

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

ck
2300

For Office Use Only (Revised 7-1-15) Zoning Official ZMA Building Official ZMA

AP# 1907-32 Date Received 7/8/19 By MG Permit # 38362

Flood Zone X (SP) Development Permit _____ Zoning A-3 Land Use Plan Map Category ESA

Comments floor one foot above the road, Any change in M/H location must be re-approved, replacing existing M/H

FEMA Map# _____ Elevation _____ Finished Floor 1' above road River _____ In Floodway _____

☒ Recorded Deed or ☒ Property Appraiser PO ☒ Site Plan ☒ EH # 19-0516 ☐ Well letter OR

☒ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # _____ ☐ STUP-MH _____ ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment Paid on Property ☐ Out County ☐ In County ☒ Sub VF Form

Property ID # 12-5S-16-03589-001 Subdivision NA Lot# NA

▪ New Mobile Home X Used Mobile Home _____ MH Size 32 x 66 Year 2020

▪ Applicant Dale Burd Phone # 386-365-7674

▪ Address 20619 County Road 137, Lake City, FL, 32024

▪ Name of Property Owner Colt Dunlap Phone# 570-620-5792

▪ 911 Address 4601 SW CR 240, LAKE CITY, FL 32024

▪ Circle the correct power company - FL Power & Light - (Clay Electric)
(Circle One) - Suwannee Valley Electric - Duke Energy

▪ Name of Owner of Mobile Home Same Phone # Same
Address _____

▪ Relationship to Property Owner Same

▪ Current Number of Dwellings on Property 0

▪ Lot Size 445 x 729 Total Acreage 7.5

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home Yes previous home removed

▪ Driving Directions to the Property From Lake City, CR 47 South, TL CR 240, Approx 1.5 miles to property on left

▪ Name of Licensed Dealer/Installer Ernest Scott Johnson Phone # 352-494-8099

▪ Installers Address 22204 SE US Hwy 301, Hawthorne, FL, 32640

▪ License Number IH-1025249 Installation Decal # 58689


SCANNED

PERMIT WORKSHEET

PERMIT NUMBER

Installer Ernest Scott Johnson License # IH-1025249

Installer Mobile Phone # 352-494-8099

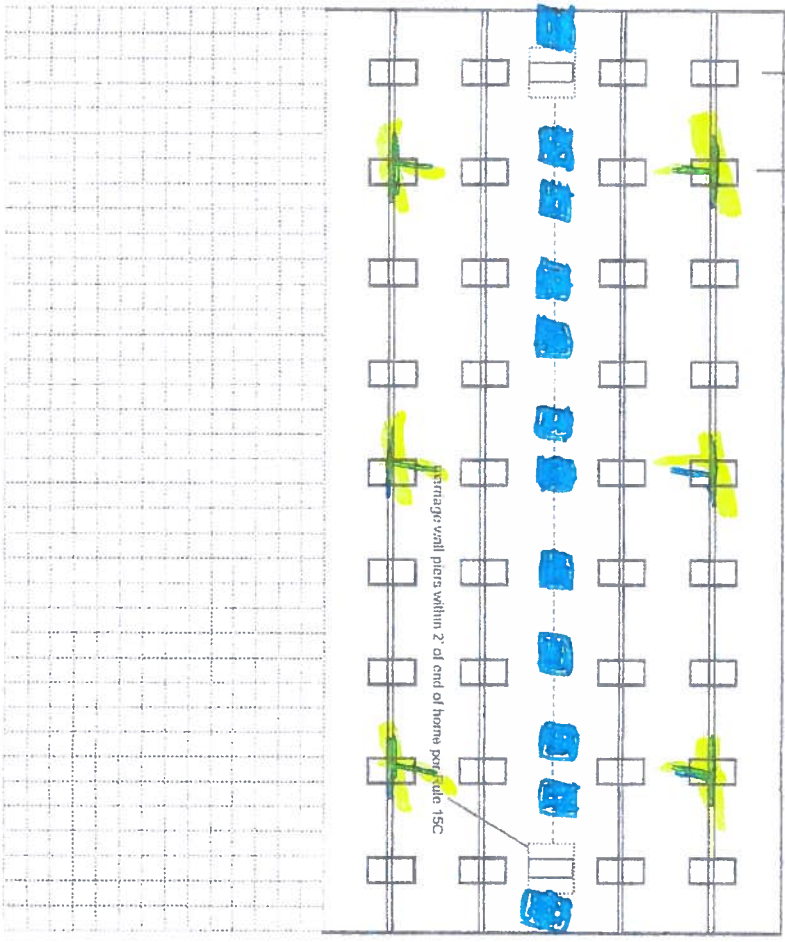
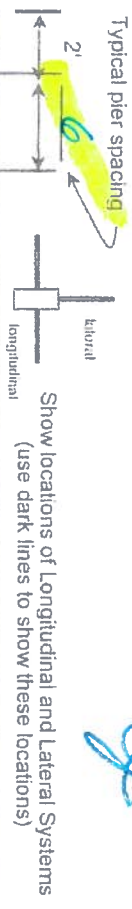
Address of home being installed 4601 CR 240 Lake City FL 32024

Manufacturer Deer Valley Length x width 66x30

NOTE: *if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home*

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials ES



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 58689

Triple/Quad ☐ Serial # 907990

Roof System: ☒ Typical ☐ Hinged

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16' x 16' (256)	18 1/2' x 18 (342)	20' x 20' (400)	22' x 22' (484)*	24' x 24' (576)*	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'	6'	7'	8'	9'	10'	10'
2000 psf	6'	8'	9'	10'	11'	12'	12'
2500 psf	7'	9'	10'	11'	12'	13'	13'
3000 psf	8'	10'	11'	12'	13'	14'	14'
3500 psf	8'	10'	11'	12'	13'	14'	14'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 23X31 6
Perimeter pier pad size 01.5x2.105x11/2x17.5X25.5
Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening	Pier pad size
<u>17.5X25.5</u>	<u>17.5X25.5</u>
<u>17.5X25.5</u>	<u>17.5X25.5</u>
<u>17.5X25.5</u>	<u>17.5X25.5</u>
<u>17.5X25.5</u>	<u>17.5X25.5</u>

TIEDOWN COMPONENTS

ANCHORS

4 ft ☒ 5 ft ☒

FRAME TIES

OTHER TIES

Longitudinal Stabilizing Device (LSD)
Manufacturer _____
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver 1101 V

Sidewall Longitudinal Marriage wall Shearwall
Number 30
6
10
6

PERMIT NUMBER

PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil without testing.

X 1000 X 1000 X 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1000 X 1000 X 1000

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing _____ A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft.

anchors are allowed at the sidewall locations. 1 under stand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 400 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Ernest S Johnson

Date Tested

Assumed Oliver 11/01/14
uses 485 foot Anchors Both

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Site Preparation

Debris and organic material removed _____
Water drainage: Natural Swale

Pad Other

Fastening multi wide units

Floor: Type Fastener: 1/4" Length: 6" Spacing: 20"
Walls: Type Fastener: 1/4" Length: 6" Spacing: 12"
Roof: Type Fastener: 1/4" Length: 6" Spacing: 20"

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Installed:

Type gasket Pg. 411
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

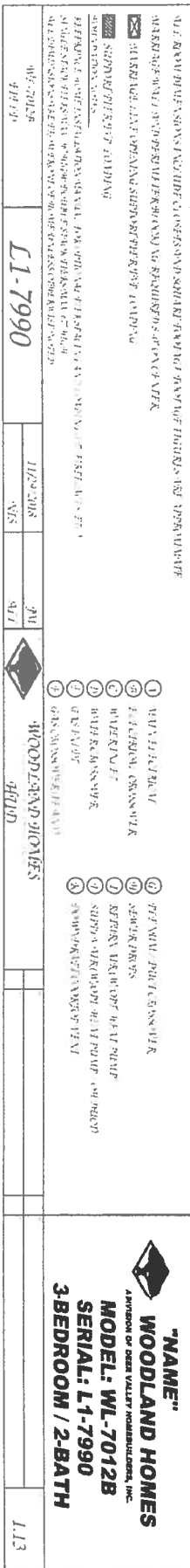
The bottomboard will be repaired and/or taped. Yes _____ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes _____
Fireplace chimney installed so as not to allow intrusion of rain water. Yes _____

Miscellaneous

Skirting to be installed. Yes _____ No _____
Dryer vent installed outside of skirting. Yes _____ N/A _____
Range downflow vent installed outside of skirting. Yes _____ N/A _____
Drain lines supported at 4 foot intervals. Yes _____
Electrical crossovers protected. Yes _____
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2.

Installer Signature Ernest S Johnson Date _____



"NAME"
WOODLAND HOMES
AMERSON OF DEER VALLEY HOMESITE CORP., INC.
MODEL: WL-7012B
SERIAL: L1-7990
3-BEDROOM / 2-BATH

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 6/25/2019

Parcel: **12-5S-16-03589-001****Owner & Property Info**

Result: 1 of 1

Owner	DUNLAP COLT 172 TAPUCO DR ALBRIGHTSVILLE, PA 18210		
Site	4601 COUNTY ROAD 240 , LAKE CITY		
Description*	COMM NE COR OF SE1/4 OF NW1/4, RUN W 972.51 FT FOR POB, RUN S 744.77 FT TO N R/W CR-240, W ALONG R/W 445.01 FT, N 729.97 FT TO N LINE OF S1/2 OF NW1/4, E 445.08 FT TO POB. 439-81, 755-64, 829-1065, WD 1337-716, WD 1359-1280,		
Area	7.5 AC	S/T/R	12-5S-16
Use Code**	MOBILE HOM (000200)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

2019 2016 2013 2010 2007 2005 ☒ Sales [\(zoom parcel\)](#) ☒ click ☒ hover

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (2)	\$39,478	Mkt Land (2)	\$40,728
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$5,178	Building (1)	\$5,743
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$44,656	Just	\$46,471
Class	\$0	Class	\$0
Appraised	\$44,656	Appraised	\$46,471
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$44,656	Assessed	\$46,471
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$44,656 city:\$44,656 other:\$44,656 school:\$44,656	Total Taxable	county:\$46,471 city:\$46,471 other:\$46,471 school:\$46,471

▼ Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
5/2/2018	\$25,000	1359/1280				

Legend

Parcels

2018Aerials

Addresses

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

Roads

Roads

others

Dirt

Interstate

Main

Other

Paved

Private

DevZones1

others

A-1

A-2

A-3

CG

CHI

CI

CN

CSV

ESA-2

I

ILW

MUD-1

PRD

PRRD

RMF-1

RMF-2

RO

RR

RSF-1

RSF-2

RSF-3

RSF/MH-1

RSF/MH-2

RSF/MH-3

DEFAULT

FutureLandUseMap

Mixed Use Development

Light Industrial

Industrial

Highway Interchange

Commercial

Residential High Density

(< 20 d.u. per acre)

Residential Medium/High Density

(< 14 d.u. per acre)

Residential Medium Density

(< 8 d.u. per acre)

Residential Moderate Density

(< 4 d.u. per acre)

Residential Low Density

(< 2 d.u. per acre)

Residential Very Low Density

(< 1 d.u. per acre)

Agriculture - 3

(< 1 d.u. per 5 acres)

Agriculture - 2

(< 1 d.u. per 10 acres)

Agriculture - 1

(< 1 d.u. per 20 acres)

Environmentally Sensitive Areas

(< 1 d.u. per 10 acres)

Public

Recreation

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jul 11 2019 08:49:00 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 12-5S-16-03589-001

Owner: DUNLAP COLT

Subdivision:

Lot:

Acres: 7.64939356

Deed Acres: 7.5 Ac

District: District 5 Tim Murphy

Future Land Uses: Agriculture - 3, Environmentally Sensitive Areas -1

Flood Zones: AE, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD,

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Legend

Parcels

2018Aerials



Addresses

2018 Flood Zones

0.2 PCT ANNUAL CHANCE



A

AE

AH

Roads

Roads

others

Dirt

Interstate

Main

Other

Paved

Private

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jul 11 2019 08:44:42 GMT-0400 (Eastern Daylight Time)



*Approx: 175' to flood zone line
Per site plan the m/H
will be out of flood
Zone.*

Parcel Information

Parcel No: 12-5S-16-03589-001

Owner: DUNLAP COLT

Subdivision:

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Deed Acres: 7.5 Ac

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Legend

Parcels

2018Aerials



Addresses

Roads

Roads

others

Dirt

Interstate

Main

Other

Paved

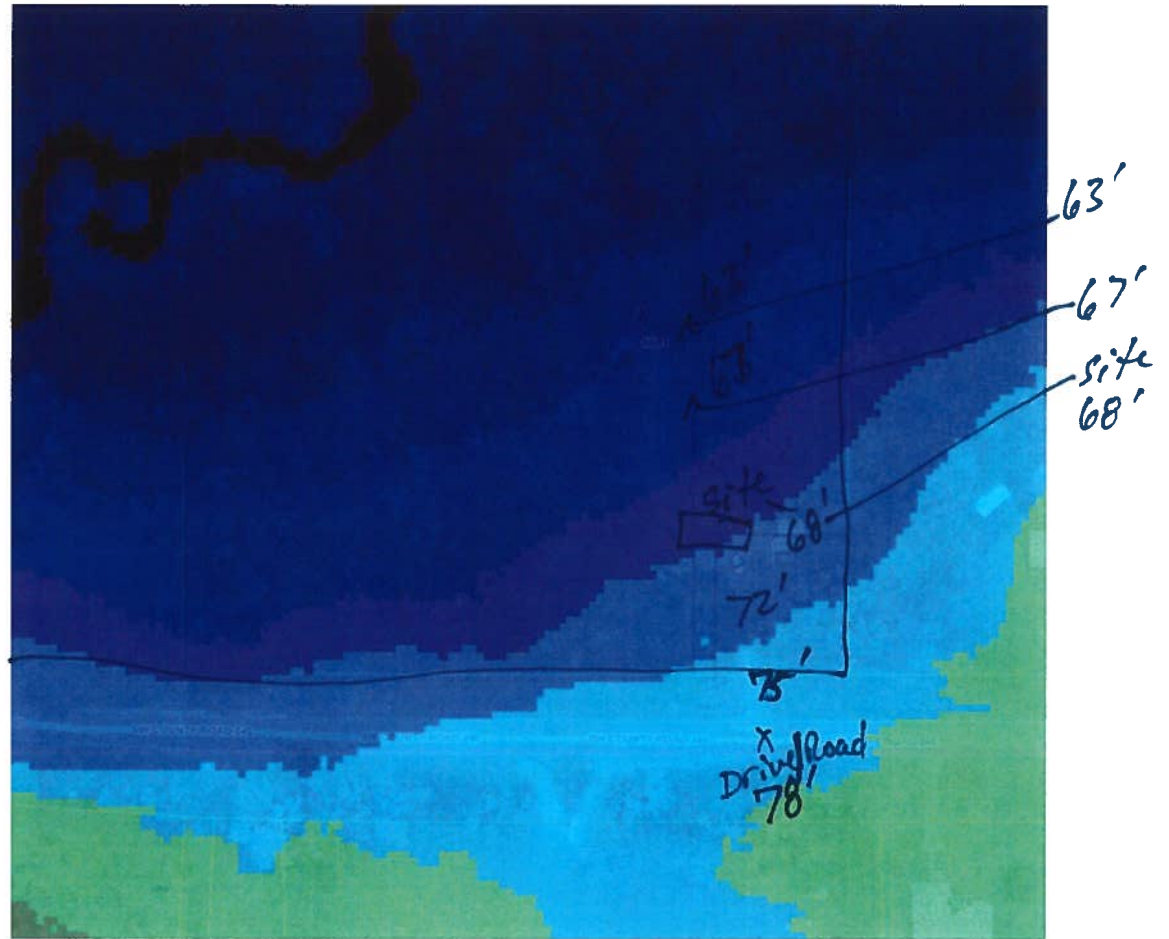
Private

LidarElevations



Columbia County, FLA - Building & Zoning Property Map

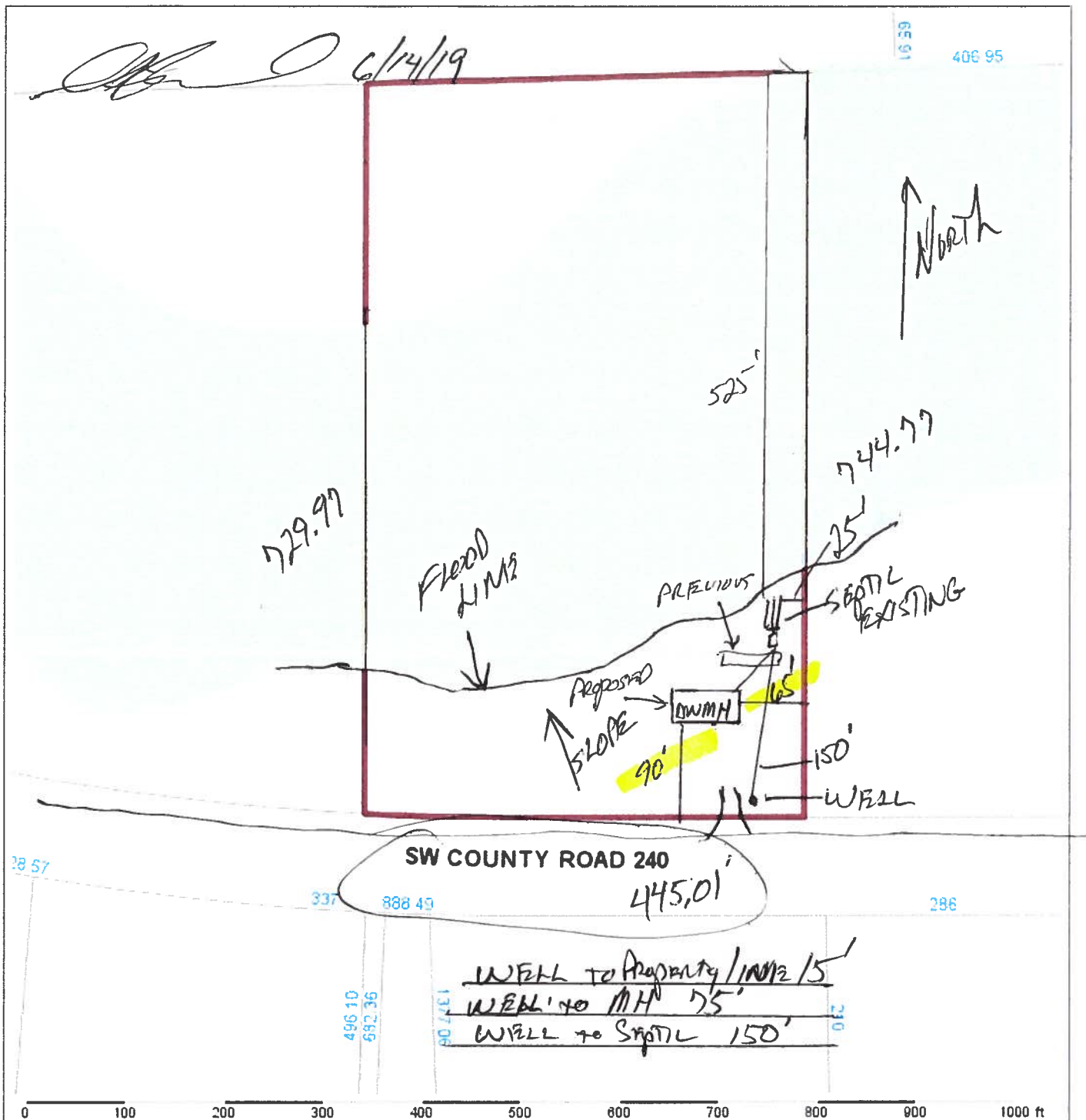
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Approx. 10'
Difference between
site and road.

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1"=150'



WELL to Property / MH 15'

WELL to MH 75'

WELL to Septic 150'

Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 12-55-16-03589-001 | MOBILE HOM (000200) | 7.5 AC
 COMM COR OF SE 1/4 OF NW 1/4, RUN W 972.51 FT FOR POB, RUN S 744.77 FT TO N RW CR-240, W ALONG RW 445.01 FT, N 729.97 FT TO N LINE OF S 1/2 OF NW 1/4

DUNLAP COLT

Owner: 172 TAPUCO DR
 ALBRIGHTSVILLE, PA 16210
 Site: 4601 COUNTY ROAD 240, LAKE CITY

Sales 3/2/2018 \$25,000 1 (U)
 Info 5/16/2017 \$30,000 1 (Q)
 10/14/1996 \$0 V (U)

2018 Certified Values

Mkt Lnd	\$40,728	Appraised	\$46,094
Ag Lnd	\$0	Assessed	\$46,094
Bldg	\$5,366	Exempt	\$0
XFOB	\$0		
Just	\$46,094	Total	county: \$46,094
		Taxable	city: \$46,094
			other: \$46,094
			school: \$46,094

NOTES:

Columbia County, FL

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM


APPLICATION NUMBER 1907-32 CONTRACTOR Ernest Scott Johnson PHONE 352-494-8099

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

Colt Dunlap

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Colt Dunlap</u> License #: <u>Owner</u>	Signature <u></u> Phone #: <u>570-620-5792</u> Qualifier Form Attached <input checked="" type="checkbox"/>
MECHANICAL/ A/C <u>TTO</u>	Print Name <u>Timothy Shatto</u> License #: <u>CAC 057875</u>	Signature <u></u> Phone #: <u>386-496-8224</u> Qualifier Form Attached <input checked="" type="checkbox"/>

Qualifier Forms cannot be submitted for any Specialty License.

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Revised 10/30/2015



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

LICENSED QUALIFIER AUTHORIZATION

I, Timothy Shatto (license holder name), licensed qualifier
for Shatto Heat & Air (company name), do certify that
the below referenced person(s) listed on this form is/are contracted/hired by me, the license
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said
person(s) is/are under my direct supervision and control and is/are authorized to purchase and
sign permits; call for inspections and sign subcontractor verification forms on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. Bo Royals	1.
2. Dale Burd	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances. I understand that the State and County Licensing Boards have the power and
authority to discipline a license holder for violations committed by him/her, his/her agents,
officers, or employees and that I have full responsibility for compliance with all statutes, codes
and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or
officer(s), you must notify this department in writing of the changes and submit a new letter of
authorization form, which will supersede all previous lists. Failure to do so may allow
unauthorized persons to use your name and/or license number to obtain permits.

Timothy D. Shatto CAC 057875 2/22/18
Licensed Qualifiers Signature (Notarized) License Number Date

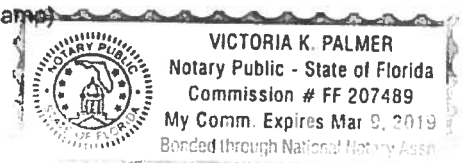
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Union

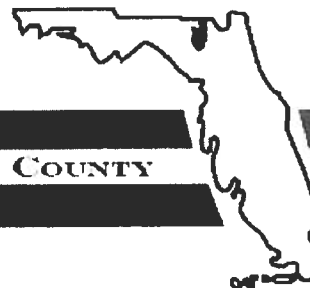
The above license holder, whose name is Timothy D. Shatto
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 22 day of February, 2018.

Victoria K. Palmer
NOTARY'S SIGNATURE

(Seal/Stamp)



District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	7/11/2019 1:20:43 PM
Address:	4601 SW COUNTY ROAD 240
City:	LAKE CITY
State:	FL
Zip Code	32024
Parcel ID	03589-001

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0516DATE PAID: 7/5/19FEE PAID: 750.00RECEIPT #: 1420354

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Colt DunlapAGENT: Dale Burd / Dale Burd LLCTELEPHONE: 386-365-7674MAILING ADDRESS: 20619 County Road 137, Lake City, FL, 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: na BLOCK: na SUBDIVISION: na PLATTED: naPROPERTY ID #: 12-SS-16-03589-001 ZONING: _____ I/M OR EQUIVALENT: ☐ No ☐PROPERTY SIZE: 7.5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ☐ ≤2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ No ☐ DISTANCE TO SEWER: na FTPROPERTY ADDRESS: 4601 COUNTY ROAD 240, LAKE CITY, FL, 32024DIRECTIONS TO PROPERTY: 47 South, TL CR 240, 1.5 miles on the left

BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	3	1980	3 BR for 3 BR Like for like
2				00-0537-N
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: [Signature]DATE: 7/4/2019

DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 19-0516

Part II ----- PART II - SITEPLAN -----

Scale: 1 inch = 40 feet.

PLEASE
SEE
ATTACHED

Notes: _____

Site Plan submitted by: [Signature] 7/4/19
Plan Approved [Signature] Not Approved _____
By [Signature] ESTL Columbia Date 7/10/19
County Health Department

CONTRACTOR

Date 7/10/19

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

MapPrint_Columbia-County-Property-Appraiser_6-14-2019

<http://columbia.floridapa.com/gis/gisPrint>