

DATE 02/13/2008

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction**PERMIT**  
**000026754**

APPLICANT DWAYNE HOLLOWAY PHONE 386-719-4851  
ADDRESS 15394 S HWY 441 LAKE CITY FL 32024  
OWNER SHILOH BAPTIST CHURCH PHONE 454-4978  
ADDRESS 173 SW SHILOH ST FT. WHITE FL 32038  
CONTRACTOR JOLLOWAY ROOFING CONTRACTORS PHONE 386-719-4851  
LOCATION OF PROPERTY 47S, TL ON 27, APPROXIMATELY 4 MILES ON RIGHT

TYPE DEVELOPMENT RE-ROOF ESTIMATED COST OF CONSTRUCTION 14000.00  
HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_  
FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_  
LAND USE & ZONING AG-3 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT \_\_\_\_\_ REAR \_\_\_\_\_ SIDE \_\_\_\_\_  
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 13-7S-16-04199-000 SUBDIVISION \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT 0 TOTAL ACRES \_\_\_\_\_

\_\_\_\_\_ CCC1327422 \_\_\_\_\_  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor \_\_\_\_\_  
EXISTING \_\_\_\_\_ X08-044 \_\_\_\_\_ LH \_\_\_\_\_ LH \_\_\_\_\_ N \_\_\_\_\_  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: RE-ROOF ON EXISTING CHURCH. NOC ON FILECheck # or Cash 1218**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
\_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 70.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ \_\_\_\_\_ FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 70.00  
INSPECTORS OFFICE LH CLERKS OFFICE msy

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# Columbia County Building Permit Application

**For Office Use Only** Application # 0802-18 Date Received 2/13/08 By LA Permit # 26754

Zoning Official \_\_\_\_\_ Date \_\_\_\_\_ Flood Zone \_\_\_\_\_ FEMA Map # \_\_\_\_\_ Zoning \_\_\_\_\_

Land Use \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_

☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Authorization from Contractor

☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. \_\_\_\_\_ Fax 386 755-4054

Name Authorized Person Signing Permit Dwayne Holloway Phone 386 719-4851

Address 15394 S. Hwy. 441 Lake City, Fla. 32024

Owners Name Shiloh Baptist Church Phone 386-454-4978

911 Address 173 S.W. Shiloh St. Fort White, Fla 32038

Contractors Name Holloway Roofing Contractors, Inc. Phone 386-719-4851

Address 15394 S. Hwy 441 LAKE CITY, Fla. 32024

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 13-75-16-04199-000 Estimated Cost of Construction \$14,000.00

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions SR. 27 south, 3 miles south of Ft. white on the west side of S.R. 27 (SANCUTARY HAS FOREST GREEN ROOF)

Number of Existing Dwellings on Property \_\_\_\_\_

Construction of RE-ROOF Classroom Bldg. Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_

Actual Distance of Structure from Property Lines - Front \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_

Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

J. Earl Tuttle, Sr.  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

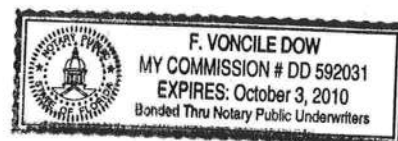
Dwayne Halloran  
Contractor's Signature (Permitee)

Contractor's License Number CCC 1327422  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13<sup>th</sup> day of Feb 2008.  
Personally known ☒ or Produced Identification \_\_\_\_\_

F. Vancile Dow  
State of Florida Notary Signature (For the Contractor)

SEAL:



@ CAM110M01 S CamaUSA Appraisal System Columbia County  
 2/13/2008 14:14 **Property Maintenance** 48100 Land 002  
 Year T Property Sel AG 000  
 2008 R 13-7S-16-04199-000 527687 Bldg 004 \*  
 Owner SHILOH BAPTIST CHURCH Conf 6665 Xfea 003 \*  
 Addr OF FT WHITE 582452 TOTAL B  
 173 SW SHILOH ST 4.610 Total Acres  
 City, St FT WHITE FL Zip 32038 Retain Cap? Renewal Notice  
 Country (PUD1) (PUD2) (PUD3) MKTA02

Appr By CP Date 6/29/2006 AppCode UseCd 007100 CHURCHES  
 TxDist Nbhd MktA ExCode Exemption/% TxCode Units Tp  
 003 13716.00 02 10 582452  
**DIST 3**  
 House# Street -- MD Dir #  
 Subd N/A City Condo .00 N/A  
 Sect 13 Twn 7S Rnge 16 Subd Blk Lot  
 Legals BEG WHERE N LINE OF GRD RD INTERS W LINE OF ACL RR, RUN  
 SW 600 FT, N 840.21 FT TO W R/W OF ACL RR, SE ALONG R/W +  
 Map# Mnt 8/10/2006 CHERYL  
**F1=Task F2=ExTx F3=Exit F4=Prompt F11=Docs F10=GoTo PgUp/PgDn F24=More**

J. DOYLE CREWS, C.F.A.  
 Columbia County Property Appraiser  
 135 NE Hernando Ave., Suite 238  
 Lake City, Florida 32055

**COLUMBIA COUNTY BUSINESS TAX RECEIPT**  
**RONNIE BRANNON, TAX COLLECTOR**

RECEIPT EXPIRES 09/30/2008

SEATS EMPLOYEES<sup>2</sup>

## ROOFING CONTRACTOR

SUPPLEMENTAL	
X RENEWAL	18.00
NEW RECEIPT	
TRANSFER	
BACK TAXES	18.00
PENALTY	4.50
TOTAL	40.50

PENALTY  
TOTAL

Wagner / Wagner  
SIGN AND RETURN WITH PAYMENT

I SWEAR THAT THIS APPLICATION FOR RECEIPT IS MADE FOR THE BUSINESS OR PROFESSION INDICATED HEREON AND IS TRUE AND CORRECT.

THE APPLICATION MUST COMPLY WITH STATE AND LOCAL ORDINANCE INCLUDING

AC# 3274654

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

The BUSINESS ORGANIZATION  
Named below IS QUALIFIED  
Under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2009  
(THIS IS NOT A LICENSE TO PERFORM WORK. THIS ALLOWS  
COMPANY TO DO BUSINESS ONLY IF IT HAS A QUALIFIER.)

FL 32024

**DISPLAY AS REQUIRED BY LAW**

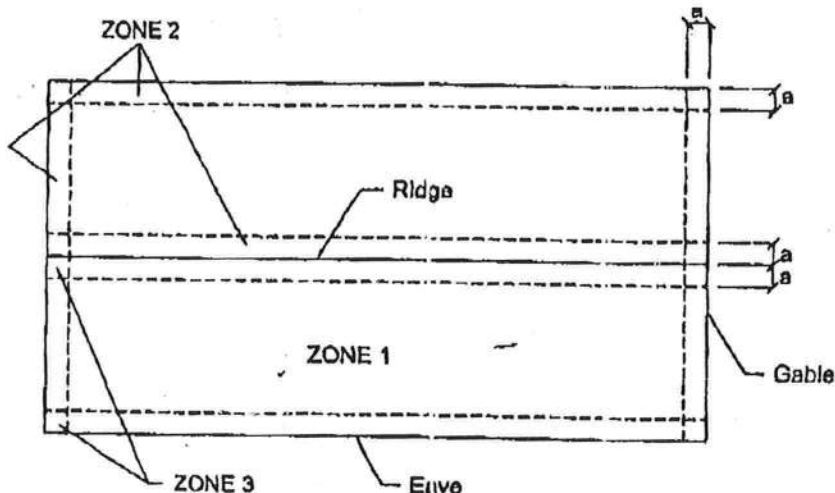
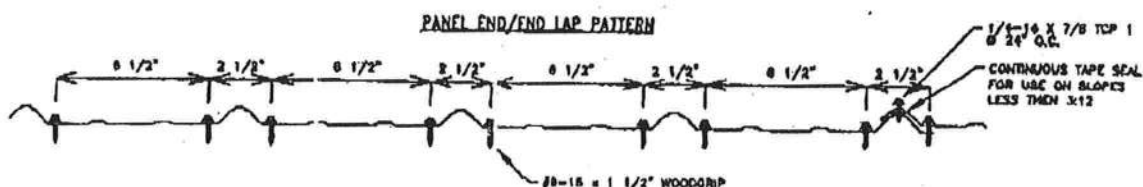
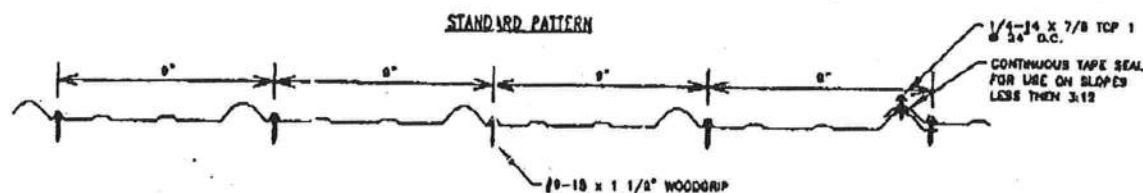
**HOLLY BENSON  
SECRETARY**

# TUFF-RIB 26 GA. LOAD TABLE OVER 1x4 WOOD PURLINS

## GULF COAST

Buildings having a Roof Mean Height  $\leq 20'-0"$ ; Roof Slope:  $2"/12" - 12"/12"$   
Wind Speeds 110-140 mph, Exp C, I = 1.0, based on FLORIDA BUILDING CODE 2004

TUFF-RIB 26 GA. FASTENER SPACING						
ZONE	FASTENER	SUBSTRATE	WIND SPEED ZONE			
			110	120	130	140
			ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING	ON CENTER SPACING
ZONE 1	#9-16 x 1-1/2"	1x4 WOOD PURLINS	24"	24"	24"	24"
ZONE 2	#9-16 x 1-1/2"	1x4 WOOD PURLINS	24"	24"	24"	12"
ZONE 3	#9-15 x 1-1/2"	1x4 WOOD PURLINS	24"	12"	12"	12"



FL#7073.3

Note: Dimension (a) is defined as 10% of the minimum width of the building or 40% of the mean height of the roof, whichever is smaller, however, (a) cannot be less than either 4% of the minimum width of the building or 3 feet.

JUN 28 2005

# NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 13-75-16-04199-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):

a) Street (job) Address: 173 SW SHILOH STREET, FORT WHITE, FL 32038

2. General description of improvements: RE-ROOF EDUCATION BLDG, ROOF STORAGE BLDG, INSTALL 22' LONG 5' WIDE CANOPY, INSTALL DOOR TO STORAGE BLDG.

3. Owner Information

a) Name and address: Shiloh Baptist Church

b) Name and address of fee simple titleholder (if other than owner) Same as above

c) Interest in property Owner

4. Contractor Information

a) Name and address: Holloway Roofing Contractors, Inc. 15394 S. Hwy 441 Lake City, FL

b) Telephone No.: 336-719-4351

Fax No. (Opt.)

336-755-4584

32-02A

5. Surety Information

a) Name and address: N/A

b) Amount of Bond:

c) Telephone No.:

6. Lender

a) Name and address: N/A

b) Phone No.

Inst: 200812002886 Date: 2/13/2008 Time: 1:30 PM

DC, P. DeWitt Cason, Columbia County Page 1 of 1

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address:

b) Telephone No.:

Fax No. (Opt.)

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:

a) Name and address: N/A

b) Telephone No.:

Fax No. (Opt.)

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10.

Ted W. Stormant

Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Ted W. Stormant

Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 10 day of February, 20 08, by:

Ted W. Stormant as Officer

fact) for Shiloh Baptist Church, Inc.

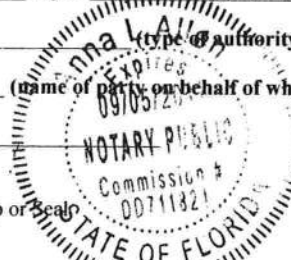
(name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification ☐ Type

Notary Signature

[Signature]

Notary Stamp or Seal



---AND---

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief

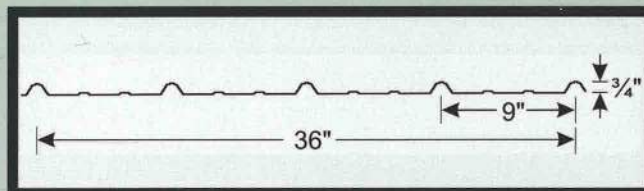
Ted W. Stormant

Signature of Natural Person Signing (in line #10 above.)



**Gulf Coast  
Supply & Mfg. Inc.**

# TUFF-RIB ROOFING PANEL AND SIDING



## **Features:**

**Colors:** 20+ Colors Available  
Color Chart Available Upon  
Request. Also Available in Mill  
Finished Galvalume.

**Coverage:** 36" Net Coverage

**Gauge:** 29 Gauge, 26 Gauge &  
24 Gauge Steel

**Substrate:** AZ-50 Galvalume (Painted)  
AZ-55 Galvalume (Mill Finish)

**Warranty:** Upwards of 25-years

**Testing:** UL580/UL1897 – Uplift Test  
Florida State Approval

**Minimum slope:** 2:12

**Substructure:** 15/32" CDX or #2 1x4  
Yellow Pine (minimum)

**Installation:** Detail Manual / Installation  
Guide – Available Upon Request

*Colors are representative of colors offered and are not intended for matching purposes.*

Patin  
Green

Moch  
Tan

Marin  
Green

Pure  
White

Polar  
White

Ivory

Ligh  
Stone

Evergre

Fores  
Green

Hawaii  
Blue

Galler  
Blue

Barn R

Patric  
Red

Burgun

Coco  
Brown

Ligh  
Gray

Clay

Charco

Small  
Copp

Bronz



Gulf Coast  
Supply & Mfg. Inc.

# TUFF-RIB ROOFING PANEL AND SIDING

State of Florida  
Approved



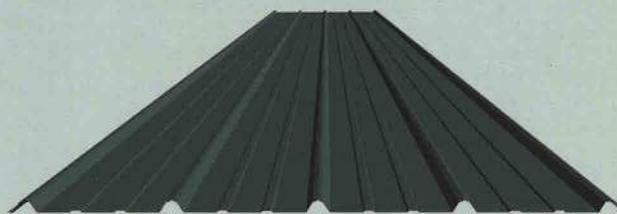
Residence ~ Horseshoe Beach, Florida



Best Western ~ Chiefland, Florida



Condominiums ~ Horseshoe Beach, Florida



Tuff-Rib roofing/siding panels are the most versatile of the Gulf Coast family of panel profiles. Tuff-Rib's durability, combined with its ease of installation make it a perfect choice for many applications, including Residential, Commercial and Agricultural. Tuff-Rib also makes a long lasting, low-maintenance siding panel. Gulf Coast Supply stocks Tuff-Rib in over 20 different colors, and in 3 different gauges, providing the perfect match for most projects. When installed according to manufacturers specifications, the Tuff-Rib system has weathered some of nature's fiercest hurricanes, while protecting some of the finest structures from wind, rain, hail and snow. Ask a Gulf Coast representative for more information on Tuff-Rib.

Colors are representative of colors offered and are not intended for matching purposes.

Patina  
Green

Mocha  
Tan

Marine  
Green

Pure  
White

Polar  
White

Ivory

Light  
Stone

Evergreen

Forest  
Green

Hawaiian  
Blue

Gallery  
Blue

Barn Red

Patriot  
Red

Burgundy

Cocoa  
Brown

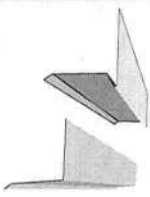
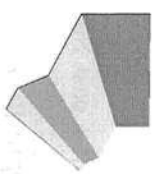
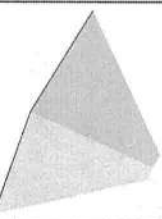





Light  
Gray

Clay

Charcoal

Metallic  
Copper

Bronze

					
Ridge caps (pg. 9)	Eave drip (pg. 8)	Valleys (pg. 12)	Gable rakes (pg. 11)	Sidewalls (pg. 11)	Endwalls (pg. 10)
					
Transition & gable end flashings (pg. 10)	Corner trims (pg. 13)	Door & window trims (pg. 14)	Base drip (pg. 14)	Pipe Boot (pg. 9)	Electrical Boot
					
Inside Closures	Versa-Vent®	Profile Vent®	Expanding Foam	Peel and Seal®	Touch-up Paint
					
Butyl Tape	Solar Seal®	Foil-backed thermal barrier insulation	Woodgrip® Screws	TEK screws	ZAC® screws

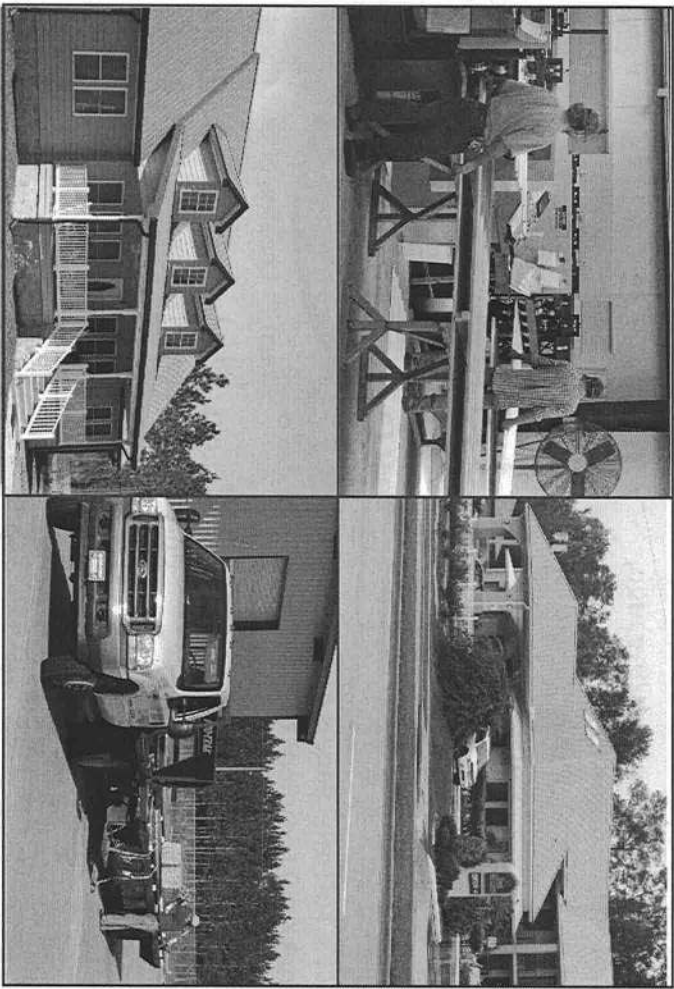
**Guide to Misc. Accessories**

<i>item</i>	<i>application</i>
pipe boot	Fits over vent and heat pipes. Available also in <i>heat-resistant</i> boots.
electrical boot	Fits around pipes with inaccessible tops (such as weatherheads).
outside closures	Required to seal under ridge caps and endwall flashings.
inside closures	Seals under panels, particularly on the eave.
Profile Vent®, Versa-Vent®	Vented closure material surpassing many other venting systems.
expanding foam	Compressed adhesive foam expands to seal between valleys and panels.
Peel and Seal®	Seals hips under hip caps. Also, a general purpose sealing tape (6" wide).
touch-up paint	Hides scratches and marks encountered in installation. Over 20 colors.
butyl tape	General purpose low-cost sealant, used on panel laps and under trim.
Solar Seal®	A superior general purpose caulk for all joints. Matches panel colors.
Low profile insulation	Greatly reduces radiant heat when installed under panels.
Woodgrip® screws	Used in all applications attaching metal to wood. 1", 1½", 2½" sizes.
TEK screws	Self-drilling TEK screws for metal purlins. Lap TEK screws draw together joints and attach trim.
Ulti-Mate® screws	"Lifetime" screws; 1½", 2½", threaded for wood; self-drilling available.

(352) 498-0778 • **Toll Free (888) 393-0335** • FAX (352) 498-7852

# DETAIL MANUAL

and guide to Gulf Coast products



## Tuff-Rib Roofing and Siding Panels & Accessories

4020 Sw 449th St • Horseshoe Beach, FL 32648  
(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852

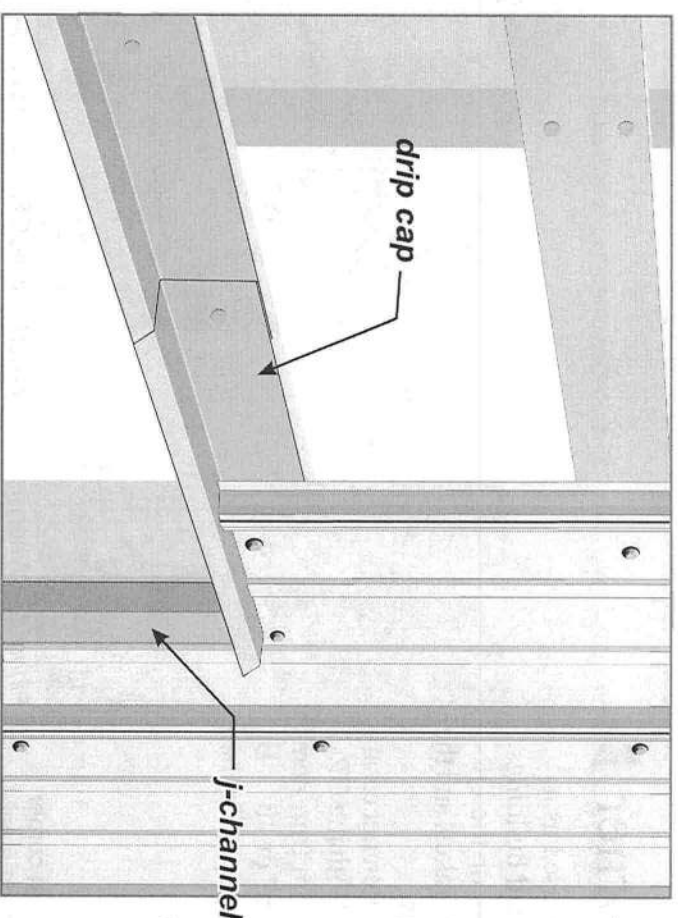


Figure 19 The drip cap is commonly used to trim out the bottoms of panels over doorways and windows, and occasionally takes the place of base drip. J-channel is used to cap raw panel edges where run-off is not a problem, and is most commonly used to trim around the bottom, sides, and occasionally the top of windows and doors, and also to cap the top sides of skirting.

## ► Drip Cap and J-Channel

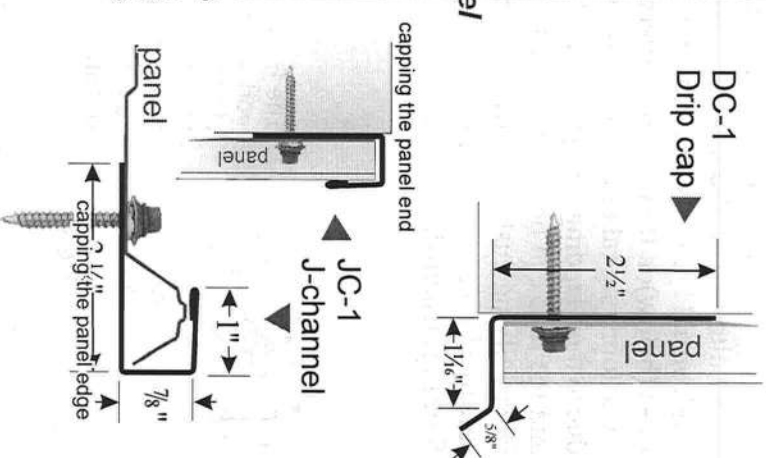
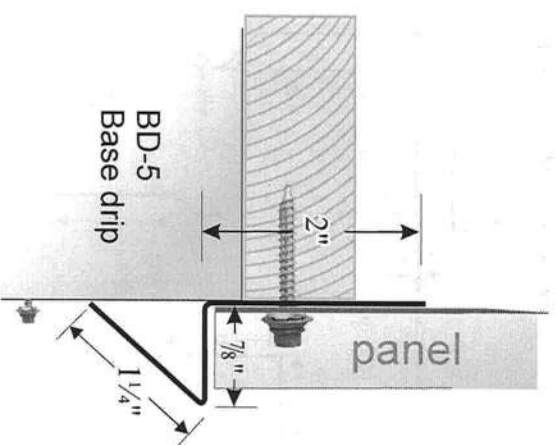


Figure 20 Base drip seals off the bottoms of panels at the floor level, where it helps to prevent the entrance of rodents and insects, as well as a base for the setting of panels.

## Base Drip



Gulf Coast roofing panels require a certain degree of pitch to ensure proper water drainage. **Florida Building Code allows a minimum pitch of 2/12 for Tuft-rib® panels as long as lap screws and sealant are applied to the laps** to prevent water from siphoning over the ribs (See Fig. 5 on p. 4). Lap screws and sealant are optional when the pitch is 4/12 or greater (4/12 pitch means that there is 4 inches of rise for every 12 inches running horizontally). As a general principle, the less steep the roof, and the more necessary also that sealant be used at all side-laps. Consult our representative for recommendations for your particular roof pitch, and about roofing options if you have less than a 2/12 pitch.

## Installation of Panels

### Roof Pitch

### Roof Application

Panel installation should begin at the gable end of the roof opposite the prevailing rain-bearing wind (this will provide added assurance against wind-driven rain being forced under the laps). Measure one panel width in from the roof edge. At this point chalk a line from ridge to eave. Place the leading edge of the first panel along this line. It is extremely important that this panel be laid square to the eave and ridge so that the remaining panels will line up square on the roof frame. It is wise to have a person at the eave and at the ridge to ensure that the proper panel coverage is being maintained across the roof. Also be sure that the panels are properly side-lapped (see fig. 7 on page 7).

In applications where end-lapping is necessary, the upper panel on the slope should lap over the panel that is lower on the slope by about 12 inches. Lesser roof pitches require a greater amount of panel overlap. All end-lap applications should use two horizontal rows of butyl sealant tape across the panel and proper fastening to provide a maximum water seal.

An overhang of 2 to 3 inches on the eave is recommended to provide a drip edge, while only 1 inch overhang is necessary where gutters are used. The open panel ribs at the eave can be sealed with inside closures. For maximum weather-tightness, a row of butyl tape can be applied above and beneath closure material.

### Trimming and Cutting Steel Panels

The best device for cutting steel panels *across the profile* is either hand snips or a nibbler. Nibblers, and especially Carborundum blades on electric saws, however, do have a tendency to either leave hot metal particles that can burn paint surfaces or to leave rust marks on panels and trim. The same is true of any filings left on the roof caused by the application of screws. Care should be taken to brush all such particles from roof surfaces after application.

To *cut panels lengthwise*: Note carefully where the panel is to be cut, and, using a straightedge, score deeply down the length of the panel with a sharp-pointed utility knife. Folding the panel along the score mark, and bending back again if necessary, should produce a clean break in the panel.

**CAUTION! clean all metal shavings and particles off of roof to avoid unsightly rust stains**

## Preformed Valley

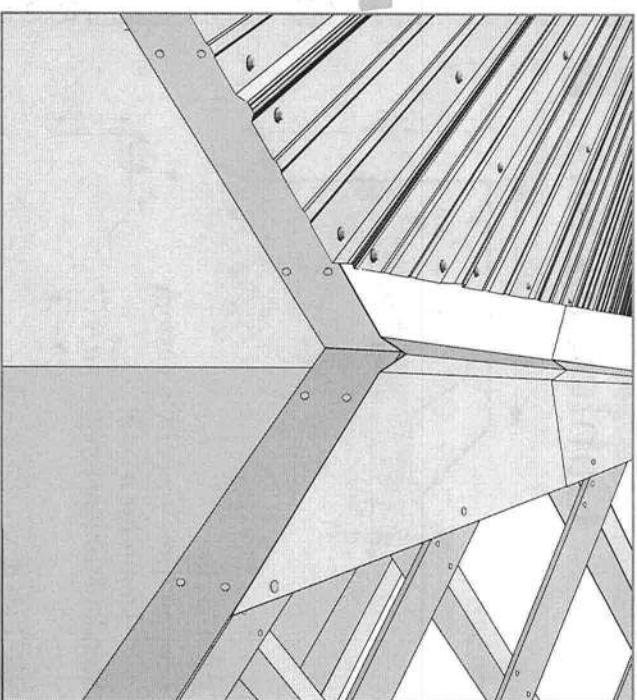
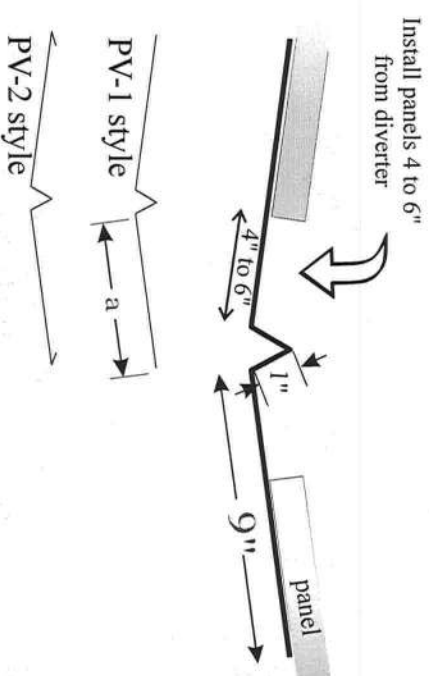


Figure 15 Pre-formed valleys use a diverter to prevent water from rushing under panels on the opposite side, while meanwhile channeling water off the roof. Expanding foam closures are often used to assure a good seal.

Two basic styles of valley are available.  
For custom valleys, specify dimension "a"

## Gulf Coast Tuff-Rib® Siding

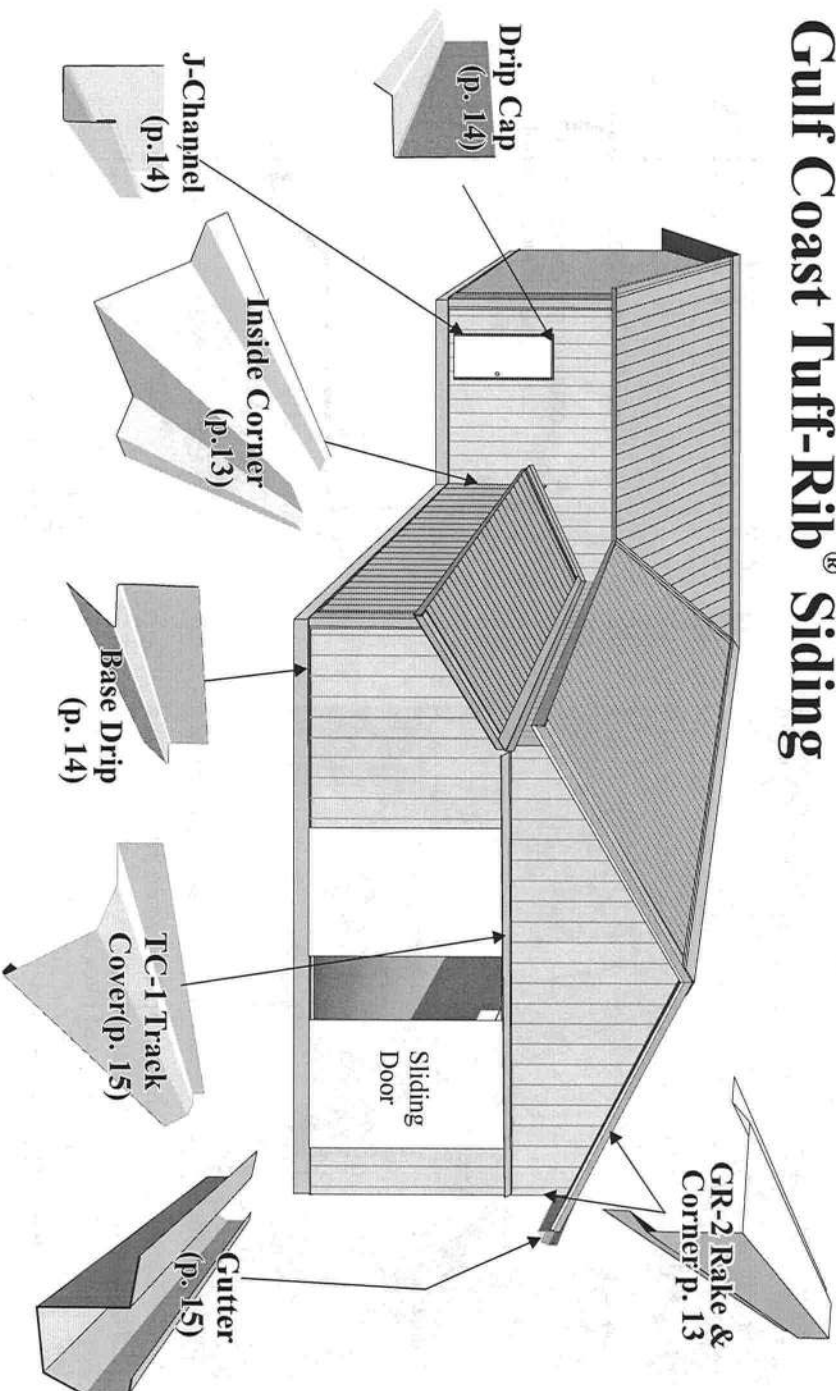


Figure 16 Common trims associated with Tuff-rib roofing panels

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## Ordering Roof Panels and Screws

Care should be taken to order panels of the correct length to avoid having to make corrective measures after purchase. Panel lengths should fall 2 to 3 inches short of the ridge *when a vented ridge is desired*, and should extend 2 to 3 inches past the eave to allow a sufficient drip edge (except as noted on pg. 3 concerning gutters). When a roof transition is involved, panels of the upper portion should be ordered short to allow placement of the transition flashing (see diagram on p. 10). The Gulf Coast sales personnel are ready to assist customers with information specific to their particular roof.

Specially-washed screws applied through the flat of the metal is the most recommended method used to attach roofing panels. 1-inch screws can be used if penetration of only ¾ inch is either necessary or desired; otherwise, 1½ inch screws are usually recommended. 2½ inch screws are also available, and are often used by those who adhere to through-the-rib fastening, and for ridge-cap application. See pages 6 and 7 for more information on screw spacing and ordering.

## Ordering and Applying Trim

The most common flashing for metal roofing is the *ridge cap*, which is used at the peak of a roof where two opposing roof slopes join. Other flashings include *transition flashing*, *end wall* and *sidewall flashings*, and *valleys* (see diagram on right for application). Eave trims include *gable flashing* and *eave drip*, either of which are often applied above *fascia* trim. When roof pitch exceeds 5/12 (a 5 inch rise in 12 inches), the slope of the roof should be mentioned when ordering ridge caps, endwalls, and eave drip. When a steeper roof slope meets a lesser slope, both slopes should be mentioned when ordering transition flashing.

At the gable edge the use of gable trim adds to the appearance of the structure and protects the fly-rafter, and sidewall flashing is used where the *side* of a panel butts up against an adjacent wall. In either case, the installer should be careful to seal between the gable rake or sidewall and panel with butyl sealant tape, and to fasten the rake every 6" to 12" up the slope of the roof with the appropriate screws. If eave drip is used on the gable, the number of 90 degree eave drip should be specified separately from that used on the drip edge when ordering.

To prevent penetration of water, insects, and debris at the ridge, outside closures should be inserted between the ridge cap and the top end of the panel. Screws are applied through the ridge cap, closure, and rib in at least every other rib of the panels. At least a 1½" (or preferably 2½") screw should be used for attaching ridge caps. Self-drilling lap screws can also be used to attach ridge caps.

## Keep Materials Dry!

Paint and finishes of Gulf Coast panels and trim are designed to withstand severe rain and wet weather conditions. Neither paint, galvanized, or Galvalume finishes, however, are designed to be in continuous contact with water for long periods of time. ***Damage will result if uninstalled panels or trim are allowed to remain wet in storage.*** Be sure to store material that will not be installed immediately in a dry location. Wet material should be air-dried and re-stacked if installation is not planned right away.

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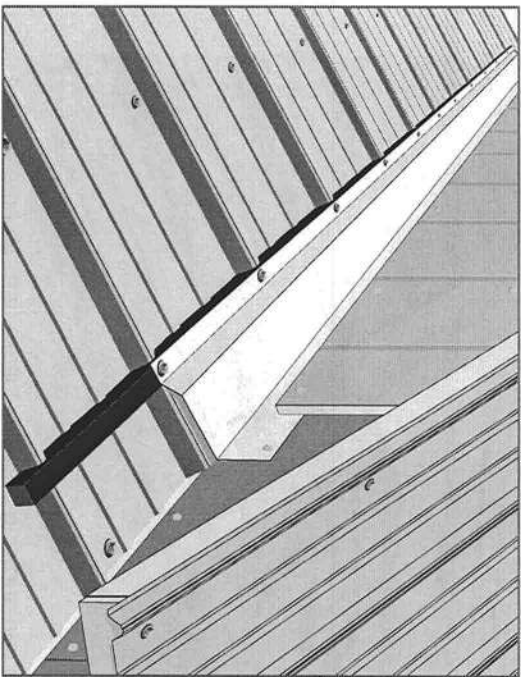
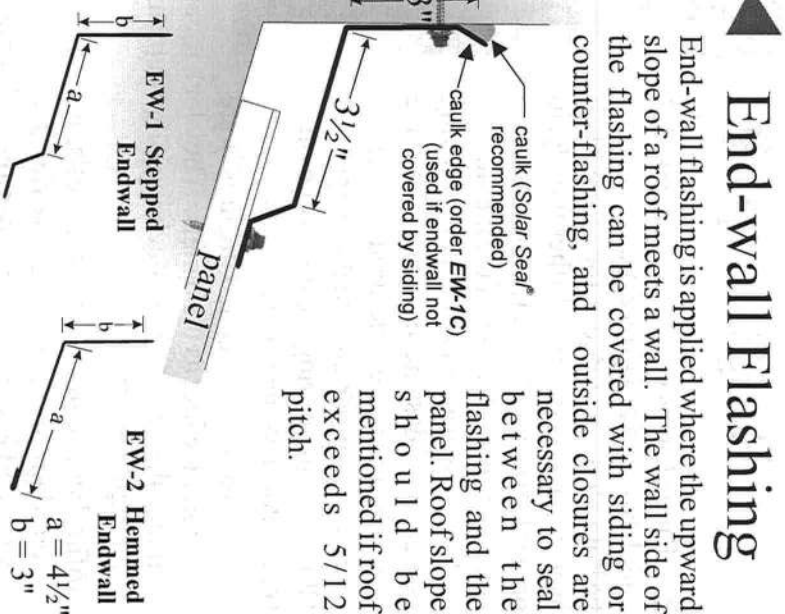


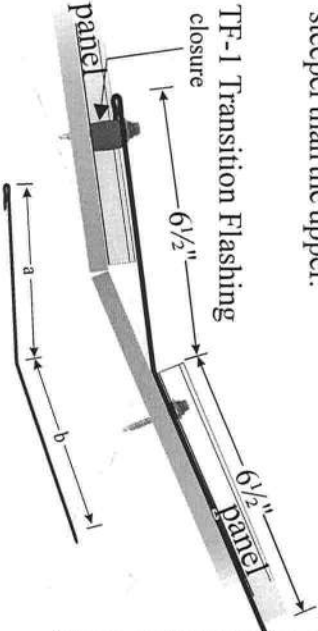
Figure 11 As with the ridge cap, the **ENDWALL FLASHING** above is sealed using outside closures.

Use **EW-2** hemmed endwall when cornering endwalls with sidewall flashing, such as with dormers or chimneys.  
 For custom end-walls, *specify roof pitch and dimensions "a" and "b".*



### Transition Flashing

The **TRANSITION FLASHING** prevents leakage at the point where two different roof pitches meet. It must be sealed on the lower side with outside closures, and can be sealed underneath the upper panels with inside closures. The similar **GAMBREL FLASHING** is used where the lower pitch is steeper than the upper.



For custom transition flashing specify the pitches of the two roof slopes and, if necessary, dimensions "a" and "b".

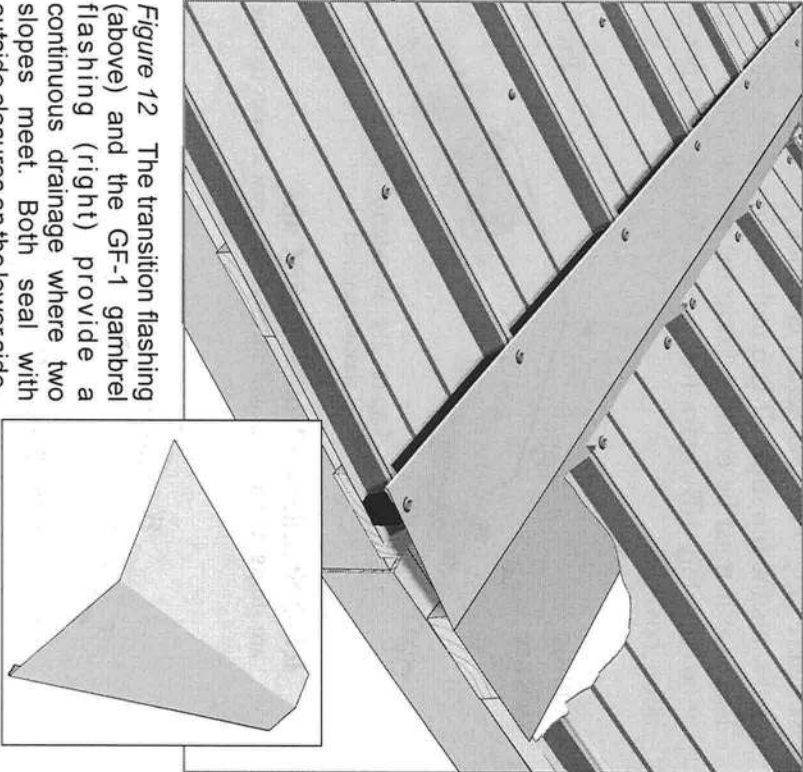


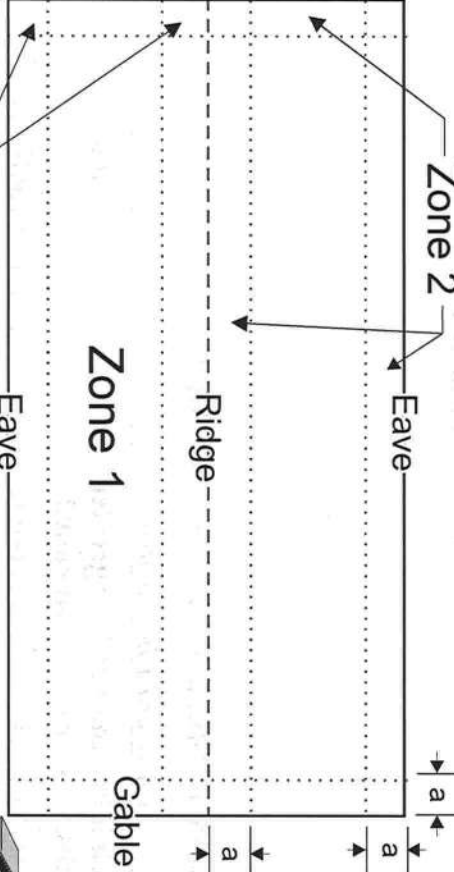
Figure 12 The transition flashing (above) and the GF-1 gambrel flashing (right) provide a continuous drainage where two slopes meet. Both seal with outside closures on the lower side.

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SECTION PROPERTIES						ALLOWABLE LOADS (PSF)									
Panel Gauge	Fy KSI	Thickness In.	Fb. KSI	Weight PSF	Girth In.	1x 1in. Pos. Bending	Sx 1in. Neg. Bending	1x 1in. Pos. Bending	Sx 1in. Neg. Bending	Wind Load		Live Load (Stress)		Live Load (Deflection)	
26 ga.	80	.0187	36	.91	42	.0288	.0482	.0288	.1892	170	109	76	56	42	128
29 ga.	80	.0142	36	.69	40.875	.0232	.0374	.0232	.1786	133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100
										133	85	59	43	33	100

Fastening Schedule for Various Wind Speeds

Roof Zone	Fastener Type	Fastener Size	Attaching to:	Wind Speed Zone			
				110 MPH	120 MPH	130 MPH	140 MPH
Zone 1	Woodgrip® or Woodzac®	#9-15 x 1 1/2	1x4 wood purlins	24"	24"	24"	24"
Zone 2	Woodgrip® or Woodzac®	#9-15 x 1 1/2	1x4 wood purlins	24"	24"	24"	12"
Zone 3	Woodgrip® or Woodzac®	#9-15 x 1 1/2	1x4 wood purlins	24"	12"	12"	12"



**Roof Zones**  
 Each "zone" of the roof has its own screw requirements. Dimension **a** is defined as 10% of the minimum width of the building, or 40% of the mean height of the roof, whichever is smaller; however, **a** cannot be less than either 4% of the minimum width of the building, or 3 feet.

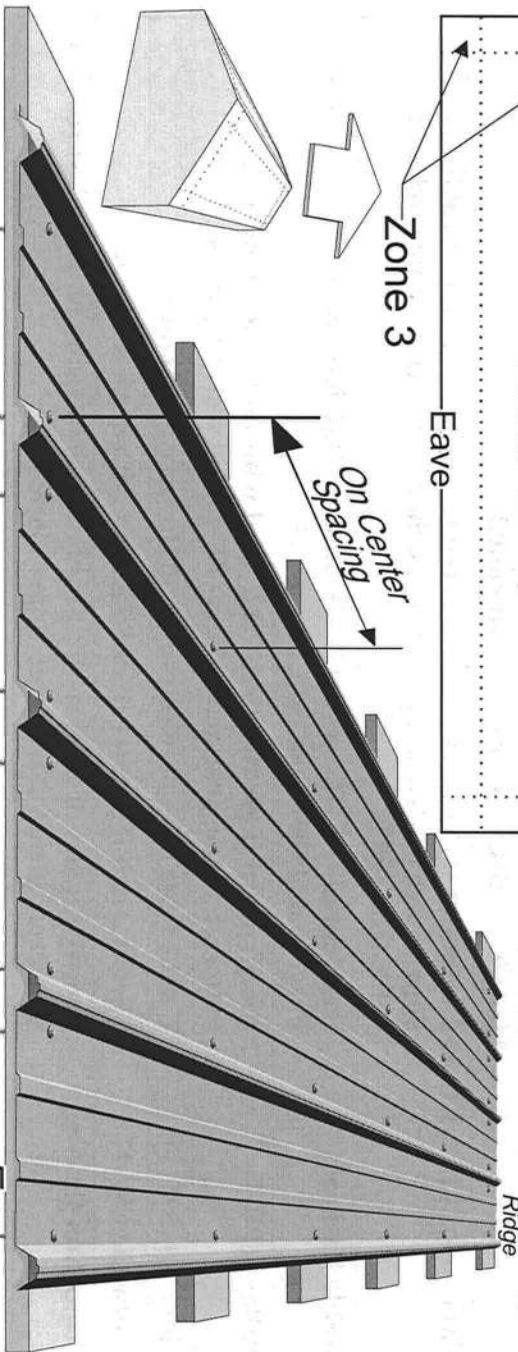
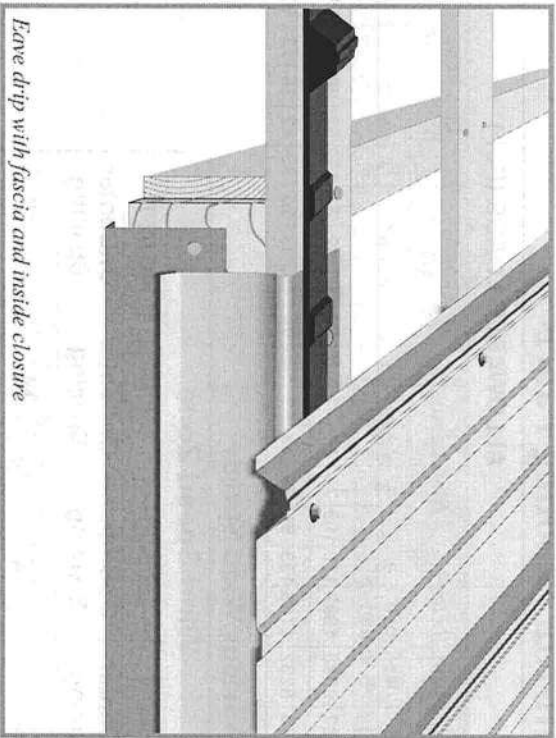


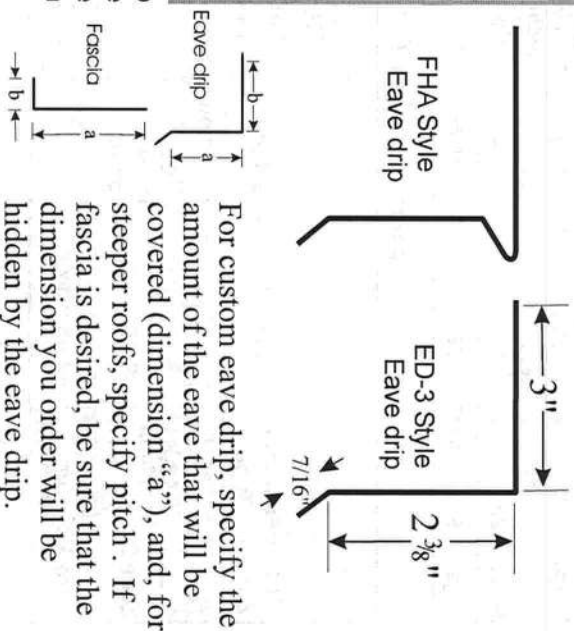
Figure 7 Screws should be placed on both sides of the ribs at both eave and ridge, **Eave** and on the overlap side of the panel lap.

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Eave drip with fascia and inside closure

Eave Drip & Fascia



For custom eave drip, specify the amount of the eave that will be covered (dimension "a"), and, for steeper roofs, specify pitch . If fascia is desired, be sure that the dimension you order will be hidden by the eave drip.

item	special order information
Ridge caps (RC-2)	specify pitch if less than 3/12 or greater than 6/12. Also available in larger widths. Closures recommended.
Eave drip (FHA, ED-3)	2 common styles. FHA style is pre-pitched for 3/12 to 6/12 roofs. For appearance or ease of application, order by either specific pitch or as gable trim (90°).
Gable flashings	Residential (EF-1), large (GR-2), and small (GR-1) rakes available. Use butyl sealant between rake and panel.
Valleys (PV-1)	specify pitch if greater than 7/12. Seal with universal foam closure material. Open-hemmed valleys (PV-2) aid water-tightness.
Sidewall (SW-1)	Use butyl sealant between sidewall flashing and panel.
Endwall (EW-1)	Specify pitch if greater than 5/12. Seal with outside closures.
Transition flashing	Specify pitches of both roofs. Seal lower slope using outside closures and, if desired, inside closures on upper slope.

Summary of Stock Trims and Flashings

Ridge Cap

The Ridge Cap is used to seal the point at which two upward slopes meet. This can be both along the ridge of the roof as well as a covering for a hip. Either woodgrip or self-drilling lap TEK screws are applied through the ribs of the metal.

Since debris, insects, and blowing rain can find easy access under the ridge cap, closures are required to either completely or partially seal the opening. Closures under ridge caps come in 3 types: solid, vented, and hip tape.

Solid closures ("Outside Closures") are the same width as the panels. They lock together in a row placed directly under the screws that attach the ridge cap, and form a solid, water-tight, air-tight barrier.

Profile Vent® comes in 50 foot rolls, is 3 inches wide, and forms a water-retardant, insect resistant barrier that allows hot air to escape from the attic, and is superior to many more elaborate and expensive vent systems. Any length may be ordered.

Hip closure tape (*Peel and Seal*®) is a sticky, adhesive-backed metallic tape that seals the hip roof. It is 6 inches wide and comes in 3½ foot rolls. Because it must be conformed to the rise and fall of the panel ridges, approximately 10% extra may be needed beyond the length of the hip being covered.

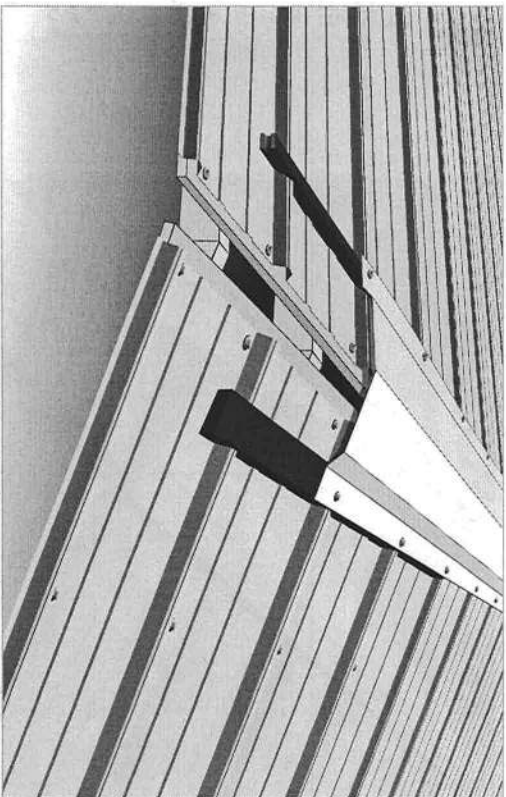
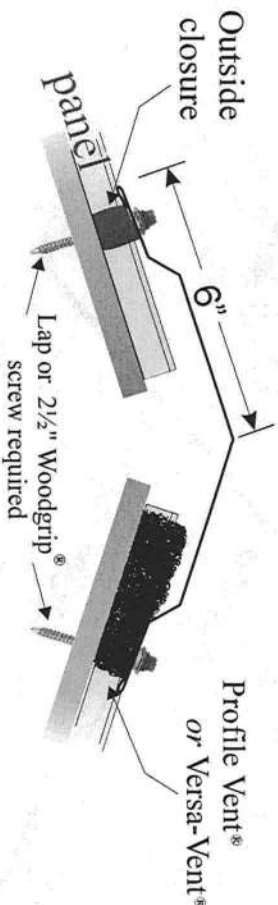
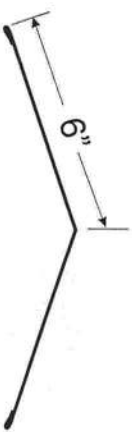


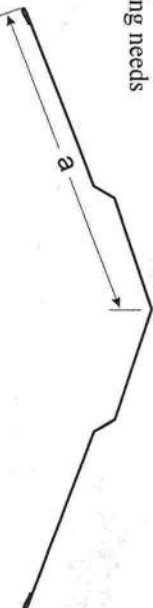
Figure 9 Ridge cap showing outside closure (left) and profile vent (right).



RC-2 Standard 12-inch Ridge Caps are strong, economical and adequate for most of your roofing needs



RC-1 style 12-inch Ridge Caps are also available in custom widths



RC-2 style over-sized ridge caps are available with 18-inch coverage, or as a custom trim item in total widths (2 times "a") of 14-, 16-, 18-, 20-, 22-, and 24-inch

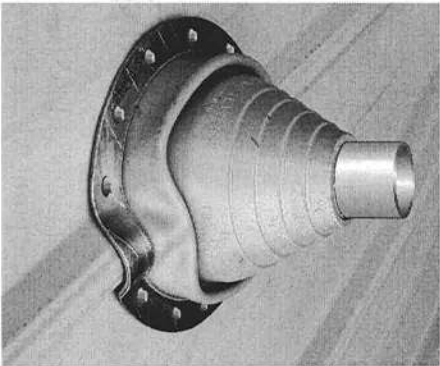


Figure 10 Pipe Boots provide a water-tight seal around roof vents and come in a variety of sizes. They seal with caulk and conform to the shape of the panel ribs.

### How to Figure and Apply Screws

Gulf Coast Supply carries screws in 3 different lengths: 1 inch, 1½ inch, and 2 ½ inch. 1-inch screws will barely penetrate a 1x4, but the 1½ inch are the best all-purpose size. **1½- or 2½-inch screws are necessary for attaching ridge caps.** The table on the right can be used to figure approximate quantities of screws for various purlin spacings and sizes of roofs. For 2-foot spacing between rows of screws, multiply the total linear feet of metal times 2.7

*Example:* your order is 1250 feet of Tuff-rib roofing.

$$1250 \times 2.7 = 3375 \text{ screws}$$

Please confirm all estimates with your Gulf Coast representative when you placed your order.

Codes allow re-roofing over shingles without the use of battens

provided the roof has been checked by a licensed roofing contractor to insure levelness and pullout integrity.

Tuff-rib metal roofing can be separated from the moisture barrier by minimum, nominal 1"x3" yellow pine battens spaced on maximum 24"centers, or according to ASCE calculations where applicable. Since **direct contact between pressure treated lumber and metal roofing must be avoided in order to prevent potential corrosion**, Gulf Coast Supply sells only untreated battens.

**CAUTION:** Battens must be fastened to the roof deck with minimum #6 screws at 12" on-center, or two minimum 8d common or pneumatic nails spaced 8" on-center, or one every 4" on-center (or by applicable calculations according to ASCE 7-98). **Battens must be installed to support the entire width and length of ridge, eave, hip, valley, and gable-end trims.**

For solid decking, at least 1½/32-inch structural plywood supported on rafters at a maximum of 24" on center is required.

If care is taken, metal roofing application can be aided by pre-drilling panels, allowing screws to go quickly and accurately into the desired spacing. Pre-drilling will work provided that pilot holes are placed accurately in the proper locations on panels. Purlin spacing must be uniform and carefully measured.

For panel lap details, see *Figure 5* on page 4.

### Gulf Coast Policies

**Delivery policy** Delivery charges apply to all orders where delivery is requested. Please consult your Gulf Coast sales department for details.

**Sales tax** All orders picked up at Gulf Coast Supply, and all orders delivered within the state of Florida, are subject to state sales tax. Tax exemptions should be verified prior to delivery or customer pickup.

**Warrantied products** A 40 year warranty applies to most material\* manufactured from painted coil stock, and a 25-year warranty to Galvalume material. Ask for details.

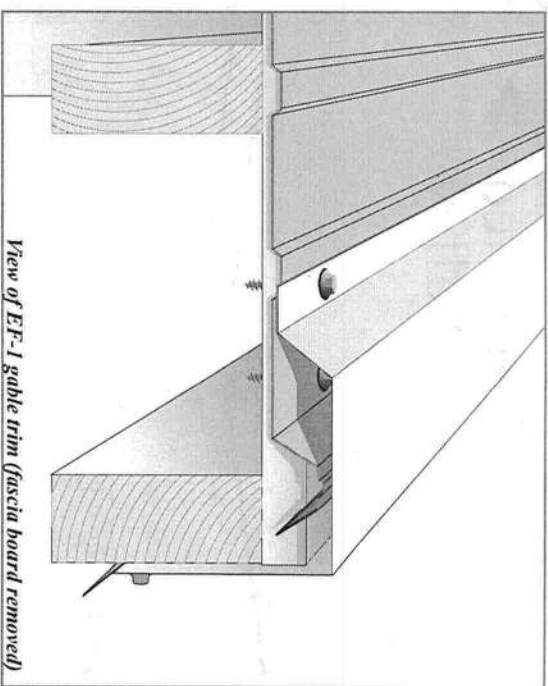
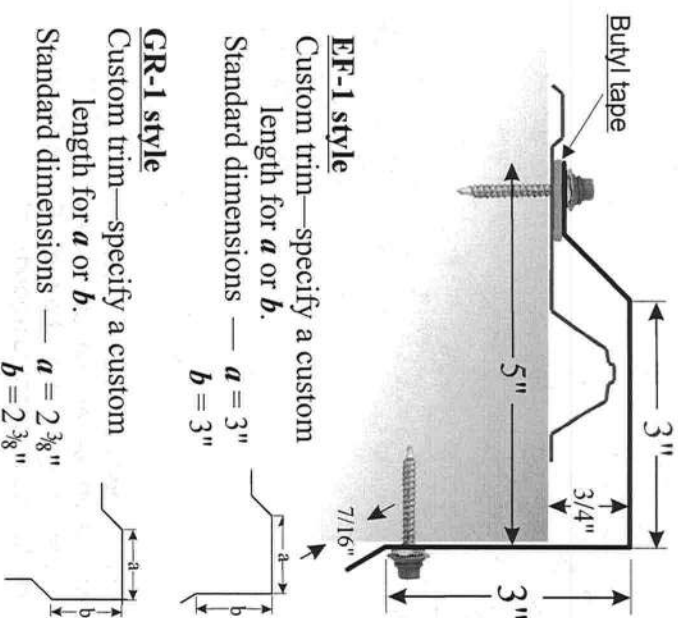
**Indemnity** All prices and designs are subject to change without notice

**Disclaimer** While we have made every attempt at accuracy in this manual, we are not responsible for typographic, printing, or technical errors.

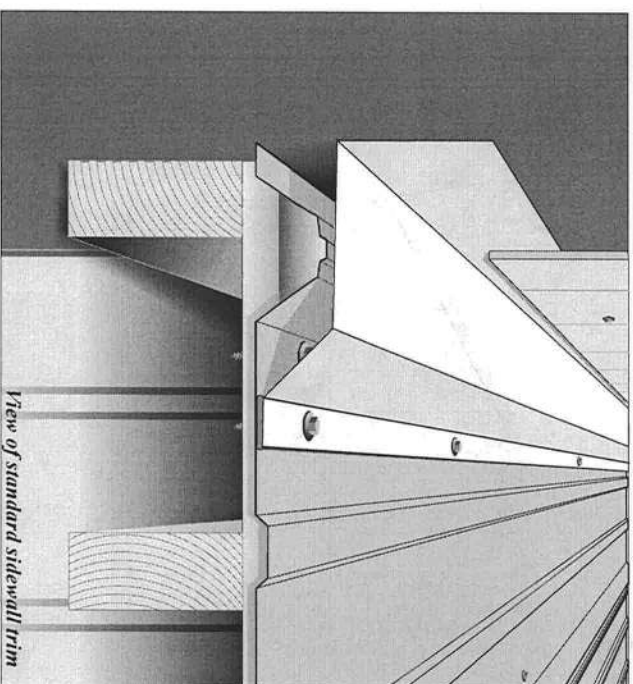
**Return policy** All panel orders and special order (non-stock) trim are considered the property of the customer and non-refundable once they are manufactured. Standard trim and accessories are refundable providing they are returned in a clean, resalable condition. Restocking charges will apply to any items at the discretion of the Gulf Coast representative.

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### Gable Flashing

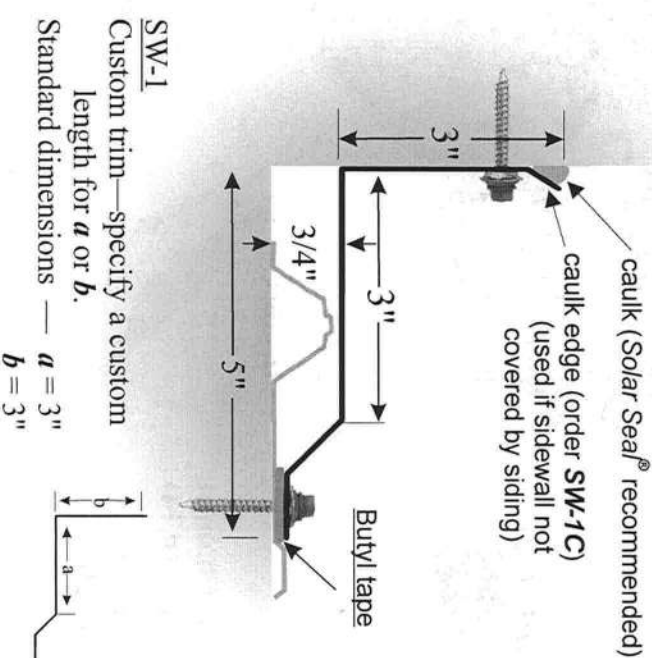


*Figure 13* Gable flashing is used to trim the edge of the roofing panel at the gable end of the roof. It should match the eave drip that extends along the drip edge of the roof. If the panel is allowed to hang over the gable end, eave drip can be used instead. Butyl tape between the trim and panel eliminates leaks.



*Figure 14* Sidewall flashing is applied when the side of the roof butts up against an adjacent wall. The wall-side of the flashing can either be covered over with siding or sealed with caulk (order SW-1C). Butyl tape should be applied where the "foot" of the flashing attaches to the roof.

### Side-wall Flashing



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# Residential Trim

See p. 12 for Siding Trims

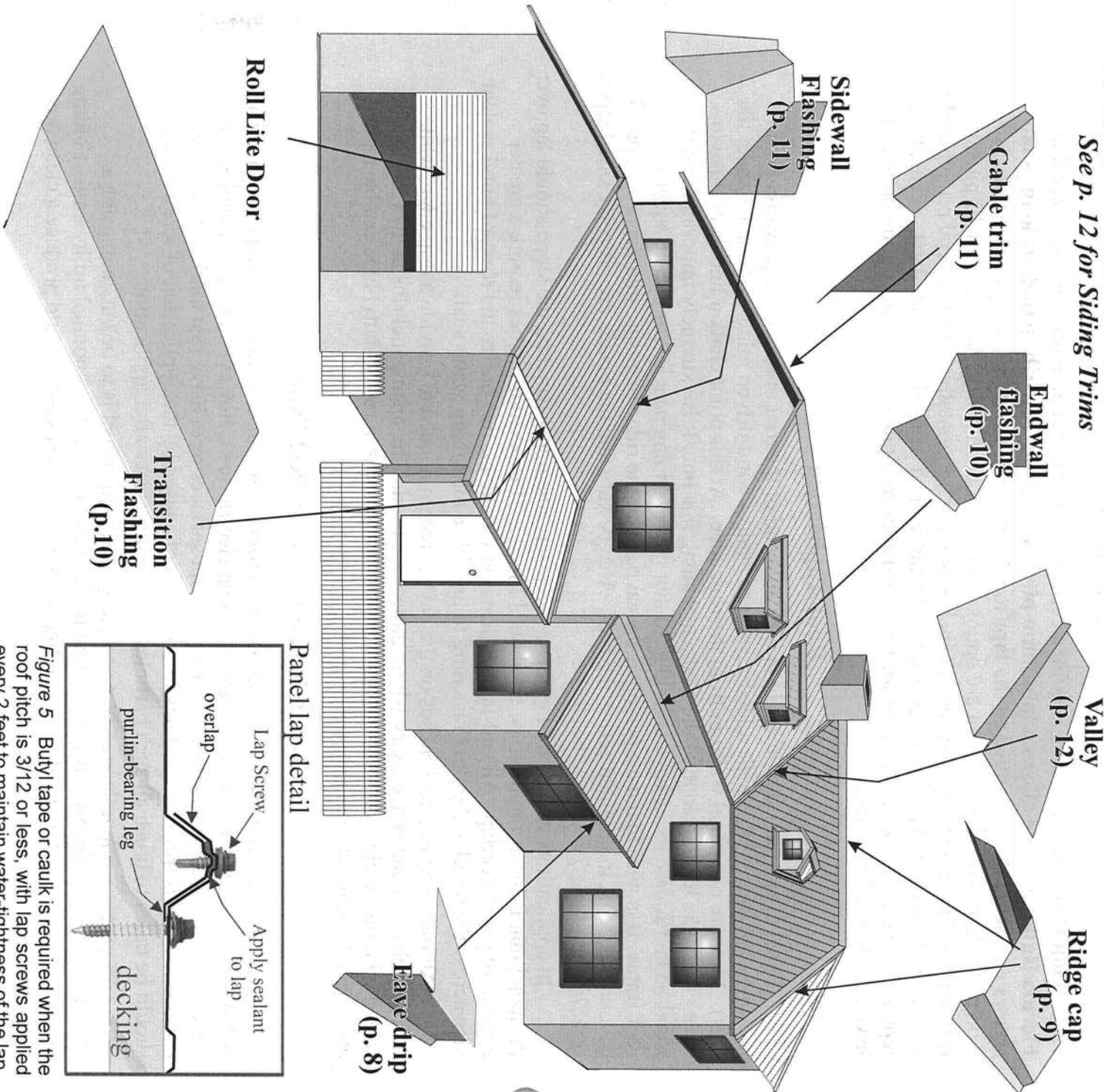


Figure 4 Roofing trims and flashings are named by the location or function of that particular piece on the building.

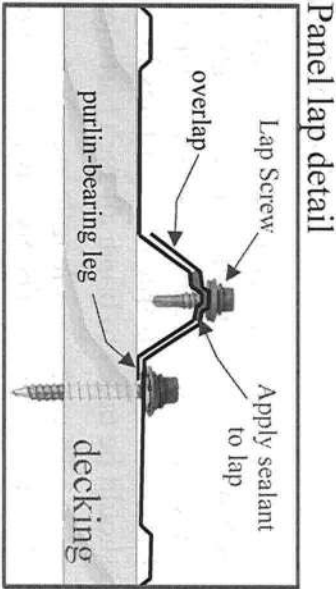


Figure 5 Butyl tape or caulk is required when the roof pitch is 3/12 or less, with lap screws applied every 2 feet to maintain water-tightness of the lap. On pitches greater than 3/12, lap screws and butyl tape are optional. For more details on screws, see pgs. 6 and 7.

## GR-2 Outside Corner

The GR-2 Rake and Corner can be used as a gable trim or a corner for metal-sided buildings. As an alternative, the smaller EF-1 or the GR-1 (both on p. 11) can also used as gable rakes, and the PC-5 (below) or the GR-1 as corners.

Customizing rakes or corners is often necessary due to their landing on a panel rib. Both the GR-2 and the IS-2 can be ordered as custom trim items by specifying custom dimensions "a" or "b". Be sure to take into account the 3/4" "head space" when figuring custom dimensions.

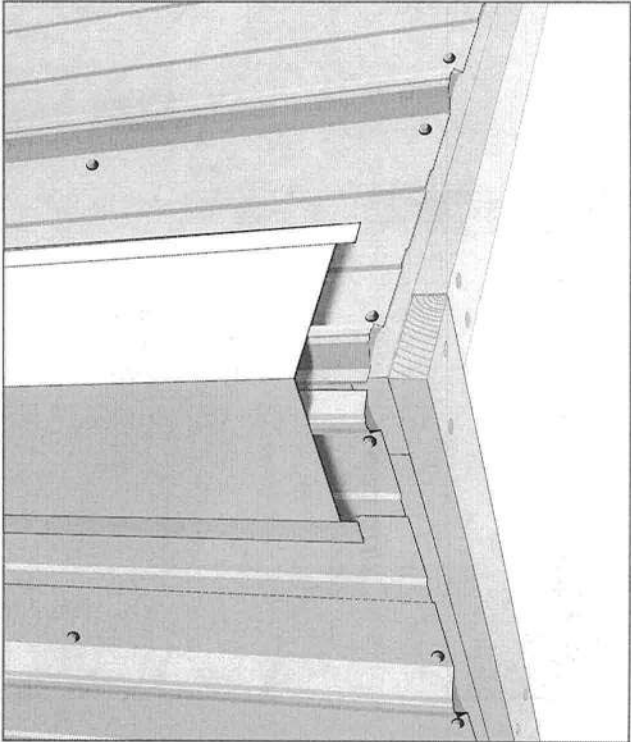
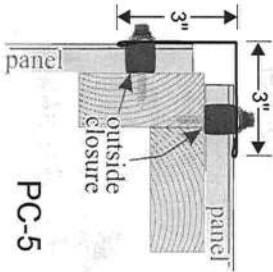
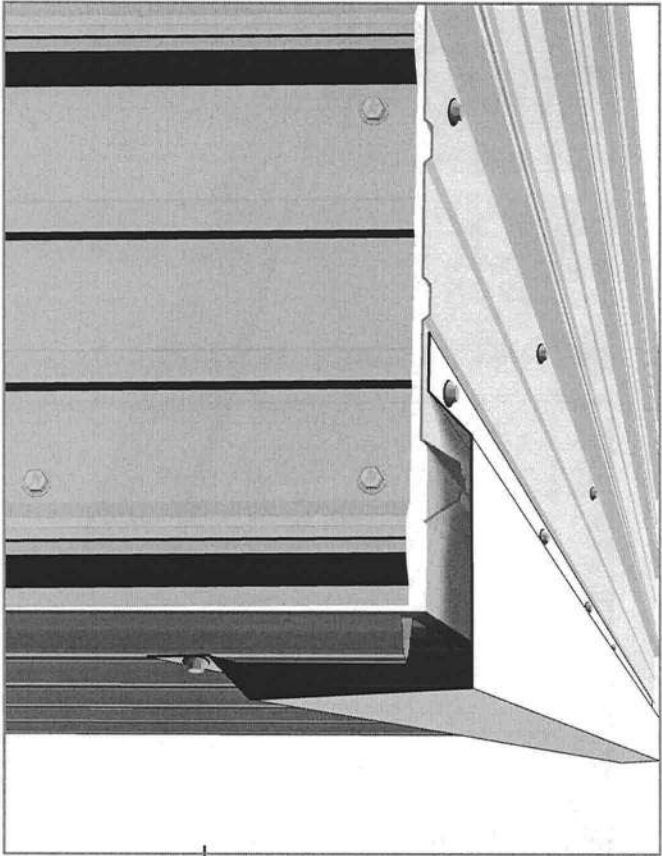


Figure 17 When used as corner trim, the GR-2 straddles the ribs of the panels where they meet at the corner of the building. The Tuff-Rib outside corner also serves as a gable rake (see below). The inside corner (IS-2) has similar dimensions but with a reverse middle bend.



The PC-5 flat corner works best on smaller structures, and where the panels are running horizontally. It can be sealed with outside closures.



## GR-2 Gable Rake

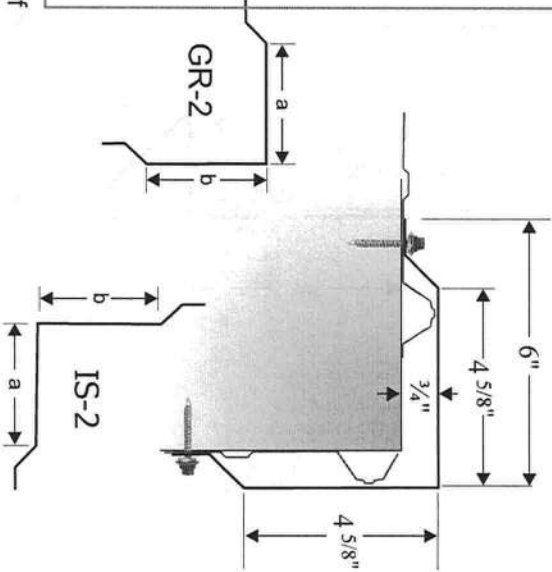
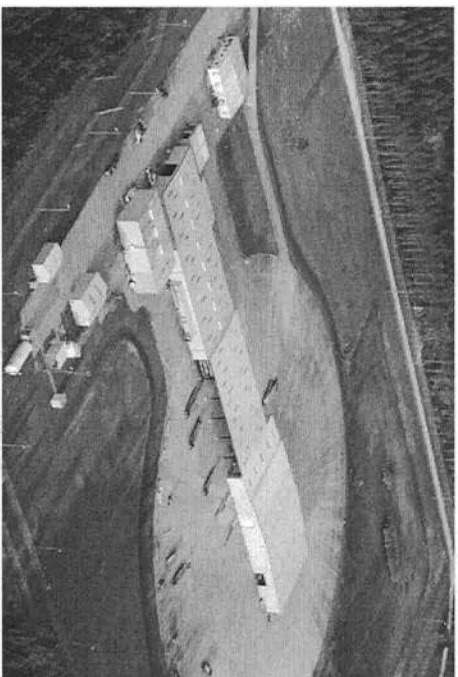


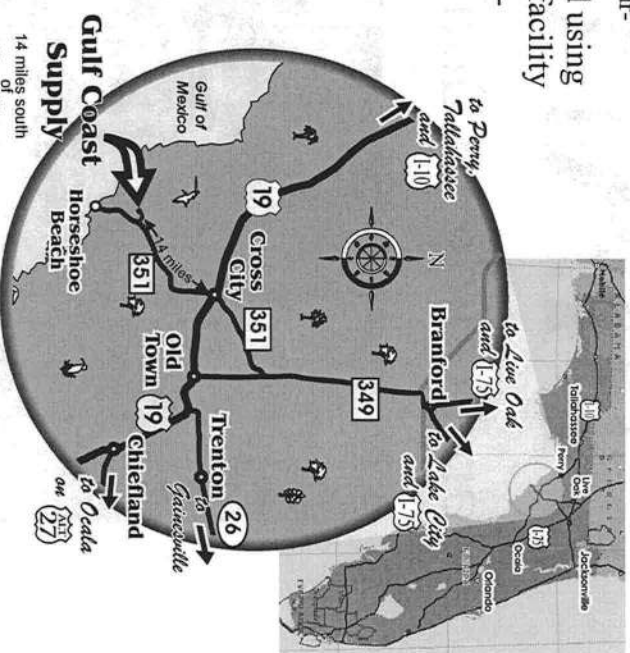
Figure 18 When used as a gable rake, the GR-2 runs parallel to the ribs of the roof panel, and is attached with screws running through the ribs of upright siding. As with the EF-1 residential rake, the roof side can be sealed with butyl sealant.



*Figure 1* The Gulf Coast Supply office (left) and manufactur-

## The Gulf Coast Tuff-Rib® Roofing Panel

Gulf Coast Tuff-rib® panels are a strong, durable, economic, and attractive answer to the growing demand for metal roofing needs in Florida and southern Georgia. Extremely versatile, they are suitable for homes and businesses as well as agricultural and utility buildings. Tuff-rib® panels provide a 36-inch coverage with ¾ inch ribs on nine-inch centers, and utilize an anti-siphoning channel to provide protection from severe weather



<sup>y</sup>Figure 2 Location of Gulf Coast Supply

availability of 24-gauge metal). Your Gulf Coast representative is waiting to assist you in making the best choice for your particular roofing needs.

Gulf Coast's Tuff-rib® panels are fabricated from AZ-50 (painted) or AZ-55 (bare Galvalume®) grade 80 coil stock (grade 50 for 24

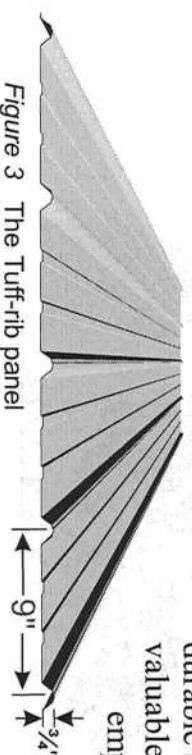


Figure 3 The Tuff-rib panel

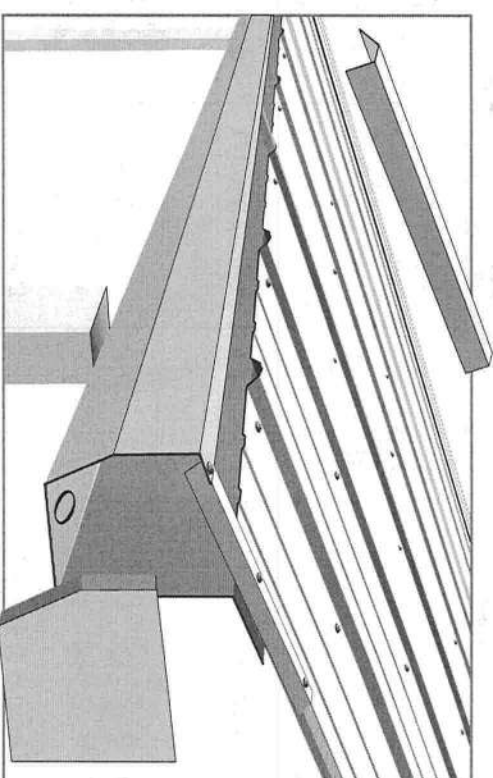
limited coil manufacturer's finish warranty, most painted metal carries painted and unpainted are of the highest known quality in the industry.

Gulf Coast also stocks a complete line of fasteners, sealants, and other accessories to meet every need of both the do-it-yourself homeowner and the roofing contractor. A complete line of both in-stock and custom-made flashings and trims are available in all colors as well.

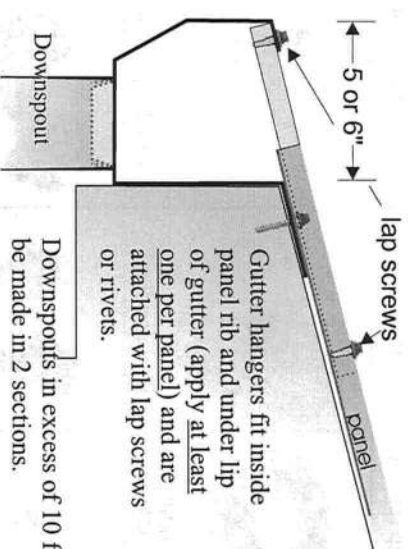
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## Gutters ▼

Gulf Coast Supply produces 29-, 26-, and 24-gauge gutters in either 5- or 6-inch widths (depth is *approximately* equal to width). *All gutters should be ordered specific to the pitch of the roof.* Downspouts are available in 3"x4" (for 5-inch gutters) and 4"x4" (for larger gutters). End caps should be ordered at the same time as the gutters to assure a custom fit. Special hangers fit into the panel rib and under the gutter lip. Panels should extend no more than 1" to 1½" inches beyond the eave on which gutters are planned.



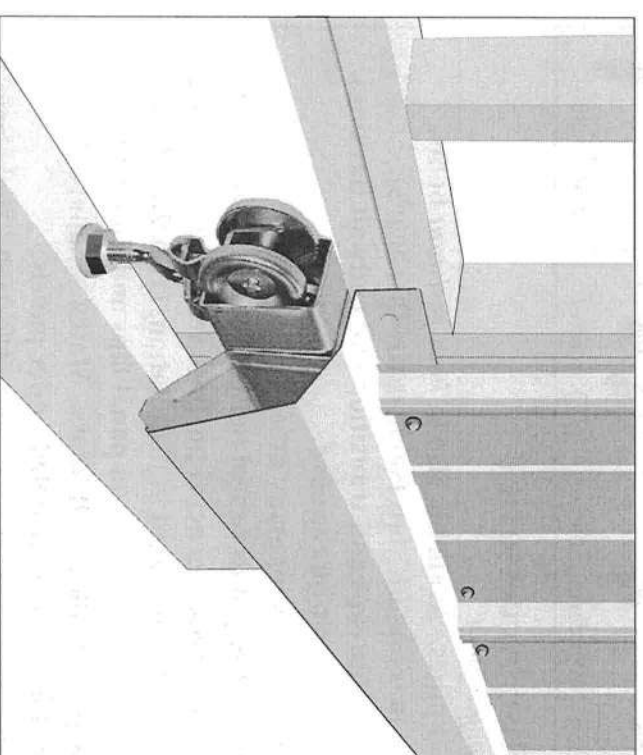
**Figure 21** Exposed view of gutter showing gutter hanger placement, downspouts, and end caps. Hangers employ lap screws, and end caps are best attached with rivets.



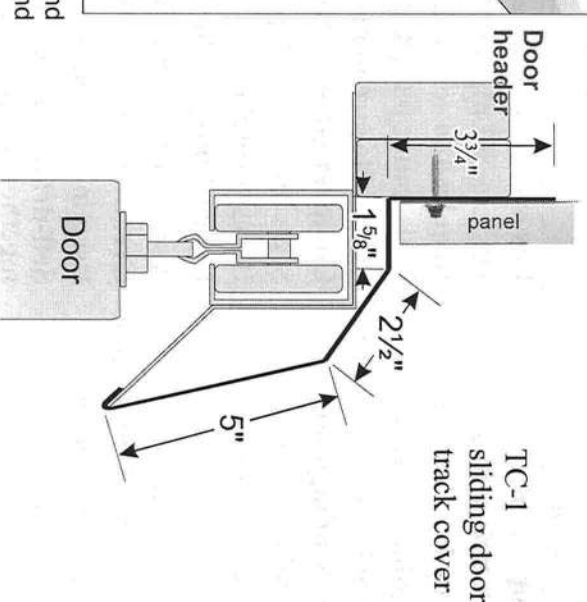
Downpours in excess of 10 feet in length must be made in 2 sections.

Outer Inner Outer Inner Outer

Inner and outer gutter sections (marked "I" and "O") alternate along the eave to assure ease of application and gutter appearance.



## ► Track Covers



*Figure 22* Sliding door track covers fit over the door track and under the panels to hide the track, assure a neat appearance, and shed water over the door.

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