

DATE 08/31/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000024933

APPLICANT CAROL LYNN MATTOX PHONE 352 317-1326

ADDRESS 6801 NW 214T ST ALACHUA FL 32615

OWNER CAROL MATTOX PHONE 352 317-1326

ADDRESS 2980 SE OCTOBER ROAD LAKE CITY FL 32025

CONTRACTOR CAROL L. MATTOX PHONE 352.317.1326

LOCATION OF PROPERTY 41S, TL ON 238, TR ON OCTOBER ROAD, PAST I-75, 1 1/2 MILES ON LEFT, ACROSS FROM 2960 OCTOBER RD

TYPE DEVELOPMENT RV PARK BATHHOUSE ESTIMATED COST OF CONSTRUCTION 18000.00

HEATED FLOOR AREA TOTAL AREA 240.00 HEIGHT 8.00 STORIES

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 13-6S-17-09660-001 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 8.40

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING 06-0224-N BLK JTH

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE. SPECIAL EXCEPTION 0390 APPROVED FOR BATHHOUSE.

Check # or Cash 7823

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by

Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by

Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by

Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by

M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by

Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by

M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 90.00 CERTIFICATION FEE \$ 1.20 SURCHARGE FEE \$ 1.20

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 117.40

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Scale: 1" = 200' Sheet 1 of 2 Sheets
Work Order Number : 98651 Map Number : 1815-44

COPY

LEGAL DESCRIPTION: PARCEL "N"

Sheet 2 (98651, 1815-A5)

A parcel of land containing a total area of 8.4 acres, more or less, lying, being and situate in the West 1/2 of the Southwest 1/4 of Section 13, Township 6 South, Range 17 East, Columbia County, Florida, and lying East of the Easterly right-of-way line of Interstate Highway Number 75, more particularly described as follows:

COMMENCE at the intersection of the North line of said West 1/2 of Southwest 1/4 of Section 13, and said Easterly right-of-way line of Interstate Highway Number 75, for the POINT OF BEGINNING of the hereinafter described parcel of land: Thence run North 87 degrees 45 minutes 21 seconds East, along said North line of West 1/2 of Southwest 1/4 of Section 13, a distance of 29.66 feet to the intersection with the approximate centerline of a county maintained graded road (right-of-way is prescriptive, also known as Old Wire Road), said intersection occurring on the arc of a curve concave Northeasterly and having a radius of 123.02 feet; thence run Southeasterly, along said approximate centerline, a distance of 65.91 feet as measured along the arc of a curve concave Northeasterly and having a radius of 123.02 feet, said arc being subtended by a chord having a bearing of South 58 degrees 05 minutes 39 seconds East and a distance of 65.13 feet, to the Point of Tangency; thence run South 73 degrees 26 minutes 36 seconds East, continuing along said approximate centerline, a distance of 183.69 feet to the Point of Curvature of a curve to the right; thence run Southeasterly, continuing along said approximate centerline, a distance of 194.13 feet as measured along the arc of a curve concave Southwesterly and having a radius of 1,235.38 feet, said arc being subtended by a chord having a bearing of South 68 degrees 56 minutes 29 seconds East and a distance of 193.93 feet, to the Point of Reverse Curvature; thence run Southeasterly, continuing along said approximate centerline, a distance of 106.71 feet as measured along the arc of a curve concave Northeasterly and having a radius of 499.40 feet, said arc being subtended by a chord having a bearing of South 70 degrees 33 minutes 41 seconds East and a distance of 106.51 feet, to the intersection with the East line of said West 1/2 of Southwest 1/4 of Section 13; thence run South 00 degrees 29 minutes 58 seconds East, along said East line of West 1/2 of Southwest 1/4 of Section 13, a distance of 1,374.90 feet to the intersection with the aforesaid Easterly right-of-way line of Interstate Highway Number 75, said intersection occurring on the arc of a curve concave Southwesterly and having a radius of 34,527.47 feet; thence run Northwesterly, along said Easterly right-of-way line, a distance of 1,141.36 feet as measured along the arc of a curve concave Southwesterly and having a radius of 34,527.47 feet, said arc being subtended by a chord having a bearing of North 19 degrees 12 minutes 13 seconds West and a distance of 1,141.31 feet, to the Point of Tangency; thence run North 20 degrees 09 minutes 02 seconds West, continuing along said Easterly right-of-way line, a distance of 519.59 feet to the POINT OF BEGINNING;

SUBJECT TO the prescriptive right-of-way for a county maintained graded road (also known as Old Wire Road) over, across and along the Northerly side thereof (area contained within said prescriptive right-of-way is 0.2 acres, more or less).

SUBJECT TO existing county land use regulations, and to all easements of record, or not of record.

LEGAL DESCRIPTION: PARCEL "O"

A parcel of land containing a total area of 1.3 acres, more or less, lying, being and situate in the West 1/2 of the Southwest 1/4 of Section 13, Township 6 South, Range 17 East, Columbia County, Florida, and lying East of the Easterly right-of-way line of Interstate Highway Number 75, more particularly described as follows:

COMMENCE at the intersection of the North line of said West 1/2 of Southwest 1/4 of Section 13, and said Easterly right-of-way line of Interstate Highway Number 75, and run North 87 degrees 45 minutes 21 seconds East, along said North line of the West 1/2 of Southwest 1/4 of Section 13, a distance of 29.66 feet to the intersection with the approximate centerline of a county maintained graded road (right-of-way is prescriptive, also known as Old Wire Road), and the POINT OF BEGINNING of the hereinafter described parcel of land: Thence continue running North 87 degrees 45 minutes 21 seconds East, continuing along said North line of West 1/2 of Southwest 1/4 of Section 13, a distance of 511.32 feet to the Northeast corner of said West 1/2 of Southwest 1/4 of Section 13; thence run South 00 degrees 29 minutes 58 seconds East, along the East line of said West 1/2 of Southwest 1/4 of Section 13, a distance of 211.93 feet to the intersection with said approximate centerline of a county maintained graded road, said intersection occurring on the arc of a curve concave Northeasterly and having a radius of 499.40 feet; thence run Northwesterly, along said approximate centerline, a distance of 106.71 feet as measured along the arc of a curve concave Northeasterly and having a radius of 499.40 feet, said arc being subtended by a chord having a bearing of North 70 degrees 33 minutes 41 seconds West and a distance of 106.51 feet, to the Point of Reverse Curvature; thence run Northwesterly, continuing along said approximate centerline, a distance of 194.13 feet as measured along the arc of a curve concave Southwesterly and having a radius of 1,235.38 feet, said arc being subtended by a chord having a bearing of North 68 degrees 56 minutes 29 seconds West and a distance of 193.93 feet, to the Point of Tangency; thence run North 73 degrees 26 minutes 36 seconds West, continuing along said approximate centerline, a distance of 183.69 feet to the Point of Curvature of a curve to the right; thence run Northwesterly, continuing along said approximate centerline, a distance of 65.91 feet as measured along the arc of a curve concave Northeasterly and having a radius of 123.02 feet, said arc being subtended by a chord having a bearing of North 58 degrees 05 minutes 39 seconds West and a distance of 65.13 feet, to the POINT OF BEGINNING;

SUBJECT TO the prescriptive right-of-way for a county maintained graded road (also known as Old Wire Road) over, across and along the Southerly side thereof (area contained within said prescriptive right-of-way is 0.2 acres, more or less).

SUBJECT TO existing county land use regulations, and to all easements of record, or not of record.

LEGEND

A	Arc length
B	Bearing
CM	Concrete Monument
Ch	Chord
(D)	Deed based measurement
D.S.	Deed Book
DOT	Department Of Transportation (Florida)
Dist	Distance
(F)	Field based measurement
LB	Licensed Business
NFS & LD	North Florida Surveying & Land Design
O.R.	Official Records book
(P)	Plot based measurement
POB	Point Of Beginning
POC	Point Of Commencement
PC	Point of Curvature
PT	Point of Tangency
R	Radius length
R/W	Right-of-way line
T.B.	Telephone Junction Box
---	Power line (overhead unless shown to be different)
-X-X-	Fence line
5668	LB number for North Florida Surveying & Land Design
BS	Found square DOT concrete R/W monument
□	Found Chl (square unless stated otherwise)
■	Set 3 inch square Chl, labeled: NFS, LB 5668
○	Found iron rod
●	Set 1/2 inch iron rod, labeled: NFS&LD, LB5668
○	Found iron pipe
●	Set 1/2 inch iron pipe, labeled: PLS 2457
+	Survey point (identified as labeled)
⊕	Power pole anchor and guy wire
⊙	Power pole

STANDARD SURVEY NOTES:

- 1.) Unless stated otherwise, this survey prepared without benefit of abstract of title.
- 2.) The lands described herein are subject to existing Easements, Rights-of-way, Restrictions and Setbacks, whether or not disclosed of record.
- 3.) Unless stated otherwise, jurisdictional areas, if any, are not located.
- 4.) Unless shown or stated otherwise buried objects have not been located.

North Florida Surveying
& Land Design
PROFESSIONAL SURVEYING AND MAPPING
40 S. Lake Ave., P.O. Box 14, Lake Butler, FL 32054

For: Carol Mattox

Scale: Sheet 2 of 2 Sheets
Work Order Number : 98651 Map Number : 1815-A5

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0606-P5 Date Received 6/21 By JTW Permit # -24933
 Application Approved by - Zoning Official BLK Date 26.06.06 Plans Examiner OK JTH Date 8-29-06
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
 Comments SE 40390 - JAPROTES
- Ckt.

Applicants Name Carol Mattok Fax: 352-472-0063
 Address 6801 NW 214th St Alachua Fl 32615 Phone 352-317-1326
 Owners Name Carol Mattok Phone _____
 911 Address 2960 NE OCTOBER RD, L.C. 32025
 Contractors Name CAROL MATOK Phone _____
 Address HOME 28: 6801 NW 214th - Alachua, FL 32615
 Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address NICK GEISLER Lake City, FL Will Meyer Design Lake City FL
 Mortgage Lenders Name & Address Ameris Bank Newberry FL 32669
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number Part of 13-65-17-09660-001 Estimated Cost of Construction \$18,000
 Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions 5 on Hwy 41 to SR 238 + T/L - Go approx 1/4 mile on SR 238 + make
r/t onto SE October Rd - Continue south past I-75 rest area + October Bend RV
park is on rt as road bends -
 Type of Construction RV Park Bathhouse - Number of Existing Dwellings on Property none
 Total Acreage 8.4 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 500 Side 600' Side 400' Rear 300'
 Total Building Height 8' Number of Stories 1 Heated Floor Area 2405 sq ft Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Carol Mattok
 Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 21 day of June 20 06.
 Personally known _____ or Produced Identification ✓

Contractor Signature _____
 Contractors License Number _____
 Competency Card Number _____
 NOTARY STAMP/SEAL



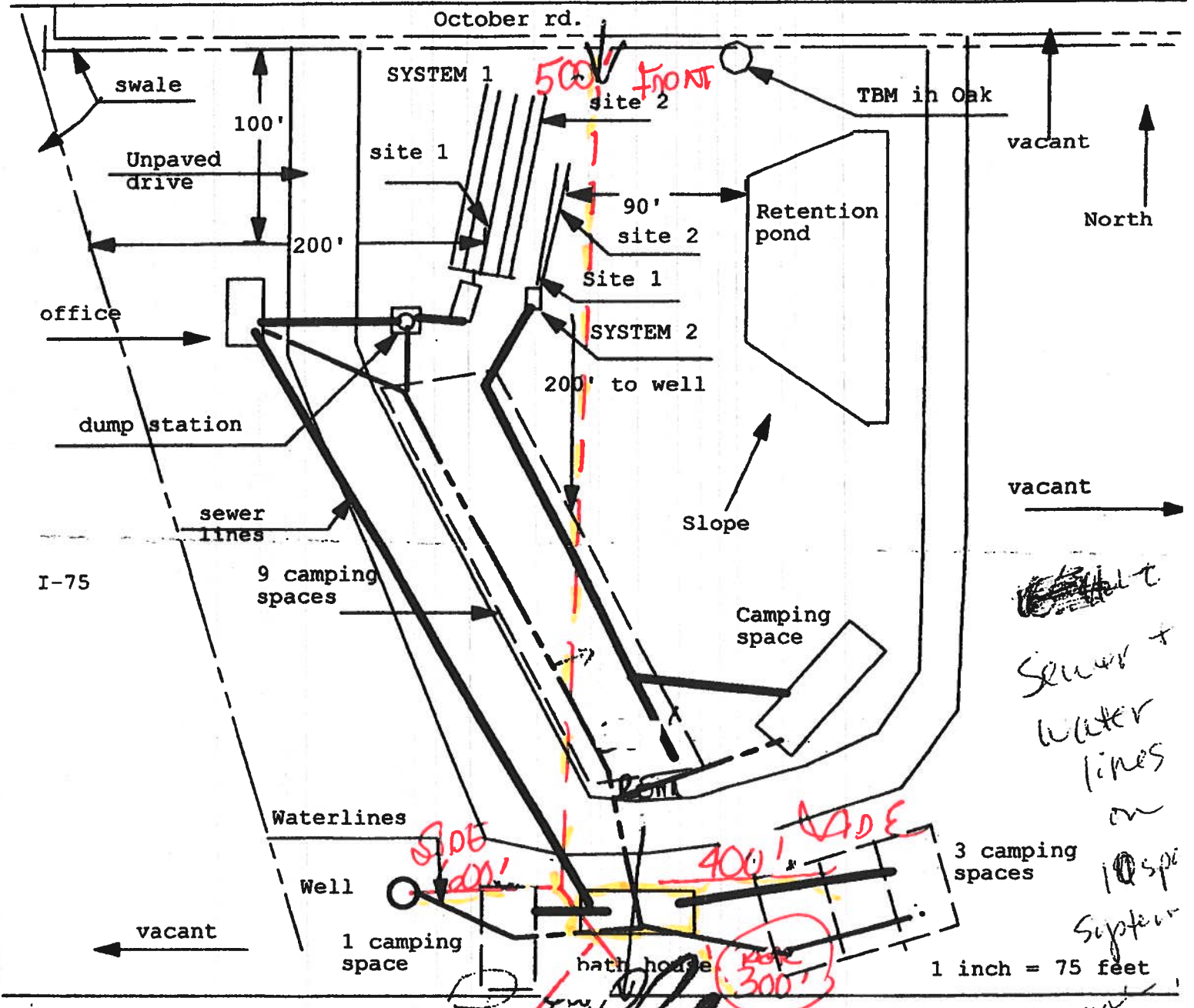
711 calls for message : 8.30.06

SITE PLAN - DIMENSIONS

06-

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan
 Permit Application Number: 06-0224N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By _____ Date 3/1/06
 Plan Approved _____ Not Approved _____ Date _____
 By _____ CPHU

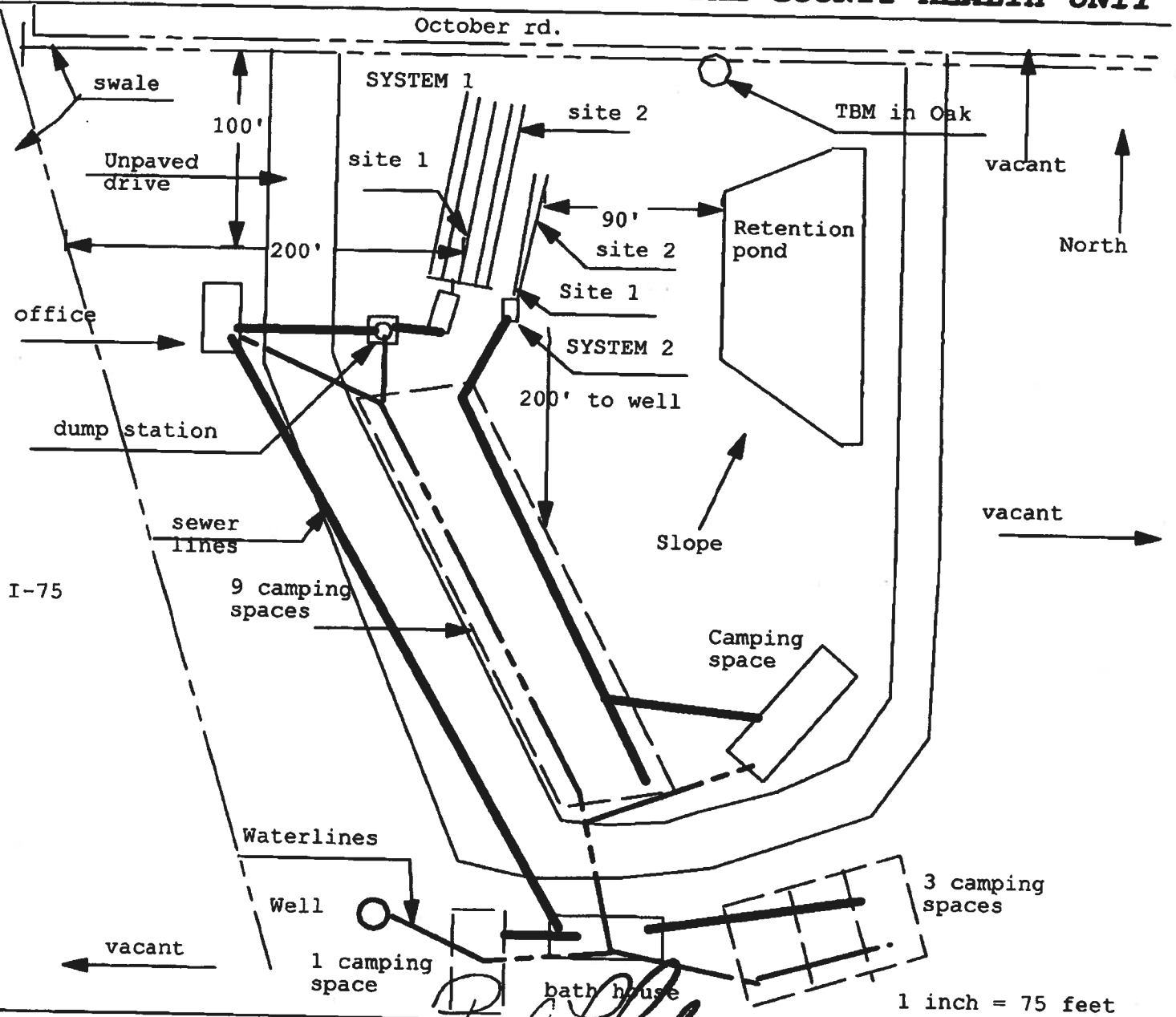
Notes: _____

Electric & Gas... lines have to be at least 10' from

**Application for Onsite Sewage Disposal Sys.
Construction Permit. Part II Site Plan**

Permit Application Number: 06-0224N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



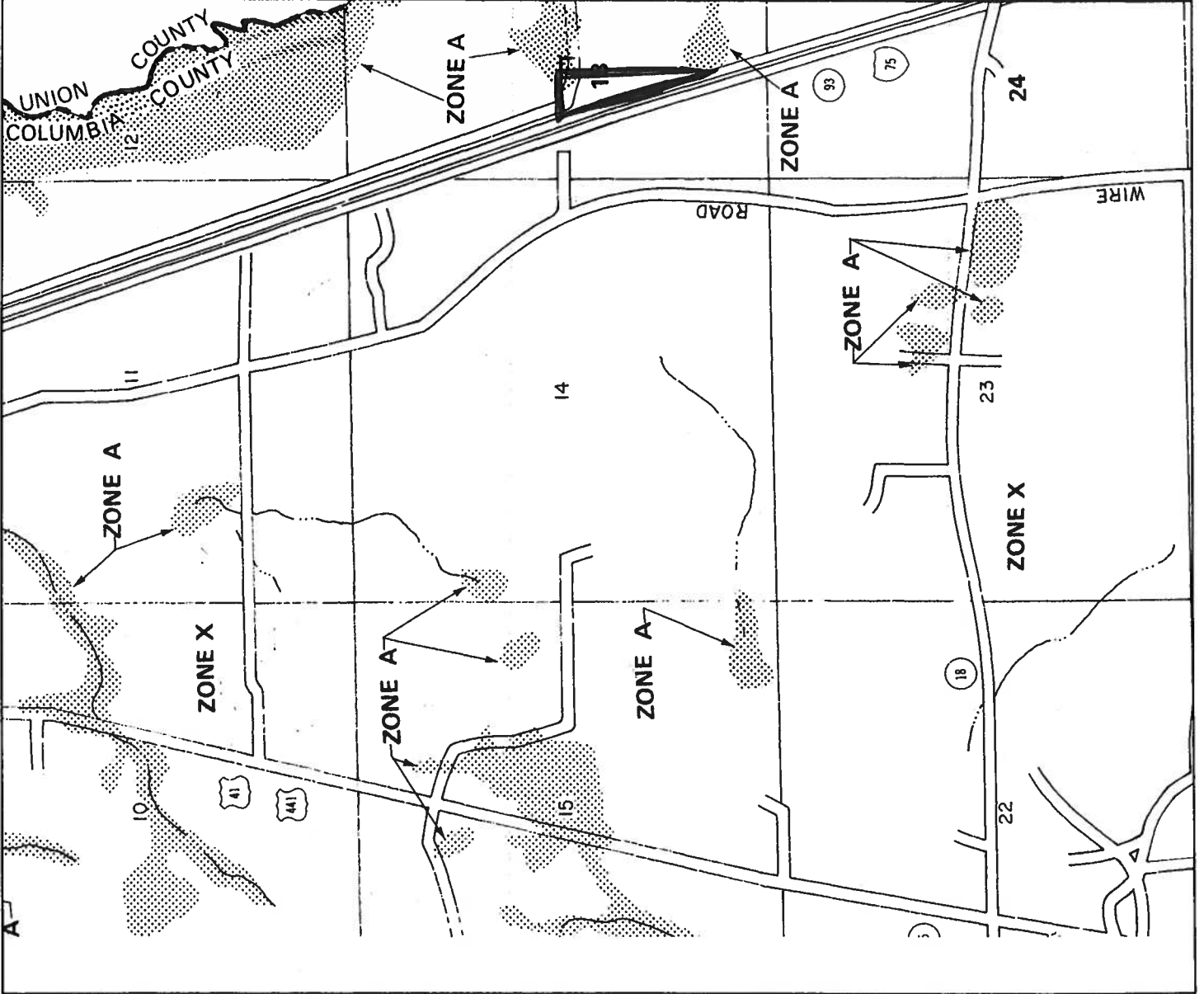
Site Plan Submitted By *Jan [Signature]* Date *3/15/06*
Plan Approved ☒ Not Approved ☐ Date *3/15/06*
By *Mr. [Signature]* *Columbia* CPHU

Notes: _____

3521
317,1326

SE 0370

0606-85



APPROXIMATE SCALE IN FEET
2000 0 2000

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 250 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0250 B

EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nfi/tod.

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- ☐ Single Family Dwelling
☐ Farm Outbuilding
☒ New Construction

- ☐ Two-Family Residence
☒ Other R.V. BARNHOUSE
☐ Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Carol Mattox, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Carol Mattox
Signature

5/22/06
Date

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date 6.21.06 Building Official/Representative

[Signature]

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

*****THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.*****

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number Part of 13-63-17-0966-001

PERMIT NUMBER _____

1. Description of property: (legal description of the property and street address or 911 address)

2960 SE October Road Lake City, FL 32025 - See attached survey

Inst: 2006014978 Date: 06/21/2006 Time: 16:54

B DC, P. DeWitt Cason, Columbia County B:1087 P:1593

2. General description of improvement:

① Bath house for RV Park, ② Septic system, ③ limited public supply well, water, sewer, electrical connections to 14 RV sites, bath house, & office,

3. Owner Name & Address Carol Mattox

6801 NW 214th St Alachua, FL 32615 Interest in Property owner / developer RV dump station

4. Name & Address of Fee Simple Owner (if other than owner):

5. Contractor Name TBD or self

Address _____

Phone Number _____

6. Surety Holders Name N/A

Address _____

Phone Number _____

Amount of Bond _____

7. Lender Name Ameris Bank

Address Newberry FL 32669

Phone Number 352-472-2162

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____

Phone Number _____

Address _____

9. In addition to himself/herself the owner designates _____ of _____

to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____)

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

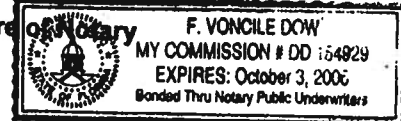
Carol Mattox
Carol Mattox
Signature of Owner

Sworn to (or affirmed) and subscribed before
day of June 21, 2006

NOTARY STAMP/SEAL

F. Vancile DOW

Signature of Notary



- ① Plans submitted - Will Meyer Design
② Permit # 06-0224-N
06-0225-N > site plan - copy
③ Suwannee River water mgmt Permit - copy
Environmental Health operation - copy

District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - George Skinner
District No. 4 - Jennifer Flinn
District No. 5 - James Montgomery



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

November 21, 2003

Carol Lynn Mattox
6801 NW 214th Street
Alachua, FL 32615

Re: SE #0390

Dear Ms Mattox:

This letter is to inform you that your application for a Special Exception was approved by the Columbia County Board of Adjustment at the meeting on October 23, 2003. No appeals have been filed within the appeal period. Any necessary permits required by the County's Building Department can be obtained at this time.

If you have any questions concerning this matter, please feel free to contact me at (386) 758-1008.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Kepner".

Brian L. Kepner
County Planner
Columbia County

BLK/gt



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32080
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:

CAROL MATTOX
6801 NORTHWEST 214TH STREET
ALACHUA, FL 32615

PERMIT NUMBER: ERP03-0425M

DATE ISSUED: 09/27/2005

DATE EXPIRES: 09/27/2008

COUNTY: COLUMBIA

TRS: S13/T6S/R17E

October Bend RV Park

PROJECT: MATTOX RV PARK AND CAMPGROUND

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

CAROL MATTOX

6801 NORTHWEST 214TH STREET
ALACHUA, FL 32615

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Permit consists of the construction and operation of a surfacewater management system serving 0.46 acres of impervious surface on a total project area of 8.40 acres in a manner consistent with the application package submitted by Arthur Bedenbaugh, P.E., certified on September 6, 2005.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 4/11/2006 DATE ISSUED: 4/13/2006

ENHANCED 9-1-1 ADDRESS:

2960 SE OCTOBER RD

LAKE CITY FL 32025

PROPERTY APPRAISER PARCEL NUMBER:

13-6S-17-09660-001

Remarks:

FOR NEW CAMP GROUND

Address Issued By: 

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

167

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

@ CAM112M01 S CamaUSA Appraisal System
 5/09/2006 14:12 Legal Description Maintenance
 Year T Property Sel
 2006 R 13-6S-17-09660-001

	Columbia County
1250	Land 001
26918	AG 002
	Bldg 000
500	Xfea 001
28668	TOTAL B

MATTOX CAROL LYNN

1	W1/2 OF W1/2 OF NE1/4 & 6 AC	OFF E SIDE OF NE1/4 OF NW1/4 &	2
3	E1/2 OF SE1/4 OF NW1/4 & 5 AC	IN NE COR OF NE1/4 OF SW1/4 &	4
5	W1/2 OF SE1/4 & THAT PORTION	OF W1/2 OF SW1/4 E OF I-75	6
7	ORB 375-227, 640-637-38	818-1655 (ASSESSING ONLY THAT	8
9	PORTION LYING IN COLUMBIA	COUNTY PER DEED RECORDED IN	10
11	COLUMBIA COUNTY)		12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 1/15/2003 TERRY

F1=Task F3=Exit F4=Prompt F10=GoTo PgUp/PgDn F24=More

HUGHES WELL DRILLING & PUMP SERVICE

12367 N. US HIGHWAY 441
LAKE CITY, FLORIDA 32055
(386) 752-1840

CUSTOMER'S ORDER NO.		PHONE		DATE	
OCTOBER BEND RV PARK		352-317-1326		01/30/06	
NAME					
CAROL MATTOX					
ADDRESS					
6801 NW 214 th ST.					
ALACHUA, FL. 32615					
SOLD BY	CASH	C.O.D.	CHARGE	ON ACCT.	MDSE. RETD.
PAID OUT					
QTY.	DESCRIPTION				PRICE
1	4" PUBLIC SUPPLY WELL				9300.00
	TO 1 st 100'				
1	50' OF DRILLING PAST 100'				500.00
	@ \$10.00 PER FOOT				
1	25' OF 4" CASING PAST 100'				250.00
	@ \$10.00 PER FOOT				
<p style="text-align: center;">P. 0317</p> <p>THANK YOU!</p> <p>RONNIE HUGHES</p>					TAX
RECEIVED BY					TOTAL \$10,050.00

All claims and returned goods MUST be accompanied by this bill.

1873

NEBS To Reorder:
800-225-6380 or nebs.com

Thank You



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:
CAROL MATTOX
6801 NORTHWEST 214TH STREET
ALACHUA, FL 32615

PERMIT NUMBER: ERP03-0425M
DATE ISSUED: 09/27/2005
DATE EXPIRES: 09/27/2008
COUNTY: COLUMBIA
TRS: S13/T6S/R17E

PROJECT: MATTOX RV PARK AND CAMPGROUND

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

CAROL MATTOX
6801 NORTHWEST 214TH STREET
ALACHUA, FL 32615

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Permit consists of the construction and operation of a surfacewater management system serving 0.46 acres of impervious surface on a total project area of 8.40 acres in a manner consistent with the application package submitted by Arthur Bedenbaugh, P.E., certified on September 6, 2005.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the

permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to

operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the

system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;

- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not

Permit No.: ERP03-0425M

Project: MATTOX RV PARK AND CAMPGROUND

Page 7 of 7

commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by gor 12t Date Approved 9-27-05
District Staff

Trinity Bryant Clerk
[Signature] Executive Director

**SUWANNEE RIVER WATER MANAGEMENT DISTRICT
CONSTRUCTION COMMENCEMENT NOTICE**

Suwannee River Water Management District
Department of Resource Management
9225 County Road 49
Live Oak, Florida 32060

PROJECT: _____ PHASE: _____

I hereby notify the Suwannee River Water Management District that the construction of the surface water management system authorized by Environmental Resource Permit No. _____ has commenced/is expected to commence on _____, 20____, and will require duration of approximately ____ months/____ weeks/days to complete. It is understood that should the construction term extend beyond one calendar year from the date of the permit issuance, I am obligated to submit the Annual Status Report for Surface Water Management System Construction form number 40B-1.901(20).

Note: If the construction commencement date is not shown, the District should be so notified in writing in order to satisfy permit conditions.

Type or Print Permittee's or Authorized Agent's Name

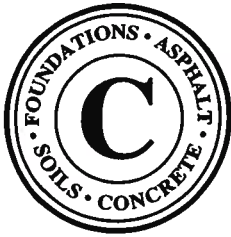
Phone

Address

Permittee's or Authorized
Agent's Signature

Title Company

Date



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056-1625
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456
Tel. (904) 262-4046 • Fax (904) 262-4047

July 12, 2006

Carol Mattox
6801 N. W. 214th Street
Alachua, Florida 32615

*Sealed
Copy
for 0606-85
Bldg. Dept.*

Reference: Proposed Bathhouse
2960 S. E. October Road
Columbia County, Florida
Cal-Tech Project No. 06-419
Reference No.: 0606-85

Dear Ms. Mattox,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation of the site for a bathhouse to be constructed at the referenced location in Columbia County, Florida. Our work was performed in conjunction with and authorized by you.

We were provided building plans and understand the single-story, masonry block building will have lateral dimensions of about 12 feet by 20 feet. Support for the structure is to be provided by a monolithic foundation for which thickened edges are to be 12 inches in width and have embedment of about 10 inches. Anticipated foundation loads were not provided; however, we assume wall loads will not exceed 1.5 kips per foot.

The purposes of our investigation were to evaluate the existing subgrade soils for an allowable bearing pressure of 1,500 pounds per square foot and to provide recommendations as appropriate.

Site Investigation

The building site was investigated by performing two Standard Penetration Test borings advanced to depths of 10.0 feet. Borings were performed at the approximate locations indicated on the attached drawing. These locations were selected by Cal-Tech Testing, Inc.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

Findings

The soil borings generally encountered two soil strata. The first layer consists of 3.0 to 3.5 feet of loose, tan and gray or tan and yellow sand (SP) or sand with silt (SP/SM). The N-values of this layer are on the order of 4 to 10 blows per foot.

The second layer consists of an undetermined thickness of medium dense to dense, generally gray, orange and tan, clayey sand (SC). The N-values of this layer range from 13 to 36 blows per foot.

Groundwater was not encountered at the time of our investigation, and we estimate the wet season water table will occur at a depth of more than 6.0 feet below the existing surface grade. Note however that storm water will temporarily perch on clayey soils encountered near the ground surface. For a more detailed description of the subsurface conditions encountered, please refer to the attached Boring Logs.

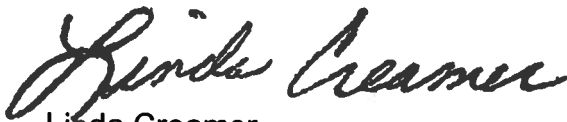
Discussion

We have performed a bearing capacity analysis for the immediate bearing soils and have used the proposed monolithic foundation. For this foundation and the site soils as encountered, we obtained an allowable bearing capacity of 1,500 pounds per square foot with a factor of safety of about 1.4 against a bearing capacity failure. It is therefore our opinion the subgrade soils within the proposed building area are suitable for the proposed monolithic foundations and an allowable bearing pressure of 1,500 pounds per square foot.

Although the existing site soils are suitable for an allowable bearing pressure of 1,500 pounds per square foot, we recommend the bearing soils be compacted to increase their bearing capacity and to reduce settlement of the foundations. Specifically, we recommend the bearing soils be proof-rolled using heavy, rubber-tired equipment and then proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a minimum depth of 1 foot below the bottoms of the foundations and slabs.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



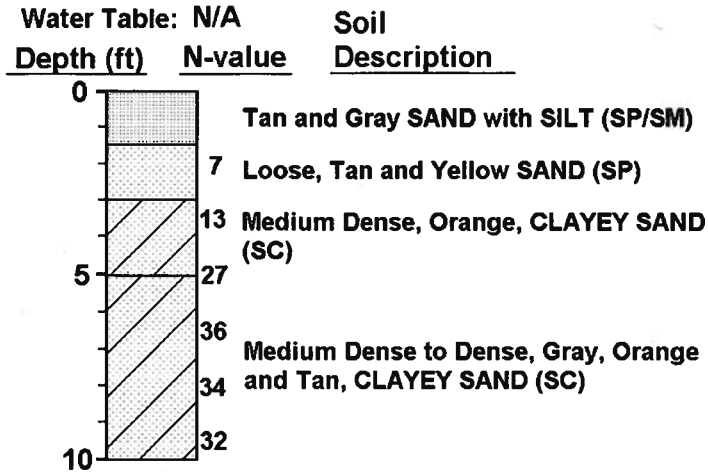
Linda Creamer
President / CEO



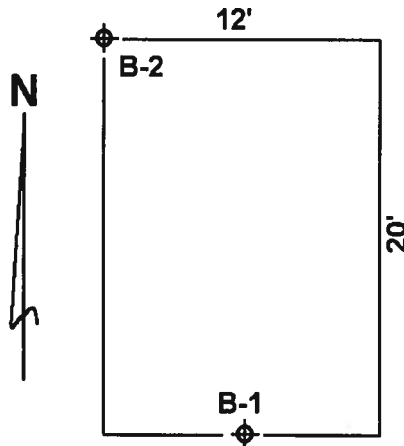
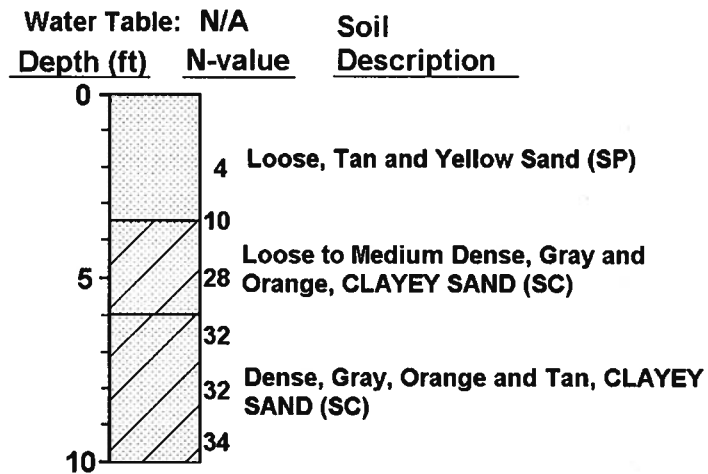
John C. Dorman, Jr., Ph.D., P.E.
Geotechnical Engineer

7/12/06
52612

B-1



B-2



Boring Logs and Location Plan: Proposed Bath House



MiTek®

RE: MATTOXC -

MiTek Industries, Inc.

1801 Massaro Blvd.

Tampa, FL 33619

Phone: 813/675-1200

Fax: 813/675-1148

Site Information:

Project Customer: Project Name:

Lot/Block:

Subdivision:

Address:

City:

State:

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

Name:

License #:

Address:

State:

City:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2004/TPI200

Design Program: MiTek 20/20 6.3

Wind Code: ASCE 7/02 Wind Speed: 110 mph

Design Method: User defined

Roof Load: 40 psf, nonconcurrent BCLL=10 psf

Floor Load: N/A psf

This package includes 2 individual, dated Truss Design Drawings and 0 Additional Drawings.

With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Job ID#	Truss Name	Date
1	T2204624	MATTOXC	A1	5/25/06
2	T2204625	MATTOXC	AET	5/25/06

The truss drawing(s) referenced above have been prepared by MiTek Industries, Inc. under my direct supervision based on the parameters provided by Santa Fe Truss.

Truss Design Engineer's Name: Zhang, Guo-jie

My license renewal date for the state of is February 28, 2007.

NOTE: The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-1 Sec. 2.

Guo-jie Zhang, FL Lic #47744
MiTek Industries, Inc.
1801 Massaro Blvd
Tampa FL 33619
FL Cert.#6634

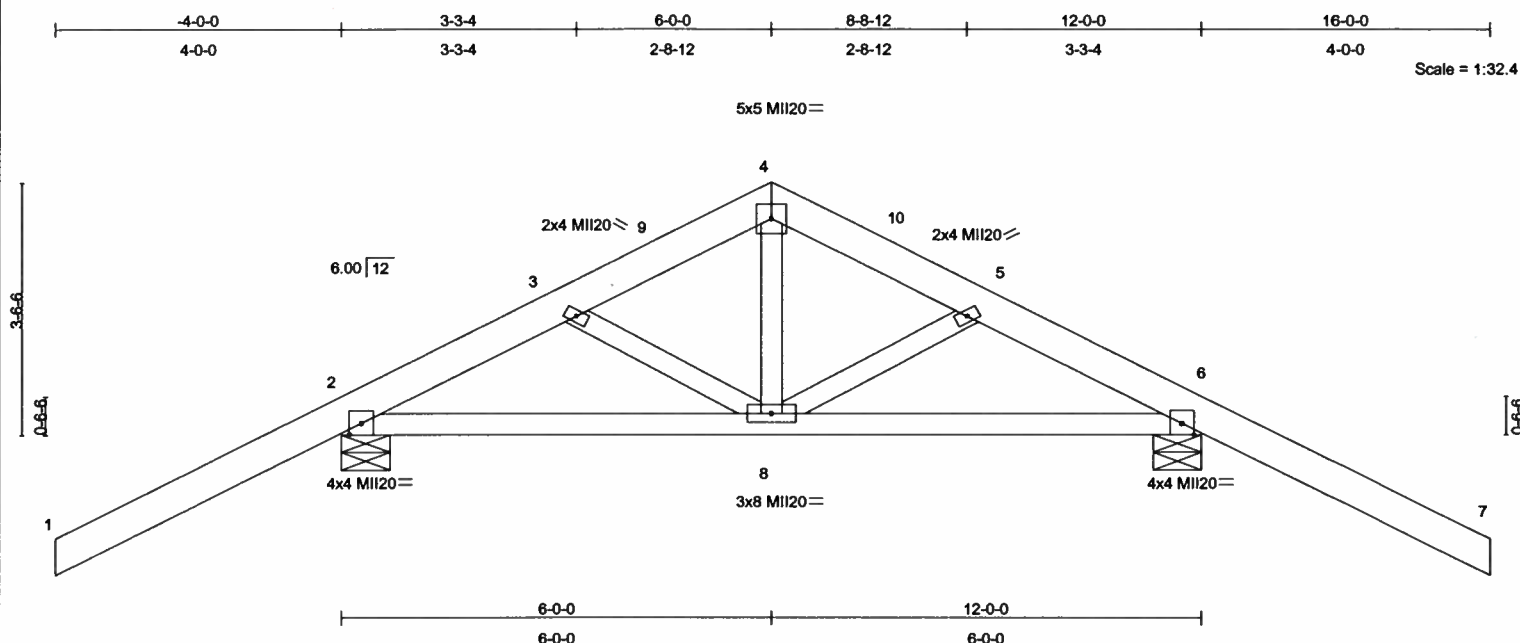
May 25, 2006

Job	Truss	Truss Type	Qty	Ply	T2204624
MATTOXC	A1	COMMON	9	1	

SANTA FE TRUSS, HIGH SPRINGS FL., p.colacino

Job Reference (optional)

6.300 s Apr 19 2006 MiTek Industries, Inc. Thu May 25 09:05:11 2006 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.52	Vert(LL)	-0.03	6-8	>999	240	MII20	249/190
TCDL 10.0	Lumber Increase	1.25	BC 0.17	Vert(TL)	-0.03	2-8	>999	180		
BCLL 10.0	Rep Stress Incr	YES	WB 0.06	Horz(TL)	0.01	6	n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)							Weight: 84 lb

LUMBER

TOP CHORD 2 X 6 SYP No.2
BOT CHORD 2 X 4 SYP No.2D
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 2=713/0-8-0, 6=713/0-8-0

Max Horz 2=-107(load case 6)

Max Uplift 2=408(load case 5), 6=408(load case 6)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/103, 2-3=-342/7, 3-9=-326/9, 4-9=-305/19, 4-10=-305/18, 5-10=-326/8, 5-6=-342/4, 6-7=0/103

BOT CHORD 2-8=0/263, 6-8=0/336

WEBS 3-8=-146/110, 4-8=-32/192, 5-8=-142/110

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-02; 110mph (3-second gust); h=18ft; TCDL=5.0psf; BCDL=5.0psf; Category II; Exp B; enclosed; MWFRS gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- *This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 408 lb uplift at joint 2 and 408 lb uplift at joint 6.

LOAD CASE(S) Standard

Guo-Jie Zhang, FL Lic #47744
MiTek Industries, Inc.
1801 Massaro Blvd
Tampa FL 33619
FL Cert.#6634

May 25, 2006

WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.

Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI1 Quality Criteria, DSB-89 and BCS11 Building Component Safety Information available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

1801 Massaro Blvd.
Tampa, FL 33619



Job	Truss	Truss Type	Qty	Ply		T2204625
MATTOXC	AET	COMMON	2	1	Job Reference (optional)	

SANTA FE TRUSS, HIGH SPRINGS FL., p.colacino

6.300 s Apr 19 2006 MiTek Industries, Inc. Thu May 25 09:05:12 2006 Page 1

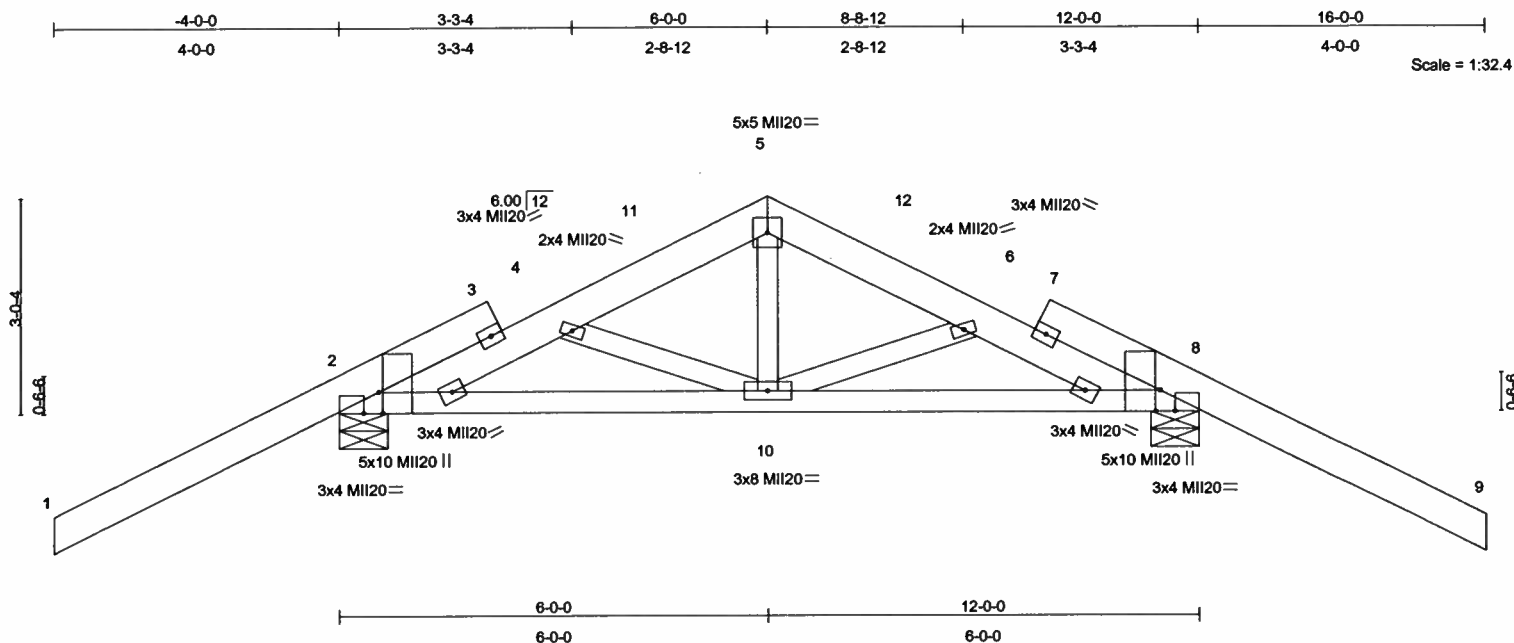


Plate Offsets (X,Y): [2:0-3-8,Edge], [2:0-2-8,Edge], [8:0-3-8,Edge], [8:0-2-8,Edge]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.52	Vert(LL)	-0.01	2-10	>999	240	MII20	249/190
TCDL 10.0	Lumber Increase	1.25	BC 0.18	Vert(TL)	-0.04	8-10	>999	180		
BCLL 10.0	Rep Stress Incr	YES	WB 0.08	Horz(TL)	0.01	8	n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)							Weight: 91 lb

LUMBER

TOP CHORD 2 X 6 SYP No.2
BOT CHORD 2 X 4 SYP No.2D
WEBS 2 X 4 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 2=713/0-8-0, 8=713/0-8-0

Max Horz 2=-100(load case 6)

Max Uplift 2=-410(load case 5), 8=-410(load case 6)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=0/103, 2-3=-425/0, 3-4=-411/5, 4-11=-391/4, 5-11=-369/11, 5-12=-369/11, 6-12=-391/3, 6-7=-411/0, 7-8=-425/0, 8-9=0/103

BOT CHORD 2-10=0/368, 8-10=0/368

WEBS 4-10=-158/56, 5-10=0/238, 6-10=-149/56

NOTES

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-02; 110mph (3-second gust); h=18ft; TCCL=5.0psf; BCDL=5.0psf; Category II; Exp B; enclosed; MWFRS gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 3) *This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 4) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 410 lb uplift at joint 2 and 410 lb uplift at joint 8.

LOAD CASE(S) Standard

Guo-Jie Zhang, FL Lic #47744
MiTek Industries, Inc.
1801 Massaro Blvd
Tampa FL 33619
FL Cert.#6634

May 25, 2006

WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.

Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI1 Quality Criteria, DSB-89 and BCS11 Building Component Safety Information available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

1801 Massaro Blvd.
Tampa, FL 33619



12-0-0

COLUMBIA COUNTY BUILDING DEPARTMENT

COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001 WITH AMENDMENTS

ALL REQUIREMENTS LISTED ARE SUBJECT TO CHANGE

EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INCLUDE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 WITH AMENDMENTS BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SIGNATURE AND SEAL OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA. THE FOLLOWING BASIC WIND SPEED AS PER SECTION 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing a floor plan, site plan, foundation plan, floor/roof framing plan or truss layout, wall sections and all exterior elevations with the following criteria and documents:

<u>Applicant</u>	<u>Plans Examiner</u>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 104.2.1) If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Two (2) Copies of Approved Site Plan</u>
<input type="checkbox"/>	<input type="checkbox"/>	<u>Minimum Type Construction</u> (FBC Table 500)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Wind Load Engineering Summary, calculations and any details required:</u> a) Plans or specifications must state compliance with FBC Section 1606 b) The following information must be shown as per section 1606.1.7 FBC <ol style="list-style-type: none">1. Basic wind speed (MPH)2. Wind importance factor (I) and building category3. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated4. The applicable internal pressure coefficient5. Components and Cladding. The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Fire Resistant Construction Requirements shall include:</u> a) Fire resistant separations (listed system) b) Fire resistant protection for type of construction c) Protection of openings and penetrations of rated walls (listed systems) d) Fire blocking and draft-stopping e) Calculated fire resistance
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	

Fire Suppression Systems shall include: (To be reviewed by Fire Department)

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Fire sprinklers |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Fire alarm system (early warning) with name of licensed installer. If not shown on plans or not known at time of permitting, a separate permit shall be required by the licensed installer |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke evacuation system schematic |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stand-pipes
Pre-engineered system
Riser diagram |

Life Safety Systems shall include: (To be reviewed by Fire Department)

- | | | |
|--------------------------|--------------------------|---------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load and egress capacity |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Early warning |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke control N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stair pressurization |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Systems schematic |

Occupancy Load/Egress Requirements shall include:

- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load (gross and net) |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Means of egress N/A
exit access, exit and exit discharge |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Stair construction/geometry and protection |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Doors |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Emergency lighting and exit signs |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Specific occupancy requirements
1. Construction requirements
2. Horizontal exits/exit passageways |

Structural Requirements shall include:

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Soil conditions/analysis |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Show type of termite treatment (termicide or alternative method) ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Design loads ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Wind requirements ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Building envelope |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Structural calculations |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Foundations ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Wall systems ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Floor systems ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Roof systems ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Threshold inspection plan (if applicable) |
| <input type="checkbox"/> | <input type="checkbox"/> | l) Stair systems |

Materials shall include:

- | | | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Wood |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Steel |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Aluminum |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Concrete ✓ |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Plastic |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Glass (mfg. Listing for wind zone including details for installation and attachments) |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Masonry |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Gypsum board and plaster |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Insulating (mechanical) |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Roofing (mfg. Listed system for wind zone with installation and attachments) |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Insulation |

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Accessibility Requirements shall include:

- a) Site requirements
- b) Accessible route
- c) Vertical accessibility
- d) Toilet and bathing facilities ✓
- e) Drinking fountains
- f) Equipment
- g) Special occupancy requirements
- h) Fair housing requirements

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Interior Requirements shall include:

- a) Interior finishes (flame spread/smoke develop)
- b) Light and ventilation
- c) Sanitation

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Special Systems shall include:

- a) Elevators
- b) Escalators
- c) Lifts

N/A

Swimming Pools – Commercial – Plans shall be signed and sealed by a Professional Engineer registered in the State of Florida and approved by the Department of Business and Professional Regulation/Health Department indicating compliance with the Florida Administrative Code, Chapter 64E-9 And Section 24 of the Florida Building Code

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Electrical:

- a) Electrical wiring, services, feeders and branch circuits, over-current protection, grounding, wiring methods and materials, GFCIs
- b) Equipment
- c) Special Occupancies
- d) Emergency Systems
- e) Communication Systems
- f) Low Voltage
- g) Load calculations
- h) Riser diagram

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Plumbing:

- a) Minimum plumbing facilities
- b) Fixture requirements
- c) Water supply piping
- d) Sanitary drainage
- e) Water heaters
- f) Vents
- g) Roof drainage
- h) Back flow prevention
- i) Irrigation
- j) Location of water supply
- k) Grease traps
- l) Environmental requirements
- m) Plumbing riser

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Mechanical:

- a) Energy calculation (signed and sealed by Architect or Engineer, registered in the State of Florida)
- b) Exhaust systems (clothes dryer exhaust, kitchen equipment exhaust, Specialty equipment exhaust)
- c) Equipment
- d) Equipment location
- e) Make-up air
- f) Roof mounted equipment
- g) Duct systems
- h) Ventilation
- i) Combustion air
- j) Chimneys, fireplaces and vents
- k) Appliances
- l) Boilers
- m) Refrigeration
- n) Bathroom ventilation
- o) Laboratory

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Gas:

- a) Gas piping
- b) Venting
- c) Combustion air
- d) Chimney's and vents
- e) Appliances
- f) Type of gas
- g) Fireplaces
- h) LP tank locations
- i) Riser diagram/shut offs

- ☐

Disclosure Statement for Owner Builders

- ☐

*****Notice of Commencement Required Before Any Inspections will be Done**

- ☐

Private Potable Water:

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

✓

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS:

- ✓ 1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all construction projects; If you were required to have a Site and Development Plan Approval, list SDP number.
- ✓ 2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser is required.
A copy of property deed is also requested. (386) 758-1084
- ✓ 3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic tank approval or sewer tap is required
4. **City Approval:** If the project is located within the city limits of the Town of Fort White prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) **has been** established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) **has not been** established shall meet the requirements of section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. The development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Joint use culverts will comply with Florida Department of Transportation specifications. If the project is to be located on a F.D.O.T. maintained road, then an F.D.O.T. access permit is required.
- ✓ 7. **Suwannee River Water Management District Approval:** All commercial projects must have an SRWMD permit issued or an exemption letter, before a building will be issued.

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK

COLUMBIA COUNTY FIRE DEPARTMENT

135 NE HERNANDO AVENUE

P. O. BOX 1529

SUITE 203

LAKE CITY, FL 32055



PHONE (386) 754-7089

FAX (386) 754-7064

**David L. Boozer
Division Chief**

12 September 2007

To: Columbia County Building and Zoning

From: David L. Boozer

Re: Camp Ground Permit #24933

A fire safety inspection was conducted at 2989 SE October Road, Lake City, Florida. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2004 Edition. No violations were noted. We recommend approval.

Notice of Treatment

172808

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: BAYVIEW AVE
City: LAKE CITY Phone: 752-1703

Site Location: Subdivision

Lot # 1 Block # 1 Permit # 24933
Address 2989 SE October

Product used

Active Ingredient

% Concentration

- | | | |
|---|----------------------------------|-------|
| <input checked="" type="checkbox"/> Premise | Imidacloprid | 0.1% |
| <input type="checkbox"/> Termidor | Fipronil | 0.12% |
| <input type="checkbox"/> Bora-Care | Disodium Octaborate Tetrahydrate | 23.0% |

Type treatment:

☒ Soil

☐ Wood

Area Treated	Square feet	Linear feet	Gallons Applied
BATH FACILITY	576	96	96
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

12/21/06 1130 F254
Date Time Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



COLUMBIA COUNTY DEPT OF ALLENBY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 13-6S-17-09660-001

Building permit No. 000024933

Use Classification PARK BATHHOUSE&POLES

Fire: 0.00

Permit Holder CAROL L. MATTOX

Waste: _____

Owner of Building CAROL MATTOX

Total: 0.00

Location: 2960 SE OCTOBER RD, LAKE CITY, FL

Date: 10/11/2007

Fanny Dicks

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

COLUMBIA COUNTY OFFICE OF ZONING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 13-6S-17-09660-001

Building permit No. 000024933

Use Classification PARK BATHHOUSE&POLES

Fire: 0.00

Permit Holder CAROL L. MATTOX

Waste: _____

Owner of Building CAROL MATTOX

Total: 0.00

PER ZANNIE LITTLE

Location: 2989 SE OCTOBER RD, LAKE CITY, FL

Date: 09/14/2007

Zanny Little

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)