PERMIT APPLICATION / MANUFAC	TURED HOME INSTALLATION APPLICATION CLIFT ALL
	ing Official Building Official DWD
AP# 1807- Date Received 17	15 By Ju Permit # 36995
	Zoning A.3 Land Use Plan Map Category A
Comments	Land Use Plan Map Category 74
FEMA Map# Elevation Fini	shed Floor River In Floodway
	Site Plan (MEH# 18-0534 (Well letter OR
⊑-Existing well □ Land Owner Affidavit 🕢 Insta	iller Authorization 🗆 FW Comp. letter 🖟 App Fee Paid
□ DOT Approval □ Parent Parcel #	STUP-MH 911 App
Ellisville Water Sys Assessment Assessment	□ STUP-MH □ STUP-MH □ 911 App □ Out-County □ In County Sub VF Form
roperty ID # 36 -35-15 - 00302 - 108	Subdivision AKA PRUL"6". DUFFEE S/D Lot#
New Mobile Home / Used Mobil	le HomeMH Size
Applicant Paul Barners	Phone # (386) 752 -5355
Applicant / we Daylor To	Phone # (386) /32 -333
	AVIS LANE, LAKE CITY, FL 32024
	RATTON & Kinbuly (239) 225-8138
911 Address 796 SW HUNTER	RD., LAKE CITY, FL 32024
Circle the correct power company -	FL Power & Light - Clay Electric
(Circle One) - Suw	annee Valley Electric - Duke Energy
Name of Owner of Mobile Home TAMES	S STRATION - (239) 225-8138
Address 796 SW HUNTER RD	S STRATION Phone # (239) 225-8138 D., LAKE CITY, FL. 32024
	SAME
Relationship to Property Owner	
Current Number of Dwellings on Property	NONE
Lot Size /50. 48' x 388.83'	Total Acreage
Do you : Have Existing Drive or Private Driv	e or need Culvert Permit, or Culvert Waiver (Circle and
(Currently using) (Blue Road Sign)	e or need Culvert Permit (Putting in a Culvert) or Culvert Waiver (Circle one) (Not existing but do not need a Culvert)
Is this Mobile Home Replacing an Existing N	
Driving Directions to the Property <u>U5</u>	
1/4 60 APPROX 1-2 M	, TO SITE ON RIGHT.
Dave a	(4) 201111
Name of Licensed Dealer/Installer PAUL E	
Installers Address 177 SW 740MAS 7	TERRALE, LAKE CITY, FL 32024
License Number 1H-1025239	
UH-Spoke to Paul 7-16-18 SENT FOR REFLY 7.16.18	# 1.20 - 4
COT FOR DECK TILLIB	478,5
) RENI + OF - MOLLS) INVITED	-

COLUMBIA COUNTY PERMIT WORKSHEET

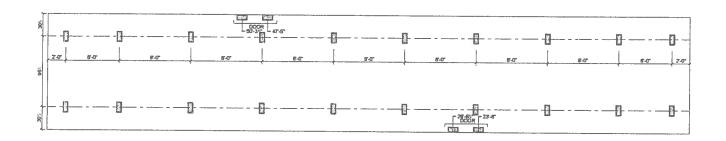
Submit the control of the completed and signed by the installer.

	narriage wall pleas within 2 of girld of home per Rule 15C		Typical pier spacing A	NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home lunderstand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.	where TBD SW HUNTER RD Installed. LAKE CITY FL 32024	must be completed and signed by the installer.
TIEDOWN COMPONENTS Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer Manufacturer	d sizes the mfg.) the approxima penings 4 foot ol to show the ge wall openin pad sizes belo	8' 8' 8' 8' 8' 8' 8' 8' 8' 8' 8' 8' 8' 8	ooter 16' size ('q in) 4	Double wide ☐ Installation Decal # 48869 Triple/Quad ☐ Serial # 3 2 2 9 3 PIER SPACING TABLE FOR USED HOMES	New Home	page 1 of 2

COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. — PEH	Plumbing Connect all sewer drains to an existing sewer tap or septic tank. Pg. PGP	Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between mult-wide units. Pg. 1011	Electrical	ne faul Mayor	requires anchors with 4000 Jb holding capacity. ALL TESTS MUST BE PERFORMED BY A MICENSED INSTALLER	TORQUE PROBE TEST The results of the torque probe test is here if you are declaring 5' anchors without testing a test showing 275 inch pounds or less will require 5 foot anchors. Note: A state contact the state of the contact test and	0257 x 0257 x	Using 500 lb. increments, take the lowest reading and round down to that increment.	POCKET PENETROMETER TESTING METHOD 1. Test the perimeter of the home at 6 locations. 2. Take the reading at the depth of the footer.	XZZX XZZX	9 9	POCKET PENETROMETER TEST
Installer Signature ** Aud EMBust Date	Installer verifies all information given with this permit worksheet is accurate and true based on the		of skirting ed outside ot interva ed. Yes_	Miscellaneous Skirting to be installed. Yes No	The bottomboard will be repaired and/or taped. Yes Pq Siding on units is installed to manufacturer's specifications. Yes Fireplace chimney installed so as not to allow intrusion of rain water. Yes	Type gasket Installer's initials Installed: Between Floor Res Between Walls Res Between Walls Res Between of ridebed my res	homes and that condensation, mold, meldew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.	Gasket (weatherproofing requirement)	Walls: Type Fastener: Length: Spacing: Spacing: Length: Spacing: S	Fastening multi wide units	Debris and organic material removed Water drainage: Natural Swale Pad Other	Site Preparation



SUPPORT PIER/TYP

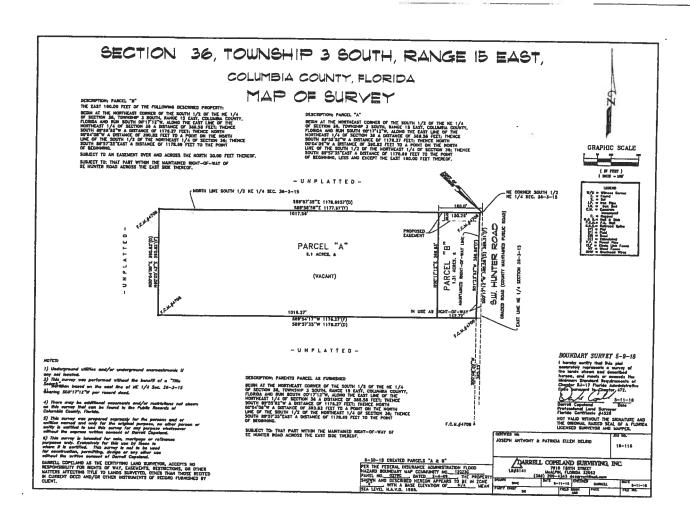
6-25-2015

FOUNDATION NOTES:
- THIS DRAWTING IS DESIGNED FOR THE STANDARD WIND ZONE AND IS TO BE USED IN CONJUNCTION WITH THE INSTALLATION MANUAL AND IT'S SUPPLEMENTS.
- FOOTINGS ARE SHOWN FOR EXAMPLE ONLY QUANTITY AND SPACING MAY VARY BASED ON PAD TYPE, SOIL CONDITION, ETC.

Live Oak Homes MODEL: L-4723A - 14 X72 3-BEDROOM / 1-BATH

DART

L-4723A



This Instrument Prepared By:
Patricla Ellen Delrio
694 SW Hunter Road
Lake City, Florida 32024
PARCEL NO: 36-3s-15-00302-108 (split out)

Inst: 201812012931 Date: 06/25/2018 Time: 9:43AM Page I of 2 B: 1363 P: 201, P.DeWitt Cason, Clerk of Court Columbia, County, By: BD Departy Clerkiloc Stamp-Deed: 0.00

Life Estate Deed

This Life Estate Deed, made the 25 day of June 2018, by Joseph Anthony Delrio and his wife Patricia Ellen Delrio, hereinafter called the Grantor, to James William Stratton Jr. and his wife Klimberly Sue Stratton as to a Life Estate, whose post office address is 694 SW Hunter Road, Lake City, Florida 32024 hereinafter called the Grantee.

(Wherever used herein the terms "Orantor" and "Oranteo" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of love and affection does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA COUNTY, FLORIDA.

See Schedule "A" Attached

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining. To Have and to Hold, the same in fee simple forever.

NOTE: Upon the Death of the Grantees, this property will revert back to the Grantors.

And the Grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2017.

In Witness Whereof, the said grantor has signed and sealed those presents the day and year first above written.

Signed, sealed and delivered in the presence of:	Doll All
Willess Elgnature April Powell	Beech Antilony Defrio
Printed Name Witness Signature	Vatille Valle Patricia Ellen Delfio
Amy Gagnan Printed Name	
	*

STATE OF FLORIDA COUNTY OF COLUMBIA

I hereby certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared <u>Joseph Anthony Deirio and his wife Patricia Ellen Deirio</u> known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that executed the same, and an oath was not taken. (Check one) Said person(s) is personally known to me. Said person(s) provided the following identification

Witness my hand and official seal of the County and State last aforesaid This 25 day of June, 2018

Mun D Granfonlato
Notary Signature

Printed Name

DAWN D. GIANFRANCESCO
HOTARY Public - State of Florida
My Comm. Expirat Aug 17, 2018
Commission # FF 115286
Bonded Through Halonal Hotary Assn.

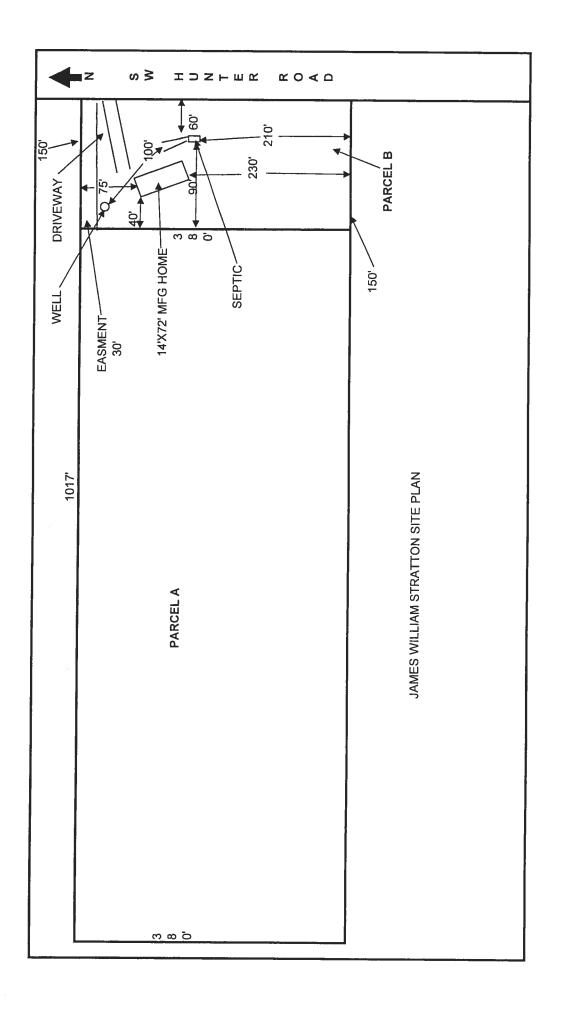
Schedule "A"

: The East 160 feet of the Following:

Begin at the Northeast corner of the South ½ of the Northeast ¼ of Section 36, Township 3 South, Range 15 East, Columbia County, Florida and run South 00° 17' 12" West along the East line of the Northeast ¼ of said Section 36 a distance of 388.58 feet; thence South 89° 55' 52" West a distance of 1176.27 feet; thence North 00° 04' 08" West a distance of 390.82 feet to a point on the North line of the South ½ of the Northeast ¼ of Section 36; thence run South 89° 57' 35" East a distance of 1178.69 feet to the POINT OF BEGINNING.

Subject to: an easement over and across the North 30.00 thereof.

Subject to: that part within the maintained Right-of-Way of SW Hunter Road across the East side thereof.



Order #: 3173 Label #: 4889		(Check Size of Home)
Iomeowner: 5TRATTON	Year Model: 25/7	Single
Address: Hunter Rd	Length & Width: 76 X/4	Double
ity/State/Zip: Lake City	Type Longitudinal System:	Triple HUD Label #:
none #:	Type Lateral Arm System:	Soil Bearing / PSF: 1500
te Installed:	New Home: _ i Used Home:	Torque Probe / in-lbs:
stalled Wind Zone: 2	Data Plate Wind Zone: "Z	Permit #:

STATE OF FLORIDA INSTALLATION CERTIFICATION LABEL 48899

LABEL#

DATE OF INSTALLATION

PAUL E. ALBRIGHT

NAME

IH / 1025239 / 1

3173

LICENSE # ORDER #
CERTIFIES THAT THE INSTALLATION OF THIS MOBILE HOME IS
IN ACCORDANCE WITH FLORIDA STATUTES 320.8249, 320.8325
AND RULES OF THE HIGHWAY SAFETY AND MOTOR VEHICLES.

INSTRUCTIONS

LABEL NEXT TO HUD LABEL.

ERMANENT INK PEN

COMPLETE INFORMATION

ABOVE AND KEEP ON FILE

FOR A MINIMUM OF 2 YEARS.

YOU ARE REQUIRED TO

PROVIDE COPIES WHEN

KEQUESTED.

PAT LYNCH LYNCH DRILLING CORP P O Box 934 Branford, FL 32008 (386)935-1076

DATE 7-16-18

CUSTOMER Freedom Homes Jamps Stratton

LOCATION 796 SW Hunter Rd Lake City, FL 32021

Par # 36-35-15-00302-108

WE WILL CONSTRUCT A 4" WATER WELL COMPLETE WITH 4" WATER WELL STEEL CASING, _____ SUBMERSIBLE PUMP WITH 1 1/4" DROP PIPE, AND AN ____ GALLON CAPTIVE AIR TANK (21.9 GALLON DRAWDOWN).

WELL WILL BE COMPLETE AT THE WELL SITE, WE DO NOT INCLUDE ELECTRICAL NOR PLUMBING CONNECTIONS FROM THE WELL TO THE HOME AND/OR POWER POLE.

ANY VARIATIONS OF THE ABOVE ARE SUBJECT TO APPROVAL FROM THE CUSTOMER AND OR CONTRACTOR PRIOR TO COMMENSMENT OF THE INDIVIDUAL JOB.

THANK YOU

NOT RESPONSIBLE FOR THE QUALITY OF WATER

District No. 1 - Ronald Williams District No. 2 - Rusty DePratter District No. 3 - Bucky Nash District No. 4 - Everett Phillips District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:

5/9/2018 1:58:07 PM

Address:

796 SW HUNTER Rd

City:

LAKE CITY

State:

FL.

Zip Code

32024

Parcal ID

00302-108

REMARKS: Address for proposed structure on parcel.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE. THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED. THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By:

Signed:/ Matt Crews

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telepi Email: gis@celumbiacountyfla.com

Telephone: (386) 758-1125

02/17/2017 09:27 Freedom Hobile Home Sales

(FAX)3867524757

P.002/002

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1807-11	CONTRACTOR PRICE ABOUTH	PHONE 38(.365 53)
----------------------------	-------------------------	-------------------

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is <u>REQUIRED</u> that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

	ELECTRICAL	Print Name WATTING TOW ELECTRIC SIgnature Wan Withouton
V	1079	License #; £C/3002957 Phone #: 386972 1700
	MECHANICALY A/C 166	Print Name STYLECREST. Signature Republic SR Usense #: CAC 1817658 Phone #: 850-769-7453

Qualifier Forms cannot be submitted for any Specialty License.

Specialty License	Hickorse Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			.ocand actory signature
CONCRETE FINISHER			

F. 5. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Revised 10/30/2015

STATE OF FLORIDA DEPARTMENT OF HEALTH CNSITE SEWAGE TREATMENT AND DISPOSAL SISTEM APPLICATION FOR CONSTRUCTION PERMIT APPLICATION FOR: Rev System Existing System Holding Tank Innovative Repair Abandonment Temporary Innovative APPLICANT: COSENT W FORD IN TOBA NORTH FLORIDA SEPTIC TANKING MAILING ADDRESS: 741 SE STATE ROAD 100 LAKE CITY FL 32025
Circ
TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTE BY A PERSON LICENSED PURSUANT TO 489.105(3) (E) OR 489.552, FLORIDA STANDIES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (NAM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDRATHER PROVISIONS. PROPERTY INFORMATION
LOT: BLOCK: SUBDIVISION: MEETS & DONES PLATTED:
PROPERTY ID 8: 30-35-15-0000 - 107 EUNING: NAG I/M OR EQUIVALENT: (Y)
MATER SUPPLY: () PRIVATE DIRECTOR
PROPERTY ADDRESS: SW Houston Of
The Follow to site on Right
BUILDING INFORMATION / RESIDENTIAL [] COMMERCIAL
Doit Type of No. of Building Commercial/Institutional System Design Model
4
[] Floor/Equipment Drains [] Other (Specify)
SIGNATURE: Robert W Jard for
DH 4015, 08/09 (Chsoletes previous editions which may not be used) Page 1 of 4

Page 1 of 4

STATE OF FLORIDA DEPARTMENT OF HEALTH APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 8-05 ----- PART II - SITEPLAN - _ . Scale: Each block represents 15 feet and i lean = 60 eat. ζ_{ν} 380.82 431 ALIUS Notes: STRATTON. Hunter Site Plan submitted by Raleutus Plan Approved Not Approved County Health Department ALL CHANGES MUST BE APPROVED BY THE COUN EXCHADEPARTMENT DH 4015, 08/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6.001, FAC

€/ €

B10Z-50-Z0 B1:01:11

Page 2 of 4