

DATE 07/06/2006

Columbia County Building Permit

PERMIT
000024714

This Permit Expires One Year From the Date of Issue

APPLICANT LAMAR DUPREE PHONE 754-5678
ADDRESS P.O. BOX 2861 LAKE CITY FL 32056
OWNER WILLIAM & CAROLYN HENEGAN PHONE 561-827-3176
ADDRESS 203 SW SANDERS WAY FORT WHITE FL 32038
CONTRACTOR JL DUPREE CONSTRUCTION PHONE 754-5678
LOCATION OF PROPERTY 47S, TL ON 27, TR ON SANDERS WAY, 1ST HOUSE ON THE LEFT

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 84161.00
HEATED FLOOR AREA 128.00 TOTAL AREA 590.00 HEIGHT 1 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING FT WHITE MAX. HEIGHT 16
Minimum Set Back Requirments: STREET-FRONT REAR SIDE
NO. EX.D.U. FLOOD ZONE FW DEVELOPMENT PERMIT NO.

PARCEL ID 03-7S-16-04120-001 SUBDIVISION
LOT BLOCK PHASE UNIT 0 TOTAL ACRES

CGC060631
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-0530-E FW JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FT WHITE LETTER OF COMPLIANCE ON FILE, NOC ON FILE

ALTERNATE TERMIT TREATMENT RECEIVED

Check # or Cash 12058

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 425.00 CERTIFICATION FEE \$ 2.95 SURCHARGE FEE \$ 2.95
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 430.90
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT# _____

NOTICE OF COMMENCEMENT

STATE OF: FLORIDA

COUNTY OF: COLUMBIA

CITY OF: LAKE CITY

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

DESCRIPTION OF PROPERTY

See legal description below

SECTION: _____ TOWNSHIP: _____ RANGE: _____ TAX PARCEL #: 03-7s-16-04120-001 HX
LOT: _____ BLOCK: _____ SUBDIVISION: _____
PLATBOOK #: _____ MAP PAGE #: _____
STREET ADDRESS: 203 S.W. Sanders Way Fort White Fla. 32038

GENERAL DESCRIPTION OF IMPROVEMENT

TO CONSTRUCT: Addition

OWNER INFORMATION

NAME William & Carolyn Henegan PHONE NUMBER: 386-497-1170
ADDRESS: 203 S.W. Sanders Way, Fort White
STATE: Fla ZIP CODE: 32038
INTEREST IN THE PROPERTY: Owner
FEE SIMPLE TITLEHOLDER NAME (OTHER THAN OWNER): N/A
FEE SIMPLE TITLEHOLDER ADDRESS: N/A

CONTRACTOR NAME: J.L. DuPree PHONE NUMBER: 386-754-5678
COMPANY NAME: J.L. DuPree Construction Services Inc. FAX NUMBER: 386-754-5431
ADDRESS: P.O. Box 2861 CITY: Lake City
STATE: Florida ZIP CODE: 32056

BONDING COMPANY: N/A PHONE NUMBER: _____
ADDRESS: _____ FAX NUMBER: _____
CITY: _____ STATE: _____ ZIP CODE: _____

LENDER NAME: N/A PHONE NUMBER: _____
ADDRESS: _____ FAX NUMBER: _____
CITY: _____ STATE: _____ ZIP CODE: _____

Persons within the State of Florida designated by owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a), Florida Statute:

NAME: N/A ADDRESS: _____
CITY: _____ STATE: _____ ZIP CODE: _____

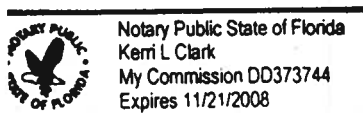
In addition to himself, the owner designates _____ of _____
To receive a copy of the Lienor's notice as provided in Section 713.13(1)(b) Florida Statutes.

Expiration date of Notice of Commencement (the expiration date is one (1) year from the date of recording unless a different date is specified): _____

SIGNATURE OF OWNER: [Signature]
Sworn to and subscribed before me this 31 day of MAY, 2006

Known personally/I.D. Shown _____
Notary: [Signature] My commission expires: 11-21-08

BEG SW COR OF NE 1/4 OF NW 1/4, RUN E 1085 . 30 FT TO S R/W OF SCL R/R , NW 853.50
FT SW 731.81 FT TO POB ORB 572-543, 626-788, 702-803.733-252, PROB #02 -77-CP952-810
THRU 822, 977-1170, WD 1015-2460, QCD1031-1549 WD 1057 - 180



430.90

Columbia County Building Permit Application

For Office Use Only	Application # <u>0606-79</u>	Date Received <u>6/21/06</u>	By <u>GA</u>	Permit# <u>24714</u>
Application Approved By - Zoning Official		Date	Plans Examiner <u>OK JH</u>	Date <u>6-20-06</u>
Flood Zone	Development Permit	Zoning	Land use Plan map Category	
Comments <u>NEEDS Zoning Compliance Letter from H. Town of Ft. WHITE</u>				
<u>Received 7-5-06 LH</u>				
<u>FAX 754-5431</u>				

Applicants Name Lamar DuPree Phone 754-5678
Address P.O. Box 2861 Lake City Fla. 32056
Owners Name William & Carolyn Henegan Phone 386-497-1170
911 Address 203 S.W. SANDERS WAY Fort White Fla. 32038
Contractors Name J.L. DuPree Construction Services Phone 386-754-5678
Address P.O. Box 2861 Lake City Fl. 32056
Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address ABH Engineering, PLLC P.O. Box 763 Trenton Fl. 32693
Mortgage Lenders Name & Address N/A
Circle the correct power company: Fl power & light Clay electric Suwannee valley electric Progressive Energy
Property ID Number 03-7s-16-04120-001 Estimated Cost of Construction \$84,161.00
Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
Driving Directions 47 South. Turn left on state road 27. turn right on Sanders Way. first house on left

Type of Construction Addition Number of existing dwellings on property 1
Total Acreage 7.150 Lot Size _____ Do You need A Culvert Permit or Culvert Waiver or Have an existing Drive
Actual Distance of structure from property lines - Front 223' Side 115.5' Side _____ Rear _____
Total Building Height 16' Number of stories 1 Heated floor area 128 roof pitch 6 12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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Owner Builder or Agent (including Contractor)

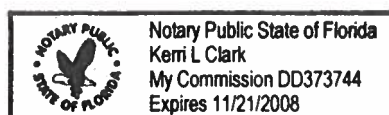
J.L. DuPree
Contractor Signature
Contractors License Number CB0600031
Competency Card Number _____

STATE OF FLORIDA
COUNTY OF COLUMBIA

NOTARY STAMP/ SEAL

Sworn to (or affirmed) and subscribed before me
This 21st day of June 20 06
Personally known _____ or Produced Identification _____

Kerri L. Clark
Notary Signature



03-7S-16-04120-001

BEG SW COR OF NE1/4 OF NW1/4,
 RUN E 1085.30 FT TO S R/W OF
 S C L R/R, NW 853.50 FT, SW
 731.81 FT TO POB.

HENEGAN WILLIAM J &
 CAROLYN HENEGAN
 203 SW SANDERS WAY
 FT WHITE, FL 32038

03-7S-16-04120-001

Columbia Cou

PRINTED 5/05/2006 8:43
 APPR 10/18/2005 TW

BUSE	000100	SINGLE FAM	AE?	Y	1647	HTD AREA	133.394	INDEX	3716.00	DIST	3	PUSE	000
MOD	1	SFR	BATH	3.00	2230	EFF AREA	60.027	E-RATE	100.000	INDX	STR	3- 7S- 16	
EXW	10	ABOVE AVG.	FIKT		133860	RCN			1975	AYB	MKT AREA	02	
RSTR	03	GABLE/HIP	RMS		90.00	%GOOD			120,474	B BLDG VAL	10	EYB	(PUD1
RCVR	03	COMP SHNGL	UNTS										AC 7.150
%	N/A	C-W%											NTCD
INT	05	DRYWALL	HGHT										APPR CD
%	N/A	PMTR											CNDO
FLR	14	CARPET	STYS	1.0									SUBD
%	N/A	ECON											BLK
HTP	04	AIR DUCTED	FUNC										LOT
A/C	03	CENTRAL	SPCD										MAP# 54
QUAL	04	ABOVE AVG.	DEPR	52									HX
FNDN	N/A	UD-1	N/A										TXDT 004
SIZE	03	RECTANGLE	UD-2	N/A									
CEIL	N/A	UD-3	N/A										
ARCH	N/A	UD-4	N/A										
FRME	01	NONE	UD-5	N/A									
KTCH	N/A	UD-6	N/A										
WIND	N/A	UD-7	N/A										
CLAS	N/A	UD-8	N/A										
OCC	N/A	UD-9	N/A										
COND	N/A	%	N/A										
SUB	A-AREA	%	E-AREA	SUB VALUE									
BAS93	1647	100	1647	88977									
FOP93	192	30	58	3134									
FDG93	875	60	525	28363									

AE BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%
Y	0260	PAVEMENT-ASP				1		0000	1.00	1.000	UT	1000.000		1000.000			
Y	0294	SHED WOOD/VI	8	8		1		1993	1.00	64.000	SF	7.500		7.500			
Y	0030	BARN,MT	30	50		1		2005	1.00	1500.000	SF	10.000		10.000			

LAND	DESC	ZONE	ROAD	UD1	UD3	FRONT	DEPTH	FIELD CK:	UNITS	UT	PRICE	ADJ	UT	PI
AE	CODE	TOPO	UTIL	UD2	UD4	BACK	DT	ADJUSTMENTS						
Y	000100	SFR	A-1	0002				1.00 1.00 1.00 1.00	7.150	AC	7000.000		7000.0	

2006

Columbia County Property Appraiser

DB Last Updated: 5/5/2006

Parcel: 03-7S-16-04120-001 HX

2006 Proposed Values

Owner & Property Info

<< Prev Search Result: 1160 of 2597 Next >>

Owner's Name	HENEGAN WILLIAM J &
Site Address	SANDERS
Mailing Address	CAROLYN HENEGAN 203 SW SANDERS WAY FT WHITE, FL 32038
Description	BEG SW COR OF NE1/4 OF NW1/4, RUN E 1085.30 FT TO S R/W OF S C L R/R, NW 853.50 FT, SW 731.81 FT TO POB. ORB 572-543, 626-788, 702-803, 733-252, PROB#02-77-CP 952-810 THRU 822, 977-1170, WD 1015-2460, QCD 1031-1549. WD 1057-180.

Use Desc. (code)	SINGLE FAM (000100)
Neighborhood	3716.00
Tax District	4
UD Codes	MKTA02
Market Area	02
Total Land Area	7.150 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$50,050.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$120,474.00
XFOB Value	cnt: (3)	\$16,480.00
Total Appraised Value		\$187,004.00

Just Value	\$187,004.00
Class Value	\$0.00
Assessed Value	\$187,004.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$162,004.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
8/30/2005	1057/180	WD	I	U	01	\$100.00
11/17/2004	1031/1549	QC	I	U	01	\$100.00
5/11/2004	1015/2460	WD	I	Q		\$180,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1975	Above Avg. (10)	1647	2714	\$120,474.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	0	\$1,000.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	1993	\$480.00	64.000	8 x 8 x 0	(.00)
0030	BARN,MT	2005	\$15,000.00	1500.000	30 x 50 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	7.150 AC	1.00/1.00/1.00/1.00	\$7,000.00	\$50,050.00

Columbia County Property Appraiser

DB Last Updated: 5/5/2006

1160 of 2597

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's Office. The assessed values are **NOT CERTIFIED** values and therefore are subject to change before finalized for ad-valorem assessment purposes.

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STATE OF FLORIDA
DEPARTMENT OF HEALTH

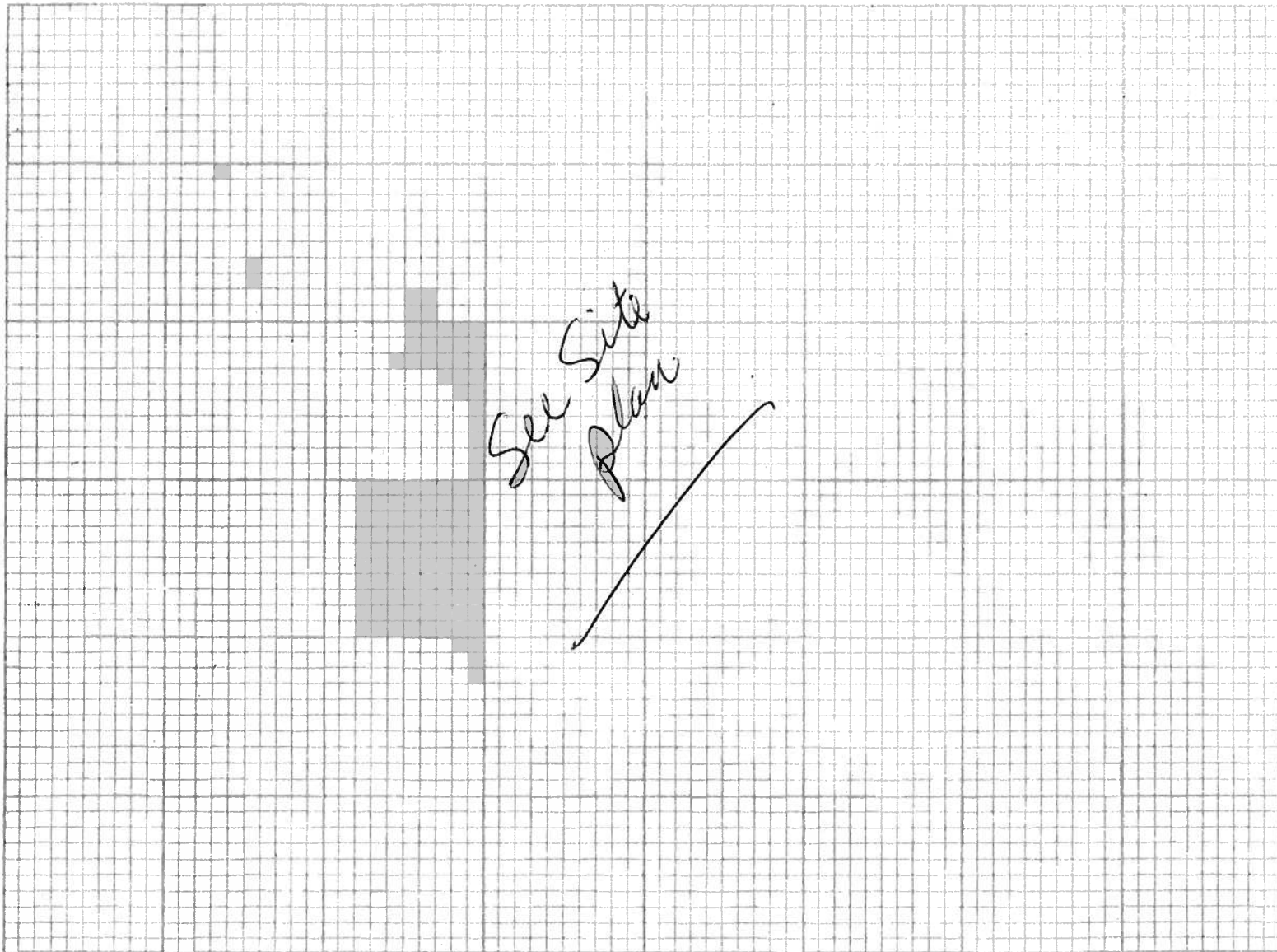
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

06-0530E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: See Site Plan

Site Plan submitted by: Lamar Dufree
Signature

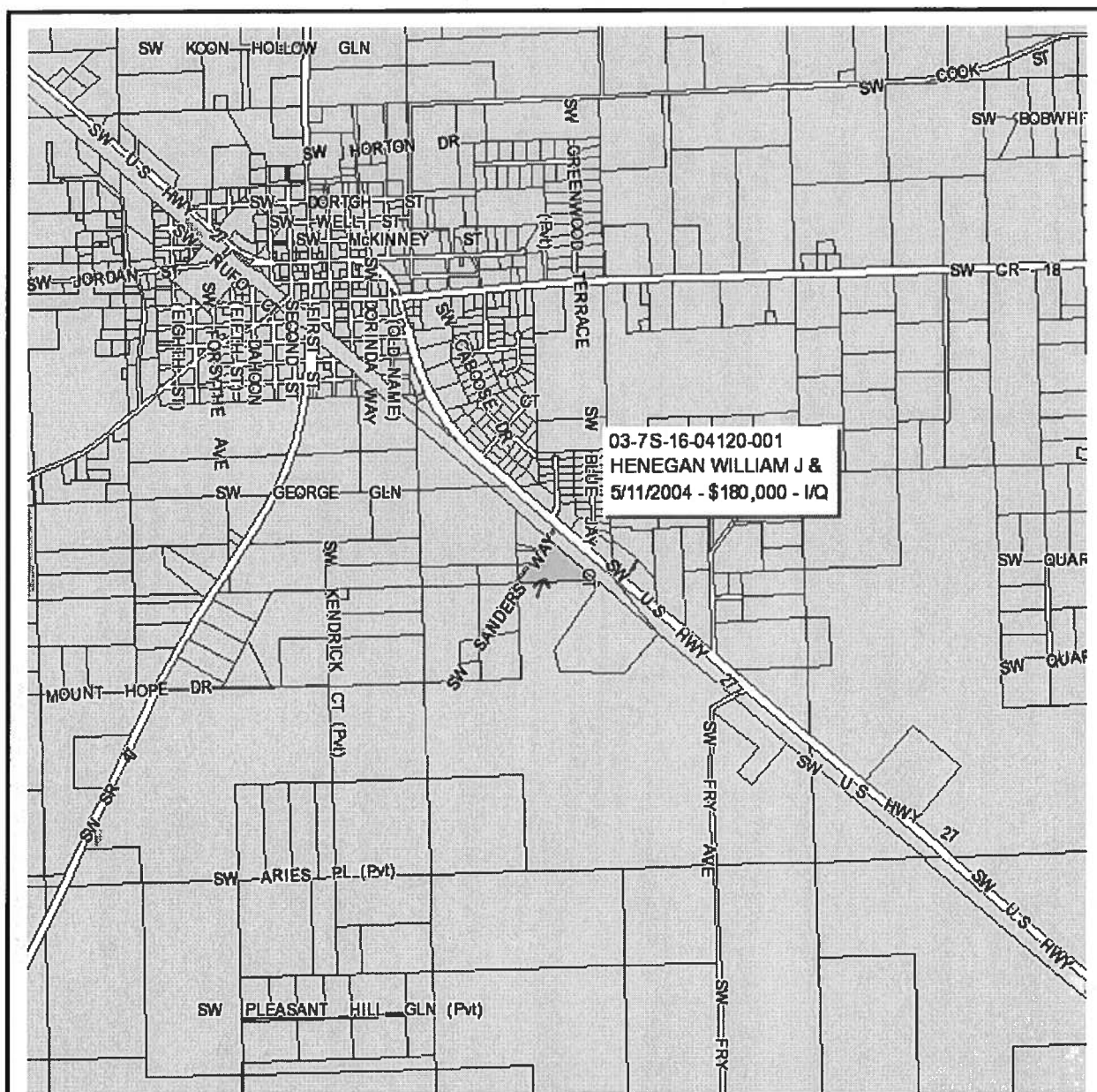
Agent
Title

Plan Approved ☒ Not Approved ☐

Date 6/1/06

By Wm J M County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 03-7S-16-04120-001 HX - SINGLE FAM (000100)

Name:	HENEGAN WILLIAM J &	LandVal	\$50,050.00
Site:	SANDERS	BldgVal	\$120,474.00
	CAROLYN HENEGAN	ApprVal	\$187,004.00
Mail:	203 SW SANDERS WAY	JustVal	\$187,004.00
	FT WHITE, FL 32038	Assd	\$187,004.00
Sales	8/30/2005 \$100.001 / U	Exmpt	\$25,000.00
Info	11/17/2004 \$100.001 / U	Taxable	\$162,004.00
	5/11/2004 \$180,000.001 / Q		

0 0.1 0.2 0.3 mi



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Town of Fort White

Post Office Box 129 Fort White, Florida 32038-0129
Town Hall - (386) 497-2321 • Public Works - (386) 497-3345
Email: townofftwhite@alltel.com • Web site: Townoffortwhitefl.com

CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort
White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

OWNER'S NAME: J.L.Dupree Construction Services

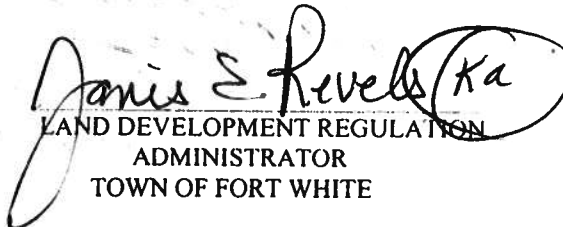
ADDRESS: P.O. Box 2861 Lake City, FL 32055

PROPERTY DESCRIPTION: 7.15 Ac 04120-001
(parcel number if possible) 203 SW Sanders Way, Fort White, FL 32038

DEVELOPMENT: Residential/Addition

You are hereby authorized to issue the appropriate building permits.

05 July 2006
DATE


LAND DEVELOPMENT REGULATION
ADMINISTRATOR
TOWN OF FORT WHITE

District #1
Donald Cook
497-1086

District #2
Henry Maini
497-2992

District #3
John Gloskowski
497-3999

District #4
Demetric Jackson
497-2078

Mayor
Truett George
497-4741



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance
with County's Comprehensive Plan and
Land Development Regulations

To: J. L. DuPree Construction Services

Fax: 386.754.5431

From: Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of pages: 1

Date: 3 July 2006

RE: Building Permit Application 0605-79, Henegan

Dear Lamar:

The property for the above referenced Building Permit Application is located within the town limits of the Town of Ft. White. A zoning compliance letter is required from their office before a building permit can be issued. Their town hall is open Monday through Friday from 9:00 P.M. to 1:00 P.M. and the phone number is 386.497.2321.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner", with a stylized flourish at the end.

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

ABH ENGINEERING, PLLC
P.O. Box 763
Trenton, Fl. 32693
Certificate of Authorization Number: 26820
Blake Hunter, P.E.
P.E. Number: 51397

Date: 6/27/06

Project Name: WILLIAM & CAROLYN HENEGAN
Dated: April 12, 2006
Building permit application number: 0606-79

To: Columbia County Building Department

Attention: Mr. Joe Haltiwanger, Plan Examiner

Per your request, in regard to the following:

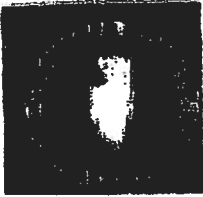
1. A analysis of the foundation has been performed, based on a soil bearing capacity of 1000 psf. This resulted in the 24" x 24" x 10" concrete fig pads, shown on the foundation plan, sht 2 of 5, and also on the detail on sht 4 of 5, being changed to 30" x 30" x 10", w/(3) #5 rebars each way.
2. For detail of steel bracket, for gazebo roof framing, see attached.
3. The porch rafters (sht 3 of 5) will be connected to the existing roof with Simpson A35, at each rafter.

If you have questions or comments, please call me at 352-816-0846, or e-mail me at
If additional information is needed, please let me know.

Blake Hunter, P.E.

cc: Lamar Dupree, William Henegan

Blake HT
6/27/06



**From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529**

Reference to a building permit application Number: **0606-79**
Contractor: Lamar DuPree Owner William Henegan 203 S.W. Sanders Way

On the date of June 26, 2006 application 0606-79 and plans for construction of an addition onto a single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0606-79 when making reference to this application.

This is a plan review for compliance with the Florida Residential Code 2004 only and doesn't make any consideration toward the land use and zoning requirements.

To help ensure compliance with the Florida Residential Code 2004 the comments below need to be addressed on the plans.

1. On the plans under structural notes, note one requires that the soil bearing capacity be equal to 2,500 pounds per square foot. Therefore please follow the prescribed testing methods to reveal the soil load bearing capacities. Please have a registered professional conduct subsurface explorations at the project site upon which foundations are to be constructed, a sufficient number (not less than four, one boring on each corner of the building foundation) borings shall be made to a depth of not less than 10 feet (3048 mm) below the level of the foundations to provide assurance of the soundness of the foundation bed and its load-bearing capacity.
2. Please show a detail design of the custom steel bracket which will secure the rafters at the center point of the gazebo, include the construction material of the bracket and the method of attachment of the rafters to the bracket. A35
3. On the conventional framing for rafters which extend into the existing roof show the method of attachment of these rafters onto the existing roof truss system.



Joe Haltiwanger

Plan Examiner
Columbia County Building Department



From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

Reference to a building permit application Number: **0606-79**
Contractor: Lamar DuPree Owner William Henegan 203 S.W. Sanders Way

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- 2.** Please show a detail design of the custom steel bracket which will secure the rafters at the center point of the gazebo, include the construction material of the bracket and the method of attachment of the rafters to the bracket.
- 3.** On the conventional framing for rafters which extend into the existing roof show the method of attachment of these rafters onto the existing roof truss system.

Joe Haltiwanger

Plan Examiner
Columbia County Building Department

Project Summary

Entire House

Henegan

Job: Henegan job
 Date:
 By: Louis Weeks

FL 32055

Project Information

For: Henegan add

Notes:

Design Information

Weather: Jacksonville, Cecil Field NAS, FL, US

Winter Design Conditions

Outside db	34 °F
Inside db	68 °F
Design TD	34 °F

Summer Design Conditions

Outside db	95 °F
Inside db	75 °F
Design TD	20 °F
Daily range	M
Relative humidity	50 %
Moisture difference	40 gr/lb

Heating Summary

Structure	5628 Btuh
Ducts	281 Btuh
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	5909 Btuh

Sensible Cooling Equipment Load Sizing

Structure	4859 Btuh
Ducts	486 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	1.00
Equipment sensible load	5345 Btuh

Infiltration

Method	Simplified	
Construction quality	Average	
Fireplaces	1 (Average)	
	Heating	Cooling
Area (ft²)	201	201
Volume (ft³)	2007	2007
Air changes/hour	1.40	0.50
Equiv. AVF (cfm)	47	17

Latent Cooling Equipment Load Sizing

Structure	456 Btuh
Ducts	0 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	456 Btuh
Equipment total load	5801 Btuh
Req. total capacity at 0.70 SHR	0.6 ton

Heating Equipment Summary

Make	Existing
Trade	
Model	
Efficiency	7.5 HSPF
Heating input	
Heating output	17400 Btuh @ 47°F
Temperature rise	55 °F
Actual air flow	286 cfm
Air flow factor	0.048 cfm/Btuh
Static pressure	0.50 in H2O
Space thermostat	

Cooling Equipment Summary

Make	Existing
Trade	
Cond	
Coil	
Efficiency	12 EER
Sensible cooling	12040 Btuh
Latent cooling	5160 Btuh
Total cooling	17200 Btuh
Actual air flow	286 cfm
Air flow factor	0.053 cfm/Btuh
Static pressure	0.50 in H2O
Load sensible heat ratio	0.92

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **henegan**
Address:
City, State: ,
Owner: **Henegan add**
Climate Zone: **North**

Builder: **Henegan**
Permitting Office: **Columbia**
Permit Number: **24714**
Jurisdiction Number: **221000**

1. New construction or existing	Addition	___	12. Cooling systems	___
2. Single family or multi-family	Single family	___	a. PTAC and Room Unit	Cap: 6.0 kBtu/hr
3. Number of units, if multi-family	1	___		EER: 10.00, Unducted
4. Number of Bedrooms	0	___	b. N/A	___
5. Is this a worst case?	No	___	c. N/A	___
6. Conditioned floor area (ft²)	201 ft²	___	13. Heating systems	___
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		___	a. PTHP	Cap: 6.0 kBtu/hr
a. U-factor:	Description Area	___		COP: 3.50, Unducted
(or Single or Double DEFAULT) 7a. (Dble, U=0.5)	35.0 ft²	___	b. N/A	___
b. SHGC:		___	c. N/A	___
(or Clear or Tint DEFAULT) 7b. (Clear)	55.0 ft²	___	14. Hot water systems	___
8. Floor types		___	a. N/A	___
a. Slab-On-Grade Edge Insulation	R=0.0, 44.0(p) ft	___	b. N/A	___
b. N/A	___	___	c. Conservation credits	___
c. N/A	___	___	(HR-Heat recovery, Solar	___
9. Wall types		___	DHP-Dedicated heat pump)	___
a. Frame, Wood, Exterior	R=11.0, 364.0 ft²	___	15. HVAC credits	___
b. N/A	___	___	(CF-Ceiling fan, CV-Cross ventilation,	___
c. N/A	___	___	HF-Whole house fan,	___
d. N/A	___	___	PT-Programmable Thermostat,	___
e. N/A	___	___	MZ-C-Multizone cooling,	___
10. Ceiling types		___	MZ-H-Multizone heating)	___
a. Under Attic	R=30.0, 201.0 ft²	___		
b. N/A	___	___		
c. N/A	___	___		
11. Ducts		___		
a. N/A	___	___		
b. N/A	___	___		

Glass/Floor Area: 0.27

Total as-built points: 2125

Total base points: 2614

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: DATE: 6/21/06

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: DATE: 

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.21)

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT								
GLASS TYPES												
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points					
.18	201.0	20.04	725.0	Double,U=0.73,Clear	S	0.0	0.0	20.0	36.45	1.00	729.1	
				Double,U=0.52,Clear	W	0.0	0.0	35.0	40.18	1.00	1406.2	
As-Built Total:				55.0 2135.2								
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points					
Exterior	364.0	1.70	618.8	Frame, Wood, Exterior	11.0		364.0		1.70	618.8		
Adjacent	0.0	0.00	0.0									
Base Total:				364.0				618.8				
DOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points					
Exterior	21.0	4.10	86.1	Exterior Wood			21.0		6.10	128.1		
Adjacent	0.0	0.00	0.0									
Base Total:				21.0				86.1				
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points					
Under Attic	201.0	1.73	347.7	Under Attic	30.0		201.0		1.73 X 1.00	347.7		
Base Total:				201.0				347.7				
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points					
Slab	44.0(p)	-37.0	-1628.0	Slab-On-Grade Edge Insulation	0.0		44.0(p)		-41.20	-1812.8		
Raised	0.0	0.00	0.0									
Base Total:				44.0				-1812.8				
INFILTRATION Area X BSPM = Points						Area X SPM = Points						
201.0 10.21 2052.2						201.0 10.21		2052.2				
Summer Base Points: 2201.9				Summer As-Built Points: 3469.3								
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component (System - Points)	X	Cap Ratio (DM x DSM x AHU)	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier = Cooling Points
2201.9		0.4266	939.3	3469.3	1.00	(1.00 x 1.147 x 1.00)	0.341	1.000	1.000	1.000	1183.0	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	201.0	12.74	460.9	Double,U=0.73,Clear	S	0.0	0.0	20.0	9.51	1.00	190.2
				Double,U=0.52,Clear	W	0.0	0.0	35.0	10.85	1.00	379.7
As-Built Total:				55.0 569.9							
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Exterior	364.0	3.70	1346.8	Frame, Wood, Exterior	11.0		364.0	3.70	1346.8		
Adjacent	0.0	0.00	0.0								
Base Total:				As-Built Total: 364.0 1346.8							
DOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Exterior	21.0	8.40	176.4	Exterior Wood			21.0	12.30	258.3		
Adjacent	0.0	0.00	0.0								
Base Total:				As-Built Total: 21.0 258.3							
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	201.0	2.05	412.0	Under Attic	30.0		201.0	2.05 X 1.00	412.0		
Base Total:				As-Built Total: 201.0 412.0							
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	44.0(p)	8.9	391.6	Slab-On-Grade Edge Insulation	0.0		44.0(p)	18.80	827.2		
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total: 44.0 827.2							
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
201.0 -0.59 -118.6				201.0 -0.59 -118.6							
Winter Base Points: 2669.2				Winter As-Built Points: 3295.6							
Total Winter X System = Heating Points Multiplier Points				Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points							
				(System - Points) (DM x DSM x AHU)							
2669.2 0.6274 1674.7				(sys 1: PTHP 6000 btuh ,EFF(3.5) Ducts: None 3295.6 1.000(1.00 x 1.169 x 1.00) 0.286 1.000 941.6 3295.6 1.00 1.000 0.286 1.000 941.6							

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING				Tank	EF	Number of	X	Tank	X
Number of	X	Multiplier	=	Total	Volume	Bedrooms		Ratio	Multiplier
0		2635.00		0.0		0		1.00	2635.00
									1.00
									7905.0
				As-Built Total:					0.0

CODE COMPLIANCE STATUS									
BASE					AS-BUILT				
Cooling	+	Heating	+	Hot Water	=	Total	Cooling	+	Heating
Points		Points		Points		Points	Points		Points
939		1675		0		2614	1183		942
									0
									2125

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 86.2

The higher the score, the more efficient the home.

Henegan add, , , ,

1. New construction or existing	Addition	12. Cooling systems	
2. Single family or multi-family	Single family	a. PTAC and Room Unit	Cap: 6.0 kBtu/hr
3. Number of units, if multi-family	1		EER: 10.00, Unducted
4. Number of Bedrooms	0	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft ²)	201 ft ²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. PTHP	Cap: 6.0 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble, U=0.5) 35.0 ft ²		COP: 3.50, Unducted
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT)	7b. (Clear) 55.0 ft ²	c. N/A	
8. Floor types			
a. Slab-On-Grade Edge Insulation	R=0.0, 44.0(p) ft	14. Hot water systems	
b. N/A		a. N/A	
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=11.0, 364.0 ft ²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 201.0 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. N/A			
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.21)



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Ceco Door Products
9159 Telecom Drive
Milan, TN 38358

out swing

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "Regent" & "Omega" 18 ga. 3'-7' Outswing Commercial Steel Door

APPROVAL DOCUMENT: Drawing No. RD0087, titled "3-0 x 7-0 Series", sheets 1 through 7 of 7, dated 5/30/97 with revision C dated 2/24/00, prepared by the manufacturer, bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

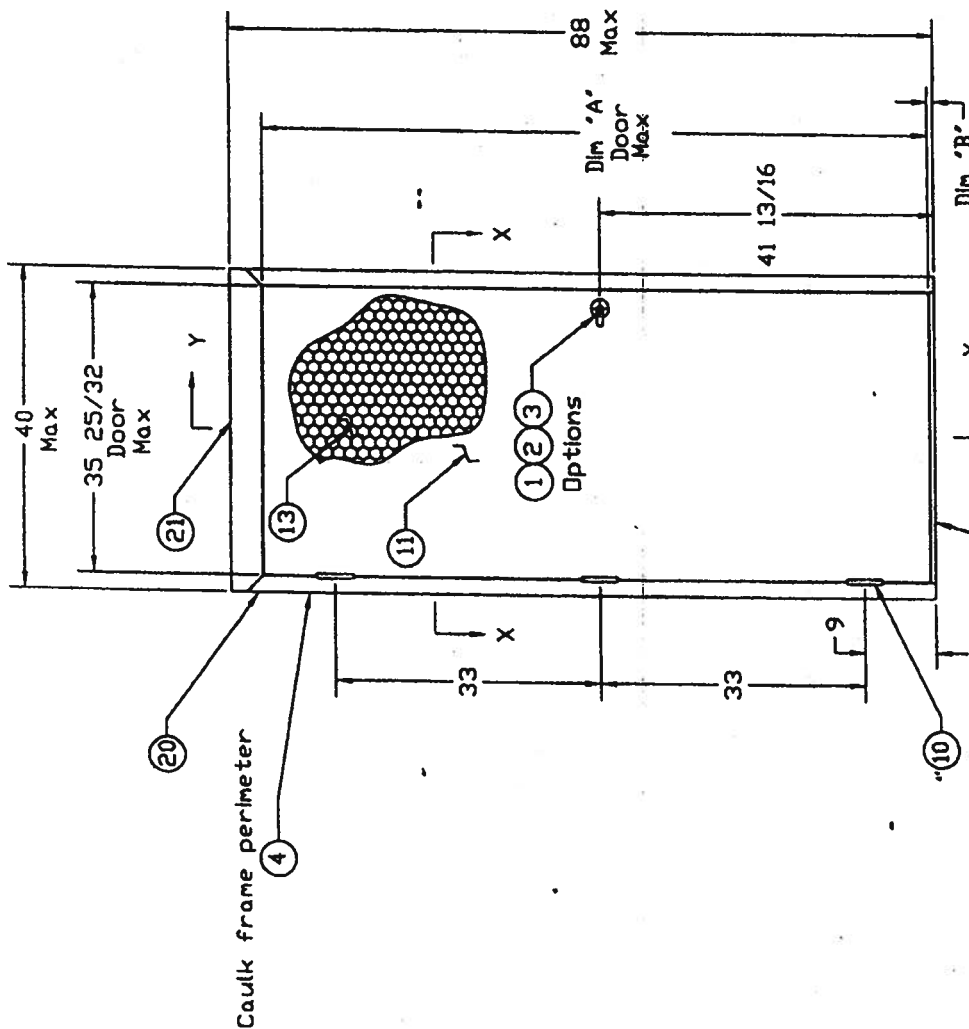
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA # 00-0315.03 and consists of this page 1 as well as approval document mentioned above. The submitted documentation was reviewed by Manuel Perez, P.E.



NOA No 03-0411.01
Expiration Date August 14, 2008
Approval Date: May 15, 2003
Page 1



Design Pressure		
Tested For Water Penetration		
With Overhang	+85 psf	-60 psf
Without Overhang	+60 psf	-60 psf

	Dim 'A'	Dim 'B'
3/4' Undercut	83 1/8	3/4
3/8' Undercut	83 1/2	3/8

MATERIAL SPECIFICATIONS:
Finish: Rust Inhibitive Primer

3-0 x 7-0 Series
Elevation Drawing

CECO DOOR PRODUCTS
Milan, Tennessee 38358

Sheet 2	Frame Anchor Installation
Sheet 3	Threshold Installation
Sheet 3	Weatherstrip Installation
Sheet 4	Door Latch Reinforcement
Sheet 5-6	Cross Section View
Sheet 7	Bill Of Material

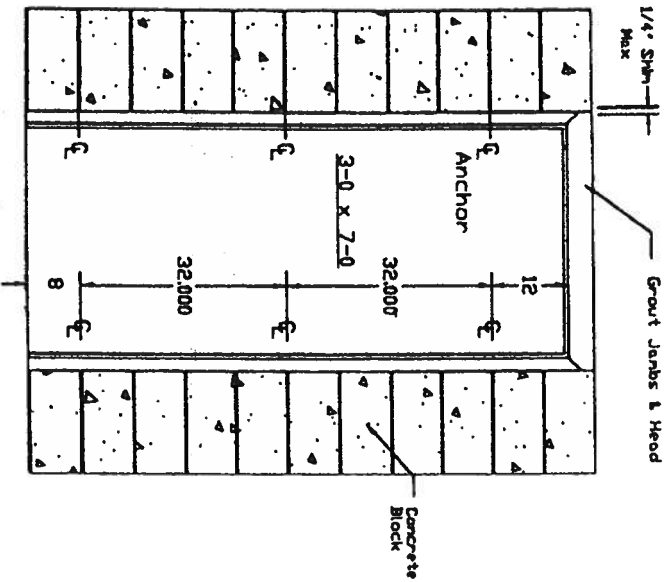
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *Apr 08 2009*
BY: *[Signature]*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. *00-0315-03*

Revised Format, Transferred
Information from NCA
1/12/97
Revised Sheet Numbers

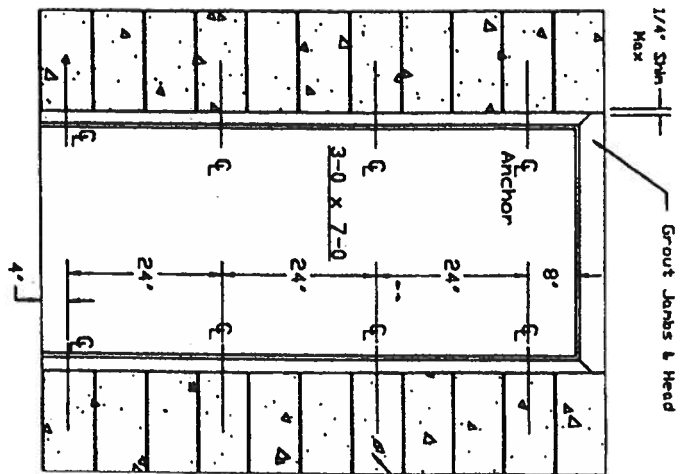
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DRAWN BY: GWS
DATE: 5/30/97

DRAWING NUMBER:
RD0087
Sheet 1 of 7

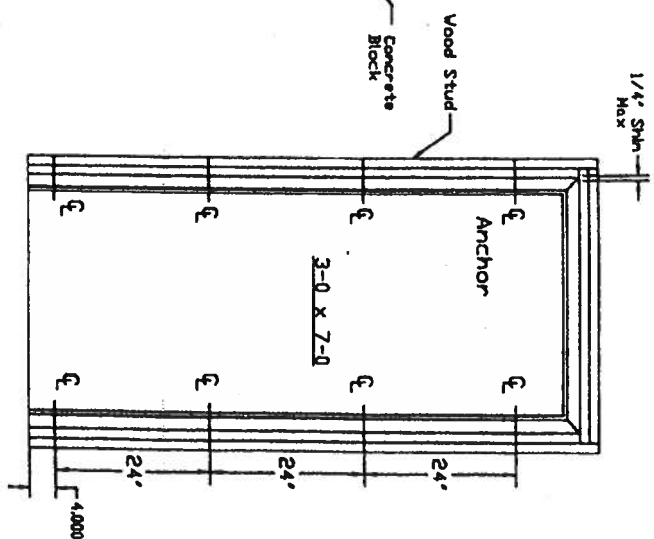
PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. *02-041-01*
Expiration Date: *02/14/2008*
By: *[Signature]*
Milan, Tennessee Product Control



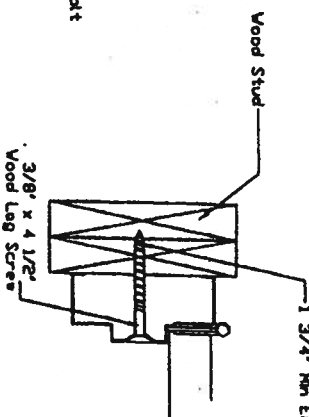
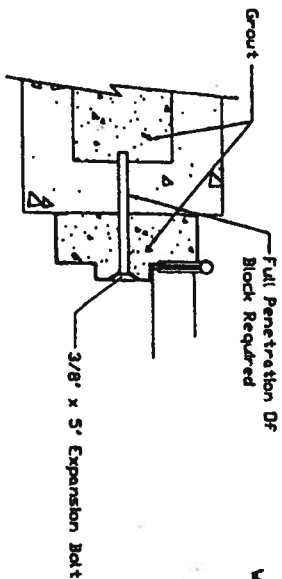
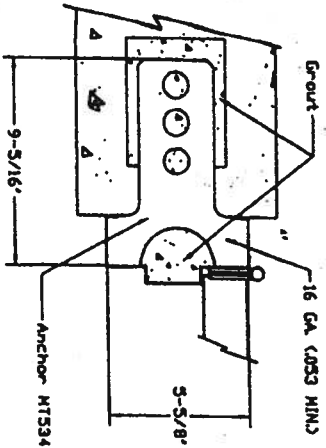
Masonry 'T' Anchor



Existing Opening Anchor Into Block



Existing Opening Anchor Into Wood Stud



NOTES:
1. SEE SHEET 7 FOR BILL OF MATERIALS

MATERIAL SPECIFICATIONS:

Frame Anchor
Installation Details

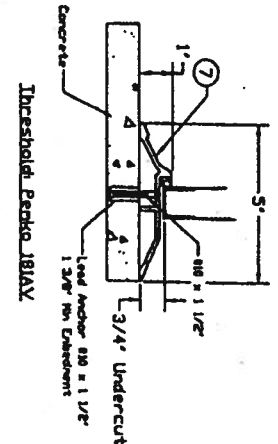
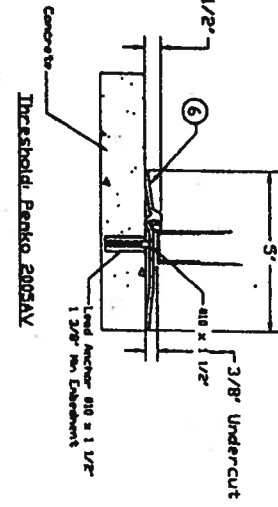
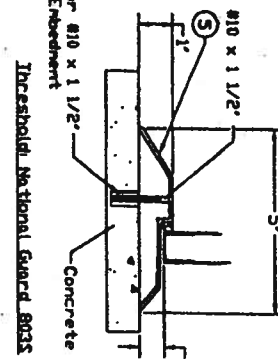
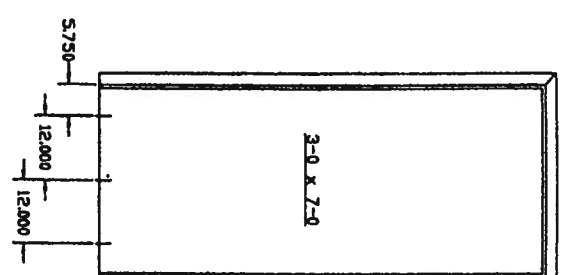
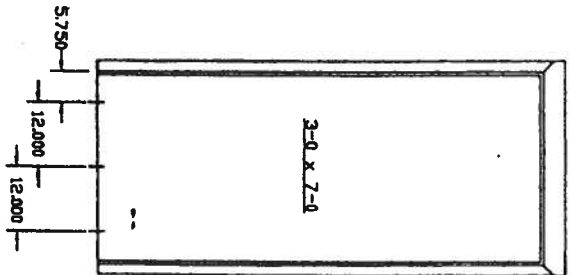
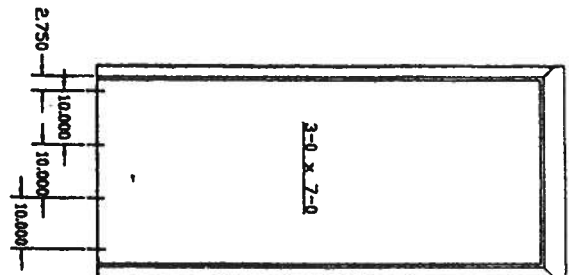
CECD DOOR PRODUCTS
Millen, Tennessee 38358

ISSUE	REVISIONS
DRAWN BY: CWS	DATE: 5/30/97
7/22/97	Revised Sheet Number
8/2/97	Revised Formwork, Transferred Information from MOA

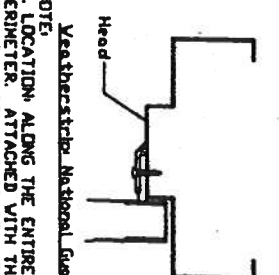
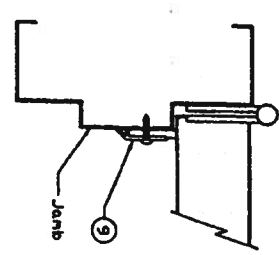
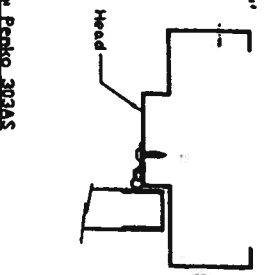
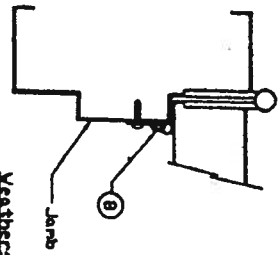
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: 08/08/00
BY: *Shawnee Davis*
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0316-03

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 03-041-01
Expiration Date 08/16/06
By: *Shawnee Davis*
Miami-Dade Product Control
Division

DRAWING NUMBER:
RD00087
Sheet 2 of 7



NOTE: 1. All thresholds shown are made from extruded aluminum with slide-in vinyl weatherstrip insert.



NOTE:
1. LOCATION ALONG THE ENTIRE HEAD AND JAMB PERIMETER, ATTACHED WITH THIRTY FOUR (34) 88 X 3/4" PPH SHS SPACED AT 6" O.C.

NOTE:
1. LOCATION ALONG THE ENTIRE HEAD AND JAMB PERIMETER, ATTACHED WITH THIRTY FOUR (34) 88 X 3/4" PPH SHS SPACED AT 6" O.C.

NOTE: 4. See Sheet 7 For Bill of Material

MATERIAL SPECIFICATIONS:

Threshold & Weatherstrip

Installation details

CECD DOOR PRODUCTS
Milan, Tennessee 38358

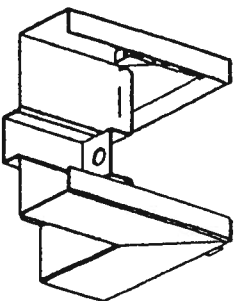
PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 03-041-01
Expiration Date 03/15/08
By: [Signature]
Milan, Tennessee

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 08/20/00
BY [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0315-03

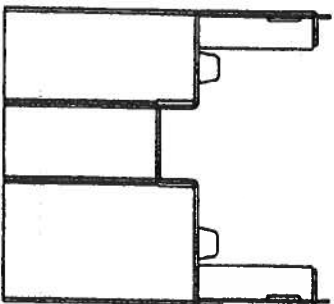
Revised Form, Transferred
7/22/97
Revised Sheet Number

ISSUE REVISIONS
DRAWN BY: GWS DATE: 5/30/97

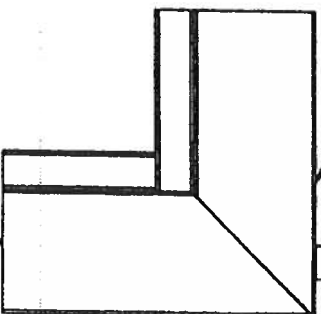
RD00087
Sheet 3 of 7



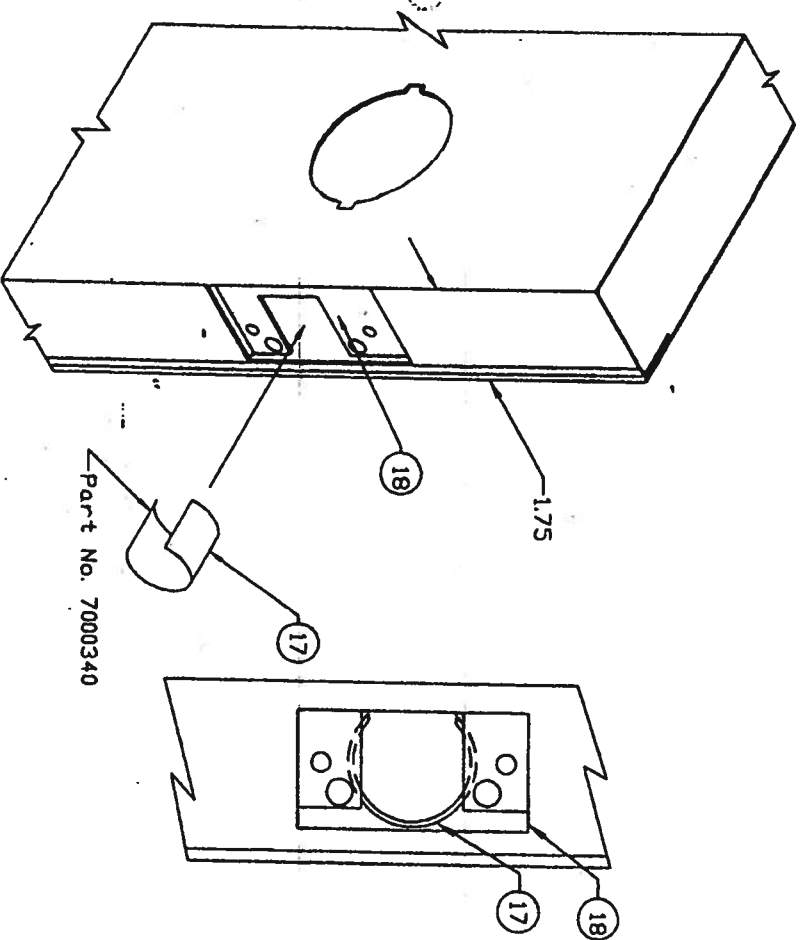
Interlocking Fold Over Tab



Frame Head



Frame Jamb



Note: 1. For Cylindrical Lock Only
2. See Sheet 7 For Bill Of Material

MATERIAL SPECIFICATIONS:

Cylindrical Lock Reinforcement
and "SF" Series Frame Corner
Installation Details



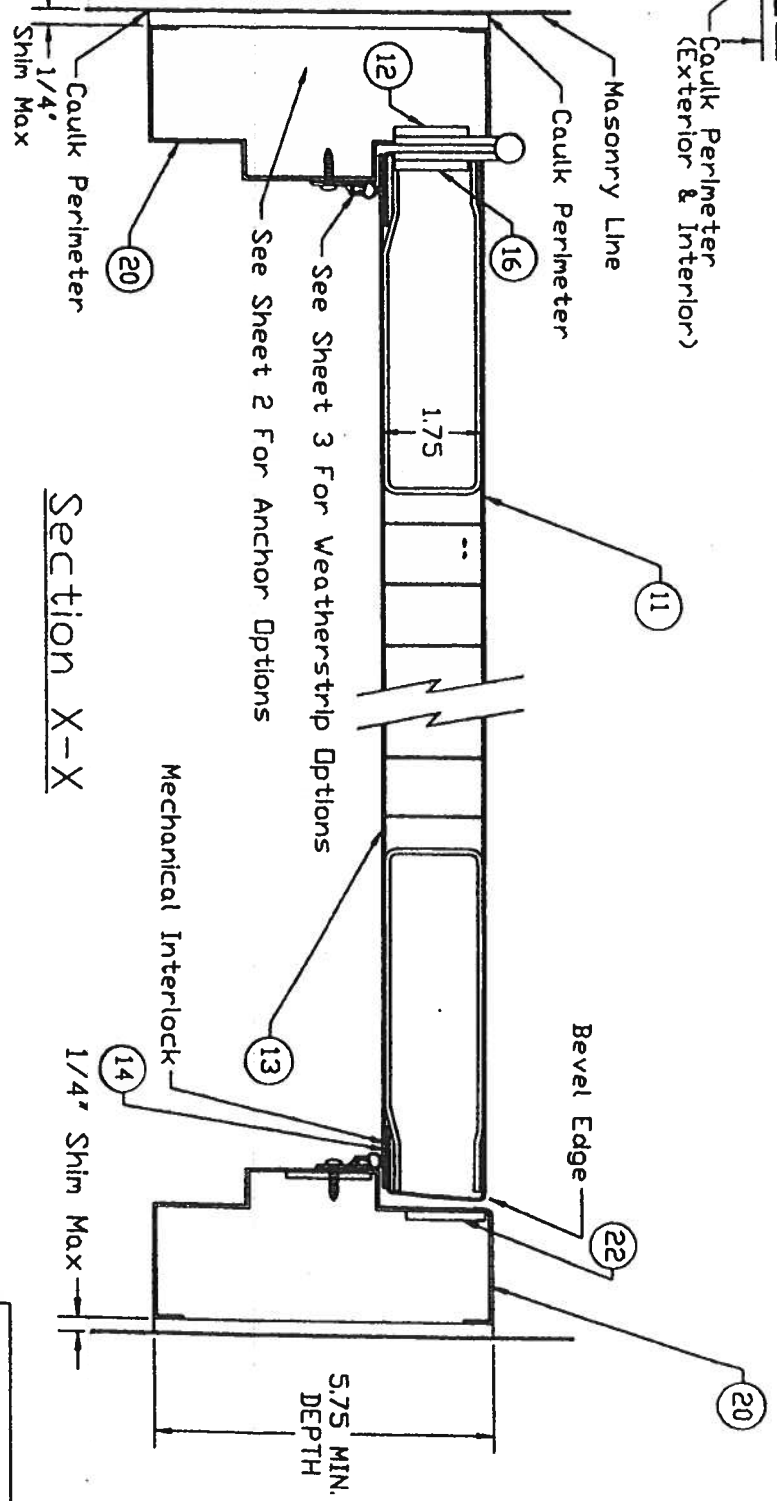
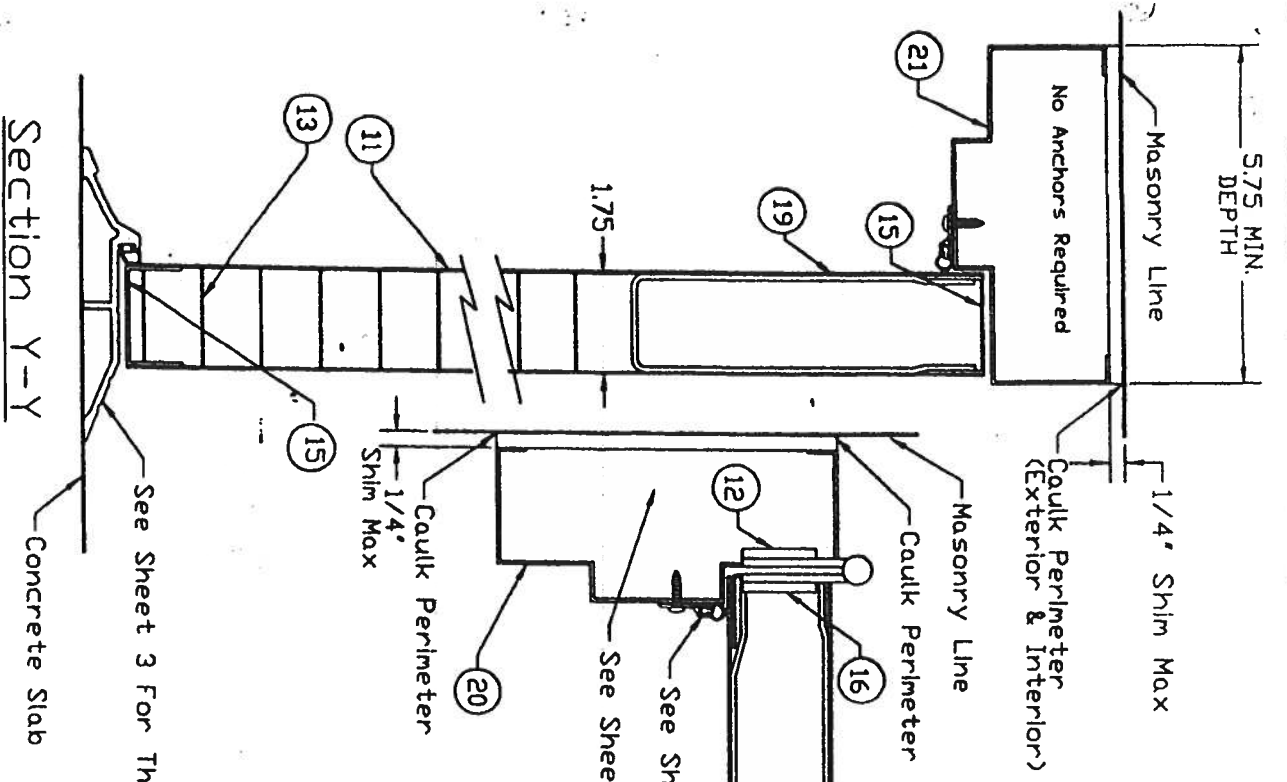
Milan, Tennessee 38358

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE 08/20/90
BY M. M. M. M.
PRODUCT CODE: DIV. 5.01
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 02-05N-03

PRODUCT REVIEWED
as complying with the Florida
Building Code
Acceptance No. 02-04N-01
Expiration Date 08/18/98
By M. M. M. M.
Miami Desk Product Control
Director

7/24/97	Revised Formet, Transferred
7/24/97	Information from NOK
7/24/97	Revised Sheet Number
ISSUE	REVISIONS
DRAWN BY: GWS	DATE: 6/06/97

DRAWING NUMBER:
RD00087
Sheet 4 of 7



Section X-X

Note: See Sheet 7 For Bill Of Material

See Sheet 3 For Threshold Options

Section Y-Y

MATERIAL SPECIFICATIONS:

Cross Section View
Regent Door

CECD DOOR PRODUCTS
Milan, Tennessee 38358

PRODUCT REVIEWED
as compliant with the Florida
Building Code
Acceptance No. 03-0411-01
Expiration Date 08/14/2008
By: *William J. King*
Special Product Testing Center
Director

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: *Sept 28, 2000*
BY: *William J. King*
PRODUCED BY: *William J. King*
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-0315-03

Revised Formed, Transferred
Information from NDA

7/25/97
Standard Sheet Number

ISSUE
DRAWN BY: CWS
DATE: 5/30/97

REVISIONS
DRAWING NUMBER:
RD00087

Sheet 5 of 7



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Ceco Door Products
9159 Telecom Drive
Milan, TN 38358

IN SWING

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: The Ceco Series Single Flush / Embossed Inswing Commercial Steel Doors -Impact

APPROVAL DOCUMENT: Drawing No RD0728, titled "3-0 x 7-0 , Series Regent, Omega, Imperial, Versa door", prepared by manufacturer, sheets 1 through 9 of 9 dated 05/22/02 and latest revised on 10-10-02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

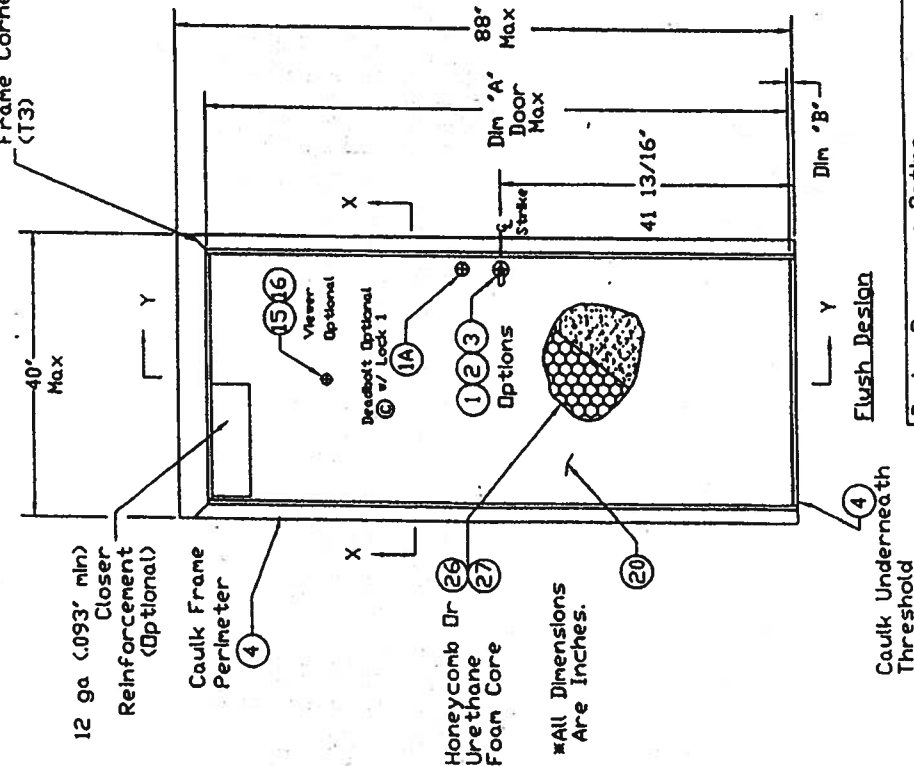
This NOA consists of this page 1 as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



NOA No 02-0807.04
Expiration Date: October 31, 2007
Approval Date: October 31, 2002
Page 1

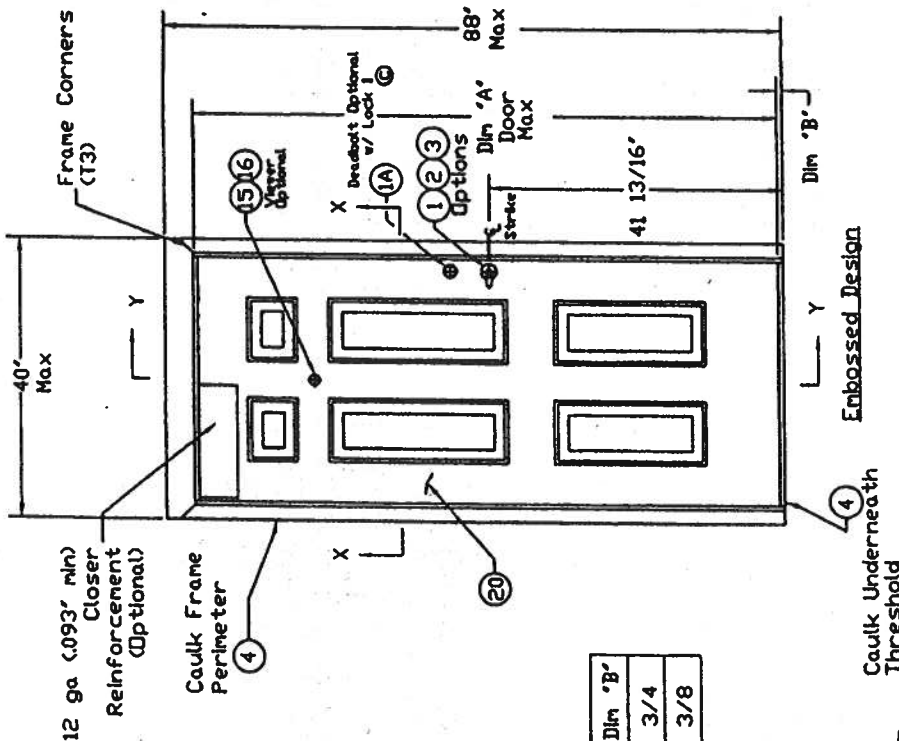
Frame Corners Welded (T3)



In-Swing Door (Exterior View)

	Dim 'A'	Dim 'B'
3/4" Undercut	83 1/8	3/4
3/8" Undercut	83 1/2	3/8

Approved as complying with the Florida Building Code, Chapter 6, Part 9, Section 907.2.2, 2002-NOAH 02-0807-02 Miami Dade Product Control Division By: [Signature]



Embossed Design

Caulk Underneath Threshold

Design Pressure Rating	
Where Water Infiltration Requirement Is Needed	Where Water Infiltration Requirement Is Not Needed
Positive	Not Approved
Negative	Not Approved

Notes:

- 1) In-swing Not Approved For Water Infiltration
- 2) This Door Does Not Need A Hurricane Protection System
- 3) Hinge Spacing Is 33" O.C., 13" From Top Of Frame & 9" From The Bottom.

Sheet 2	Frame Anchor Installation
Sheet 3	Threshold Installation
Sheet 3	Weatherstrip Installation
Sheet 4	Door Latch Reinforcement
Sheet 5-8	Cross Section View
Sheet 9	Bill Of Material

MATERIAL SPECIFICATIONS:

Finish: Rust Inhibitive Primer

3-0 x 7-0 Series

Regent, Omega, Imperial, & Versadoor In-Swing Elevation Drawing

CECO DOOR PRODUCTS

Milan, Tennessee 38358

ISSUE REVISIONS

DATE 5/22/02

LT

DRAWING NUMBER

RD0728

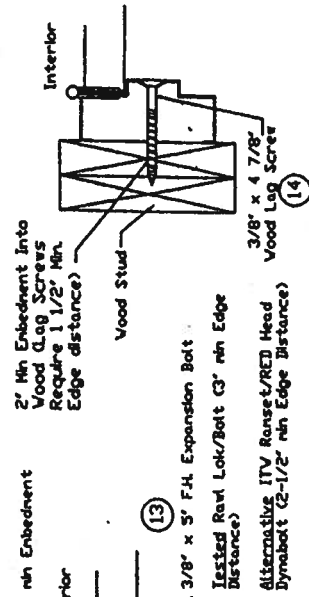
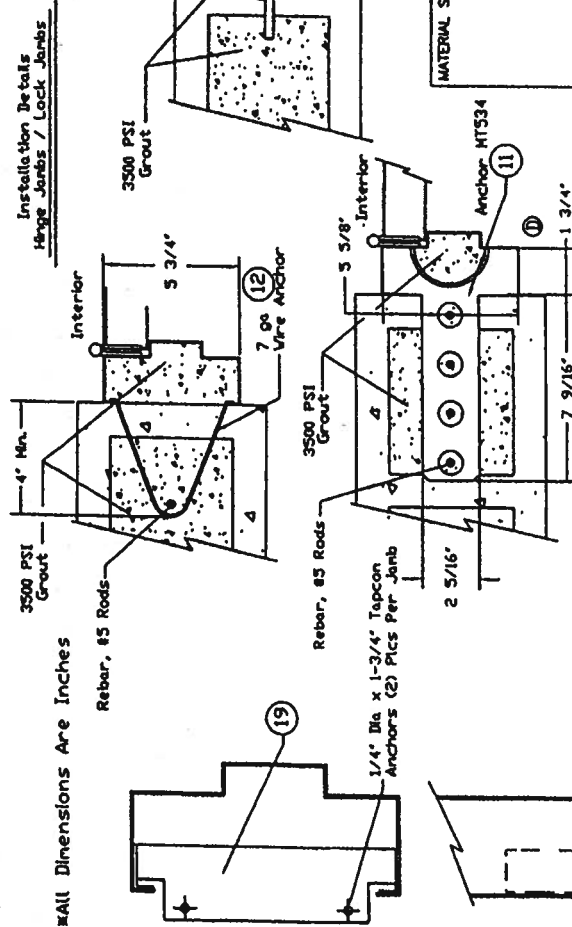
Sheet 1 of 9

Min. 3500 PSI

Min 3500 PSI

Min. 3500 PSI

ALL Dimensions Are Inches



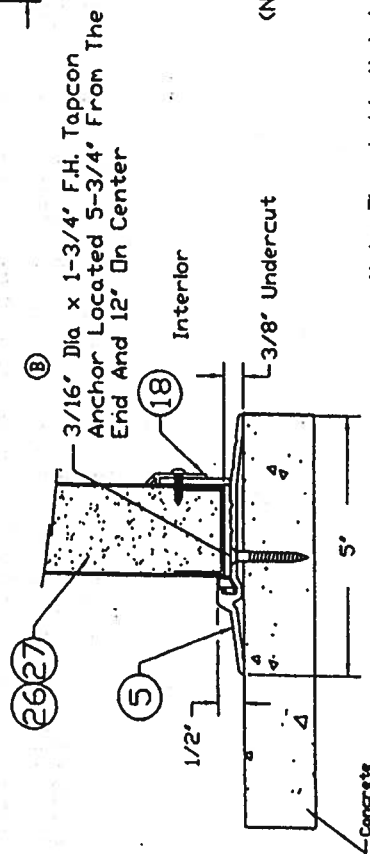
Approved as complying with the
Florida Building Code
Date OCT 31 2002
NONUM 02-0807-04
Miami Dade Product Control
Divide
By Shos J. Chaudh

A LT	Revised Per Marked -Up Drawings From Ishaq Chanda.
ISSUE	REVISIONS
DRAWN BY: LT	DATE: 5/22/02
DRAWING NUMBER: RD0728 Sheet 2 of 9	

Frame Anchor (Inswing Doors) Regent, Omega, Imperial & Versadoor Installation Details

CECO DOOR PRODUCTS
Milan, Tennessee 38358

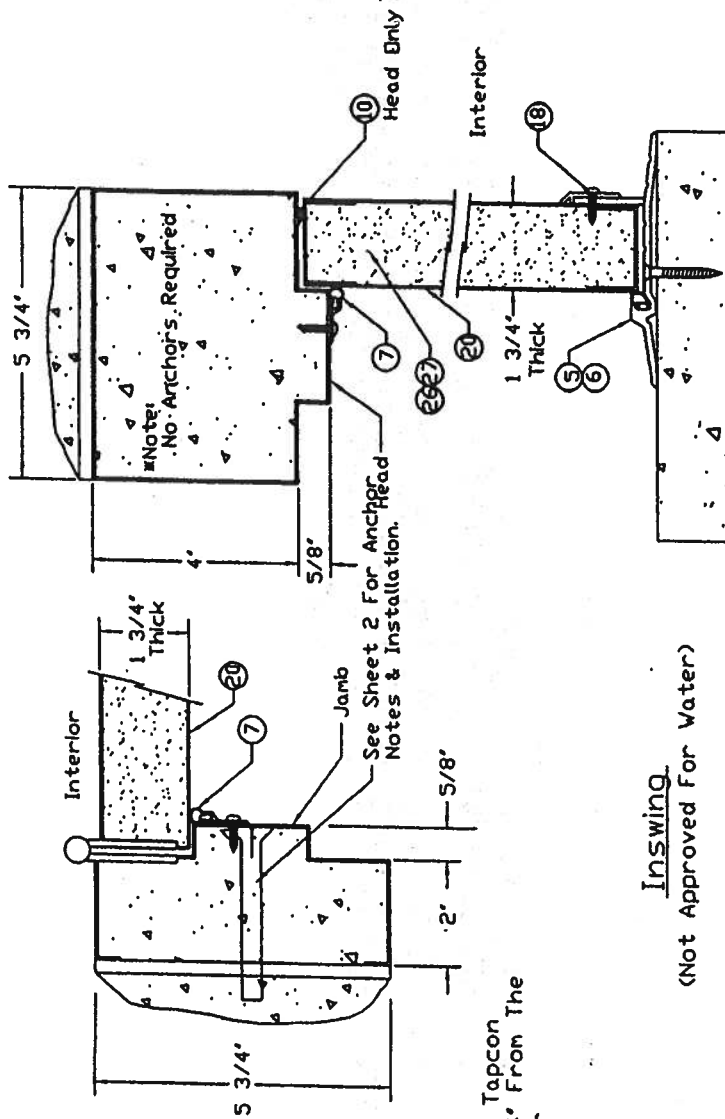
⚠Note: Structural Member At Header Must Be Designed To carry 58.3#/ft. load Imposed And Must Be Reviewed By Building Official.



Threshold: Pemko 2005AV

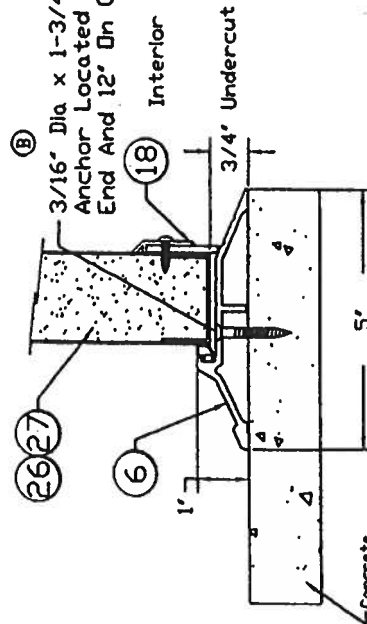
Note: Thresholds Not Approved For Water.

Inswing
(Not Approved For Water)



Section Y-Y

(B) 3/16" Dia x 1-3/4' F.H. Tapcon Anchor Located 5-3/4' From The End And 12" On Center



Threshold: Pemko 181AV

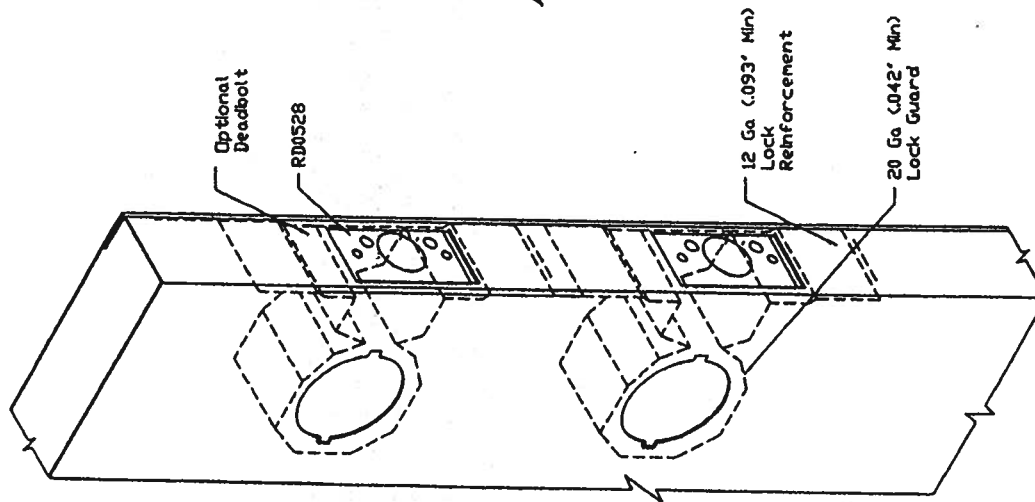
Threshold & Weatherstrip (Inswing Doors)
Regent, Omega, Imperial, Versadoor
Installation Details

CECO DOOR PRODUCTS
Milton, Tennessee 38358

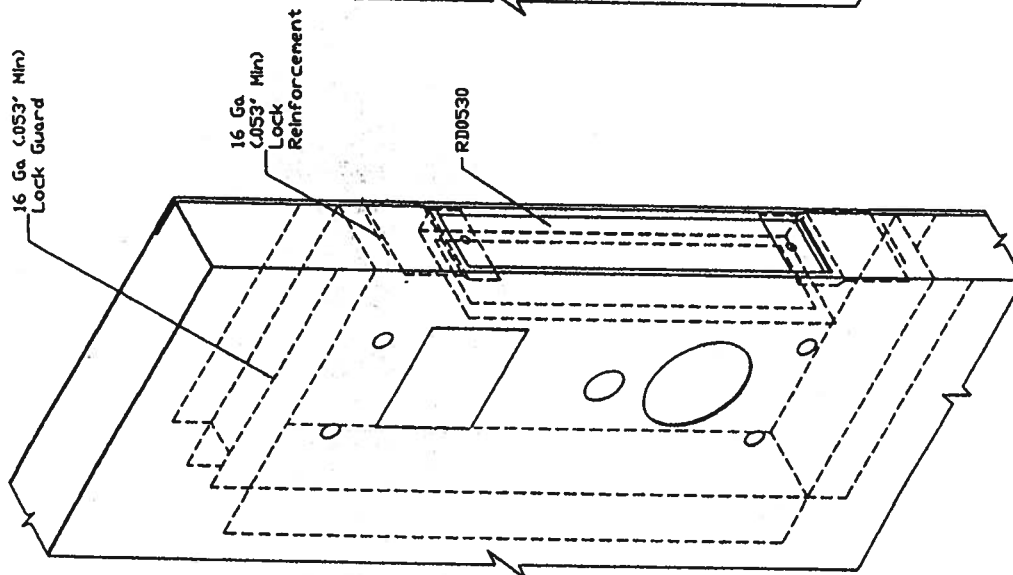
D	Revised Per Marked-Up Drawings From Istiaq Chanda
L	
C	Revised Per Marked-Up Drawings From Istiaq Chanda
L	
ISSUE	REVISIONS
DRAWN BY:	DATE:
LT	5/22/02

RD0728
Sheet 3 of 9

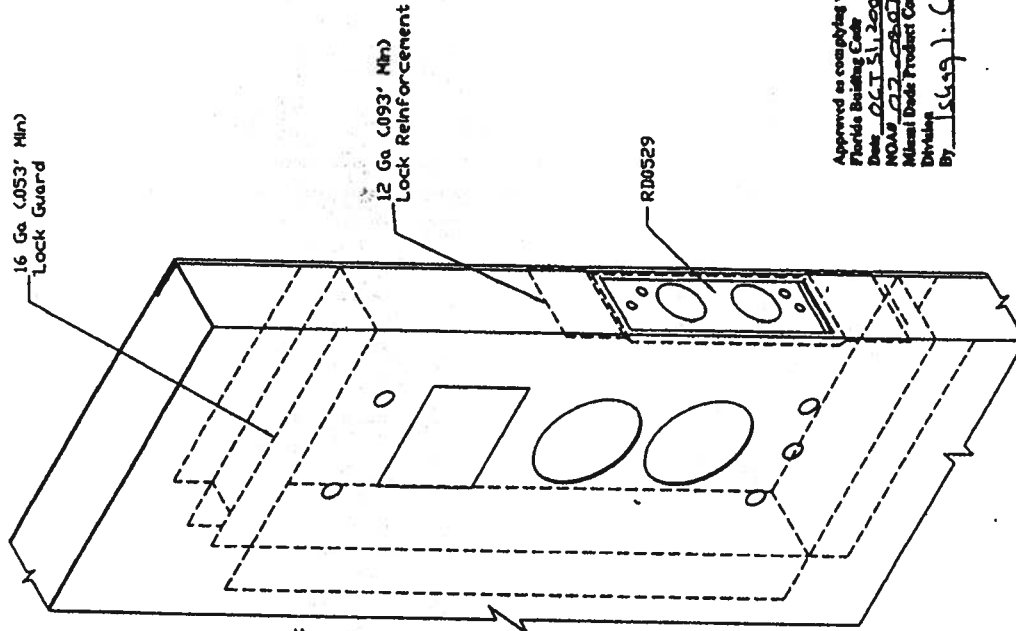
Approved as complying with the
Florida Building Code
Date OCT 31, 2002
NOAS 02-080704
Miami Desk Product Control
Division
By Glenn L. Lundy



Schlage AL53PD



Saflok MT



Saflok Premier SL2500

Approved as complying with the
Florida Building Code
Date: 01/11/2002
MOAW 023-02-07-01
Miami Dade Product Control
Division
By: (Signature) - (Signature)

A	Added RD0528, RD0529 & RD0530.	
	LT	ISSUE
REVISIONS		DATE
LT	DATE	5/28/02
DRAWING NUMBER		RD0728
Sheet 4 of 9		

MATERIAL SPECIFICATIONS:

Lock Reinforcement (Inswing Doors)
Regent, Omega, Imperial, Versadoor
Reinforcement Details

 **CECO DOOR PRODUCTS**
Milan, Tennessee 38358

Note 1: Top and Bottom Channel Tack Welded To Both Skins 3 Inches From Lock Edge And 6 Inches On Centers

Cross Section View
(Inswing Doors)
Regent Handed Doors

Section Y-Y

CECO DOOR PRODUCTS
Millan, Tennessee 38358

RD0728
Sheet 5 of 9

With
Approved as complying with the
Florida Building Code
Date 06/11/2002
NOM 02-0307-04
Miami Dade Product Council
Division
By 16751-11

[illegible]

Note 1: Top and Bottom Channel Tack Welded To Both Skins 3 Inches From Lock Edge And 6 Inches On Centers

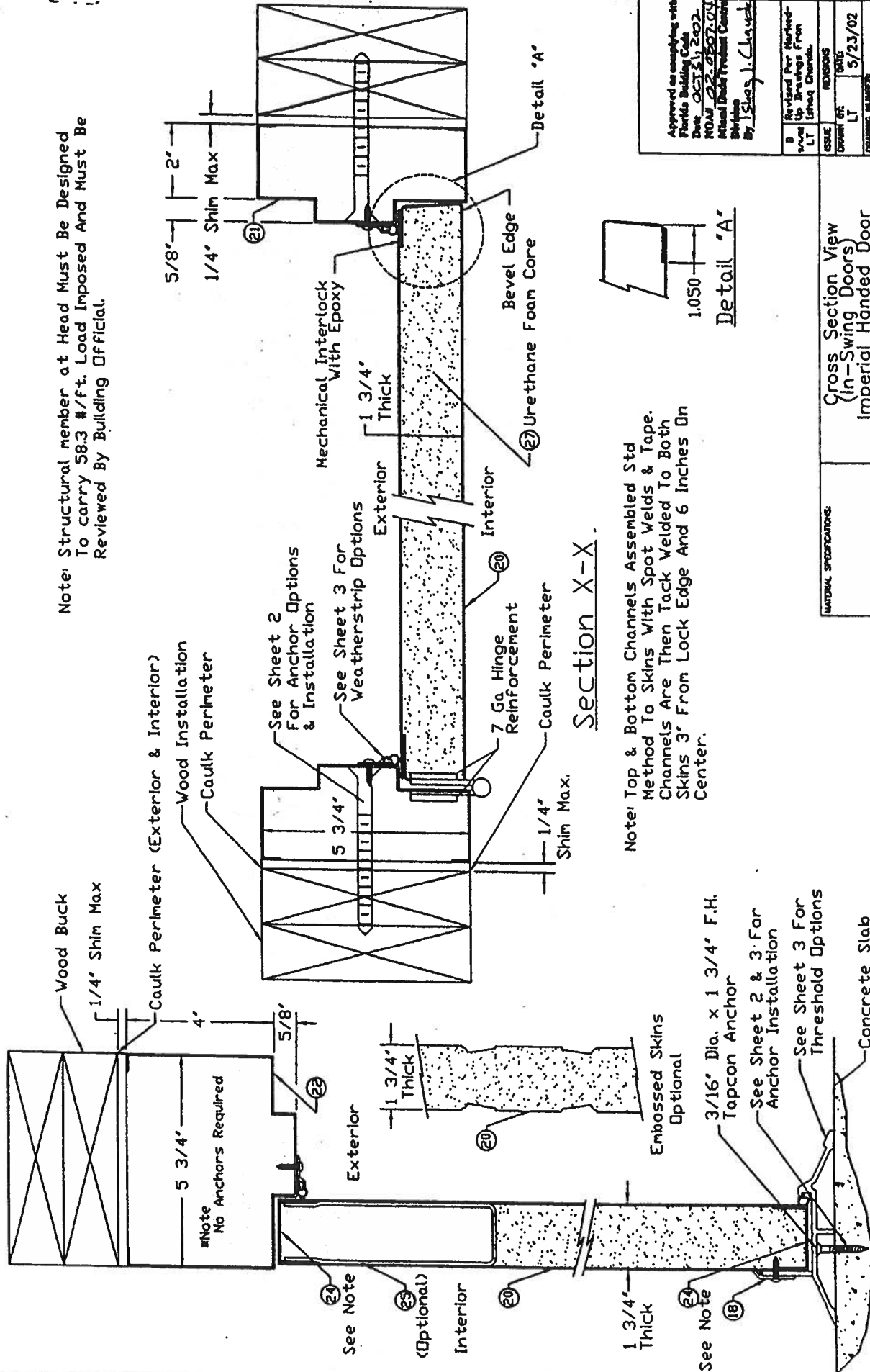
MATERIAL SPECIFICATIONS:

**Cross Section View
(In-Swing Doors)
Omega Handed Door**

CECO DOOR PRODUCTS
Klan, Tennessee 38358

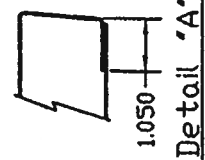
B	Revised Per Marked up Drawings From LT	Revised Per Marked up Drawings From LT	ISSUE	REVISIONS	DATE	5/23/02
DRAWING NUMBER:				RD0728		
				Sheet 6 of 9		

RD0728
Sheet 6 of 9



Note: Structural member at Head Must Be Designed To carry 58.3 #/ft. Load Imposed And Must Be Reviewed By Building Official.

Note: Top & Bottom Channels Assembled Std Method To Skins With Spot Welds & Tape. Channels Are Then Tack Welded To Both Skins 3" From Lock Edge And 6 Inches On Center.



Approved as existing with Florida Building Code	
Book	OCT 31 2002
NOAH	22-0307-001
Actual Date Product Change	
By J. Chavira	
8 Revised Per Manufacturer's Up Drawings From LT School Channels	
ISSUE	DATE
LT	5/23/02
Drawing Number	
RD0728	
Sheet 7 of 9	

GENERAL SPECIFICATIONS	
Cross Section View (In-Swing Doors) Imperial Handed Door	
CECO DOOR PRODUCTS	
Milan, Tennessee 38358	

Section Y-Y

Concrete Slab

See Sheet 3 For Threshold Options

See Sheet 2 & 3 For Anchor Installation

3/16" Dia. x 1 3/4" F.H. Tapcon Anchor

Optional Embossed Skins

1 3/4" Thick

See Note (24)

Interior (Optional)

See Note (23)

Exterior

1 3/4" Thick

See Note (22)

5 3/4"

Note: No Anchors Required

4"

5/8"

Wood Buck

1/4" Shim Max

Caulk Perimeter (Exterior & Interior)

See Sheet 2 For Anchor Options & Installation

See Sheet 3 For Weatherstrip Options

5 3/4"

Caulk Perimeter

Wood Installation

Section X-X

Note: Top & Bottom Channels Assembled Std Method To Skins With Spot Welds & Tape. Channels Are Then Tack Welded To Both Skins 3" From Lock Edge And 6 Inches On Center.

1 3/4" Thick

7 Ga Hinge Reinforcement

Caulk Perimeter

1/4" Shim Max.

See Sheet 3 For Weatherstrip Options

5 3/4"

Caulk Perimeter

Wood Installation

See Sheet 2 For Anchor Options & Installation

Mechanical Interlock With Epoxy

1 3/4" Thick

Bevel Edge Foam Core

Detail 'A'

1.050

Detail 'A'

5/8" 2'

1/4" Shim Max

Approved as complying with the Florida Building Code

Date: OCT 21, 2002

NOAH 02-2807-04

Michael B. B. Product Control

Division

By: 1669 J. (L. L. L.)

Revised Per Marked-up Drawings From L.T. 15th Aug. Channels.

ISSUE

REVISIONS

DATE

5/23/02

Cross Section View (In-Swing Doors)

Versadoor Handed Door

CECO DOOR PRODUCTS

Milan, Tennessee 38358

RD0728

Sheet 8 of 9

Note: Top & Bottom Channels Assembled Std Method To Skins With Spot Welds & Tape. Channels Are Then Tack Welded To Both Skins 3" From Lock Edge And 6 Inches On Center.

Section X-X

Detail 'A'

Cross Section View
(In-Swing Doors)
Versadoor Handed Door

Section Y-Y

Approved as complying with the Florida Building Code	
Date: OCT 6, 2002	
NOCAL 28-0007-04	
MCMC Draft Product Control	
Division	
By: E. King J. C. King	


REVISIONS	DATE
1 Revised Per Noted-up drawings from Issued Change.	5/23/02
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DRAWING NUMBER:
R00728
 Sheet 8 of 9

1	Cylindrical Lock & Lock Reinforcement (RD0528)	Schlage	AL53PD
1A	Deadbolt (Optional) ①	Schlage	B100
2	Dr Cylindrical Lock & Lock Reinforcement	Saflok	Premier SL2500
3	Dr Mortise Lock	Saflok	MT
4	Caulk	Dow Corning	899 Silicone Glazing Sealant
5	Threshold	Penko	2005AV36
6	Dr	Penko	181AV36
7	Weatherstrip	Penko	303AV3684
8	Hinge (Ball Bearing)	Hager or Equal (Attached w/ (8) #12-24 x 1/2 HS Per Hinge)	4-1/2 x 4-1/2 x .134 (Std Weight)
9	Dr (Spring)	Hager or Equal (Attached w/ (8) #12-24 x 1/2 HS Per Hinge)	4-1/2 x 4-1/2 x .134 (Std Weight)
10	Weatherstrip	Penko	S88
11	Frame Anchor	Masonry Tee (RD0057)	16 ga (.053' min) Galv Steel Fymin = 30ksi
12	Dr	Wire, Relaxed Dimension 9' x 8'	#7 (.167' min) Galv Steel Wire (70,000 - 90,000 psi Tensile Strength)
13	Dr	Expansion Bolt	3/8' x 5' F.H. Rawl Lok/Bolt
14	Dr	Wood Lag Screw	3/8' x 4-5/8'
15	Viewer	Hager	1755
16	Dr	MAG Security	8724-C
17	Drip Cap/ Top	Penko	346
18	Sweep	Penko	315 N
19	Floor Anchor	Fixed Floor Anchor	16 ga (.053' min) galvanized Steel
20	Face Sheet A60 Galv Conforming To ASTM A653	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	16 Ga (.053' min)
21	Series SF, Frame Jamb, Double Rabbit Profile, A60 Galv Conforming To ASTM A653	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	2' Face, 5-3/4' Depth Min. (RD0033)
22	Series SF, Frame Head, Double Rabbit, Profile A60 Galv Conforming To ASTM A653	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	4' Face, 5-3/4' Depth Min. (RD0033)
23	Door Channels; Spot Welded To Bottom Skin Glued To Top Skin; Tack Welded To Both	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	16 ga (.053' min) x 1' x 1-3/4' x 1'
24	Door Channels; Spot Welded To Bottom Skin Taped To Top Skin; Tack Welded To Both	Commercial Steel Type B (Minimum Yield Strength 30,000psi)	16 ga (.053' min) x 1' x 1-3/4' x 1'
25	Closer Reinforcement (Optional)	12 Ga (.093' min) CS Type B	12 ga (.093' min) x 5-3/8' x 16'
26	Honeycomb Core	Non-impregnated Kraft Paper (E)	1.2' Nominal Cell Size
27	Urethane Core	Foam Enterprises	2 lb/ft ³ Density

Approved as complying with the
Florida Building Code
Date Oct 31, 2002
NOAA 02-0802-00
Miami Dade Product Control
Division
By LS/eq J. Clark

B	Revised Per Marked- 10/10/02 Up Drawings From LT	Ismaq Chanda.
A	Revised Per Marked- 9/4/02 Up Drawings From LT	Ismaq Chanda.

MATERIAL SPECIFICATIONS:		3-0 x 7-0 Series	
		In-Swing Bill Of Materials	
		 CECO DOOR PRODUCTS Milan, Tennessee 38358	
ISSUE	REVISIONS	DRAWN BY: LT	DATE: 5/28/02
		DRAWING NUMBER: RD0728	
		Sheet 9 of 9	

**ANSI/AAMA/NWWDA 101/I.S.2-97
TEST REPORT**

Rendered to:

MI WINDOWS AND DOORS, INC.

SERIES/MODEL: 740

PRODUCT TYPE: Aluminum Fixed Window

Title	Summary of Results	
	Test Specimen #1	Test Specimen #2
Rating	F-R45 48 x 48	F-R45 48 x 48
Air Infiltration	0.01 cfm/ft ²	N/A
Water Resistance Test Pressure	6.75 psf	N/A
Uniform Load Deflection Test Pressure	±70.0 psf	±70.0 psf
Uniform Load Structural Test Pressure	±105.0 psf	±105.0 psf
Forced Entry Resistance	Grade 10	N/A

Reference should be made to Report No. 56186.01-122-47 for complete test specimen description and data.



ANSI/AAMA/NWDA 101/I.S.2-97 TEST REPORT

Rendered to:

MI WINDOWS AND DOORS, INC.

P.O. Box 370

Graz, Pennsylvania 17030-0370

Report No.: 56186.01-122-47
 Revision 1: 06/29/05
 Test Date: 02/22/05
 And: 02/23/05
 Report Date: 06/13/05
 Expiration Date: 02/23/09

Project Summary: Architectural Testing, Inc. (ATI) was contracted by MI Windows and Doors, Inc. to witness testing on two Series/Model 740, aluminum fixed windows at MI Windows and Doors, Inc. test facility in Elizabethtown, Pennsylvania. The samples tested successfully met the performance requirements for the following ratings: Test Specimen #1: F-R45 48 x 48; Test Specimen #2: F-R45 48 x 48. Test specimen description and results are reported herein.

Test Specification: The test specimens were evaluated in accordance with ANSI/AAMA/NWDA 101/I.S.2-97, *Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors.*

Test Specimen Description:

Series/Model: 740

Product Type: Aluminum Fixed Window

Test Specimen #1: F-R45 48 x 48

Overall Size: 4' 0" wide by 4' 0" high

Daylight Opening Size: 3' 9-1/8" wide by 3' 9-1/4" high

Test Specimen #2: F-R45 48 x 48

Overall Size: 4' 0" wide by 4' 0" high

Daylight Opening Size: 3' 9-1/8" wide by 3' 9-1/4" high

Test Specimen Description: (Continued)

The following descriptions apply to all specimens.

Finish: All aluminum was white.

Glazing Details: The windows utilized a single sheet of 1/4" thick, clear annealed glass. The lites were interior glazed onto a silicone bedding and secured with aluminum glazing beads. The glazing beads were secured utilizing #6 x 7/8" pan head self-tapping screws located 4" from corners and 10" on center.

Weatherstripping:

<u>Description</u>	<u>Quantity</u>	<u>Location</u>
0.170" high by 0.187" backed polypile with center fin	1 Row	Glazing beads

Frame Construction: The frame was constructed of extruded aluminum with coped, butted, and sealed corners secured with two (2) #6 x 5/8" pan head screws through the head and sill into the jamb screw bosses.

Reinforcement: No reinforcement was utilized.

Installation: The windows were installed into a #2 Spruce-Pine-Fir wood buck. Specimen #1 utilized a nail fin back bedded in silicone and secured with #6 x 1-5/8" drywall screws located 2" from corners and 12" on center. Specimen #2 was a flange unit and was secured to the buck with #6 x 1-5/8" drywall screws located 4" from corners and 18" on center through the jambs, head, and sill into the buck. Both units utilized silicone around the exterior perimeter.

Test Results:

The results are tabulated as follows:

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<u>Test Specimen #1: F-R45 48 x 48 (Fin)</u>			
2.1.2	Air Infiltration per ASTM E 283 1.57 psf (25 mph)	0.01 cfm/ft ²	0.30 cfm/ft ² max.

Note #1: The tested specimen meets (or exceeds) the performance levels specified in ANSI/AAMA/NWDA 101/I.S.2-97 for air infiltration.

2.1.3	Water Resistance per ASTM E 547 2.86 psf	No leakage	No leakage
2.1.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the jamb) (Loads were held for 52 seconds)		See Note #2
2.1.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the jamb) (Loads were held for 10 seconds)		See Note #2

Note #2: The client opted to start at a pressure higher than the minimum required. Those results are listed under "Optional Performance".

2.1.8	Forced Entry Resistance per ASTM F 588		
	Type: A	Grade: 10	
	Hand and Tool Manipulation Test	No entry	No entry

Optional Performance

4.3	Water Resistance per ASTM E 547 6.75 psf	No leakage	No leakage
-----	---------------------------------------------	------------	------------

Test Results: (Continued)

<u>Paragraph</u>	<u>Title of Test - Test Method</u>	<u>Results</u>	<u>Allowed</u>
<u>Test Specimen #1:</u> F-R45 48 x 48 (Fin) (Continued)			
4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the jamb) (Loads were held for 52 seconds)		
	70.0 psf (positive)	0.06"	See Note #3
	70.0 psf (negative)	0.07"	See Note #3

Note #3: The Uniform Load Deflection test is not a requirement of ANSI/AAMA/NWWDA 101/I.S.2-97 for this product designation. The deflection data is recorded in this report for special code compliance and information only.

4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the jamb) (Loads were held for 10 seconds)		
	105.0 psf (positive)	0.04"	0.18" max.
	105.0 psf (negative)	0.05"	0.18" max.

Test Specimen #2: F-R45 48 x48 (Flange)

Optional Performance

4.4.1	Uniform Load Deflection per ASTM E 330 (Deflections reported were taken on the jamb) (Loads were held for 52 seconds)		
	70.0 psf (positive)	0.05"	See Note #3
	70.0 psf (negative)	0.05"	See Note #3
4.4.2	Uniform Load Structural per ASTM E 330 (Permanent sets reported were taken on the jamb) (Loads were held for 10 seconds)		
	105.0 psf (positive)	0.04"	0.18" max.
	105.0 psf (negative)	0.05"	0.18" max.

Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years from the original test date. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product, which may only be granted by the certification program administrator. This report may not be reproduced, except in full, without approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC:

Mark A. Hess umax

Digitally Signed for: Mark A. Hess by Vicki L. McElwain

Mark A. Hess
Technician

MAH:cmd

St 2 2

Digitally Signed by: Steven M. Urich

Steven M. Urich, P.E.
Senior Project Engineer

Revision Log

<u>Rev. #</u>	<u>Date</u>	<u>Page(s)</u>	<u>Revision(s)</u>
0	06/13/05	N/A	Original report issue
1	06/29/05	Page 5 and Appendix A	Deleted reference to Appendix A and attached Drawings.

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Site Plan including:</u> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
<input type="checkbox"/>	<input type="checkbox"/>	<u>Wind-load Engineering Summary, calculations and any details required</u> Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, I_w , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m ²) to be used for the design of exterior component and cladding materials not speciffally designed by the registered design professional.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Elevations including:</u> a) All sides
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Roof pitch
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) Overhang dimensions and detail with attic ventilation

- ☒ ☐
- ☒ ☐
- ☒ ☐
- ☒ ☐

- d) Location, size and height above roof of chimneys.
- e) Location and size of skylights
- f) Building height
- e) Number of stories

Floor Plan including:

- ☐ ☐
- ☒ ☐
- ☒ ☐

- a) Rooms labeled and dimensioned.
- b) Shear walls identified.
- c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (see attach forms).
- d) Show safety glazing of glass, where required by code.
- e) Identify egress windows in bedrooms, and size.
- f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, (Please circle applicable type).
- g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.
- h) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- ☒ ☐
- ☒ ☐
- ☒ ☐
- ☒ ☐

- a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling
- d) Location of any vertical steel.

Roof System:

- ☐ ☐

- a) Truss package including:
 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
 2. Roof assembly (FBC 106.1.1.2)Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- b) Conventional Framing Layout including:
 1. Rafter size, species and spacing
 2. Attachment to wall and uplift
 3. Ridge beam sized and valley framing and support details
 4. Roof assembly (FBC 106.1.1.2)Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

- ☒ ☐

Wall Sections including:

- ☒ ☐

- a) Masonry wall
 1. All materials making up wall
 2. Block size and mortar type with size and spacing of reinforcement
 3. Lintel, tie-beam sizes and reinforcement
 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation shall be designed by a Windload engineer using the engineered roof truss plans.
 6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 7. Fire resistant construction (if required)
 8. Fireproofing requirements
 9. Shoe type of termite treatment (termiteicide or alternative method)
 10. Slab on grade
 - a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 11. Indicate where pressure treated wood will be placed
 12. Provide insulation R value for the following:

- a. Attic space
- b. Exterior wall cavity
- c. Crawl space (if applicable)

b) Wood frame wall

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiticide or alternative method)
11. Slab on grade
 - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

HVAC information

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

PRODUCT APPROVAL SPECIFICATION SHEET**Location:** _____**Project Name:** _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

Location

Permit # (FOR STAFF USE ONLY)



Columbia County 9-1-1 Addressing / GIS Department

P.O. Box 1787, Lake City, FL 32056

Telephone: (386) 758-1125 * Fax: (386) 758-1365 * E-mail: ron_croft@columbiacountyfla.com



9-1-1 Address Request Form

NOTE: ADDRESS ASSIGNMENT MAY REQUIRE UP TO 10 WORKING DAYS. IF THE ADDRESSING DEPARTMENT NEEDS TO CONDUCT ON SITE GPS LOCATION IDENTIFICATION, ADDITIONAL TIME MAY BE REQUIRED.

Date of Request: _____

Requester Last Name: _____

First Name: _____

Contact Telephone Number: _____

(Cell Phone Number if Provided): _____

Requested for Self: _____ or Requested for Company: _____
(check one)

If Address is Requested by a Company, Provide Name of Requesting Company:

Parcel Identification Number: _____ - _____ - _____ - _____

If in Subdivision, Provide Name Of Subdivision:

Phase or Unit Number (if any): _____ Block Number (if any): _____

Lot Number: _____

Attach Site Plan or you may use back of Request Form for Site Plan:

Requirements for Site Plan Are Listed on Back of Request Form:
(NOTE: Site Plan Does NOT have to be a survey or to scale; FURTHER a Environmental Health Dept. Site Plan showing only a 210 by 210 cutout of a property will NOT suffice for Addressing Requirements.)

Addressing / GIS Department Use Only:

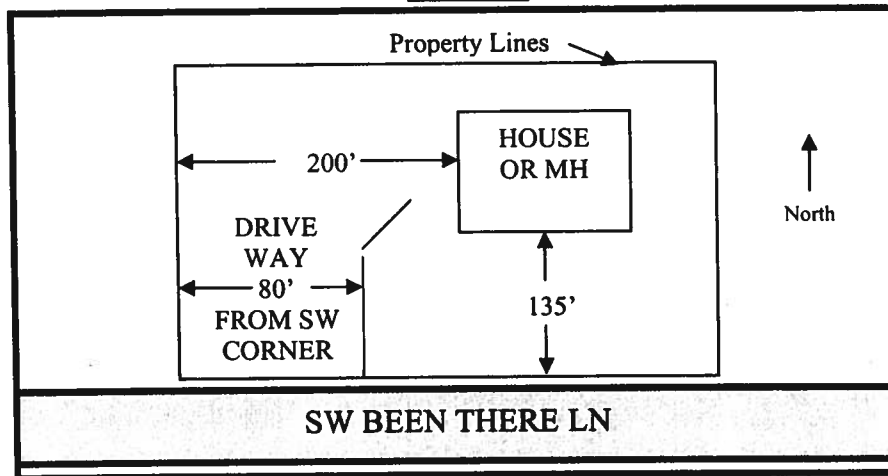
Date Received: _____

Date Assigned: _____

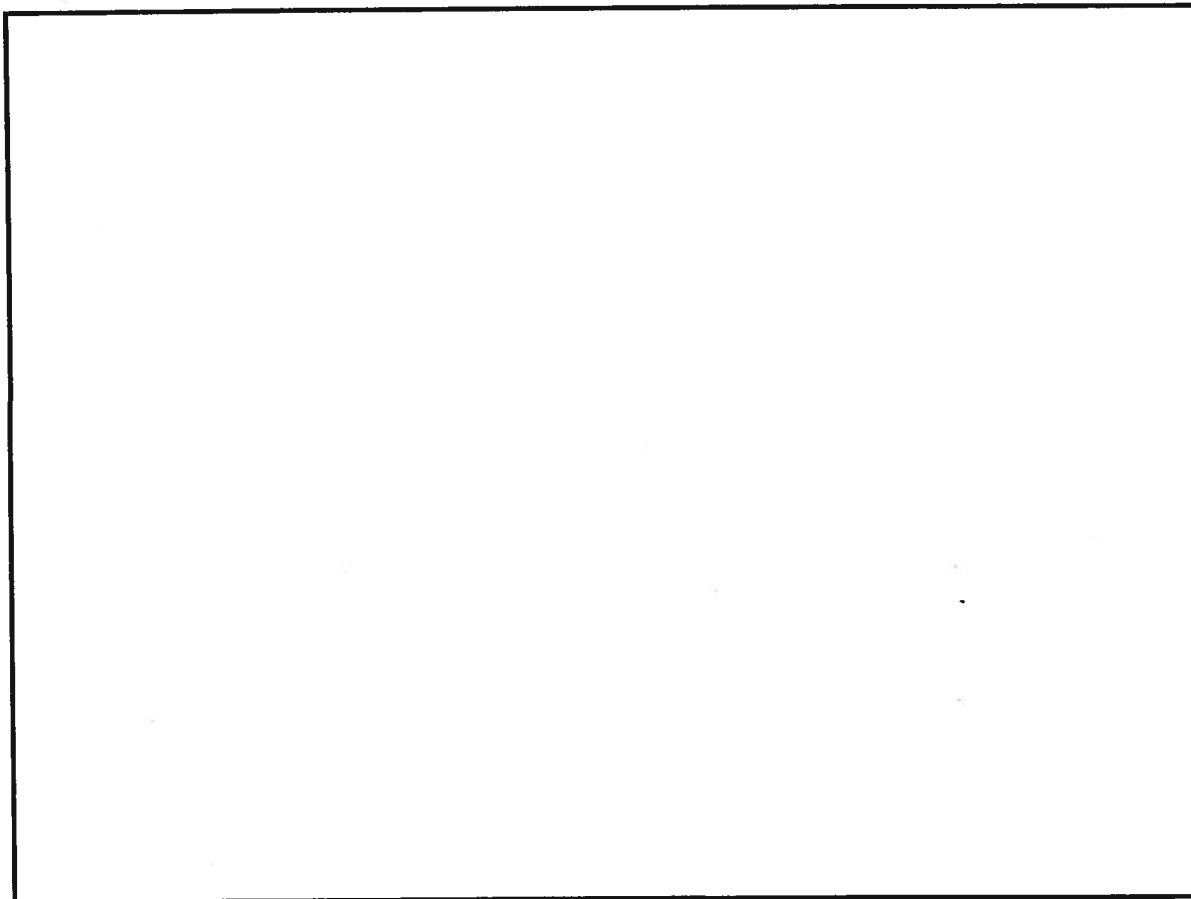
ID Number: _____

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



ABH ENGINEERING, PLLC
P.O. Box 763
Trenton, Fl. 32693
Certificate of Authorization Number: 26820
Blake Hunter, P.E.
P.E. Number: 51397

24714

Date: 7/27/06

Project Name: WILLIAM & CAROLYN HENEGAN
Dated: April 12, 2006
Building permit application number: 0606-79

To: Columbia County Building Department

Attention: Mr. Joe Haltiwanger, Plan Examiner

Per the request of the owner/contractor, the following change in the plans, for aesthetic reasons, is required:

1. Sht 4 of 5, rafter to beam detail, change Simpson H5 (rafter to beam), to two "OMG LOGHOG" Fasteners, with shank diameter of 0.228 inch, with 3 inch (complete threaded portion) embedment into the 6" x 8" beam or use two 1/4" lag bolts, with flat washers, with 3" embedment into the 6" x 8" beam. Pre-drill rafters.

Note: the structural integrity (i.e., uplift requirement) is maintained, with this change.

If you have questions or comments, please call me at 352-816-0846, or e-mail me at bhuntf7@aol.com.

Blake Hunter, P.E.

cc: Lamar Dupree, William Henegan

Blake Hunter
7/27/06

ABH ENGINEERING, PLLC
P.O. Box 763
Trenton, Fl. 32693
Certificate of Authorization Number: 26820
Blake Hunter, P.E.
P.E. Number: 51397

Date: 7/27/06

Project Name: WILLIAM & CAROLYN HENEGAN
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Note: the structural integrity (i.e., uplift requirement) is maintained, with this change.

If you have questions or comments, please call me at 352-816-0846, or e-mail me at bhuntf7@aol.com.

Blake Hunter, P.E.

cc: Lamar Dupree, William Henegan

Blake HT
7/27/06

COLUMBIA COUNTY OR OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 03-7S-16-04120-001

Building permit No. 000024714

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder JL DUPREE CONSTRUCTION

Waste: 0.00

Owner of Building WILLIAM & CAROLYN HENEGAN

Total: 0.00

Location: 203 SW SANDERS WAY, FT. WHITE, FL

Date: 10/10/2006

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



Notice of Intent for Preventative Treatment for Termites

(As required by Florida Building Code 104.2.6)

Date: _____

203 SW Sanders Way

(Address of Treatment or Lot/Block of Treatment)

Fort White

City

Florida Pest Control & Chemical Co.

www.flapest.com

Product to be used: Bora-Care Termiticide (Wood Treatment)

Chemical to be used: 23% Disodium Octaborate Tetrahydrate

Application will be performed onto structural wood at dried-in stage of construction. Bora-Care Termiticide application shall be applied according to EPA registered label directions as stated in the Florida Building Code Section 1861.1.8

(Information to be provided to local building code offices prior to concrete foundation installation.)