

Columbia County New Building Permit Application \$179.00

| | | | | | | | | | |
|---|--|----------------------------|--|---------------------------|--|----------------|--|----------------------------|--|
| For Office Use Only | | Application # <u>44445</u> | | Date Received <u>1/31</u> | | By <u>MB</u> | | Permit # <u>39259</u> | |
| Zoning Official <u>JNA</u> | | Date _____ | | Flood Zone _____ | | Land Use _____ | | Zoning _____ | |
| FEMA Map # _____ | | Elevation _____ | | MFE _____ | | River _____ | | Plans Examiner <u>T.C.</u> | |
| Comments _____ | | Date <u>2-5-20</u> | | | | | | | |
| <input type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input checked="" type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # _____ | | | | | | | | | |
| <input type="checkbox"/> Day Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter | | | | | | | | | |
| <input checked="" type="checkbox"/> Owner Builder Disclosure Statement <input type="checkbox"/> Land Owner Affidavit <input type="checkbox"/> Ellisville Water <input checked="" type="checkbox"/> App Fee Paid <input type="checkbox"/> Sub VF Form no electrical | | | | | | | | | |

Septic Permit No. 20-0082 OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) Celeste Minter Phone 386-361-8030

Address 4129 SW CR 242 Lake City FL 32024

Owners Name Celeste Minter Phone 386-361-8030

911 Address 4129 SW CR 242 Lake City FL 32024

Contractors Name Owner Phone _____

Address _____

Contractor Email _____ ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Driscoll Engineering POB 357577 Gainesville, FL
32635

Mortgage Lenders Name & Address N/A

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 21451603081-0516 Estimated Construction Cost 16,000

Subdivision Name Lee Acres Lot 2 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road From Branford Hwy, go East on CR 242, 1/4 mile from Busy Bee, property is on the left before Wingate subdivision

Construction of Garage / Outbuilding Commercial OR ☒ Residential

Proposed Use/Occupancy Garage / Storage Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 64' Side 18' Side 133' Rear 108'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 2160 Acreage 3.51

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Celeste Minter
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20____.

Personally known ☐ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

Legend

Addressing:2018 Base Flood Elevations Group

2018 Base Flood Elevations

Printed: Wed Feb 05 2020 10:47:00 GMT-0500 (Eastern Standard Time)

DEFAULT

Base Flood Elevations

2018 Base Flood Elevation Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

2018Aerials

Addresses

Parcels

Roads

Roads

others

Dirt

Interstate

Main

Other

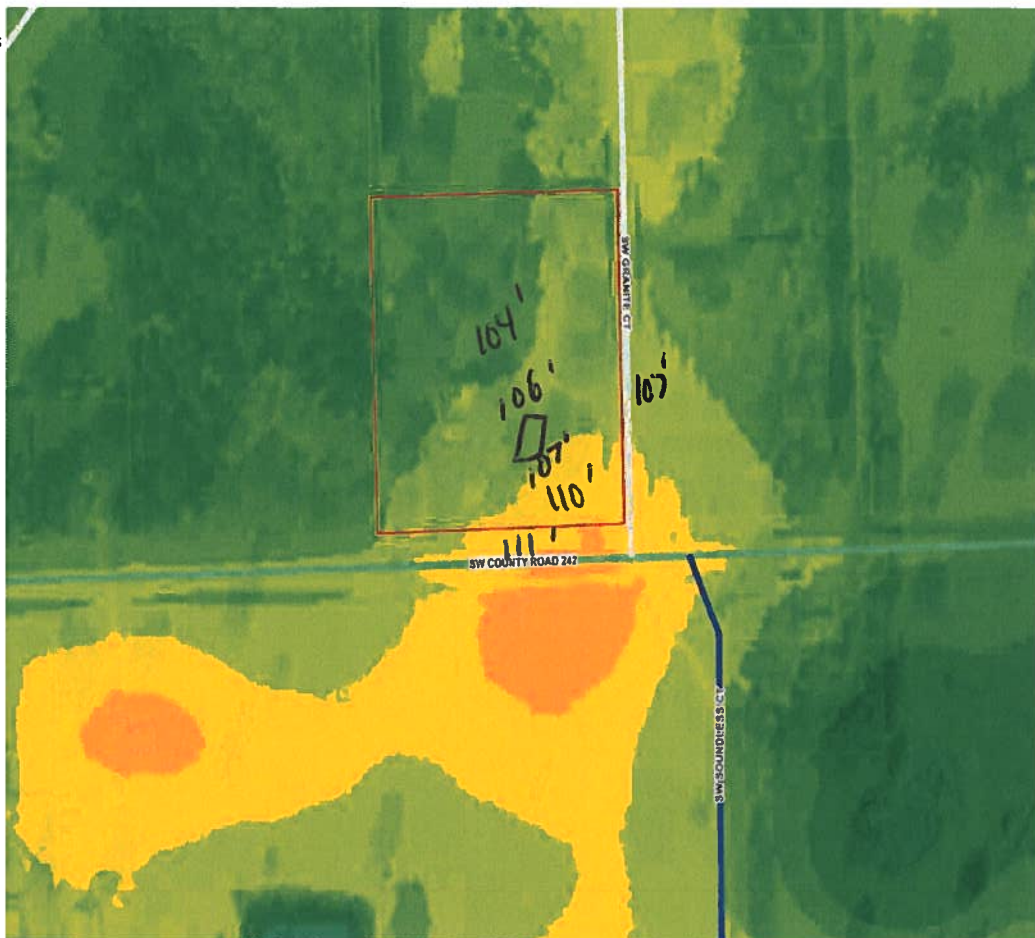
Paved

Private

LidarElevations

X

Columbia County, FLA - Building & Zoning Property Map



Parcel Information

Parcel No: 21-4S-16-03081-051

Owner: MINTER CELESTE P

Subdivision:

Lot:

Acres: 3.50448513

Deed Acres: 3.51 Ac

District: District 3 Bucky Nash

Future Land Uses: Residential - Very Low

Flood Zones:

Official Zoning Atlas: A-3, PRD, RR, RSF-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Bailey Bishop & Lane, Inc.
P.O. Box 3717
Lake City, FL 32056
Ph. 386-752-5640
Emg. Lic. 7362
BBL Job No. L07011001C

LEE ACRES
IN
THE SW 1/4 OF THE SW 1/4,
SECTION 21, TOWNSHIP 4 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA

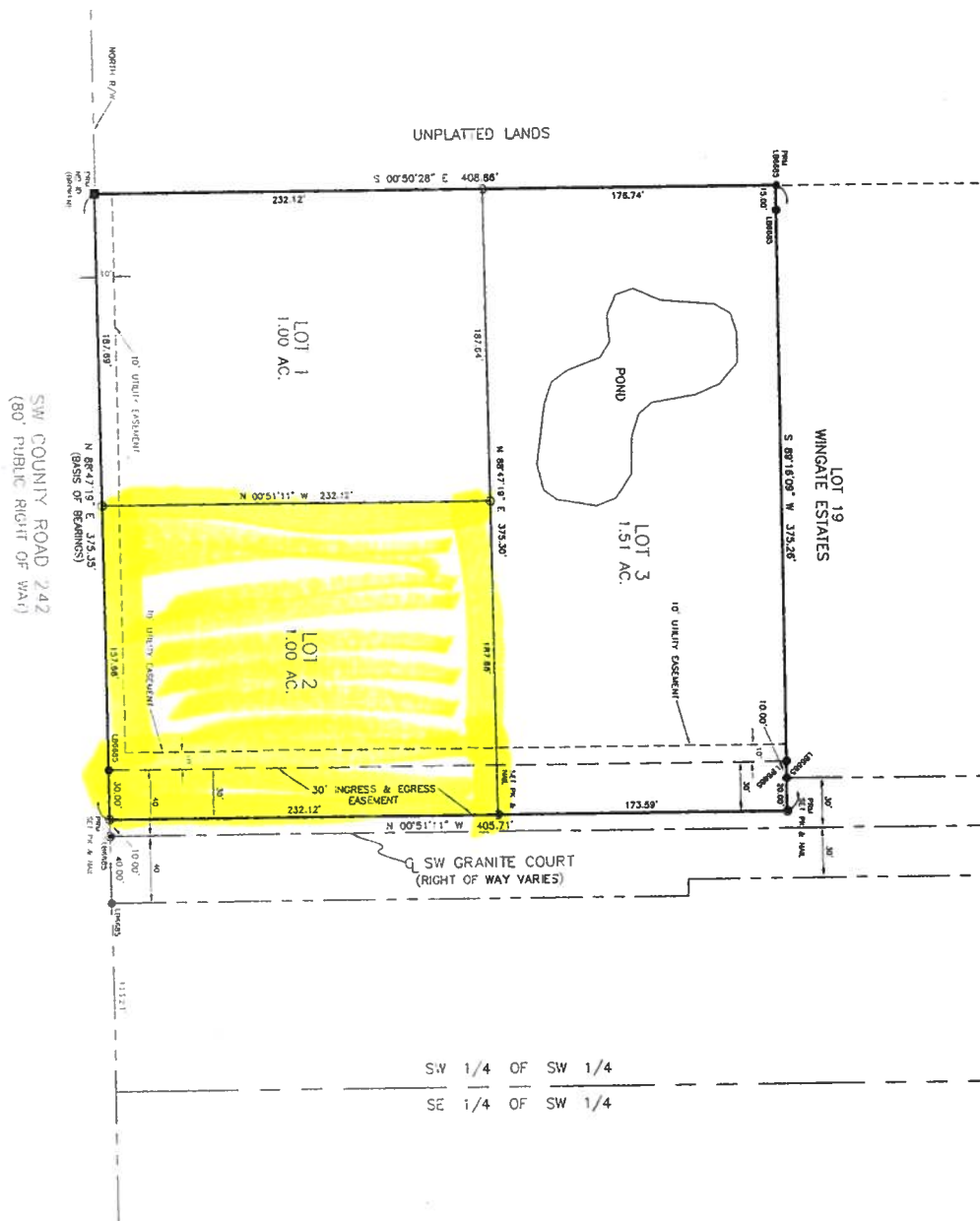
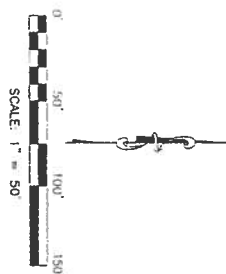
PLAT BOOK 9 PAGE 54
PAGE 2 OF 2

DEVELOPER:

LEONARD and JANICE M. DICKS
P.O. BOX 1947
LAKE CITY, FLORIDA 32056
(386) 752-9456

SURVEYOR:

BRIAN SCOTT DANIEL
P.O. BOX 3717
LAKE CITY, FL 32056
(386) 752-5640

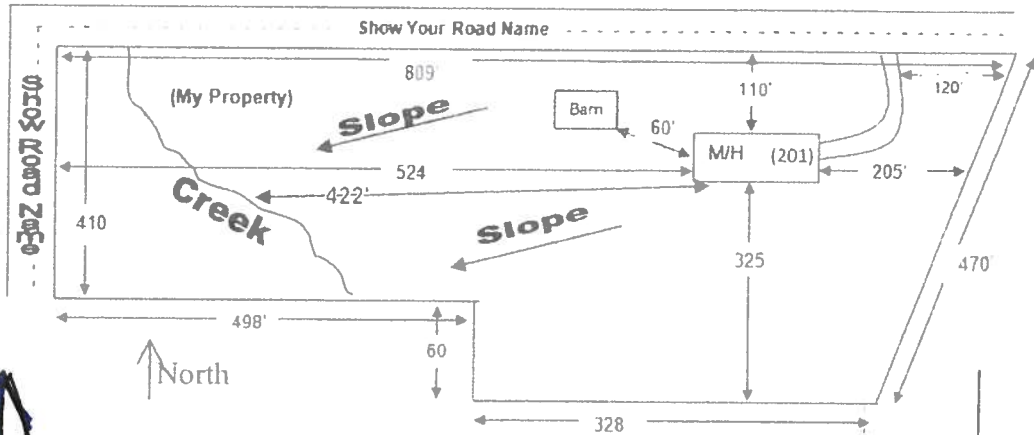
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SITE PLAN CHECKLIST

- ✓ 1) Property Dimensions
- ✓ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ✓ 3) Distance from structures to all property lines
- ✓ 4) Location and size of easements
- ✓ 5) Driveway path and distance at the entrance to the nearest property line
- ✓ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ✓ 7) Show slopes and or drainage paths
- ✓ 8) Arrow showing North direction

SITE PLAN EXAMPLE

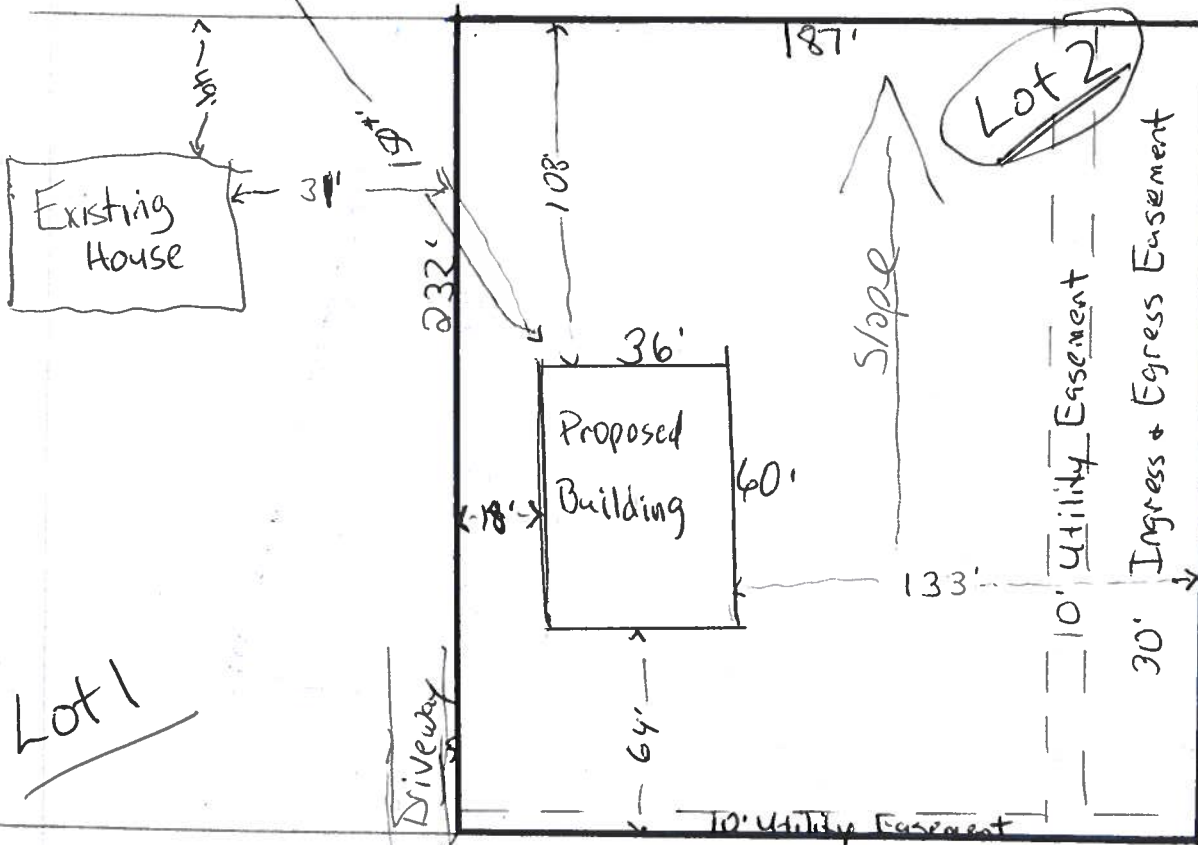
Revised 7/1/15



NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.

Lot 3 (Lee Acres)



Granite Ct.

4129 SW CR 242

Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 1/6/2020

Parcel: << **21-4S-16-03081-051** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 3

| | | | |
|--------------|---|--------------|----------|
| Owner | MINTER CELESTE P 4129 SW CR 242 LAKE CITY, FL 32024 | | |
| Site | 4129 COUNTY ROAD 242 , LAKE CITY | | |
| Description* | LOTS 1, 2 & 3 LEE ACRES. WD 1106-2798, WD 1294-1735, WD 1294-1738, WD 1294-1746, WD 1328-141, | | |
| Area | 3.51 AC | S/T/R | 21-4S-16 |
| Use Code** | SINGLE FAM (000100) | Tax District | 3 |

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

| 2019 Certified Values | | 2020 Working Values | |
|-----------------------|---|---------------------|---|
| Mkt Land (1) | \$45,768 | Mkt Land (1) | \$45,768 |
| Ag Land (0) | \$0 | Ag Land (0) | \$0 |
| Building (1) | \$140,147 | Building (1) | \$143,065 |
| XFOB (0) | \$0 | XFOB (0) | \$0 |
| Just | \$185,915 | Just | \$188,833 |
| Class | \$0 | Class | \$0 |
| Appraised | \$185,915 | Appraised | \$188,833 |
| SOH Cap [?] | \$20,091 | SOH Cap [?] | \$18,034 |
| Assessed | \$165,824 | Assessed | \$170,799 |
| Exempt | HX H3 \$50,000 | Exempt | HX H3 \$50,000 |
| Total Taxable | county:\$115,824 city:\$115,824 other:\$115,824 school:\$140,824 | Total Taxable | county:\$120,799 city:\$120,799 other:\$120,799 school:\$145,799 |

**▼ Sales History**

| Sale Date | Sale Price | Book/Page | Deed | V/I | Quality (Codes) | RCode |
|-----------|------------|-----------|------|-----|-----------------|-------|
| 5/14/2015 | \$44,000 | 1294/1738 | WD | V | Q | 01 |
| 5/7/2015 | \$100 | 1294/1735 | WD | V | U | 11 |
| 1/4/2007 | \$132,000 | 1106/2798 | WD | V | Q | 01 |

▼ Building Characteristics

| Bldg Sketch | Bldg Item | Bldg Desc* | Year Blt | Base SF | Actual SF | Bldg Value |
|-------------|-----------|---------------------|----------|---------|-----------|------------|
| Sketch | 1 | SINGLE FAM (000100) | 2017 | 1388 | 2173 | \$143,065 |

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

| Code | Desc | Year Blt | Value | Units | Dims | Condition (% Good) |
|------|------|----------|-------|-------|------|--------------------|
| NONE | | | | | | |



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 20-0082
DATE PAID: 1/31/20
FEE PAID: 600.00
RECEIPT #: 1765247

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Celeste Minter

AGENT: _____

TELEPHONE: 386-361-8030MAILING ADDRESS: 4129 SW CR 242
Lake City FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDEFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: (1,2,3) 2 BLOCK: _____ SUBDIVISION: Lee Acres PLATTED: _____

PROPERTY ID #: 21451603081-051 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 3 1/2 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ $\leq 2000\text{GPD}$ ☐ $> 2000\text{GPD}$

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☐ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 4129 SW CR 242 Lake City, FL 32024

DIRECTIONS TO PROPERTY: _____

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

| Unit No | Type of Establishment | No. of Bedrooms | Building Area Sqft | Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC |
|---------|------------------------|-----------------|--------------------|--|
| 1 | Outbuilding/ Garage | 0 | 2160 | |
| 2 | | | | |
| 3 | | | | |
| 4 | | | | |

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: CuDATE: 1/31/20

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20-0082

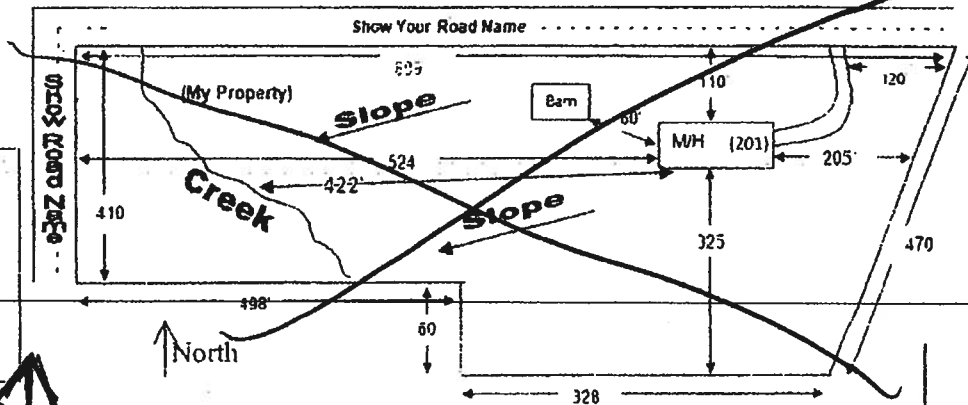
SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.

Addressing Dept. application forms.



Lot 3

(Lee Acres)

Existing House

Proposed Building

Lot 2

Granite Ct.

Lot 1

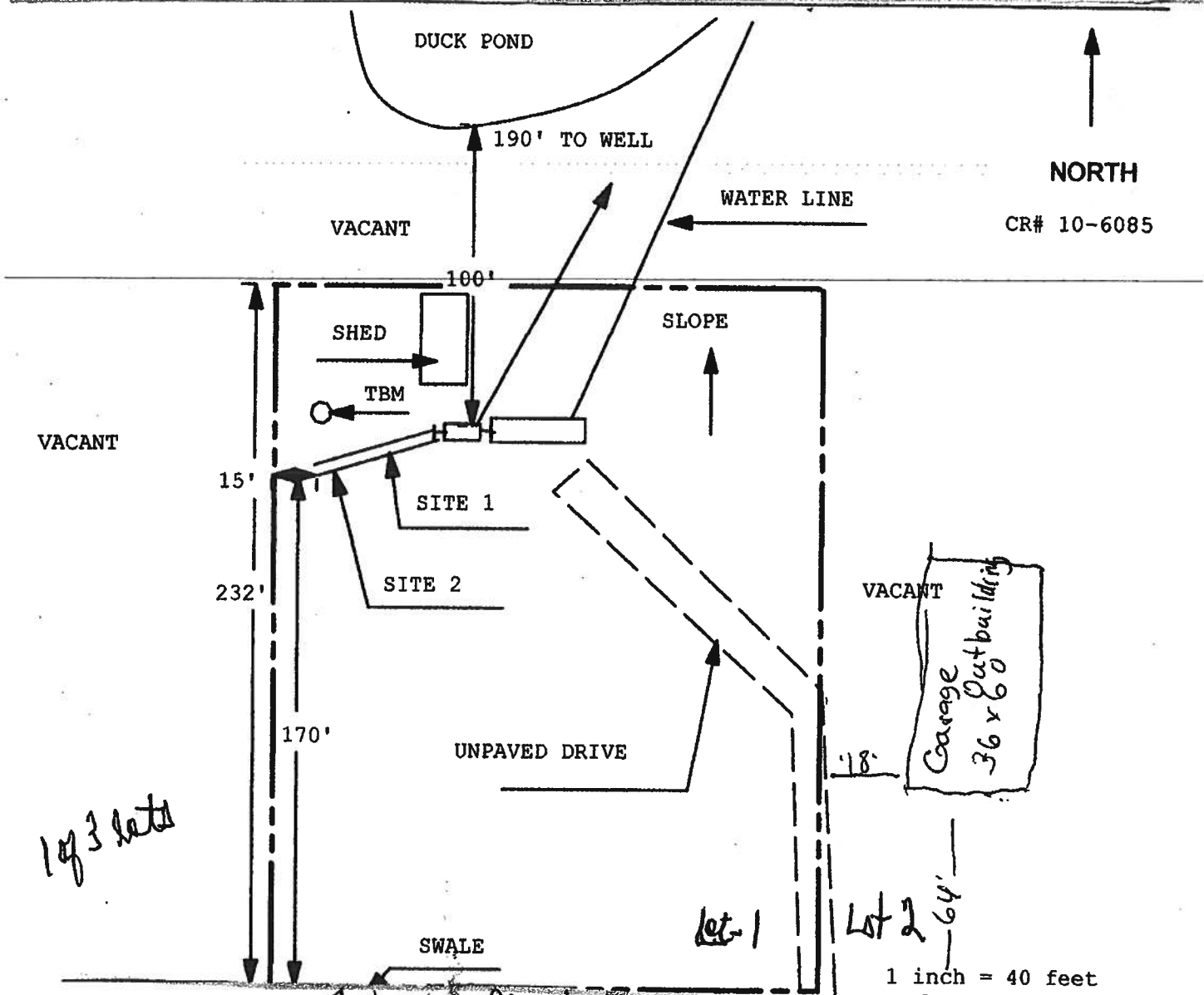
4129 SW CR 242

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

20-0082

PART II - SITEPLAN



Site Plan submitted by:

Celeste MinterPlan Approved X

Not Approved

By

Owner

Date 7/13/20

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

See additional
draw.



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

Florida Statutes Chapter 489.103:

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or <http://www.myfloridalicense.com/> for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

4129 SW CR 242 Lake City, FL
(Write in the address of jobsite property) 32024

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Florida Statutes Chapter 489.503:

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

TYPE OF CONSTRUCTION

() Single Family Dwelling () Two-Family Residence ☒ Farm Outbuilding

() Addition, Alteration, Modification or other Improvement () Electrical

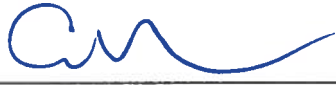
() Other Garage

() Contractor substantially completed project, of a _____

() Commercial, Cost of Construction _____ for construction of _____


I, Celeste Minter, have been advised of the above disclosure
(Print Property Owners Name)

statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature:  Date: 1/31/20
(Signature of property owner)

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification N/A

Notary Signature  Date 1-31-20 (Seal)

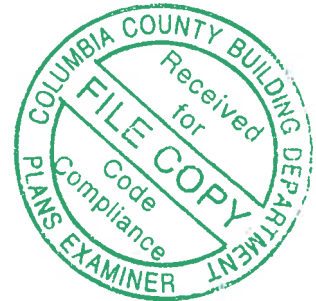


**EVALUATION REPORT OF
UNION CORRUGATING COMPANY
'29 GA. MASTERRIB PANEL'
OVER STEEL SUPPORTS**

**FLORIDA BUILDING CODE 6TH EDITION (2017)
FLORIDA PRODUCT APPROVAL
FL 9557.1-R4
PANEL WALLS
SIDING**

**Prepared For:
Union Corrugating Company
701 S. King St.
Fayetteville, NC 28301
Telephone: (910) 483-0479
Fax: (910) 483-1091**

**Prepared By:
Bala Sockalingam, Ph.D., P.E.
Florida Professional Engineer #62240
1216 N Lansing Ave., Suite C
Tulsa, OK 74106
Telephone: (918) 492-5992
FAX: (866) 366-1543**

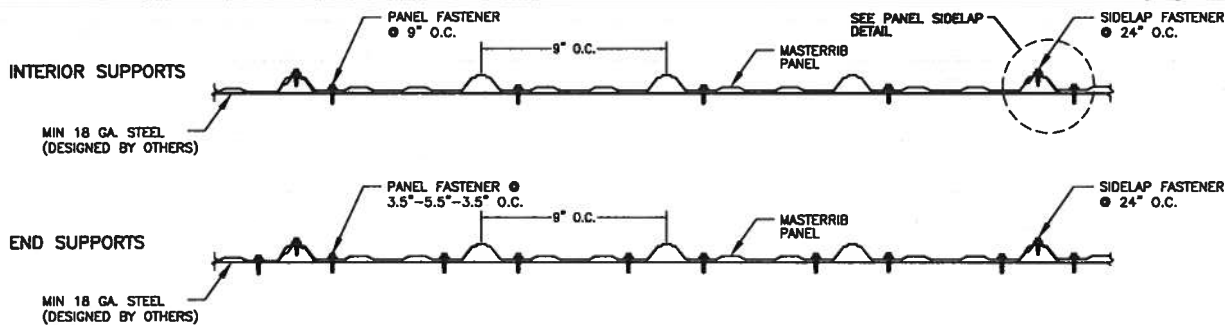


**This report consists of
Evaluation Report (2 Pages including cover)
Installation Details (1 Page)
Load Span Table (1 Page)**

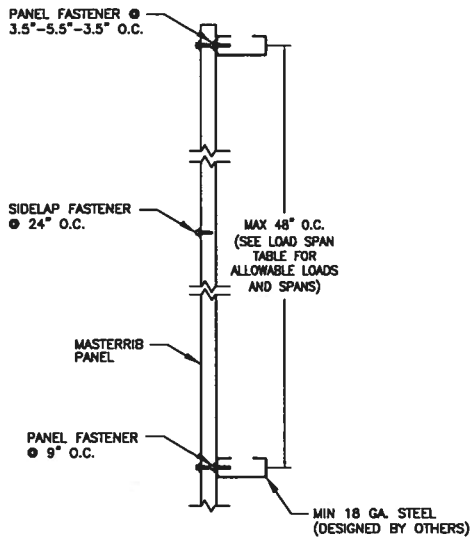
**Report No. C2173-1
Date: 8.18.2017**



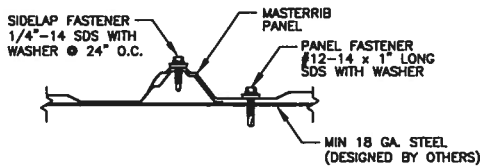
| | |
|---|---|
| Manufacturer: | Union Corrugating Company |
| Product Name: | MasterRib Panel |
| Panel Description: | 36" wide coverage with 3/4" high ribs at 9" o.c. |
| Materials: | Minimum 29 ga., 80 ksi steel. Galvanized coated steel (ASTM A653) or Galvalume coated steel (ASTM A792) or painted steel (ASTM A755). |
| Support Description: | Min 18 ga., min 50 ksi steel supports. Must be designed by others |
| Design Pressure: (Based on testing) | +45.35 and -37.7 psf @ support spacing of 48" o.c. (@ 3 span condition with FS = 2.0) |
| Panel Attachment: At panel ends At intermediate | #12-14 x 1" long self drilling screws with washers @ 3.5"-5.5"-3.5" o.c. across panel width @ 9" o.c. across panel width |
| Sidelap Attachment: | 1/4"-14 x 7/8" long SDS with washer @ 24" o.c. |
| Test Standards: | Panel assembly tested in accordance with ASTM E1592-01 'Test Method for Structural Performance of Sheet Metal Roof and Siding Systems by Uniform Static Air Pressure Difference'. |
| Test Equivalency: | The test procedures in ASTM E1592-01 comply with test procedures prescribed in ASTM E1592-05(2012). |
| Code Compliance: | The product described herein has demonstrated compliance with FBC 2017 Section 1404.5. |
| Product Limitations: | Design wind loads shall be determined for each project in accordance with FBC 2017 Section 1609 or ASCE 7-10 using allowable stress design. The maximum support spacing listed herein shall not be exceeded. The design pressure for reduced support spacing may be computed using rational analysis prepared by a Florida Professional Engineer or based on Union Corrugating load span table. This product is not approved for use in the High Velocity Hurricane Zone. |
| Supporting Documents: | ASTM E1592 Test Report ENCON Technology Inc. C1514-1 (Test #1 & 3), Reporting Date 9/8/07 |



TYPICAL PANEL INSTALLATION X-SECTION



SECTION VIEW



PANEL SIDELAP

GENERAL NOTES:

1. WALL PANEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (FBC).
2. WALL PANELS SHALL BE 29 GA. ($t = 0.013"$). EFFECTIVE COVERING WIDTH OF PANEL = 36".
3. WALL PANELS SHALL BE INSTALLED OVER STRUCTURE AS SPECIFIED ON THIS DRAWING.
4. REQUIRED DESIGN WIND LOADS SHALL BE DETERMINED FOR EACH PROJECT. THIS PANEL SYSTEM MAY NOT BE INSTALLED WHEN THE REQUIRED DESIGN WIND LOADS ARE GREATER THAN THE ALLOWABLE DESIGN LOADS.
5. ALL FASTENERS MUST BE IN ACCORDANCE WITH THIS DRAWING & THE FLORIDA BUILDING CODE. IF A DIFFERENCE OCCURS BETWEEN THE MINIMUM REQUIREMENTS OF THIS DRAWING & THE CODE, THE CODE SHALL CONTROL.
6. SUPPORTS MUST BE DESIGNED TO WITHSTAND WIND LOADS AS REQUIRED. REQUIRED FOR EACH APPLICATION AND ARE THE RESPONSIBILITY OF OTHERS.
7. PANELS MAY SPAN BETWEEN BOTTOM TO TOP SUPPORTS OR SIDE TO SIDE SUPPORTS.

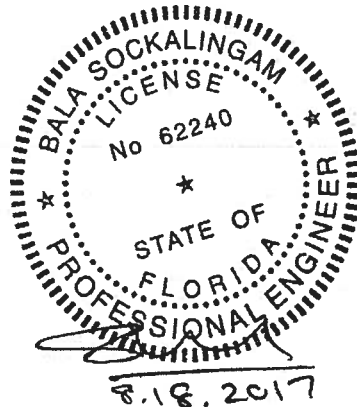
| | | | |
|---|-------------|------------|----------|
| DESIGNED BY | DATE | CHECKED BY | DATE |
| PLANNED | | DATE | 11/25/11 |
| BY | | | |
| REVISION | DESCRIPTION | | |
| NO. | | | |
| <p>PROJECT TITLE MASTERRIB WALL PANEL OVER STEEL SUPPORTS</p> <p>CONSULTANTS UNION CORRUGATING CO. 701 S. KING STREET FAYETTEVILLE, NC 28301 910-483-0479</p> <p>OWNER BATA SOCKALINGAL, PH.D., P.E. 1218 N. LAMAR AVE., SUITE C TULSA, OK 74106 PHONE: 918-482-3883 FAX: 918-482-1543</p> | | | |
| DRAWING NO. | | SHEET NO. | |
| 2173-1 | | 1 of 1 | |

UNION CORRUGATING COMPANY
MasterRib Wall Panel
36" wide, 29 ga. (min) Steel Panel over Steel Supports

| Span Condition | Loading Type | Allowable Load (psf) | | | | | | | | |
|--------------------|--------------|----------------------|-------|------|------|------|------|------|------|------|
| | | Support Spacing (ft) | | | | | | | | |
| | | 1.50 | 1.75 | 2.00 | 2.25 | 2.50 | 2.75 | 3.00 | 3.50 | 4.00 |
| Two Span | Positive | 106.4 | 91.2 | 79.8 | 70.9 | 63.9 | 58.0 | 53.2 | 45.6 | 36.3 |
| | Negative | 88.5 | 75.8 | 66.4 | 59.0 | 53.1 | 48.3 | 44.2 | 37.9 | 30.2 |
| Three Span | Positive | 120.9 | 103.7 | 90.7 | 80.6 | 72.6 | 66.0 | 60.5 | 51.8 | 45.4 |
| | Negative | 100.5 | 86.2 | 75.4 | 67.0 | 60.3 | 54.8 | 50.3 | 43.1 | 37.7 |
| Four or More Spans | Positive | 116.4 | 99.8 | 87.3 | 77.6 | 69.8 | 63.5 | 58.2 | 49.9 | 42.4 |
| | Negative | 96.8 | 82.9 | 72.6 | 64.5 | 58.1 | 52.8 | 48.4 | 41.5 | 35.2 |

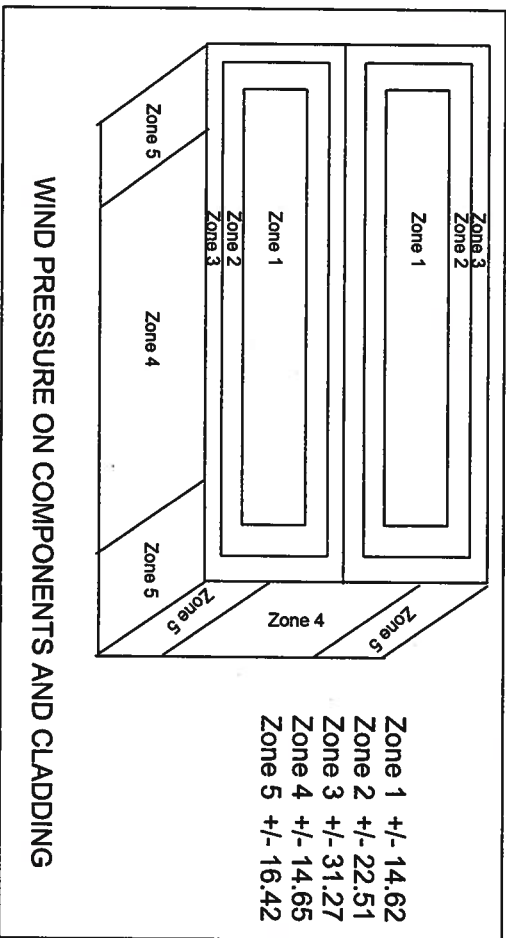
Notes:

1. Allowable load for each condition is the smallest load calculated based on fastener capacity, panel strength and and deflection limit of L/120. Allowable loads are calculated for minimum 29 ga. panel.
2. The wind load is taken as 0.7 times the "component and cladding" loads for the purpose of determining deflection limit.
3. The panel allowable properties are determined from full scale ASTM E1592 tests at 4' 0" span.
4. The panel fasteners are #12-14 x 1" long self drilling screws with washers. Fastener spacing across panel width is 9.0" o.c. in the interior supports and 3.5"-5.5"-3.5" o.c. at panel ends.
5. Sidelap fasteners are 1/4"-14 x 7/8" long self drilling screws with washer at 24" o.c.
6. Steel supports are minimum 18 ga. All supports must be designed to resist all loads imposed on the panel.
7. Minimum bearing width of support is 1.5".
8. The panels may span from bottom to top supports or side to side supports.
9. Panels must be installed as per Evaluation Report FL 9557.1 and Union current installation procedure.



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918 492 5992

Bala Sockalingam, Ph.D., P.E.
PE 62240



PROFESSIONAL SERVICES BY
DRISCOLL ENGINEERING, INC.
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GAINESVILLE, FL 32635
PH (352) 331-1513
CA 8690

PLANS AND SPECIFICATIONS.
The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION
It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE
The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all contractors in his or her Client/Contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS
Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional

1-All construction shall comply with Florida Building Code 6th edition 2017.

- ULTIMATE WIND SPEED: 130
NOMINAL WIND SPEED: 101
WIND EXPOSURE CATEGORY: B
RISK CATEGORY 1 NON HABITABLE
INTERNAL PRESSURE COEFFICIENT $G_{cpi} = +/- 0.0$
DESIGN PRESSURE PER FBC CHAPTER 16, INCLUDING ASCE 7-16 LOAD CALCULATIONS
ROOF LIVE LOAD = 12.5 PSF
ROOF DEAD LOAD = 2.5 PSF
MIN SOIL BEARING 2500 PSF
TRUSS BEARING LOAD EACH END 5200LB
TRUSS UPLIFT @ POST 3400LBS

1. Wood framing and fasteners to meet NDS-2012 requirements.
2. Fastener requirements: (1) All nails are Common galvanized; (2) all bolts are to be galvanized steel and include nuts and washers; and (3) all other hardware (Simpson, etc.) is to be installed according to manufacturer's specifications and recommendations. Nailing (size and number) shall satisfy Tables 2306.2.(1), 2306.3.(1) and 2306.3.(#) FBC unless otherwise indicated. Note: fasteners exposed to the weather are to be treated for weather resistance and compatible with the type of pressure treated wood used (connectors, nails, bolts, nuts and washers).

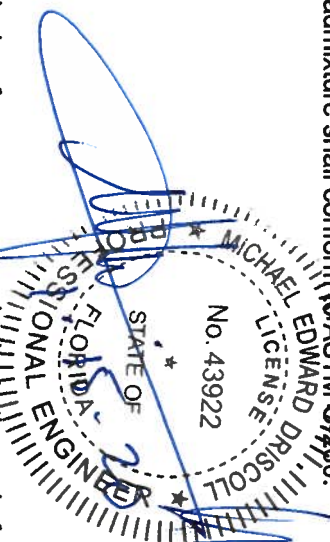
Concrete Construction Notes

1. Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI-318) and "Specifications for Structural Concrete" (ACI-301), Latest Edition.
2. Concrete mix shall conform to the following specifications. All concrete mixes shall contain a water-reducing admixture conforming to ASTM C-494. Air-entraining admixture shall conform to ASTM C-260.

CONCRETE MIX A

Ultimate Compressive Strength @ 28 days 3,000 PSI
Slump Range 4" +/- 1"
Maximum Aggregate Size 1"
Entrained Air None
Dry Weight per Cubic Foot 150 #

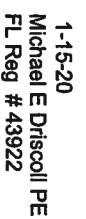
3. Shotcrete mix
4. All concrete shall be cured for a minimum of 28 days. If forms for vertical surfaces are removed prior to the end of the curing period, spray surfaces with liquid membrane curing compound.
5. Reinforcing steel shall conform to ASTM A615, Grade 40 ($F_y=40$ ksi). Lap continuous bars for tension lap splice per ACI-318, unless otherwise noted. Provide corner bars of same size and spacing as horizontal wall reinforcement. Cover for concrete reinforcing steel shall be in accordance with ACI-318, Paragraph 7.7.
6. Welded wire fabric (WWF) shall conform to ASTM A185. Lap sheets two mesh spaces and wire tie adjacent sheets together securely. Cut alternate reinforcement at control joints.
7. All slabs on grade shall have construction or control joints not to exceed 15' - 0" spacing, unless otherwise noted.
8. Electrical conduit and other pipes to be embedded in structural concrete floor slabs or walls shall be placed in accordance with the requirements of ACI-318, Paragraph 6.3.

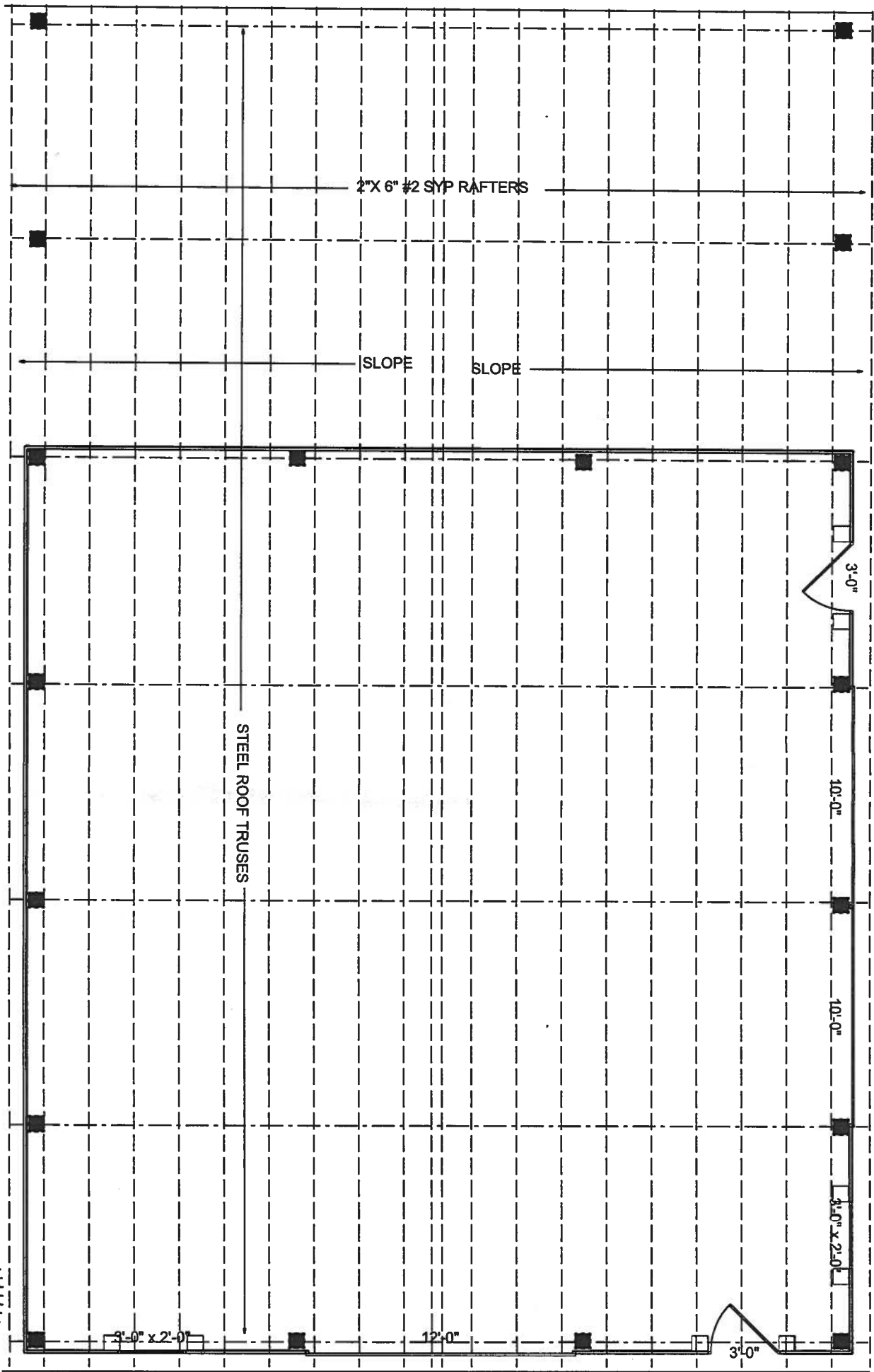


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36' x 60' PARTIALLY ENCLOSED
POLE STORAGE STRUCTURE

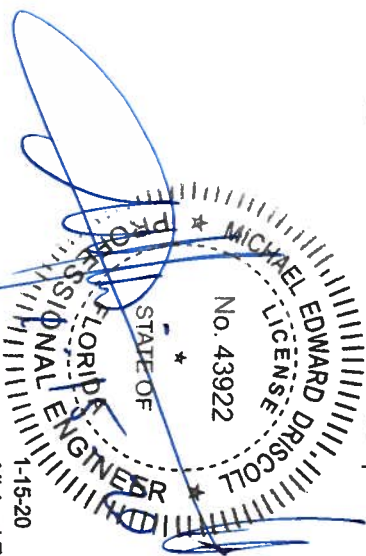
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FL Reg # 43922





ROOF PLAN VIEW

3/16" = 1'-0"



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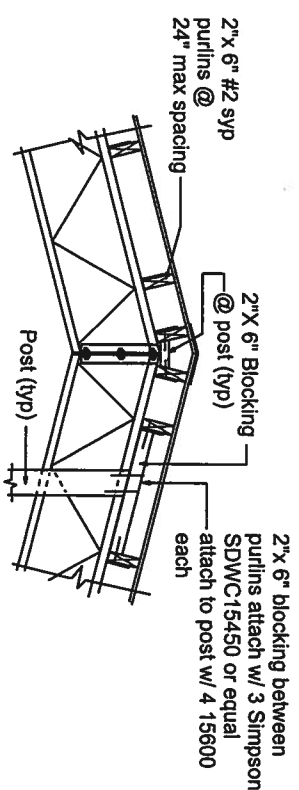


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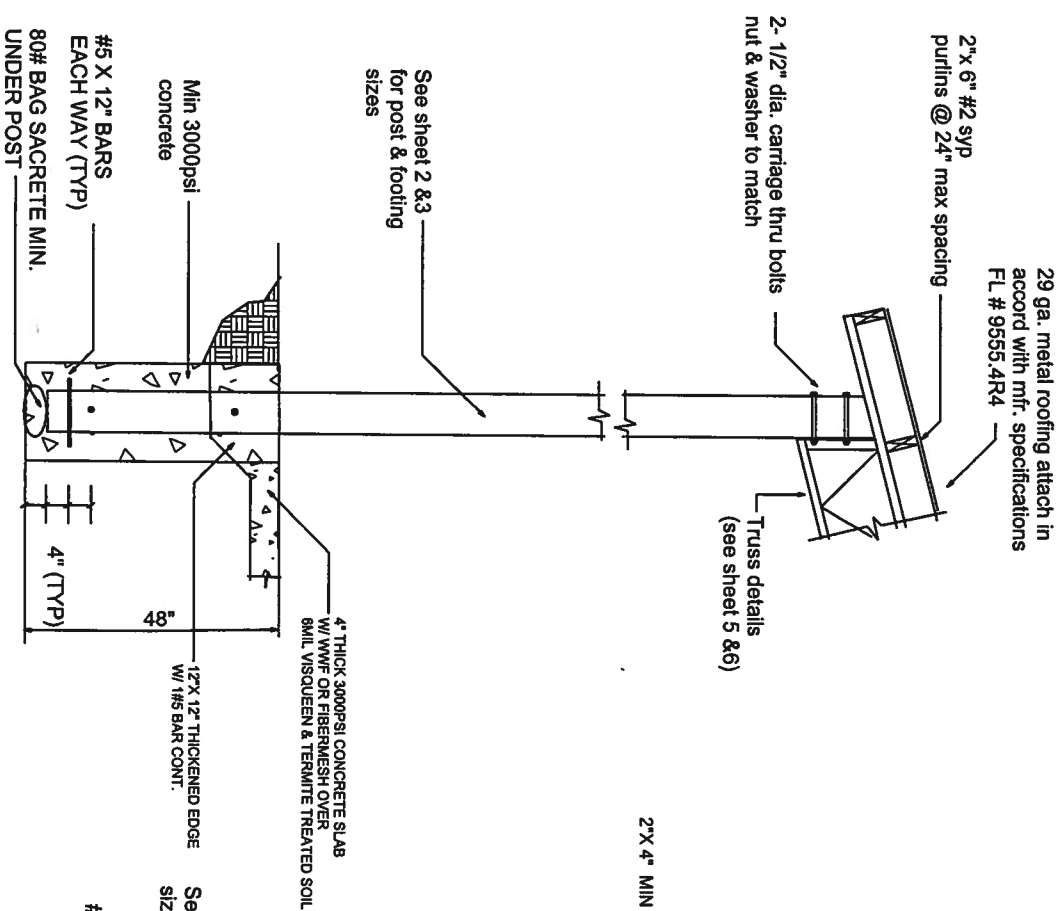
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SHEET:

3

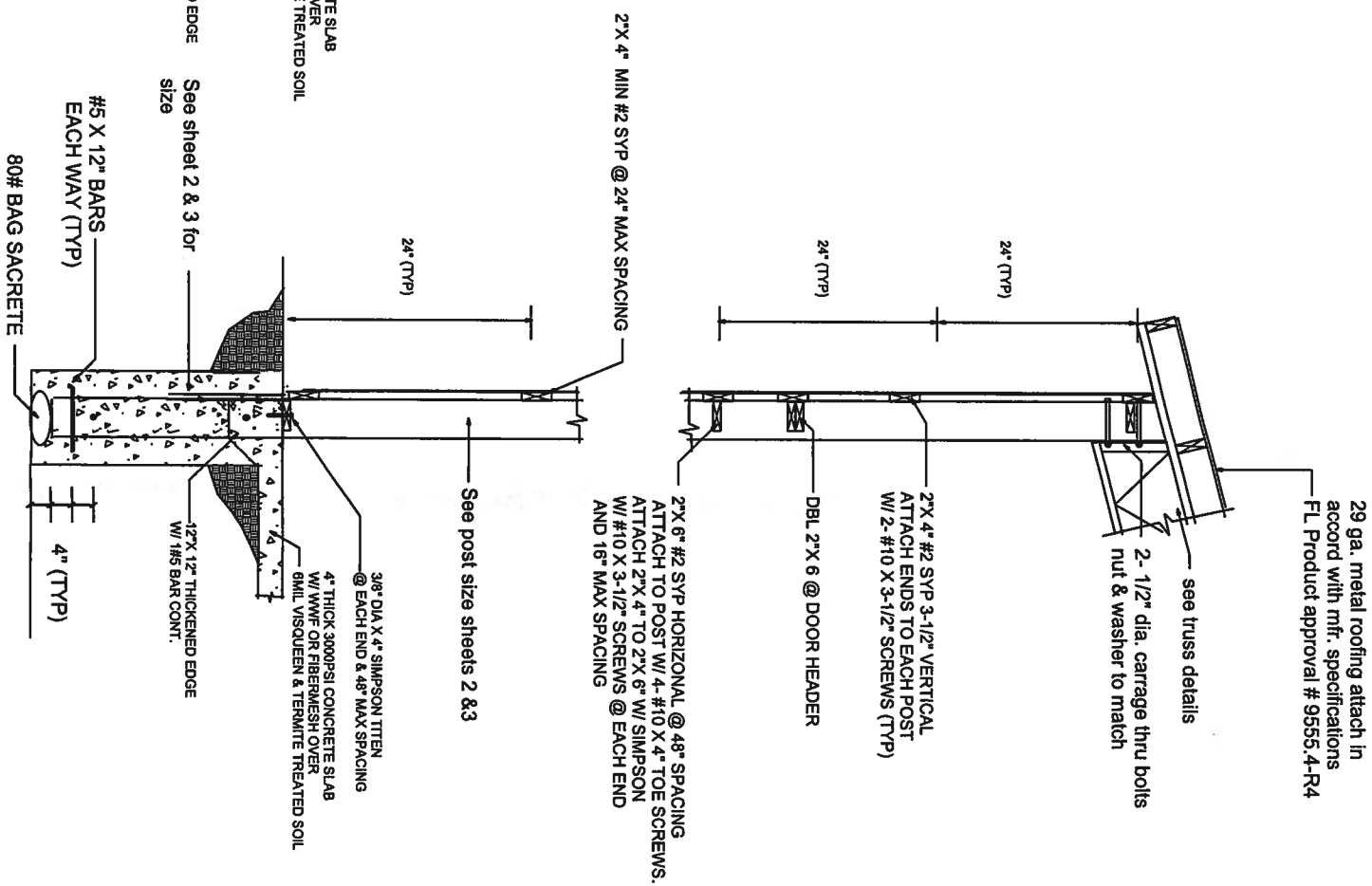


POST TO TRUSS @ GABLE END



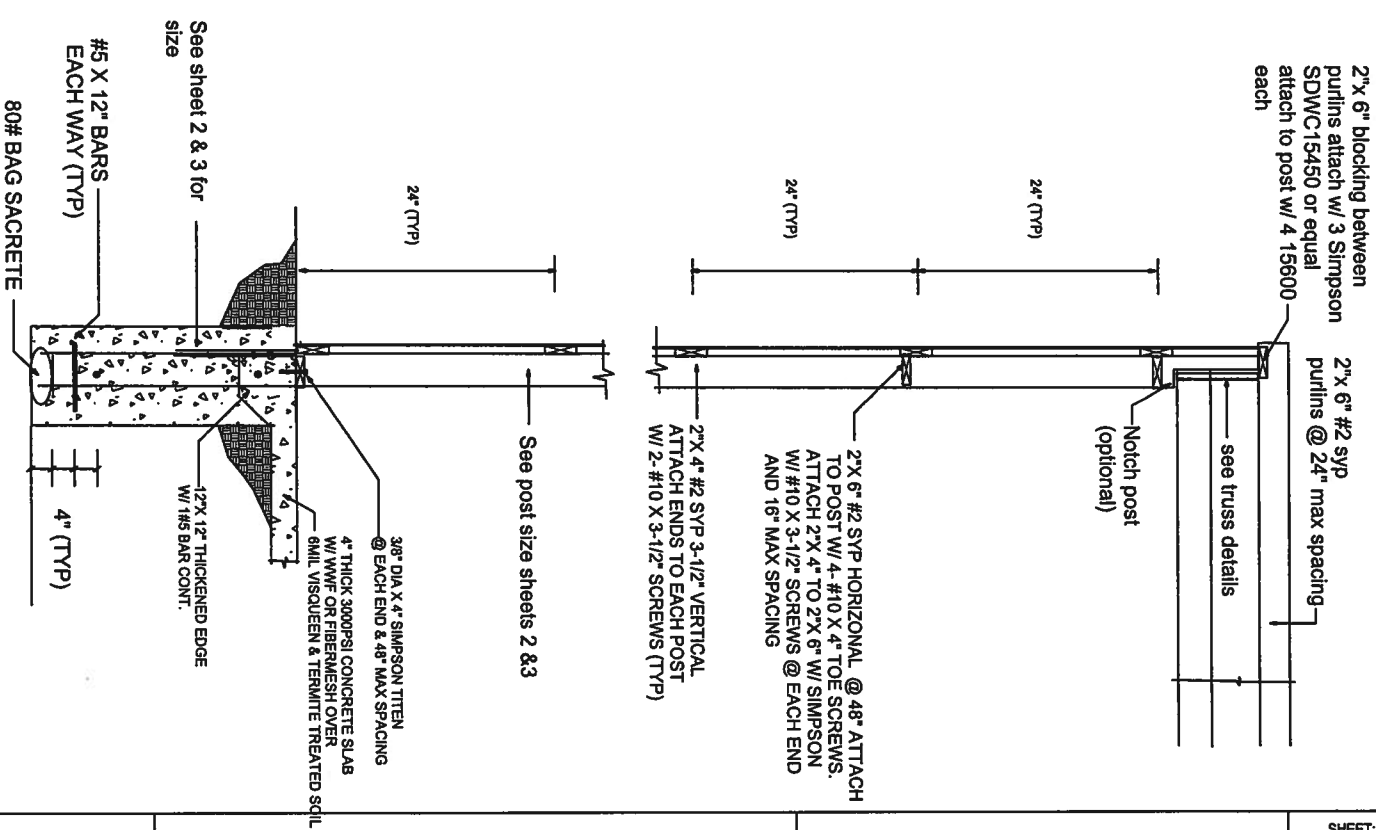
POST FOOTING TO TRUSS DETAIL

SECTION 3



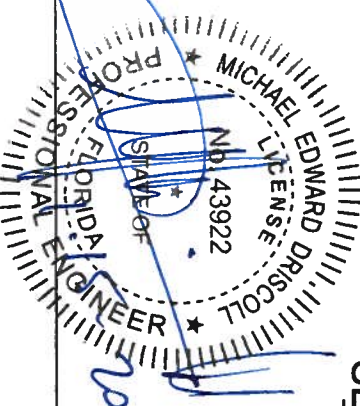
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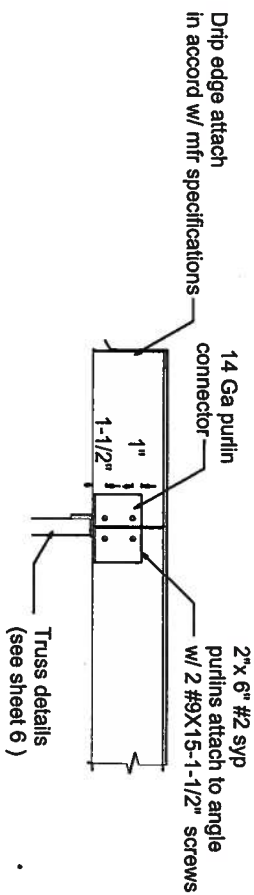
SECTION 2



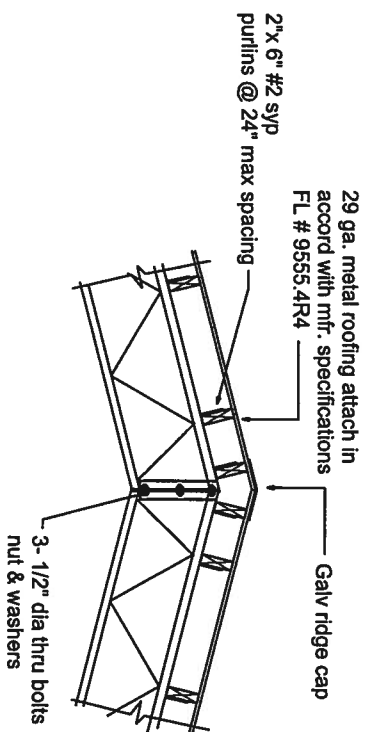
POST FOOTING TO TRUSS DETAIL

SECTION 1

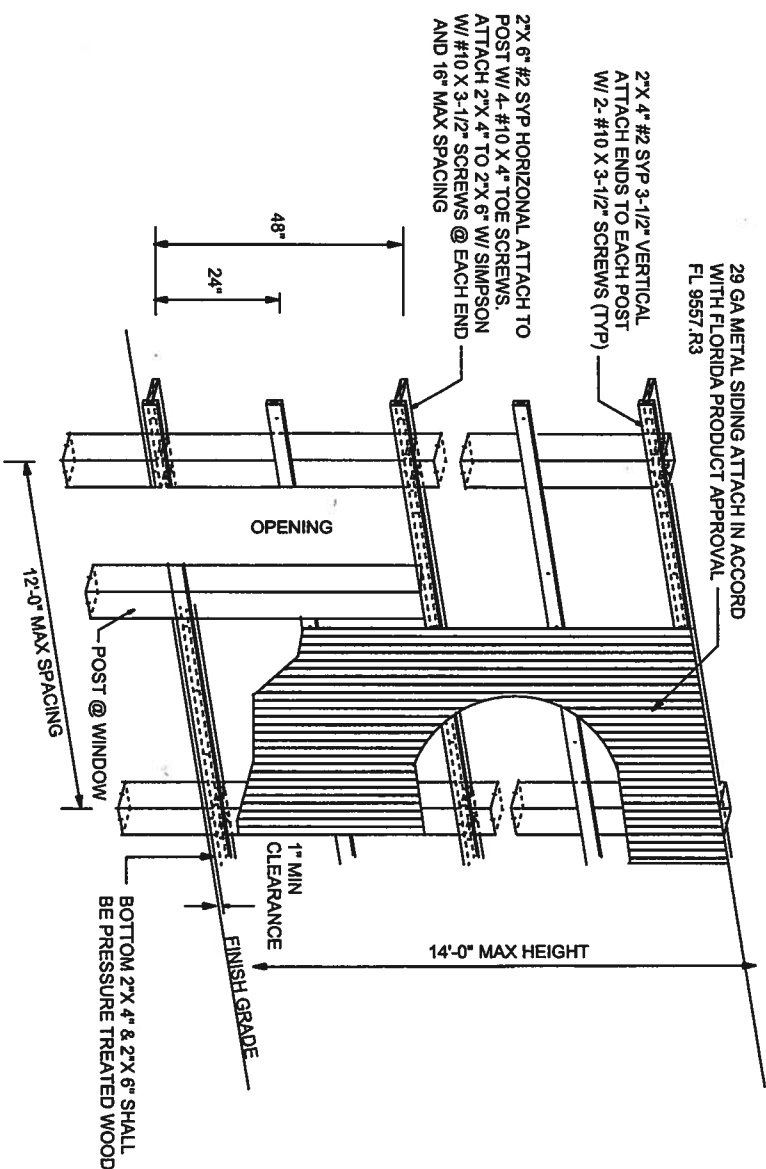




PURLIN CONNECTION DETAIL

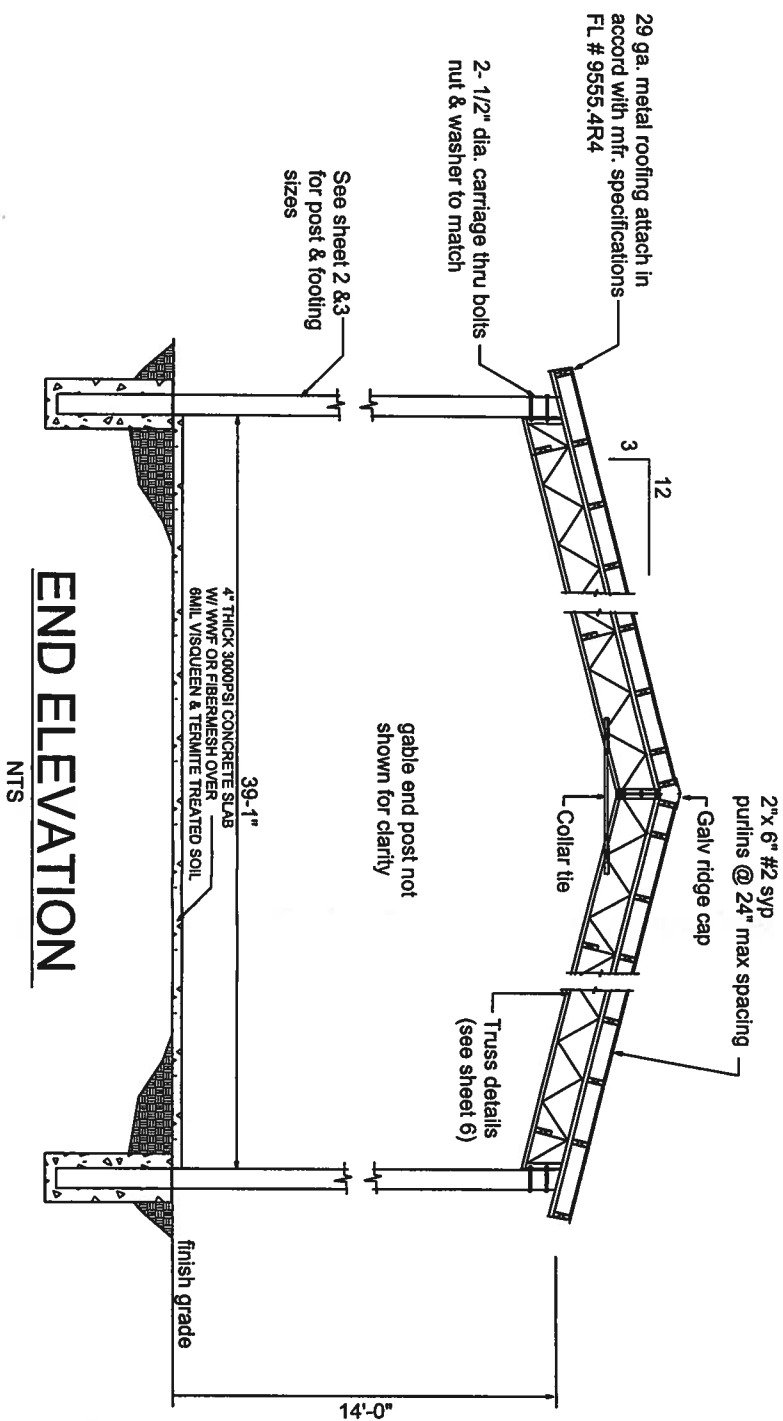


RIDGE CONNECTION DETAIL



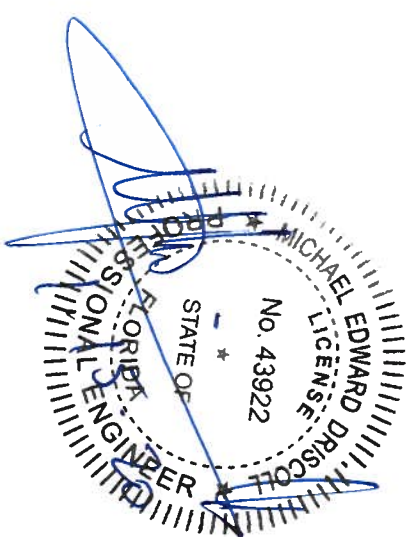
140 MPH SOLID WALL DESIGN

* USE COATED SCREWS FOR EXTERIOR USE



END ELEVATION

NTS



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FL Reg # 43922

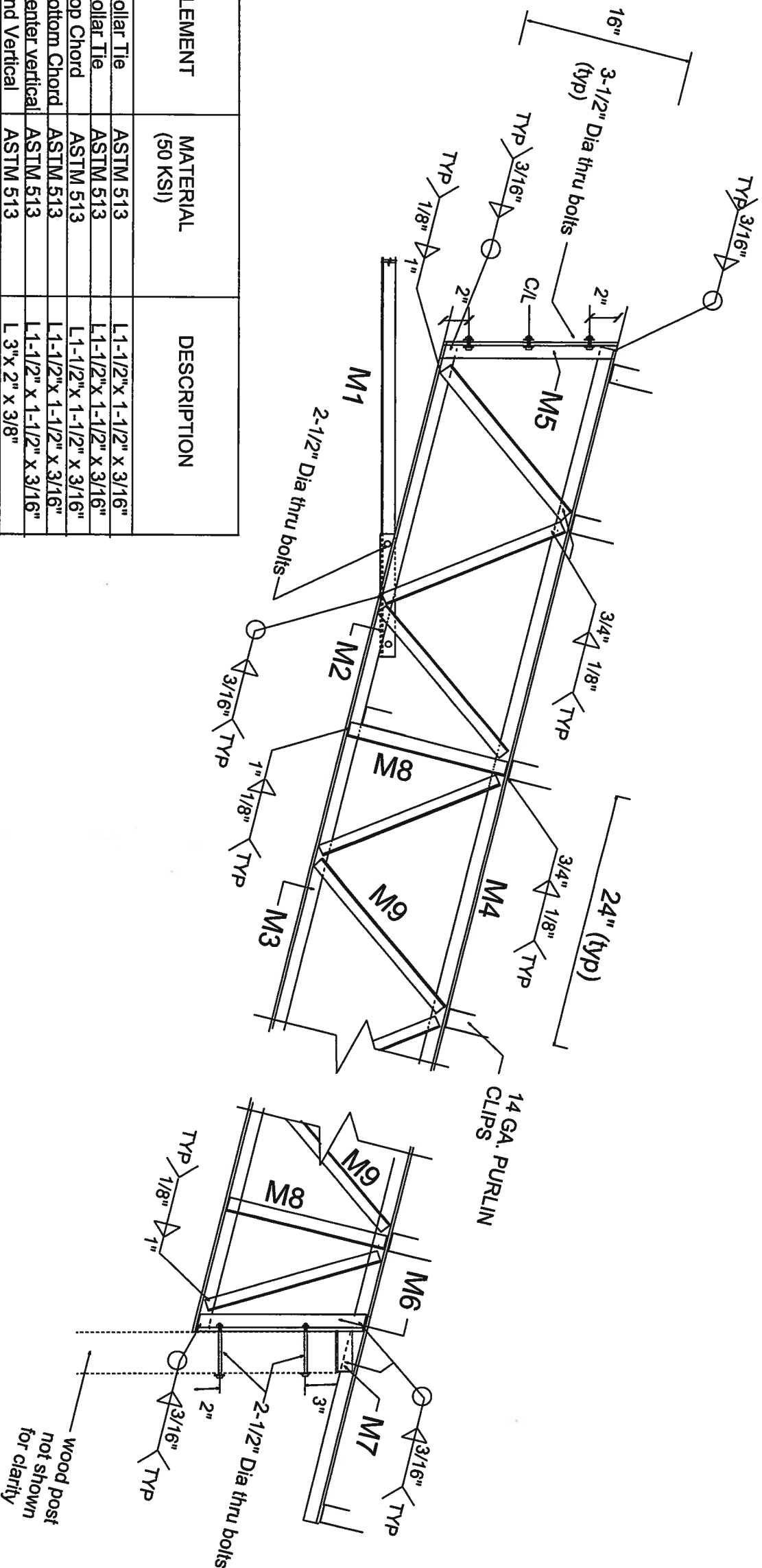


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SHEET:

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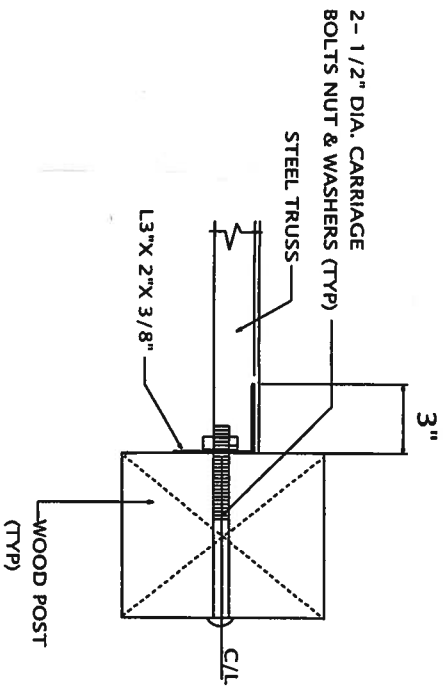


| No. | ELEMENT | MATERIAL (50 KSI) | DESCRIPTION |
|-----|-----------------|----------------------|--------------------------|
| M1 | Collar Tie | ASTM 513 | L1-1/2"x1-1/2" x 3/16" |
| M2 | Collar Tie | ASTM 513 | L1-1/2"x1-1/2" x 3/16" |
| M3 | Top Chord | ASTM 513 | L1-1/2"x1-1/2" x 3/16" |
| M4 | Bottom Chord | ASTM 513 | L1-1/2"x1-1/2" x 3/16" |
| M5 | Center vertical | ASTM 513 | L1-1/2" x 1-1/2" x 3/16" |
| M6 | End Vertical | ASTM 513 | L 3"x 2" x 3/8" |
| M7 | Bearing angle | ASTM 513 | L 3"x 2" x 3/8" |
| M8 | Inside vertical | ASTM 513 | L1-1/4" x 1-1/4" x 1/8" |
| M9 | Diagonal web | ASTM 513 | L1-1/4" x 1-1/4" x 1/8" |

STEEL TRUSS CROSS SECTION

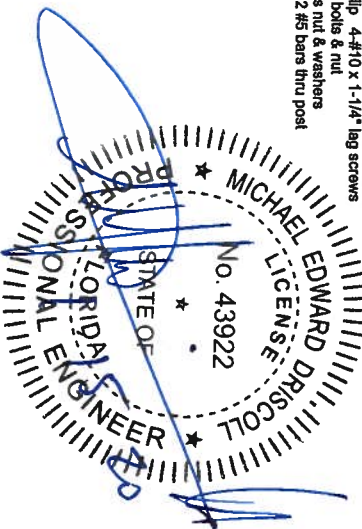
NOTES:

- 1-MATERIALS SHALL CONFORM TO STEEL ASTM 513.
- 2- ALL STEEL SHALL BE 50ksi IN ACCORD WITH CURRENT AISC MANUAL.
- 3- WELDING ELECTRODES TYPE E70XX
- 4- ALL WELDING SHALL BE IN ACCORD WITH CURRENT AWSA REQUIREMENTS.
- 5-ALL WELDING SHALL BE DONE BY A CERTIFIED WELDER.
- 6-BOLTS SHALL BE ASTM A325. w/ NUTS & WASHERS. (TYP)
- 7- WELD STRENGTH 70 KSI MIN.
- 8- ALL POST SHALL BE PRESSURE TREATED GROUND CONTACT.
- 9- PRIMING & PAINTING SHALL BE DONE BY TRUSS MANUFACTURER.
- 10- MIN EDGE DISTANCE FOR BOLTS HOLES SHALL BE 3/4" MIN
- 11-MAX TRUSS SPACING SHALL NOT EXCEED 12'-0"
- 12-THE DESIGNER DISCLAIMS ANY RESPONSIBILITY FOR DAMAGES AS A RESULT OF POOR WORKMANSHIP, OR IMPROPER USE, AND ACCEPTS NO RESPONSIBILITY OR EXERCISES NO CONTROL WITH REGARD TO FABRICATION, HANDLING,AND INSTALLATION OF TRUSSES.



TRUSS TO POST DETAIL
PLAN VIEW

CONNECTOR SCHEDULE
2"x 6" #2 syp pulfin to 6"x 6" x 14 ga. clip 4-#10 x 1-1/4" lag screws
Truss to truss @ ridge 3-1/2" dia thru bolts & nut
Wood post to truss 2-1/2" dia thru bolts nut & washers
Post to concrete 24" dia x 48" deep w/ 2 #5 bars thru post



TRUSS DETAILS

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