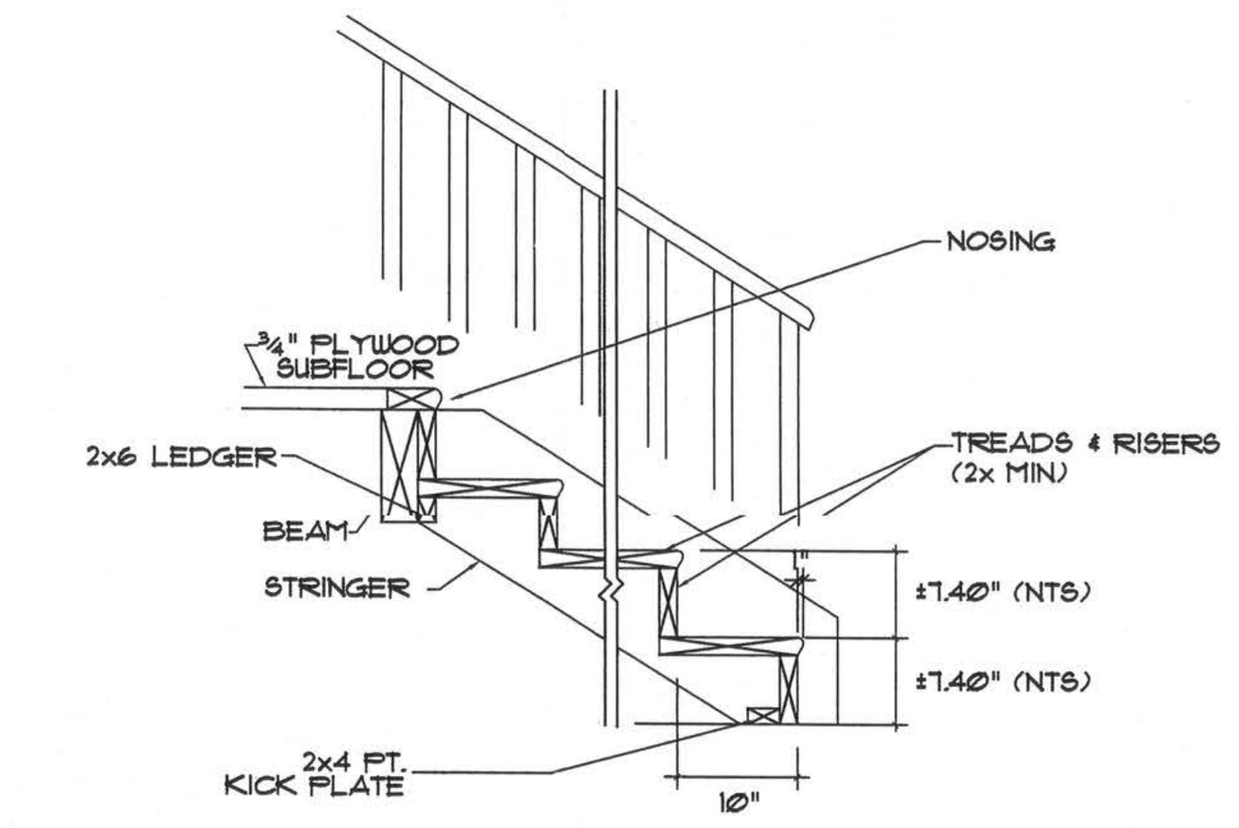
SCALE: 3/4" = 1'-0"



NOTE: (ONE) #5 VERTICAL REBAR AT ALL CORNERS

EXTERIOR WALL @ GARAGE

SCALE: 3/4" = 1'-0"



STAIR DETAIL TO 2ND FLOOR

SCALE: 3/4" = 1'-0"

DETAILS PAGE

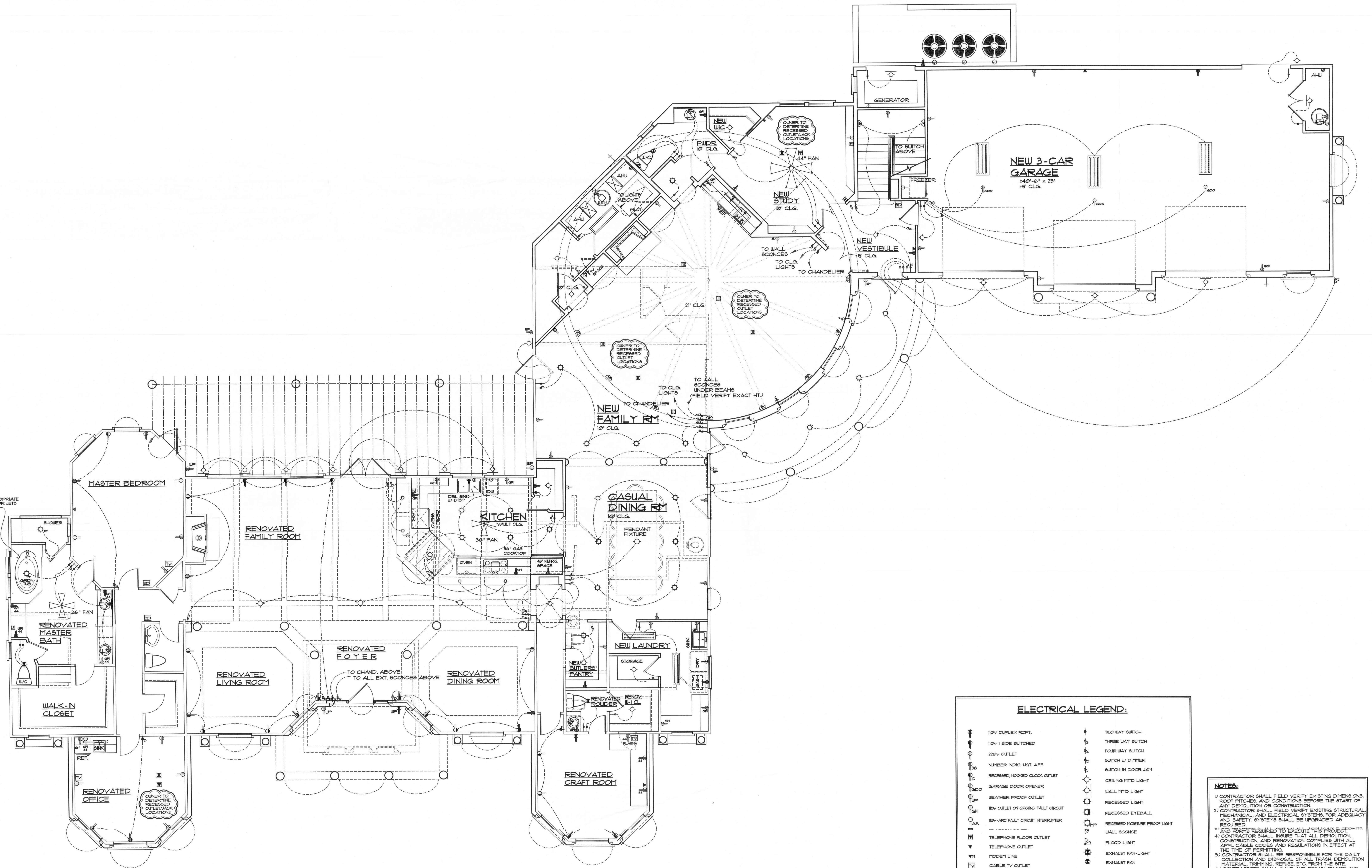
NOTE:

ENGINEERS STRUCTURAL CRITERIA MAY OVERRIDE SHOWN DETAILS. FOR STRUCTURAL AND STRAPPING INFORMATION, REFER TO ENGINEERING SHEETS.

RESIDENTIAL DESIGNS BY KEVIN GRAY, INC.
10751 Deerwood Park Blvd. Suite #130 Jacksonville, Florida 32256
PHONE: (904) 384-3285 FAX: (904) 389-1250 www.kevingray.com

ADDITIONS AND RENOVATIONS TO THE:
MIKE & LINDA CADY RESIDENCE
161 NW LAKE JEFFREY ROAD
LAKE CITY, FLORIDA

DRAWN BY:	AA RIFF
CHECKED BY:	
DATE:	02/17/06
SCALE:	AS NOTED
JOB NUMBER:	****
REVISED:	
DWG NO.	11 OF 13



FIRST FLOOR ELECTRIC PLAN

ELECTRICAL LEGEND:

Symbol	Description
	110V DUPLEX RCPT.
	110V 1 SIDE SWITCHED
	220V OUTLET
	NUMBER INDIG. HGT. A.F.F.
	RECESSED, HOOKED CLOCK OUTLET
	GARAGE DOOR OPENER
	WEATHER PROOF OUTLET
	110V OUTLET ON GROUND FAULT CIRCUIT
	110V-ARC FAULT CIRCUIT INTERRUPTER
	TELEPHONE FLOOR OUTLET
	TELEPHONE OUTLET
	MODEM LINE
	CABLE TV OUTLET
	SMOKE DETECTOR
	INTERCOM STATION
	INTERCOM PANEL
	SPEAKER
	VOLUME LEVEL CONTROL
	JUNCTION BOX
	PUSH BUTTON
	THERMOSTAT
	ALARM KEYPAD
	SECURITY CAMERA
	CHIMES
	TWO WAY SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	SWITCH w/ DIMMER
	SWITCH IN DOOR JAM
	CEILING MT'D LIGHT
	WALL MT'D LIGHT
	RECESSED LIGHT
	RECESSED EYEBALL
	RECESSED MOISTURE PROOF LIGHT
	WALL SCONCE
	FLOOD LIGHT
	EXHAUST FAN-LIGHT
	EXHAUST FAN
	CEILING FAN PREWIRE
	PANEL
	TRACK LIGHTING
	CEILING FAN
	CEILING FAN-LIGHT
	TUBE LIGHT
	24 x 48 FLUORESCENT BOX FIXTURE

NOTE: 1) ALL OUTLETS IN BEDROOM TO BE "A.F.I.".
2) ALL EXTERIOR OUTLETS TO BE "G.F.I.".
3) ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH ARTICLE 80 OF NFPA 70A

NOTES:

1) CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, ROOF PITCHES, AND CONDITIONS BEFORE THE START OF ANY DEMOLITION OR CONSTRUCTION.
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14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

NOTE:
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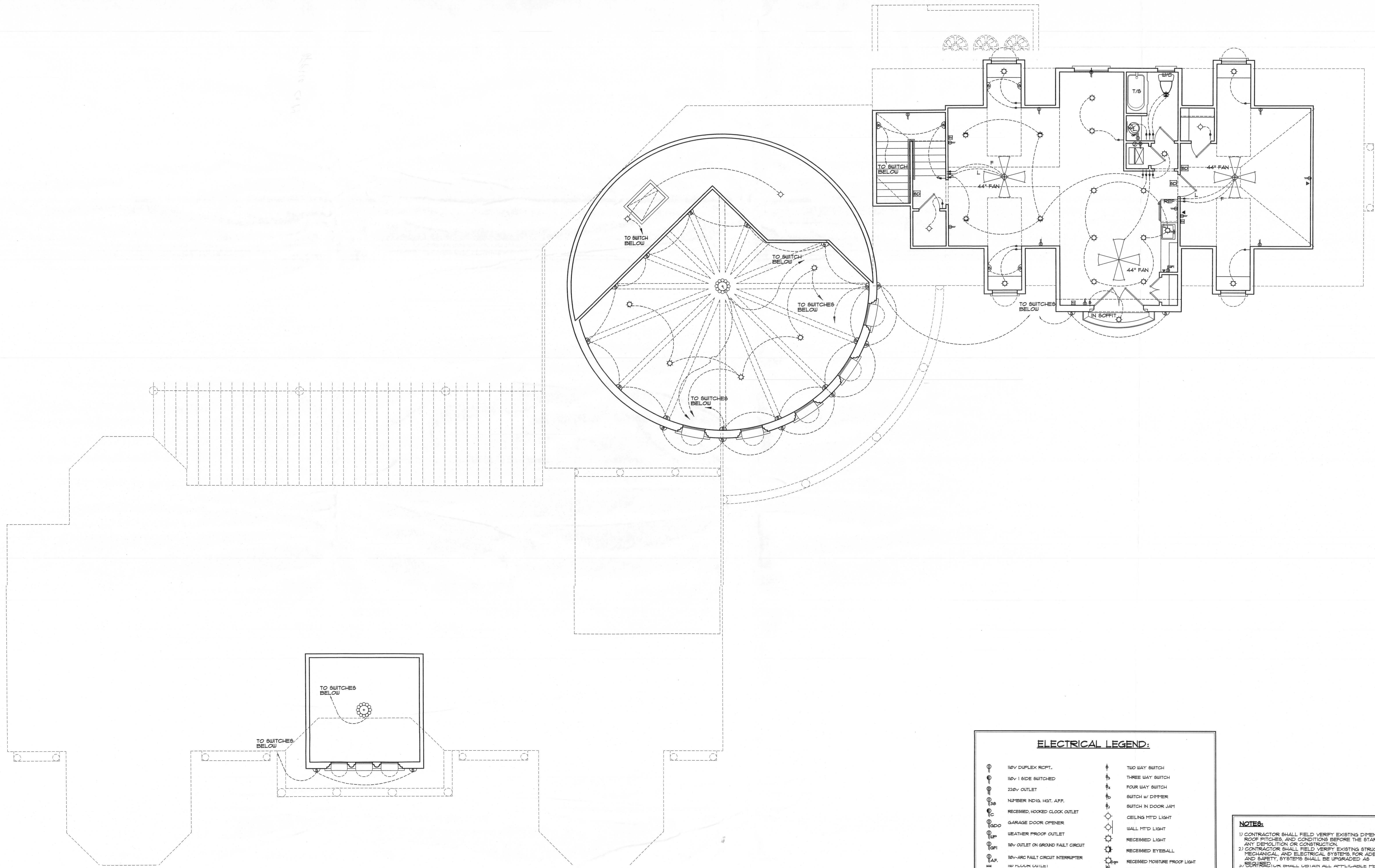

SECOND FLOOR ELECTRIC PLAN

ELECTRICAL LEGEND:

110V DUPLEX RCPT.	TWO WAY SWITCH
110V 1 SIDE SWITCHED	THREE WAY SWITCH
220V OUTLET	FOUR WAY SWITCH
NUMBER INDIG. HGT. AFF.	SWITCH w/ DIMMER
RECESSED, HOOKED CLOCK OUTLET	SWITCH IN DOOR JAM
GARAGE DOOR OPENER	CEILING MT'D LIGHT
WEATHER PROOF OUTLET	WALL MT'D LIGHT
110V OUTLET ON GROUND FAULT CIRCUIT	RECESSED LIGHT
110V-ARC FAULT CIRCUIT INTERRUPTER	RECESSED EYEBALL
110 FLOOR OUTLET	RECESSED MOISTURE PROOF LIGHT
TELEPHONE FLOOR OUTLET	WALL SCONCE
TELEPHONE OUTLET	FLOOD LIGHT
MODEM LINE	EXHAUST FAN-LIGHT
CABLE TV OUTLET	EXHAUST FAN
SMOKE DETECTOR	CEILING FAN PREWIRE
INTERCOM STATION	PANEL
INTERCOM PANEL	TRACK LIGHTING
SPEAKER	CEILING FAN
VOLUME LEVEL CONTROL	CEILING FAN-LIGHT
JUNCTION BOX	TUBE LIGHT
PUSH BUTTON	24 x 48 FLUORESCENT BOX FIXTURE
THERMOSTAT	
ALARM KEYPAD	
SECURITY CAMERA	
CHIMES	

NOTE: 1) ALL OUTLETS IN BEDROOM TO BE "A.F.I.".
2) ALL EXTERIOR OUTLETS TO BE "G.F.I.".
3) ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH ARTICLE 80 OF NFPA 70A

NOTES:

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14) ALL INTERIOR AND EXTERIOR FLOOR TILE SHALL HAVE A NON-SLIP FINISH. FLOORING TO MEET ASTM C1028 STATIC COEFFICIENT OF FRICTION MIN OF 0.6.
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NOTE:

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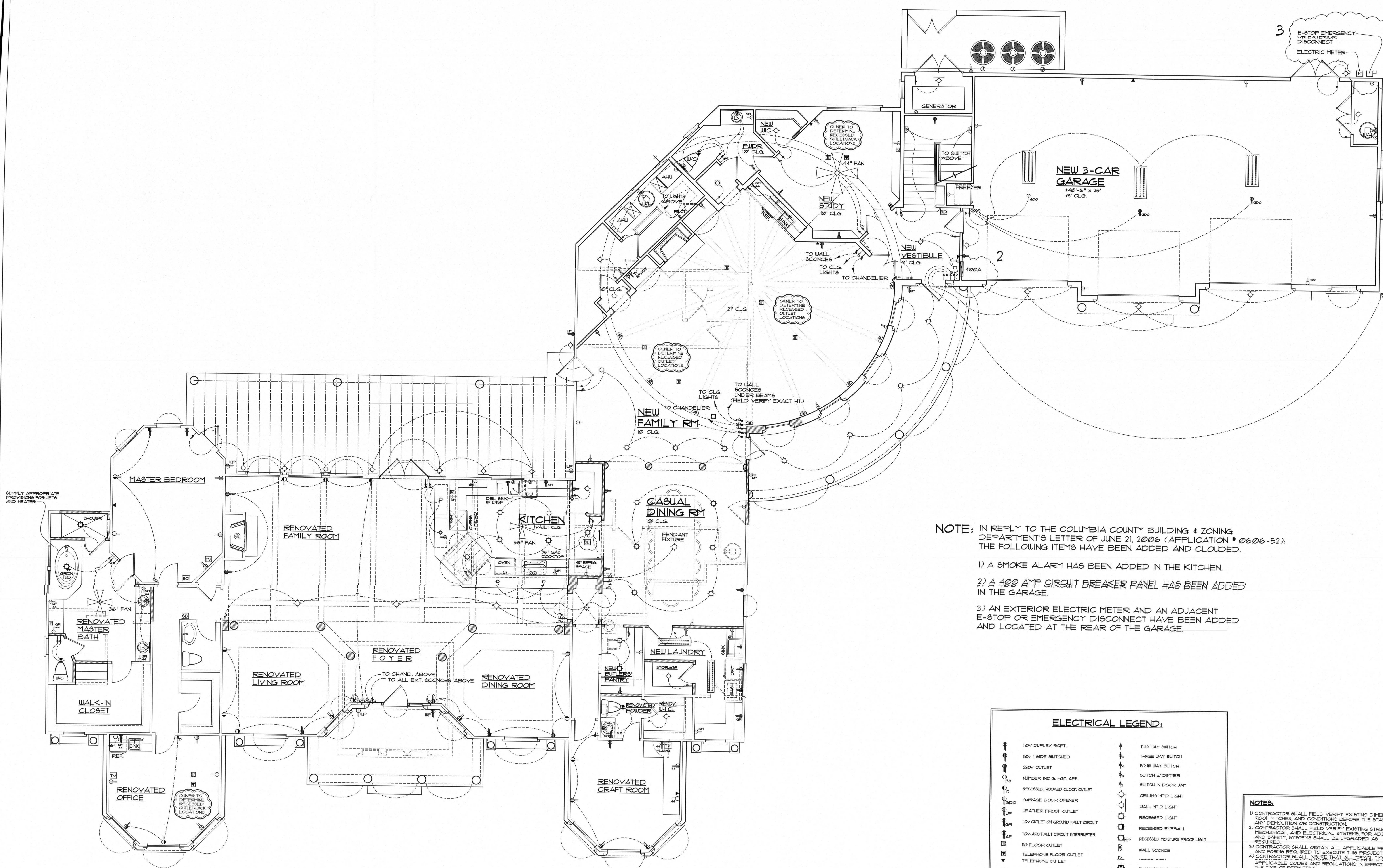

FIRST FLOOR ELECTRIC PLAN

NOTE: IN REPLY TO THE COLUMBIA COUNTY BUILDING & ZONING DEPARTMENT'S LETTER OF JUNE 21, 2006 (APPLICATION # 0606-52): THE FOLLOWING ITEMS HAVE BEEN ADDED AND CLOUDED.

1) A SMOKE ALARM HAS BEEN ADDED IN THE KITCHEN.

2) A 400 AMP CIRCUIT BREAKER PANEL HAS BEEN ADDED IN THE GARAGE.

3) AN EXTERIOR ELECTRIC METER AND AN ADJACENT E-STOP OR EMERGENCY DISCONNECT HAVE BEEN ADDED AND LOCATED AT THE REAR OF THE GARAGE.

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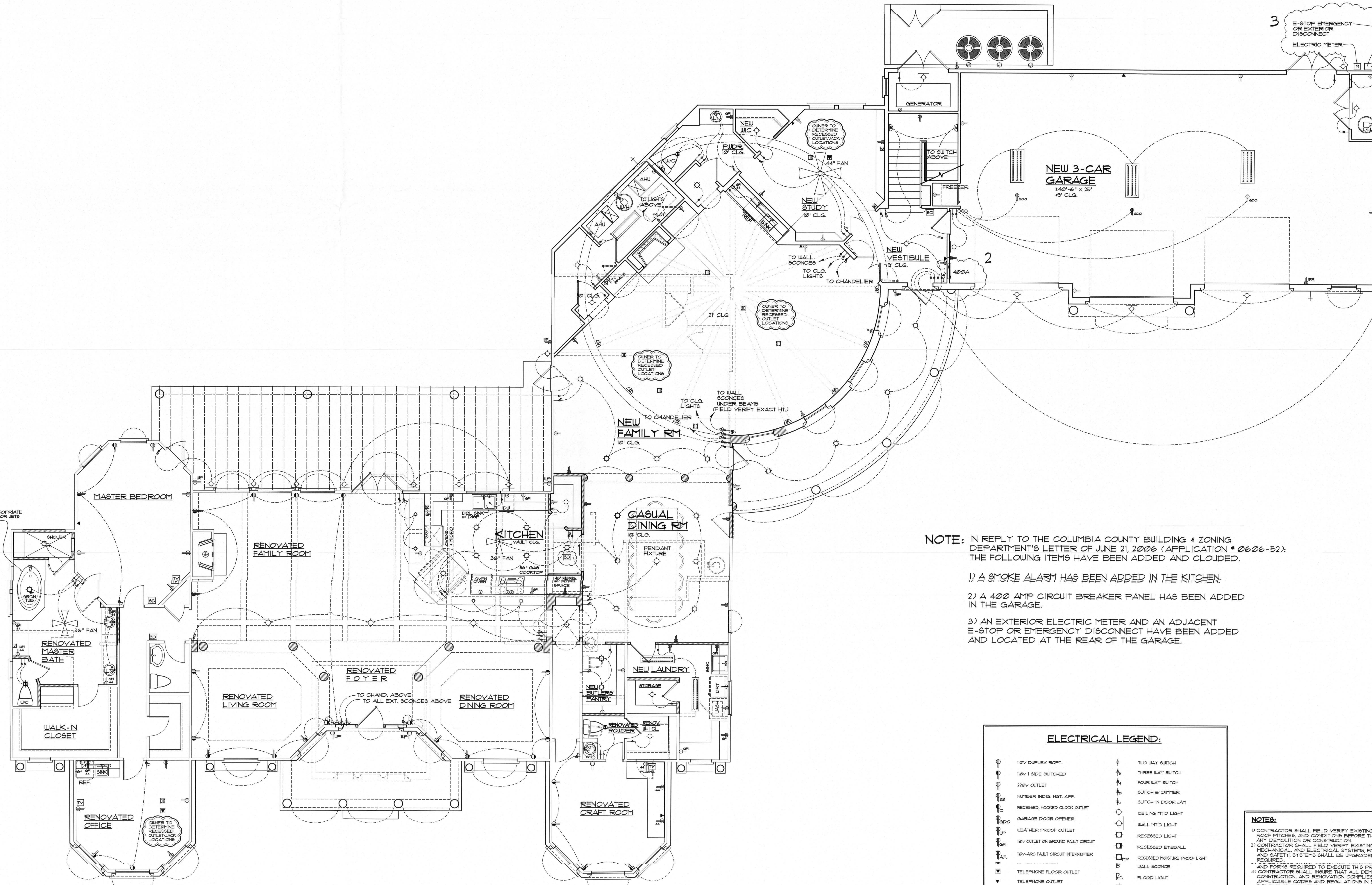

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FIRST FLOOR ELECTRIC PLAN

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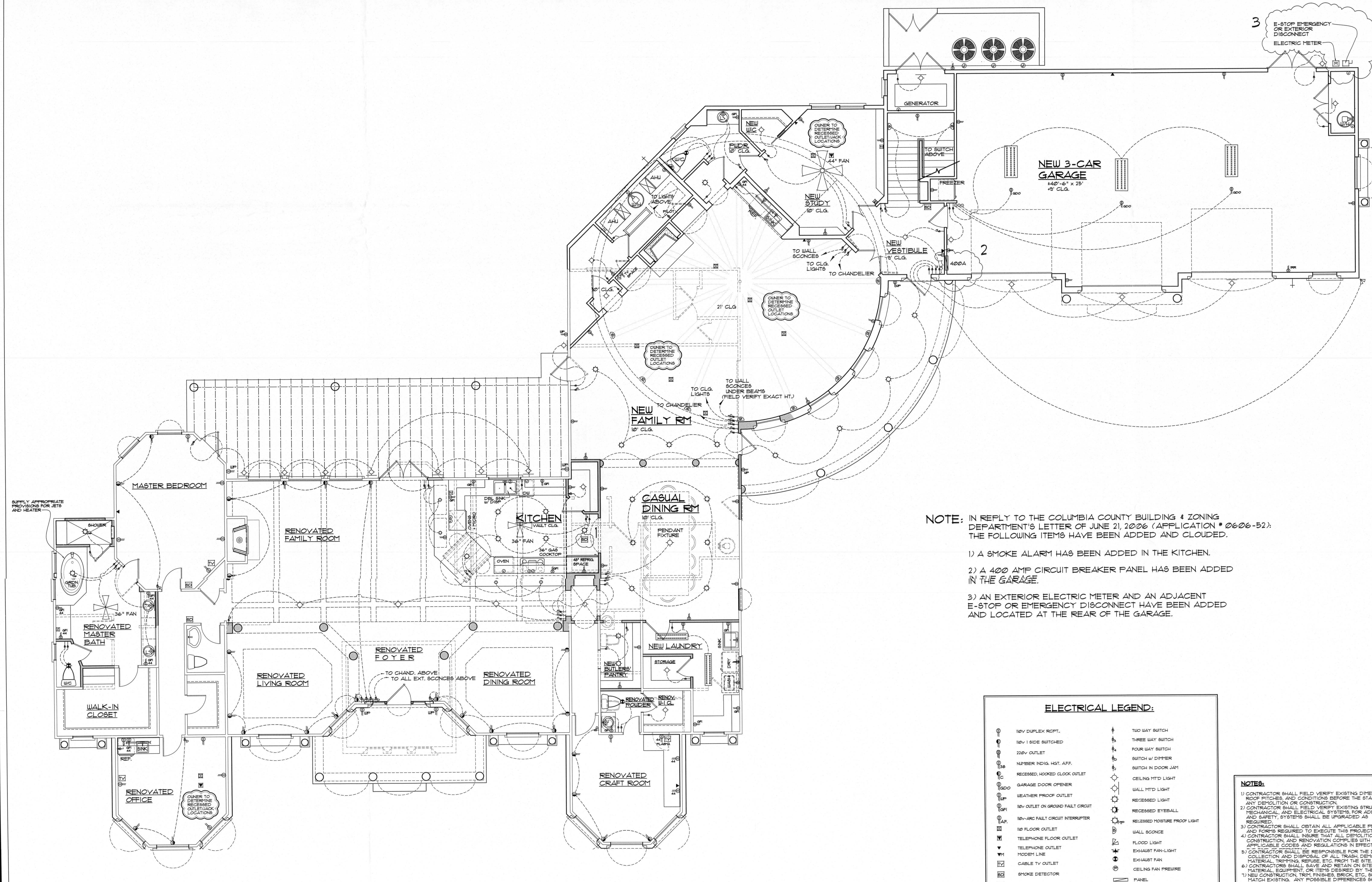

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15) CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION COMPLIES WITH NFPA LIFE SAFETY CODES AND 2004 FLORIDA BUILDING CODE REQUIREMENTS

NOTE:
DIMENSIONS, HEIGHTS AND SITE ELEVATIONS ARE APPROXIMATE AND SUBJECT TO FIELD CONDITIONS. CONTRACTOR TO VERIFY BEFORE COMMENCEMENT

NOTICE

Construction rom these plans should not be undertaken without the assistanc of a construction professional.

Issuance of pans from this office shall not relieve the builder of responsibilty to review and verify all notes, dimensions, details and their aderance to applicable building codes, prior to commencemet of any construction.

Any discrepancy or errors in notes, dimensions, details or their adherance to applicable building codes shall be brought to the attention of his office for correction prior to commencement of any constuction.

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RESIDENTIAL DESIGNS BY KEVIN GRAY, INC.

ADDITIONS AND RENOVATIONS TO THE:
MIKE & LINDA CADY RESIDENCE
161 NW. LAKE JEFFREY ROAD
LAKE CITY, FLORIDA

DRAWN BY:	AA RPF
CHECKED BY:	
DATE:	02/17/06
SCALE:	1/4" = 1'-0"
JOB NUMBER:	****
REVISED:	06/23/06
DWG NO:	12 OF 13