

54

CONSTRUCTION PLANS

FOR
NEW SINGLE FAMILY

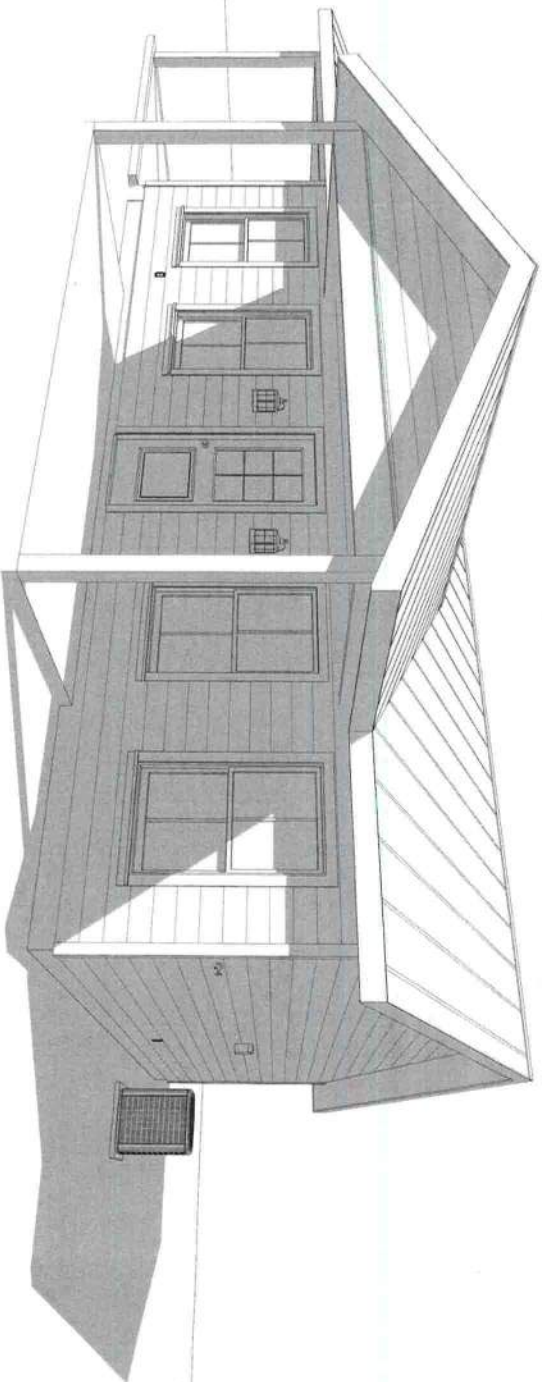
AT
PARCEL ID: 16-45-16-03046-003
SW STATE ROAD 247
LAKE CITY, FL 32024



REVISION TABLE		
NO.	DESCRIPTION	DATE

GENERAL NOTES:

- IT IS THE INTENT THAT THIS WORK BE IN CONFORMANCE WITH THE 2020 FLORIDA BUILDING CODE, 7TH ED. RESIDENTIAL AND ALL AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES THE DRAWINGS AND EXISTING CONDITION TO THE ENGINEER PRIOR TO COMMENCING WORK.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ENGINEER AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ENGINEER.
- ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- CONTRACTOR WILL INCORPORATE ALL NECESSARY LOCAL/STATE/FEDERAL BUILDING, FIRE, AND HANDICAP CODES INTO THE DESIGN AND BASE PROPOSAL FOR A COMPLETE TURN-KEY PROJECT.
- PROJECT SHALL BE TURNED OVER TO OWNER IN A CLEAN CONDITION WITH ALL TRASH AND DEBRIS REMOVED FROM SITE. ALL WINDOWS AND CLASS CLEAN. ALL FLOORS CLEAN. ALL HORIZONTAL SURFACES DUSTED AND CLEANED AND ALL PLUMBING AND TOILET FIXTURES CLEAN AND IN GOOD WORKING ORDER. CONTRACTOR SHALL Haul ALL RUBBISH FROM SITE ON A REGULAR BASIS. DO NOT ALLOW TO ACCUMULATE.
- CONTRACTOR TO OBTAIN ALL PERMITS, PAY ALL FEES AND TAXES. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS. FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE. ION AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- DIMENSIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING CONDITIONS ARE THE BEST AVAILABLE DATE OBTAINABLE. BUT ARE NOT GUARANTEED. BEFORE PROCEEDING WITH ANY WORK DEPENDENT ON THE DATA INVOLVED, THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS, GRADES, LINES, LEVELS, OR OTHER CONDITIONS OF LIMITATIONS AT THE SITE TO AVOID CONSTRUCTION ERRORS. IF ANY WORK IS PERFORMED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, AT RESULTANT EXTRA COST FOR ADJUSTMENT OR WORK AS REQUIRED TO CONFORM TO EXISTING LIMITATIONS, SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.
- A DESIGNATED LOCATION FOR STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL BE DETERMINED BY THE OWNER AND IDENTIFIED AT THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR PERSONNEL ARE CONFINED TO AREAS OF BUILDING NECESSARY FOR COMPLETION OF WORK. FREE ACCESS TO ALL PARTS OF THE BUILDING IS NOT ALLOWED.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, UNGRATING, SORTING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT FURNISHED BY THE CONTRACTOR. THIS SHALL ALSO APPLY TO ITEMS FURNISHED BY THE OWNER TO THE CONTRACTOR.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- TERMITE PROTECTION TO BE DONE AFTER ALL EXCAVATION, BACKFILLING AND COMPACTION IS COMPLETE. ANY DISTURBED SOIL TREATMENT MUST BE RETREATED.
- TREATMENT SHALL BE PROTECTED FROM RAINFALL BY 6 MIL VAPOR BARRIER. IF RAINFALL OCCURS BEFORE BARRIER PLACEMENT, SOIL MUST BE RETREATED.
- PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL BE NON-CELLULOSE CONTAINING MATERIALS AND RECEIVE AN APPLICATION OF TERMITICIDE IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.



ELECTRICAL NOTES:

- ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH 2020 FLORIDA BUILDING CODE, 7TH EDITION, RESIDENTIAL, AND NFPA 70-2020 NATIONAL ELECTRIC CODE (NEC).
- ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE IN ACCORDANCE WITH THE SECTION R314 OF 2020 FLORIDA BUILDING CODE, 7TH EDITION.
- ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION IN KITCHENS, BATHROOMS, LAUNDRY, GARAGES, AND OUTDOORS PER 2020 NEC 210.8 (A).
- ELECTRICAL CONTRACTOR SHALL PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IN LIVING, DINING, HALLWAYS, AND BEDROOMS PER 2020 NEC 210.12 (A).
- ALL OUTDOOR RECEPTACLES SHALL BE PROTECTED FROM MOISTURE PER 2020 NEC 406.4.
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL COMPLY WITH THE MINIMUM REQUIREMENTS PER FBC-ENERGY CONSERVATION R404.
- ELEVATORS SHALL BE IN ACCORDANCE WITH FBC 2020, 7TH ED., SECTION R321.1.

MECHANICAL NOTES:

- ALL DUCT SIZING SHALL BE IN ACCORDANCE W/ ACCA MANUAL "D". PROVIDE DUCT TESTING IN ACCORDANCE W/ ASHRAE STANDARD 152.
- DUCT LAYOUT AND ALL OTHER MECHANICAL COMPONENTS ARE SHOWN ON THE APPROVED DUCT LAYOUT PLAN INCLUDED IN THE ENERGY CALCULATION PACKAGE PERFORMED BY OTHERS.
- ALL DUCTS & AIR HANDLERS NOT LOCATED IN CONDITIONED SPACE SHALL BE TESTED TO BE "SUBSTANTIALLY" LEAK FREE.
- DUCTS IN GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE INSTALLED ACCORDING TO FBC R302.5.2.
- ALL INSULATION SPECIFICATIONS ARE INCLUDED IN THE ENERGY CALCULATION PACKAGE PERFORMED BY OTHERS. IF ANY INSTALLED INSULATION MATERIALS DO NOT MATCH THE ENERGY FORMS, NEW CALCULATIONS SHALL BE PERFORMED OR THE ORIGINAL APPROVED INSULATIONS SHALL BE INSTALLED.
- ELEVATORS SHALL BE IN ACCORDANCE WITH THE FBC 2020, 7TH ED., SECTION R321.1.

PLUMBING NOTES:

- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RES UL TING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- WATER PIPING TO BE TYPE "M" OR TYPE "L" COPPER ABOVE OR BELOW GRADE.
- SOIL, WASTE & VENT PIPING TO BE PVC, #40 DWN.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- INSULATE HOT WATER LINES WITH 1" THICK SNAP ON INSULATION FIRST 8 FEET FROM WATER HEATER.
- CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS.
- INSULATE WITH 1/2" THICK ARMAFLEX INSULATION.

BUILDING STRUCTURE INFORMATION:

CONDITIONED..... 900 S.F.
FRONT PORCH..... 119 S.F.
SIDE CYRD. PATIO..... 300 S.F.
TOTAL SPACE..... 1,319 S.F.

TYPE OF CONSTRUCTION..... 5B
OCCUPANCY..... R-3
FIRE SPRINKLERS..... NO
MAX HEIGHT OF STRUCTURE..... <15'

Label	PLAN SHEETS
A-0	GENERAL NOTES
A-1	ELEVATIONS
A-2	ELEVATIONS
A-3	FLOOR PLAN
A-4	ROOF PLAN
E-1	ELECTRICAL LAYOUT
P-1	PLUMBING PLAN
A-5	FLASHING DETAILS
A-6	FLASHING DETAILS
S-1	STRUCTURAL NOTES
S-2	FOUNDATION PLAN
S-3	FRAMING PLAN
S-4	TRUSS LAYOUT
S-5	FOUNDATION DETAILS
S-6	FRAMING DETAILS
S-7	FRAMING DETAILS
S-8	FRAMING DETAILS
S-9	FRAMING DETAILS



SITE MAP
N.T.S.

GENERAL NOTES
NEW SINGLE FAMILY
SW STATE ROAD 247
LAKE CITY, FL 32024



FIRST COAST
HOUSE PLANS

904-747-2444

PROJ.#: 25-949
DESIGNED: KCM
DRAWN: KCM
SCALE: NOTED
DATE: 5/22/2023
SHEET NUMBER
A-0