

DATE 10/10/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027419

APPLICANT ROBERT PUCKETT PHONE 352 351-8153
ADDRESS 1748 NW 58TH LANE OCALA FL 34475
OWNER CHARLEY & TERESA ACEVEDO PHONE
ADDRESS 455 SE BRANDON DR LAKE CITY FL 32025
CONTRACTOR ROBERT PUCKETT PHONE 352 351-8153
LOCATION OF PROPERTY 441S, TL ALFRED ST, TL BRANDON DR.,14TH LOT ON RIGHT,
TOM BULLOCK PL., ON RIGHT
TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 35-4S-17-09033-107 SUBDIVISION BRENT HEIGHTS
LOT 7 BLOCK PHASE UNIT TOTAL ACRES 1.54

IH0000707
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-660 CS HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: EXISTNG MH TO BE REMOVED, ONE FOOT ABOVE THE ROAD

Check # or Cash CASH

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

CK# CASH

For Office Use Only (Revised 1-10-08) Zoning Official als 10/2/08 Building Official ND 9-26-08

AP# 0809-56 Date Received 9/25 By JW Permit # 27419

Flood Zone X Development Permit --- Zoning A-3 Land Use Plan Map Category A-3

Comments SWAITS IMPACT AFFADAVIT
Existing MH to be removed

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH # 08-0660-M ☒ EH Release ☒ Well letter ☒ Existing well

☒ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access

☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ F W Comp. letter _____

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL _____

Property ID # 35-48-17-09033-107 Subdivision Brent Heights LOT 7-BLVA.

- New Mobile Home X Used Mobile Home _____ MH Size 42x72 Year 2005
- Applicant Robert Puckett Phone # 352-351-8153
- Address 1748 NW 58 Lane, Ocala, FL 34475
- Name of Property Owner Charles and Teresa Phone# _____
- 911 Address 455 SE BRANDON Dr, L.C., FL 32025
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Same Phone # _____
- Address _____
- Relationship to Property Owner Contractor
- Current Number of Dwellings on Property 1 to be removed
- Lot Size 420'x240' Total Acreage 1.54
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes
- Driving Directions to the Property 441 South to Alfred St T.L to Brandon Drive T.L. to property on left 14th lot on right at Tom Bullock Place on left.
- Name of Licensed Dealer/Installer Robert Puckett Phone # 352-351-8153
- Installers Address 1748 NW 58 Lane, Ocala, FL 34475
- License Number BM0000707 Installation Decal # 296896

This Instrument Prepared by & return to:
Name: KIM WATSON, an employee of
TITLE OFFICES, LLC
Address: 343 NW COLE TERRACE, SUITE 105
LAKE CITY, FLORIDA 32055
File No. 07Y-02027KW

Inst: 2007005504 Date: 03/08/2007 Time: 08:53
Doc Stamp-Deed : 385.00
DC, P. Dewitt Cason, Columbia County B: 1113 P: 6

Parcel I.D. #: 09033-107

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 28th day of February, A.D. 2007, by **ROBERT K. KIRBY**,
& **EDWINA G. KIRBY**, his wife, hereinafter called the grantor, to **CHARLES C. ACEVEDO** and **TERESA**
W. ACEVEDO, HIS WIFE, whose post office address is 24851 SW 129TH COURT, HOMESTEAD, FLORIDA
33032, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of Florida, viz:

Lot 7, Block A, BRENT HEIGHTS, according to the map or plat thereof as recorded in Plat Book 6,
Page 51-51A, of the Public Records of Columbia County, Florida.

TOGETHER WITH: A 1995 WOOD DOUBLEWIDE MOBILE HOME, I.D. #46610979HA & HB.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

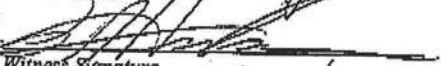
To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that he is lawfully seized of said land in fee simple; that he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

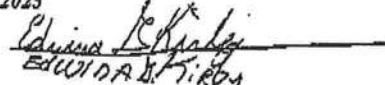
In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness Signature
MARATHA BRYAN
Printed Name


Witness Signature
Patricia A. Hickman
Printed Name

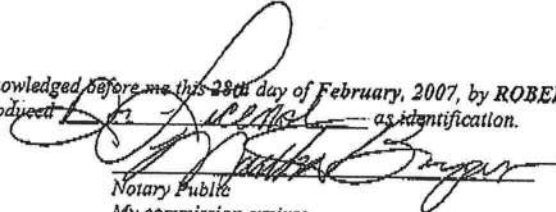

ROBERT K. KIRBY L.S.
Address:
453 SE BRANDON DRIVE, LAKE CITY, FLORIDA
32025


EDWINA G. KIRBY

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 28th day of February, 2007, by **ROBERT K. KIRBY**, who is known to me or who has produced as identification,
*and **EDWINA G. KIRBY**,


Martha Bryan
Commission # DD232534
Expires August 10, 2007
Notary Public, Columbia County, Florida


Notary Public
My commission expires _____

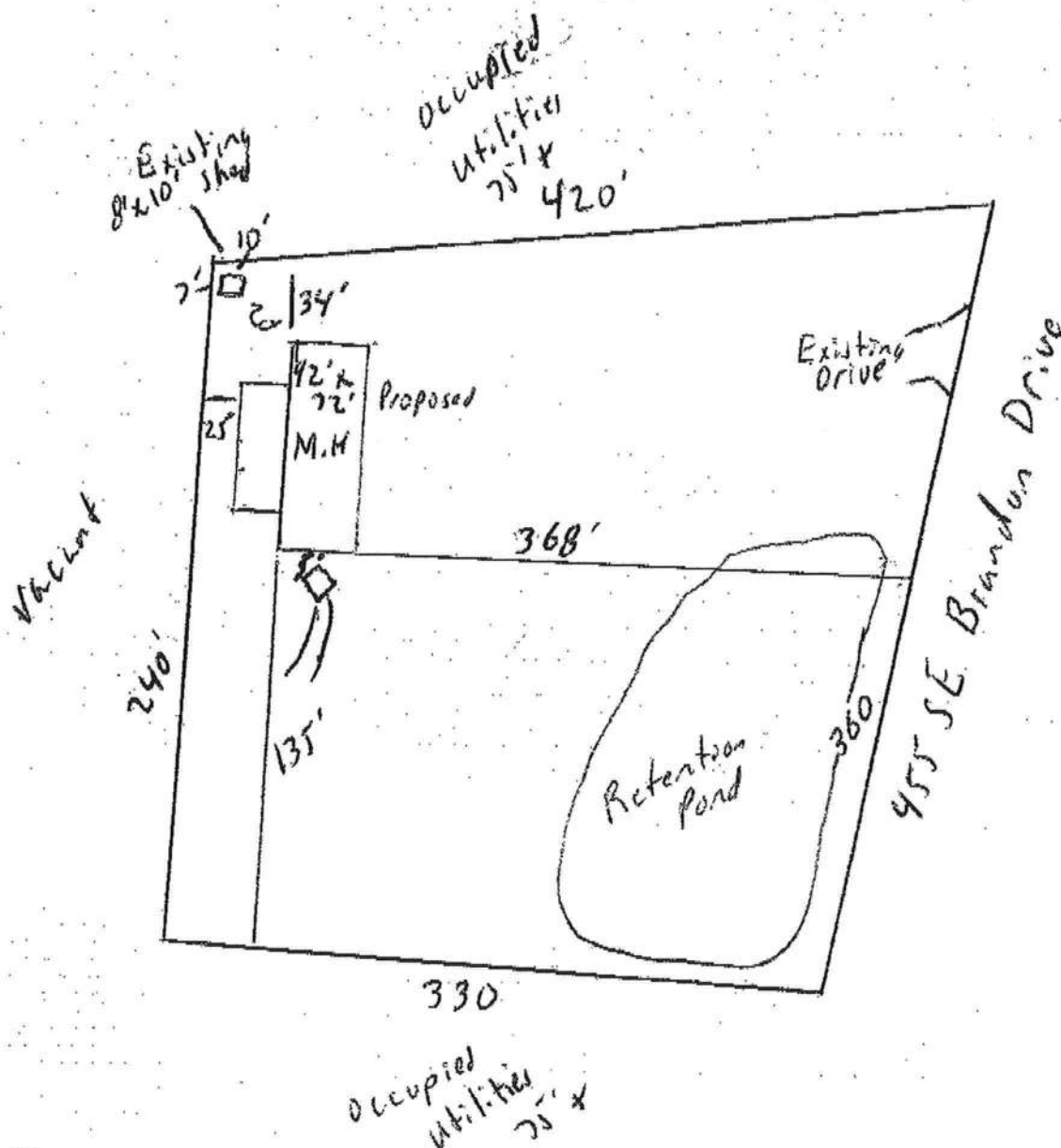
Application # 0809-56

Parcel ID 09033-107

1" = 60' sec 35 TWP 48 Rge 17

Charles and Teresa Acevedo

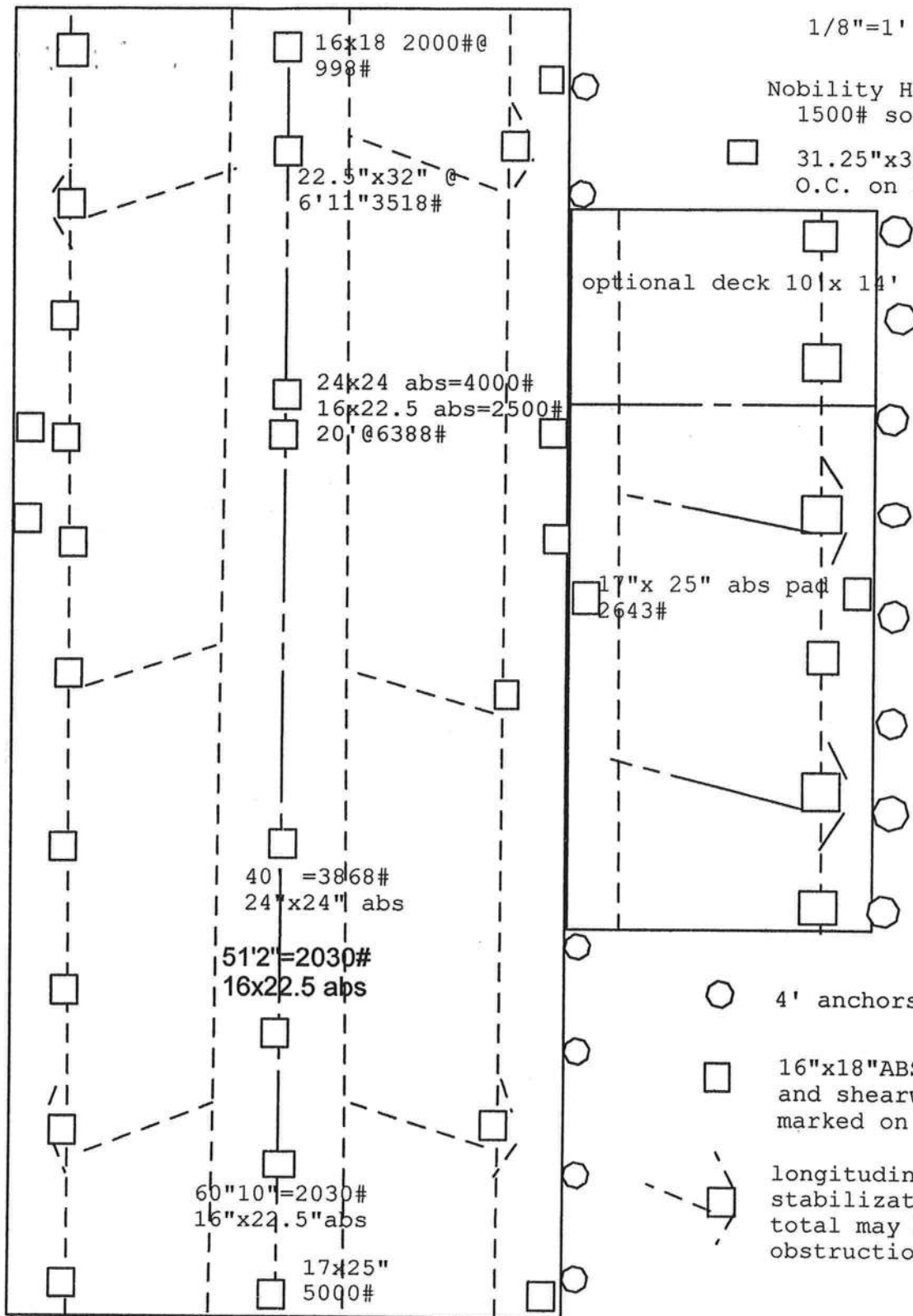
City Water no well

1
N

1/8"=1' 42'x72'

Nobility Homes
1500# soil 276in# tor.

□ 31.25"x32.25" ABS on 7' " O.C. on I-beams



○ 4' anchors on 5'4"

□ 16"x18"ABS for door piers and shearwalls clearly marked on house

longitudinal pad stabilization 3 per half 6 total may be moved due to obstruction on house



State of Florida
DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES
TALLAHASSEE, FLORIDA 32399-0500

FRED O. DICKINSON, III
Executive Director

May 19, 2000

Mr. Chuck Mackarvich
The Down Engineering, Incorporated
5901 Wheaton Drive
Atlanta, Georgia 30336

Dear Mr. Mack: oh:

We wish to acknowledge receipt of your specifications and test results certifying that your ABS Plastic Stabilizing Device listed below, complies with the rules and regulations set by the Department of Highway Safety and Motor Vehicles, Chapter 15-C1.0103.

Based on the information submitted to this bureau, the following products are listed for use in Florida using Type I and Type II anchors, when the installation instructions are provided:

MODEL #	DESCRIPTION
592931	Plastic Stabilizer Post 8" x 24" x 1.375 at top

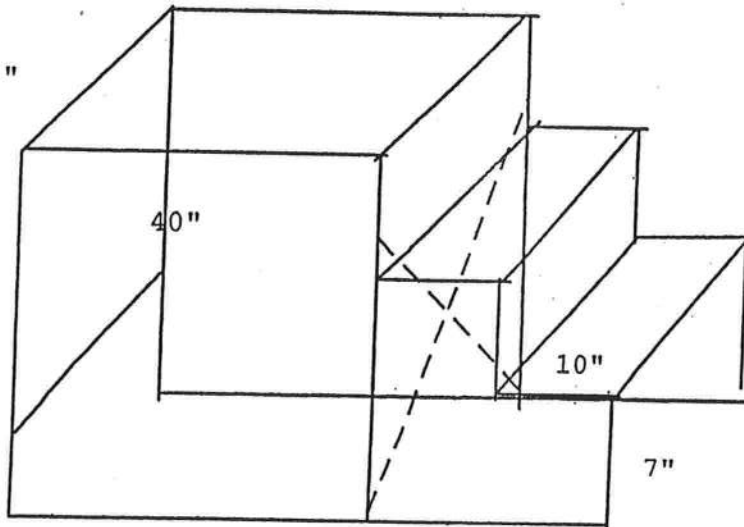
If you have any questions, I can be reached at (850) 413-7600.

Sincerely,

Phil Bergelt
Phil Bergelt, Program Manager
Bureau of Mobile Home and
Recreational Vehicle Construction
Division of Motor Vehicles

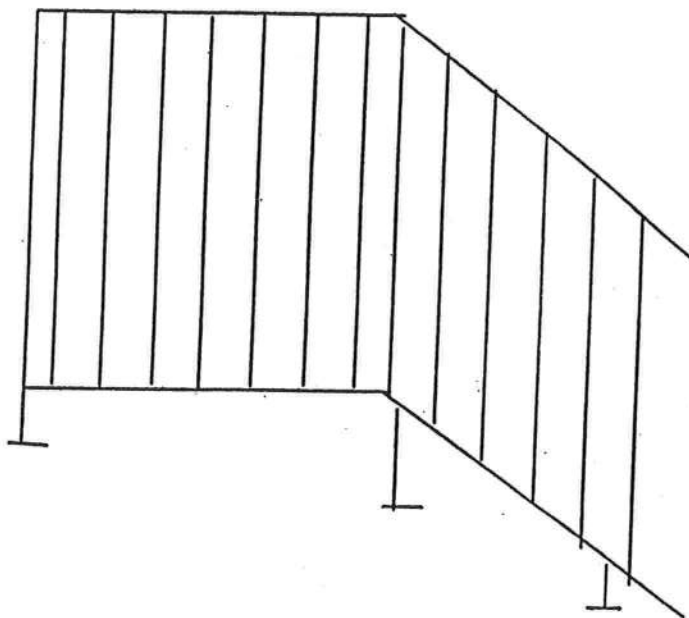
PB:bso

48"



steel frame with wooden
deck and step
deck plat form constructed
with P.T.2"x10" with a decl
size of 48"x40"
each step is 2"x10"x48"

the number of steps may ve
do to the distance from th
ground to the bottom of th
door.



hand rails
constructed with steel
the top rail 1" x 1"
square tube
the spendals are 1/8"steel
rods placed 4"o.c.
all rails will be fastened
to the deck and steps

all steps meet or exceed
the ANSI building code
for the state of florida

FASTEN TOP FRONT
RAIL W/ 1" GALV. NAILS
OR 3/4" SCREWS 16" O.C.

FSI VIYNL SKIRTING
16" VIYNL PANELS
PROVIDING 4.75 SQ. IN
VENTING PER LIN. FT

FASTEN BOTTOM RAIL
W/ 3/4" SCREWS 16" O.C.
7" GAL NAILS 19" O.C.

MOBILE HOME

CRAWL
SPACE

GRADE

NOTE:
AN ACCESS PANEL 16" X 24" MIN WILL
BE PROVIDED TO ACCESS CRAWL SPACE
THE ACCESS PANEL WILL BE FASTENED
W/ 1" LONG PHILLIPS HEAD SCREWS.
ANY HOME WHICH MORE THAN 36" FROM
FINISH GRADE WILL HAVE VERTICAL STUDS
48" O.C. AND A BELT RAIL

Minute Man Anchors, Inc.

Potent Number
6622439

Installation Instructions for Model LLBS Longitudinal and Lateral Bracing System Zone II and III

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

- Location is within 1,500 feet of Coast
- Roof eaves exceeds 16"
- Pier Height exceeds 48"
- Main beam spacing exceeds 99.5"
- Sidewall height exceeds 96"

Refer to the Home Manufacturer Installation Instructions for pier locations. Note: SDB pad is 2.8 square foot. Vertical tie anchors are required in accordance with home manufacturer. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors are required in accordance with the Home Manufacturer Instructions.

Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached)

Remove turf to expose firm soil at each SDB pad location. Install SDB pad to manufacturer, state, local codes, and frost line guidelines as it may apply. For extremely hard or rocky soil, mark four (4) slots and pre-drill soil with a 3/4 x 12" masonry drill bit. Zone II & III installations require 16" drive pins.

Attach tube clip to SDB3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SDB3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad.

Level home on concrete blocks or deluxe steel pier by Minute Man.

Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

Install vertical anchors and ties.

MINMAP008.2 R-3

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

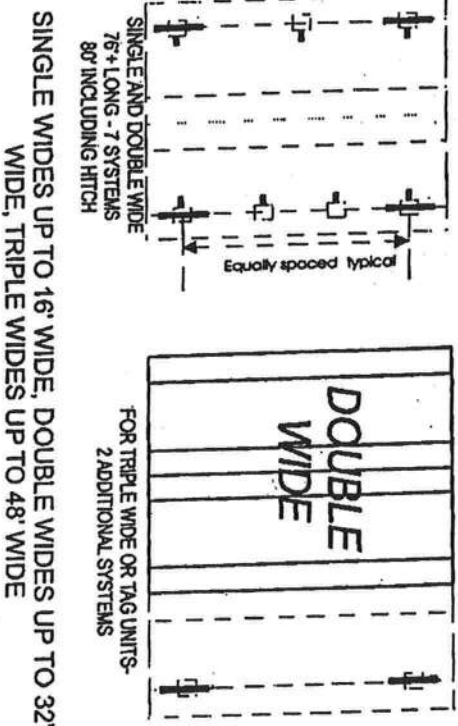
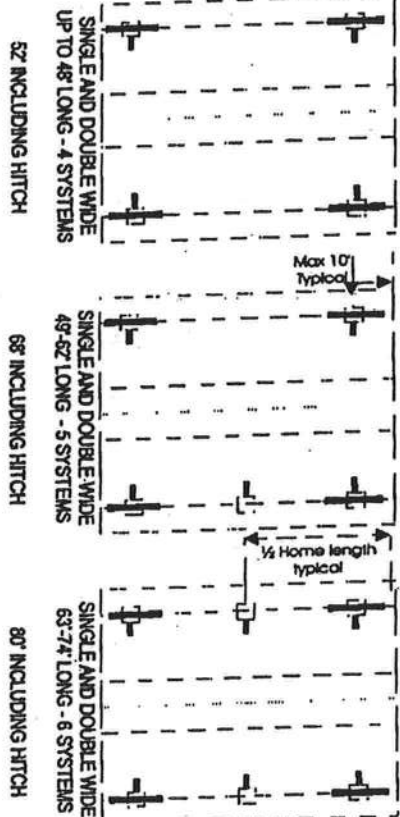
MADE IN THE USA

305 West King St. East Flat Rock, North Carolina 28726

ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For Roof slopes up to 4/12 pitch
No Frame Ties or Stabilizer Plates. Systems must be as evenly spaced as possible.

LEGEND
Longitudinal Bracing System only
Longitudinal and Lateral Bracing System
Lateral Bracing System only



Patent Number
6622439

Revised: 10/27/04

Location is within 1,500 feet of Coast
Pier Height exceeds 48"
Sidewall height exceeds 96"
Roof eaves exceeds 16"
Main beam spacing exceeds 99.5"

2 Refer to the Systems Placement Plans for the location of Longitudinal Lateral Bracing System.. (See Attached). Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

4. Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10°) off vertical. If you choose to drive pins after home is set, do not cover slots in pier pad. 16" Drive pins must be used in Florida.

6 Install Longitudinal and Lateral Bracing in accordance with Systems Placement Plan and Detail Assembly Drawing.

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

MMAPO07,2 R-4

MADE IN THE USA



NOTES
16" DRIVE PINS FOR FLORIDA

MAXIMUM PIER HEIGHT 48"

MAX SIDEWALL HEIGHT 96"

MAX BEAM SPACING 99.5"

MAX ROOF EAVES 16"

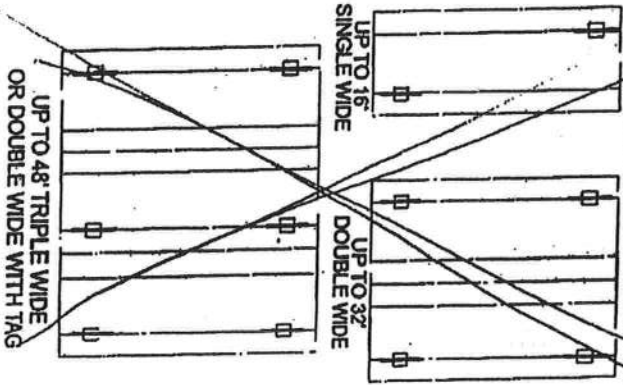
WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.

LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5'-4" centers. Vertical ties must be used at all connection points furnished by the frame manufacturer. Marriage wall anchors must be used in accordance with the frame manufacturer's instructions.

For Roof slopes up to 5/12 pitch

Systems must be placed no more than 16' from end of frame



See Longitudinal and Lateral Bracing System detail assembly drawing.

2

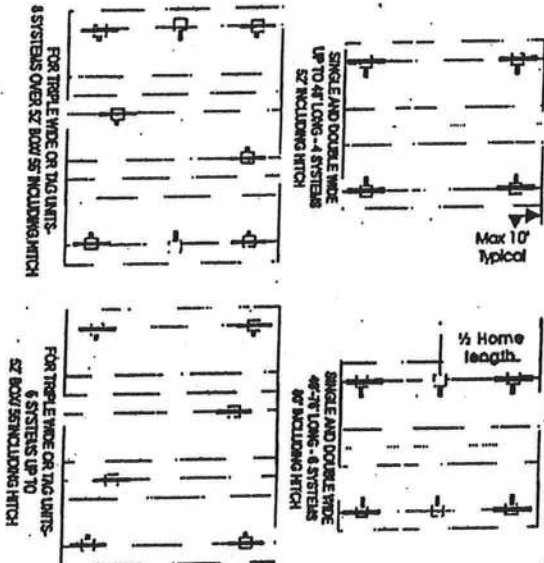
FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.

Revised 6/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE

LEGEND
Longitudinal Bracing System only
Longitudinal and Lateral Bracing System
Lateral Bracing System only



3

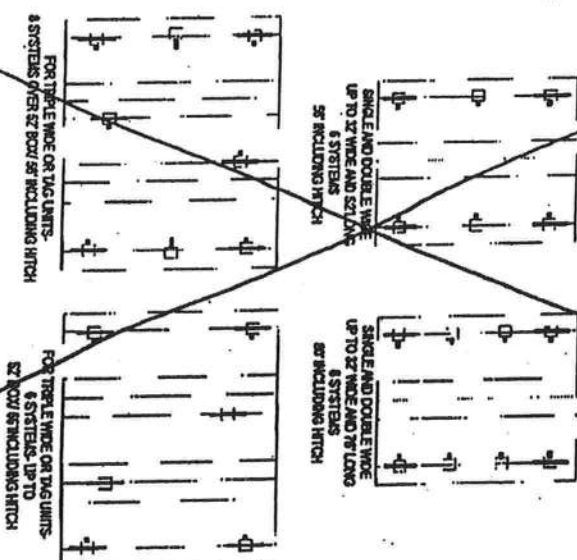
FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. Systems must be as evenly spaced as possible.

Revised 6/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE

LEGEND
Longitudinal Bracing System only
Longitudinal and Lateral Bracing System
Lateral Bracing System only



4

NOTES

MAXIMUM PIER HEIGHT 48"

MAX. SIDEWALL HEIGHT 96"

MAX. BEAM SPACING 99.5"

MAX ROOF EAVES 16"

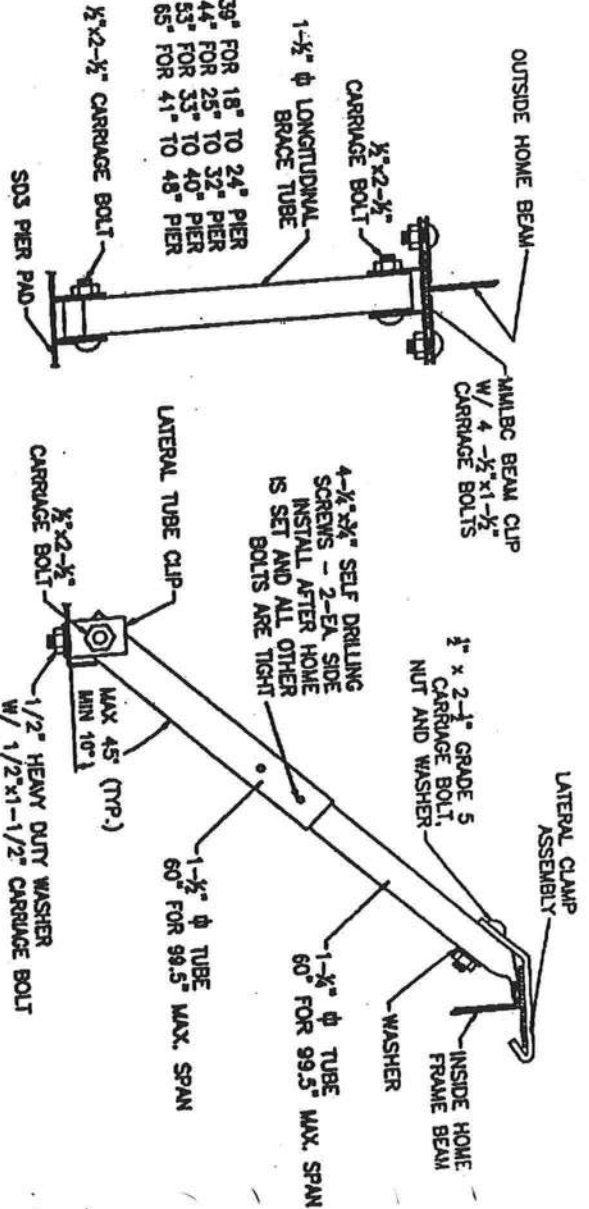
WHEN USING LONGITUDINAL BRACES, 2ND PIER IN FROM THE END OF THE HOME MAY BE USED TO MAKE ROOM FOR BRACE TUBES.

2- 39" FOR 16" TO 24" PIER

2- 44" FOR 25" TO 32" PIER

2- 53" FOR 33" TO 40" PIER

2- 65" FOR 41" TO 48" PIER



LONGITUDINAL BRACE DETAIL

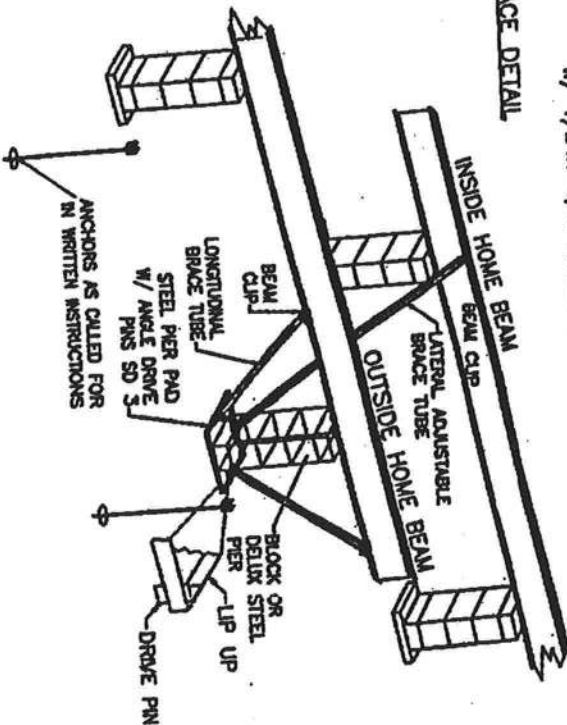
LATERAL BRACE DETAIL

LONGITUDINAL & LATERAL BRACING SYSTEM
DETAIL ASSEMBLY DRAWING

NOTE: 1/2" BOLTS ARE GRADE 5

MINUTE MAN ANCHORS
10/10/01
REV 3/6/02
REV 7/14/04

THE LBS BRACING SYSTEM WAS TESTED FOR WIND ZONES I, II, & III.



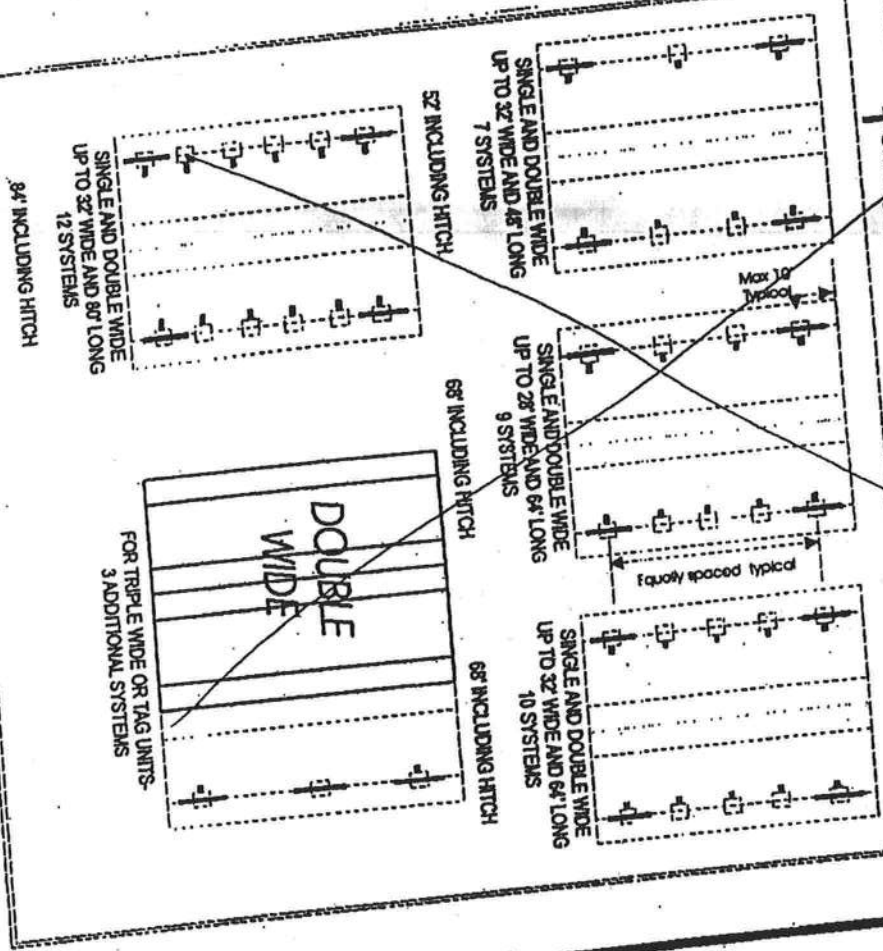
ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For 5/12 Roof Pitch

No Frame ties or stabilizer plates.

Systems must be as evenly spaced as possible.

HOME DIMENSIONS REPRESENT BOX SIZE.



Minute Man anchors, Inc.

Installation Instructions for LBS Longitudinal and Lateral Bracing System
Wind Zones II & III ground and concrete applications

Special State requirements

Alabama - Maximum Pier Height 32'. HUD Code Homes Only.

Florida - See Florida zone II & III instructions.

Michigan - Foundation depth must be 42" below grade as per Chapter 1805.2.1 2000 Michigan Building Code.

Readings (at 6", 12" and 18" depths) exceeds 350 inch pounds. 16 inch long drive pins are needed when the average of three soil test probe readings (at 6", 12" and 18" depths) is 350 inch pounds or less but more than 175 inch pounds.

Minute Man Anchors LBS System must be installed in complete accordance with Minute Man Anchors installation instructions and the Home Manufacturer's instructions.

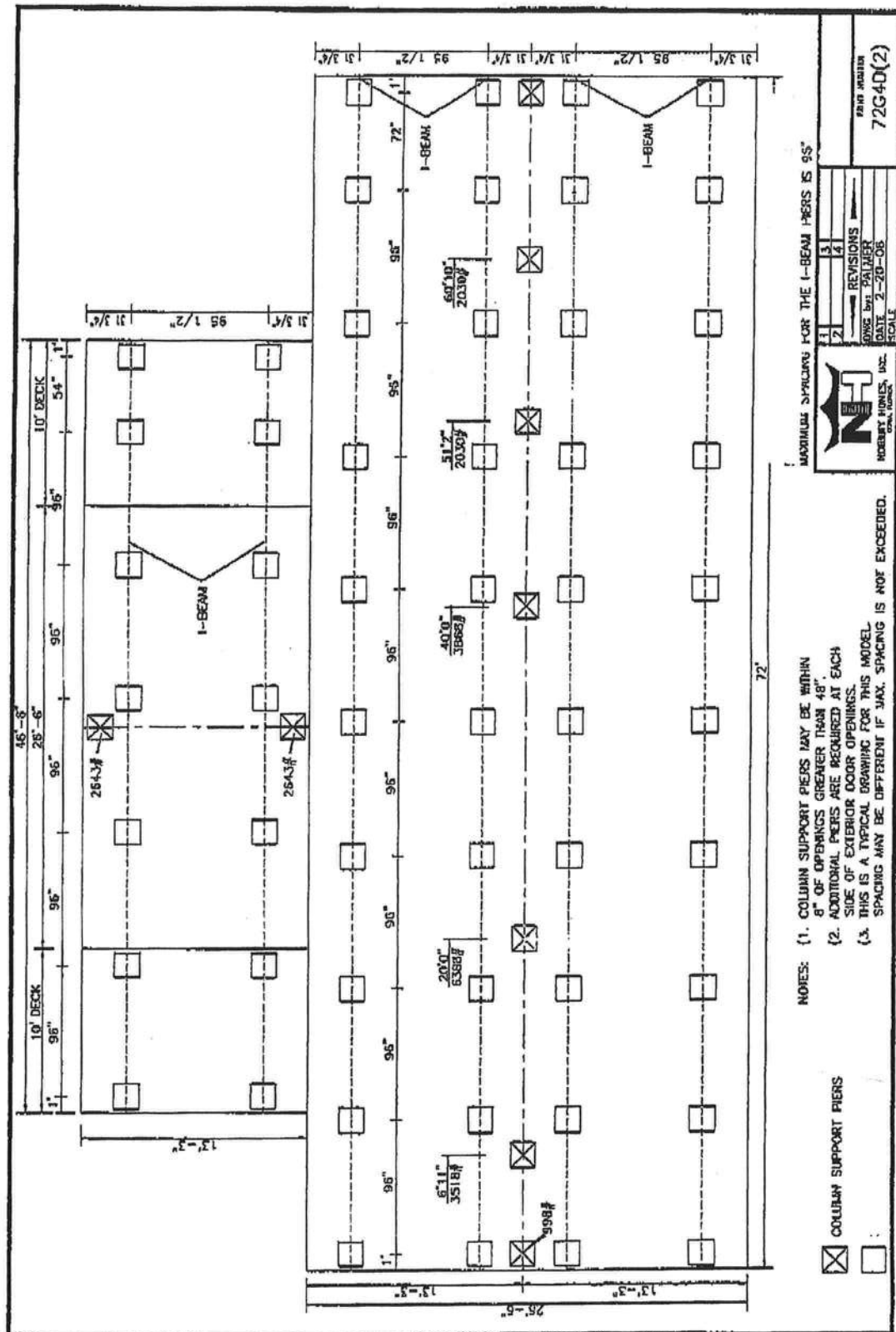
Minute Man Anchors LBS System is listed by a nationally recognized third party.

Minute Man Anchors LBS System is evaluated, tested and approved by a Professional Engineer.

Minute Man Anchors LBS System must be allowed by the authority having jurisdiction.

Thank you for using Minute Man Products, Inc. If you have any questions, please call us at (828) 692-0256

MADE IN THE USA



Ramco & Juliet w 2 seeds

PERMIT NUMBER

Installer Robert Puckett License # TH000207

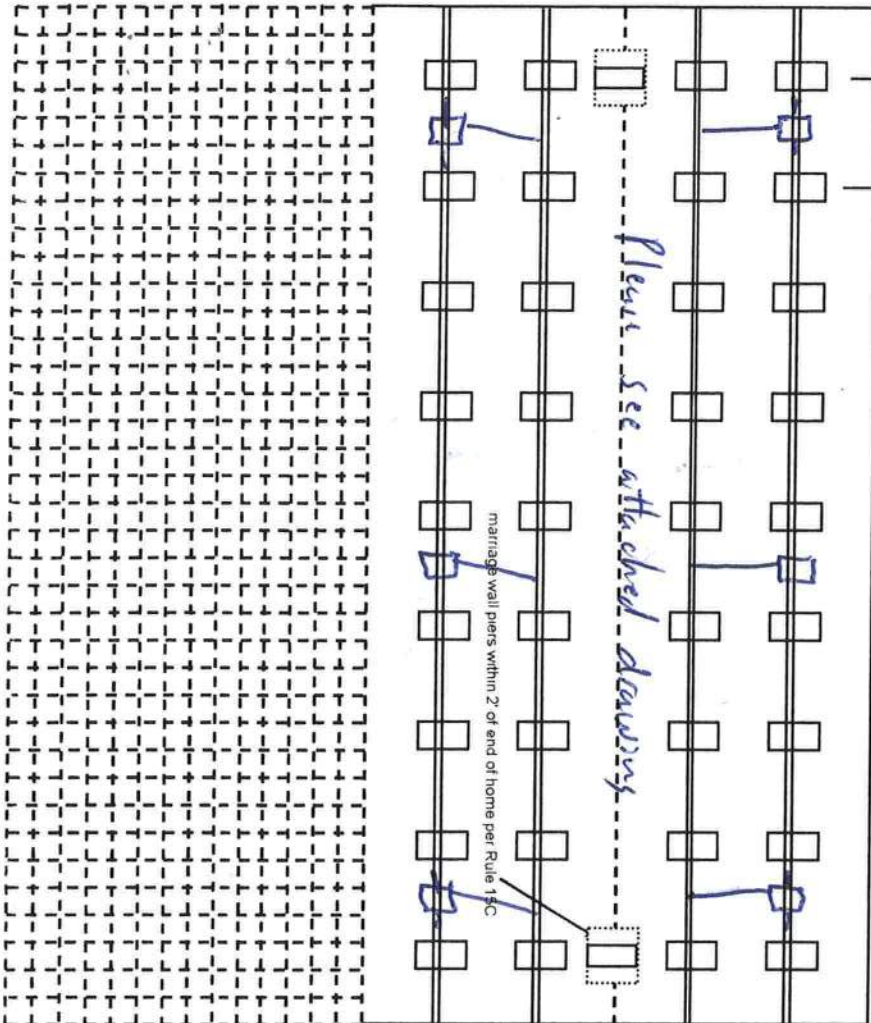
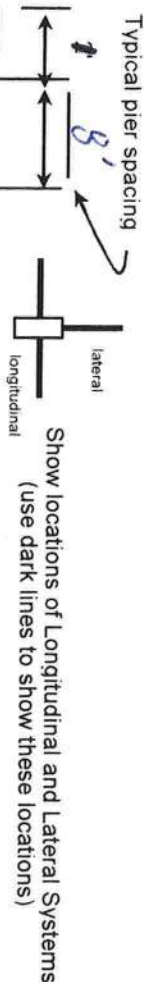
Address of home being installed 455 SE Brandon Drive

Manufacturer Nobility Length x width 42' x 22'

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials RP



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # 286896

Triple/Quad ☒ Serial # N19891 AAg

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 12x25"

Perimeter pier pad size 16'x16"

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

Please see drawings

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

Longitudinal Stabilizing Device (LSD)
Manufacturer Minute Mfg
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer

Sidewall Longitudinal Marriage wall Shearwall
Number 19
Minuteman
6
4

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil _____ without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing X. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

RP Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Robert Pachett

Date Tested

9-23-08

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 42

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 41

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 41

Site Preparation

Debris and organic material removed _____
Water drainage: Natural X Swale _____ Pad _____ Other _____

Fastening multi wide units

Floor: Type Fastener: 3/8" Lag Length: 4" Spacing: 24"
Walls: Type Fastener: - Length: _____ Spacing: _____
Roof: Type Fastener: #10 screw Length: 4.5" Spacing: 12"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials RP

Type gasket carpet padding Installed: _____
Pg. 12 Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes X Pg. _____
Siding on units is installed to manufacturer's specifications. Yes X
Fireplace chimney installed so as not to allow intrusion of rain water. Yes X

Miscellaneous

Skirting to be installed. Yes No _____
Dryer vent installed outside of skirting. Yes X N/A
Range downflow vent installed outside of skirting. Yes X N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Robert Pachett

Date

9-24-08



STATE OF FLORIDA
DEPARTMENT OF HEALTH

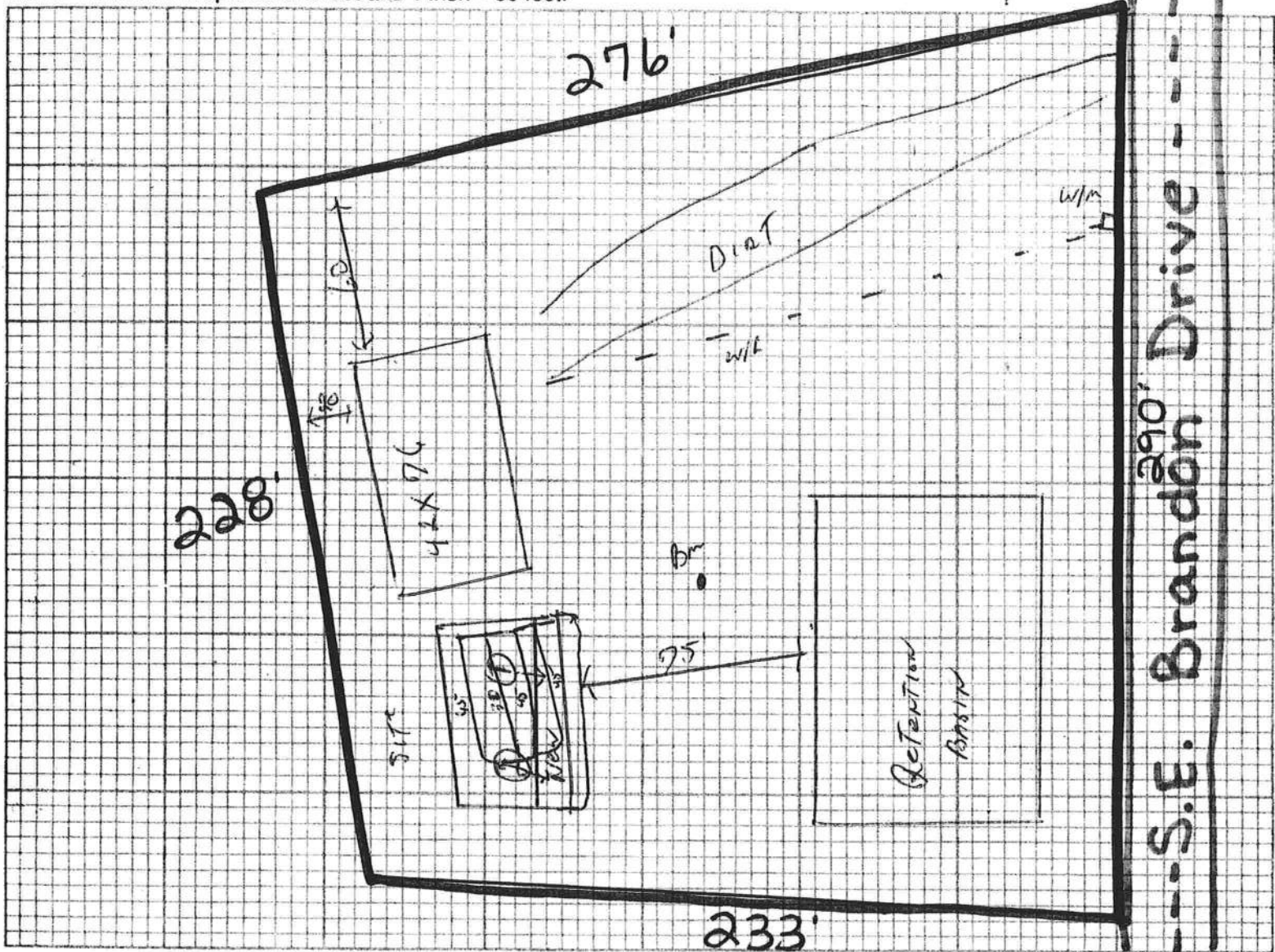
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

08-1660-8

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Acevedo: 455 SE Brandon Drive Lake City, FL 32025

Site Plan submitted by: Ac Ford

Signature

master

Title

Plan Approved ☒

Not Approved ☐

Date 10-6-08

By Mr A Zander

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

0809-56

IMPACT FEE OCCUPANCY AFFIDAVIT

This affidavit is given for the purpose of obtaining an exemption pursuant to Article VIII, Section 8.01, Columbia County Comprehensive Impact Fee Ordinance No. 2007-40, adopted October 18, 2007, as may be amended.

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

BEFORE ME, the undersigned authority, personally appeared Teresa Acevedo who, after being duly sworn, deposes and says:

1. Except as otherwise stated herein, Affiant has personal knowledge of the facts and matters set forth in this affidavit regarding property identified below as:

- (a) Parcel No.: 35-45-17
09033-107
- (b) Legal description (may be attached): _____

2. Based upon Affiant's personal knowledge, a non-residential building or a residential dwelling has existed on the above referenced property. Said building or dwelling unit was last occupied on Sept 21, 2008 (date.)

3. This Affidavit is made and given by Affiant with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

Further Affiant sayeth naught.

Teresa Acevedo

Print: Teresa Acevedo

Address: 24851 SW 129ct
Princeton FL 33032

SWORN TO AND SUBSCRIBED before me this 30th day of Sept, 2008 by Teresa Acevedo who is personally known to me or who has produced _____ as identification.

[Signature]

Notary Public, State of Florida

(NOTARY SEAL)

My Commission Expires:

Columbia County Property Appraiser

DB Last Updated: 8/5/2008

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 35-4S-17-09033-107

Search Result: 1 of 1

Owner & Property Info

Owner's Name	ACEVEDO CHARLES C & TERESA W		
Site Address	BRANDON		
Mailing Address	24851 SW 129TH COURT HOMESTEAD, FL 33032		
Use Desc. (code)	MOBILE HOM (000200)		
Neighborhood	35417.02	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	1.540 ACRES		
Description	LOT 7 BLK A BRENT HEIGHTS S/D. ORB 829-324, QC 897-1647, 980-1661, WD 1113-6		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (2)	\$19,250.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$28,759.00
XFOB Value	cnt: (1)	\$300.00
Total Appraised Value		\$48,309.00

Just Value	\$48,309.00
Class Value	\$0.00
Assessed Value	\$48,309.00
Exempt Value	\$0.00
Total Taxable Value	\$48,309.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/28/2007	1113/6	WD	I	Q		\$55,000.00
4/1/1996	829/324	WD	V	Q		\$9,700.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1995	VInyl Side (31)	920	1484	\$28,759.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dlms	Condition (% Good)
0294	SHED WOOD/	2005	\$300.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	1.000 LT - (1.540AC)	1.00/1.00/1.00/1.00	\$18,500.00	\$18,500.00
009947	SEPTIC (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$750.00	\$750.00

Columbia County Property Appraiser

DB Last Updated: 6/5/2008

J & H Homes, Inc

1748 NW 58th Lane
Ocala, Florida 34475
phone: 352-351-8153
fax: 352-351-1046

FAX COVER SHEET

Date: 11/3/08

To: John Kerep

From: Rob Puckett

FAX #: 386-758-2160 # of pages: 1+cover

RE: permit # 000027419

Remarks: Approved

Please call with questions or problems with the receipt of this fax: **THANK YOU**

J and H Homes Inc.

1748 NW 58th Lane
Ocala, Florida 34475

Phone: (352)351-8153 Fax: (352)351-1046

November 3, 2008

Mr. John Kerce
Building Inspector
Columbia County Building Dept.

Re: Permit #: 000027419
Customer: Charley Acevedo
Location: Brent Heights, Lot 7
455 SE Brandon Dr, Lake City, FL

Dear Mr. Kerce;

Please change the original Installation decal number 296896 to New decal number 296641.

The finished floor is one (1) foot above CL of road.

Thank you for your help in this matter.

Sincerely;



Robert Puckett

COLUMBIA COUNTY
FLORIDA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-4S-17-09033-107

Building permit No. 000027419

Permit Holder ROBERT PUCKETT

Owner of Building CHARLEY & TERESA ACEVEDO

Location: 455 SE BRANDON DRIVE, LAKE CITY, FL

Date: 11/06/2008

FAXed

John D. Hines

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)