

DATE 02/24/2010

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028389

APPLICANT PATTI GOODSON PHONE 386-303-2222
ADDRESS 337 SW TOMPKINS STREET LAKE CITY FL 32024
OWNER FIVE ASH FOREST, LLC PHONE 752-7207
ADDRESS 397 NW TURNBERRY DR LAKE CITY FL 32055
CONTRACTOR CHARLES ROGERS PHONE 863-559-3409
LOCATION OF PROPERTY 90 W, R BROWN RD, R INTO FIVE ASH FOREST ON TURNBERRY DR,
9TH MH ON LEFT
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT REAR SIDE
NO. EX.D.U. FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 28-3S-16-02376-000 SUBDIVISION FIVE ASH FOREST MH PARK
LOT 48 BLOCK PHASE UNIT TOTAL ACRES 36.00

IH0000607
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
PRIVATE Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: EXISTING MH PARK, FLOOR ONE FOOT ABOVE THE ROAD, MANUFACTURED ATTACHED
GARAGE-PLANS IN FILE

Check # or Cash 2693

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Insulation
date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
date/app. by date/app. by date/app. by
Reconnection RV Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 375.00
INSPECTORS OFFICE Liz Jordan CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Notice of Prevention for Subterranean Termites
(As required by Florida Building Code (FBC) 104.2.6)



A locally owned
company serving
you since 1972

17856 U.S. 129 • McALPIN, FLORIDA 32062
(386) 362-3887 • 1-800-771-3887 • Fax: (386) 364-3529

PERMIT #000028389

DATTY GOODSON 397 TURNBERRY DR LAKE CITY FL
Address of Treatment or Lot/Block of Treatment

3-1-10
Date

1:00
Time

AARON J CUMMINGS
Applicator

PREMISE
Product Used

IMIDACLOPRID
Chemical used (active ingredient)

58
Number of gallons applied

1.05%
Percent Concentration

300
Area treated (square feet)

70
Linear feet treated

HORIZONTAL / VERTICAL
Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

As per 104.2.6 - If soil chemical barrier method for Subterranean termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line. _____

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION 4# 2693

For Office Use Only (Revised 6-23-05) Zoning Official BK 23.02.10 Building Official HD 2-22-10
AP# 1002-28 **Date Received** 2/18/10 **By** LH **Permit #** 28389
Flood Zone X **Development Permit** N/A **Zoning** RSF-2 **Land Use Plan Map Category** Residential
Comments Existing MH Park

☒ SubContractor Verification form.
FEMA Map# N/A **Elevation** N/A **Finished Floor** Stable River **In Floodway** N/A
☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☒ Well letter ☒ Existing well
☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer ☒ Application Fee paid
IMPACT FEES - SUSPENDED / 911 VERIFICATION SHEET

- **Property ID #** 28-35-16-02376-000 LOT 48 FIVE ASH FOREST LLC Must have a copy of the property deed
- **New Mobile Home** ☒ **Used Mobile Home** ☐ **Year** 2007
- **Applicant** PATTI H. Goodson **Phone #** 386-303-2222
- **Address** 337 SW Tompkins St Lake City, FL 32024
- **Name of Property Owner** Five Ash Forest, LLC **Phone#** 386-752-7207
- **911 Address** 397 NW Turnberry Dr Lake City, FL 32055
- **Circle the correct power company -**
 (Circle One) - FL Power & Light - Clay Electric
Suwannee Valley Electric - Progress Energy
- **Name of Owner of Mobile Home** Muriel Patterson **Phone #** 755-7212
Address 121 SW Rd Maple Way Lake City, FL 32024
- **Relationship to Property Owner** Renter
- **Current Number of Dwellings on Property** 2
- **Lot Size** 75 x 150 **Total Acreage** 36
- **Do you : Have an** Private Existing Drive **or need a** Culvert Permit **or a** Culvert Waiver (Circle one)
- **Is this Mobile Home Replacing an Existing Mobile Home** N/A
- **Driving Directions to the Property** Hwy 90 W TO Brown Rd. Turn Right. Travel 1/2 mile To Five Ash Forest Turn Rt. Travel straight down Turnberry Drive to LOT 48 which is located on left side of street 9th MH on left
- **Name of Licensed Dealer/Installer** Charles P Rogers **Phone #** 863-559-3409 DBA Palm Harbor Construction
- **Installers Address** 4816 Gallagher Rd., Plant City, 33565
- **License Number** IT 0000607 **Installation Decal #** 301252

Spoke to PATTI
2/23/10

FIVE ASH FOREST

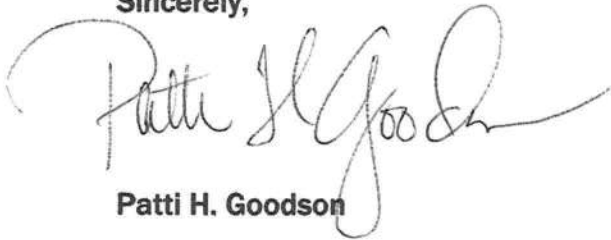
118 NW Turnberry Drive
Lake City, Florida 32055
Phone 386.752.7207
Fax 386.752.7204
fiveashforest@comcast.net
www.fiveashforest.com

February 10, 2010

To Whom It May Concern:

Five Ash Forest has granted permission to Charles P. Rogers to place a mobile home belonging to Muriel Patterson in the park. It will be located on lot 48 with the 911 address of 397 NW Turnberry Drive, Lake City, Florida 32055.

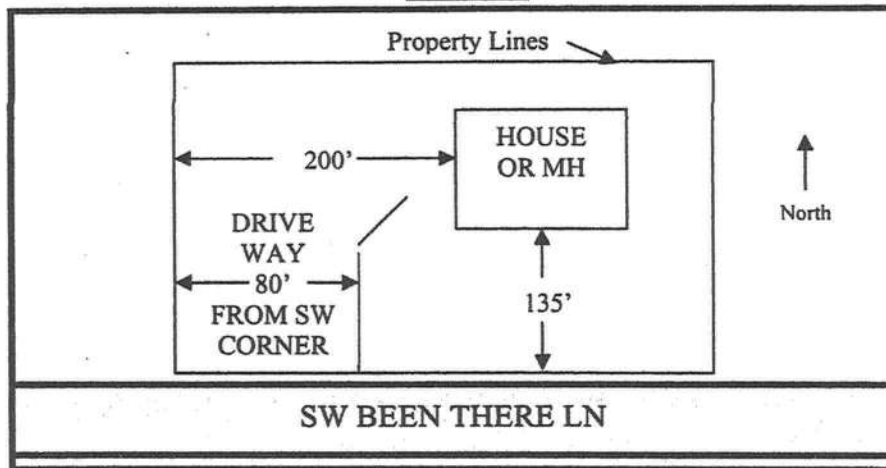
Sincerely,

A handwritten signature in black ink, appearing to read "Patti H. Goodson", with a large, stylized flourish extending from the end of the signature.

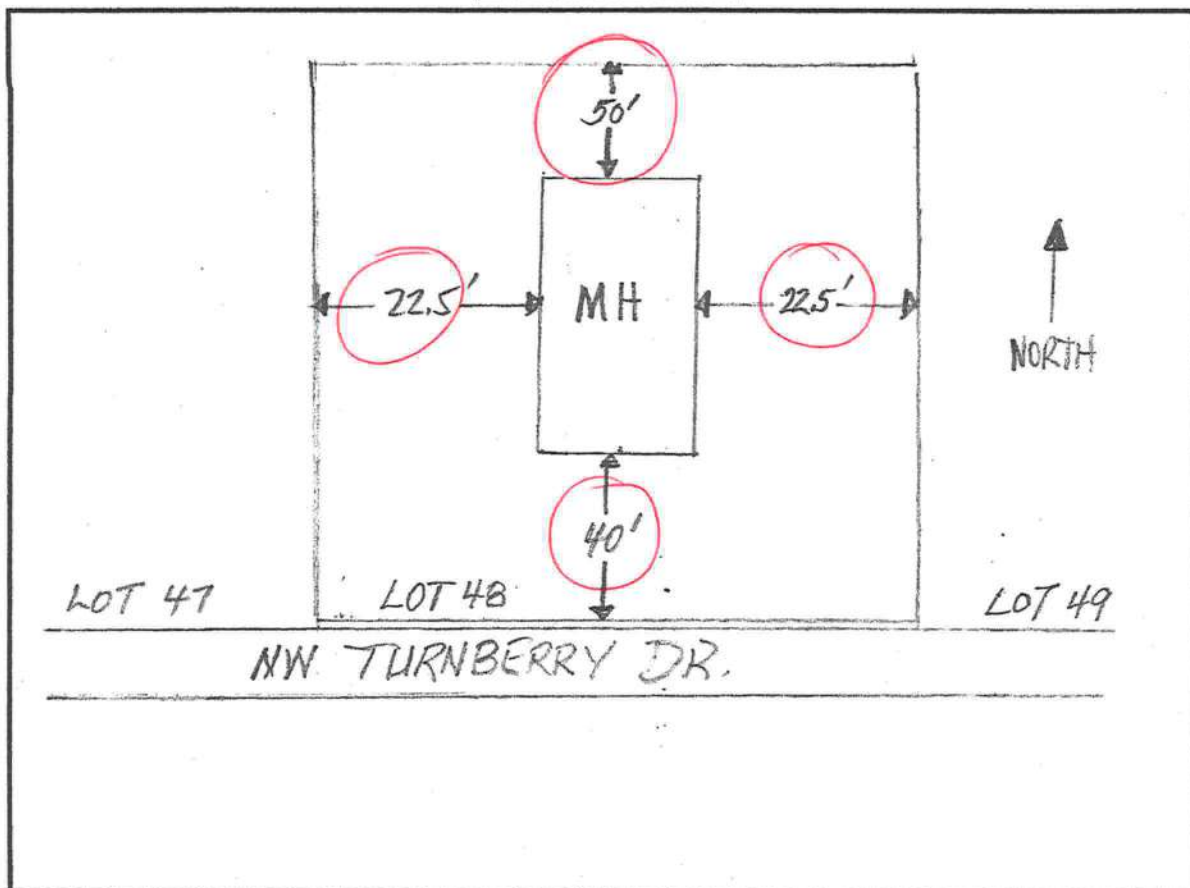
Patti H. Goodson

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



	466		292	
	454	281	280	
441	440	267	266	
427	426	253	252	
413	412	239	238	
397	396	225	224	
385	384	211	210	
371	370	195	194	
355	354	181	180	
341	340	167	166	
327	326	153	152	
313	312	139	138	
299	298	125	124	
285	284	111	110	

TURNBERRY

120

Widdowbrook

+ 180
Widdowbrook

Office
118 Widdowbrook

10 KEEP
BY 4/13

FIVE ASH
FOREST

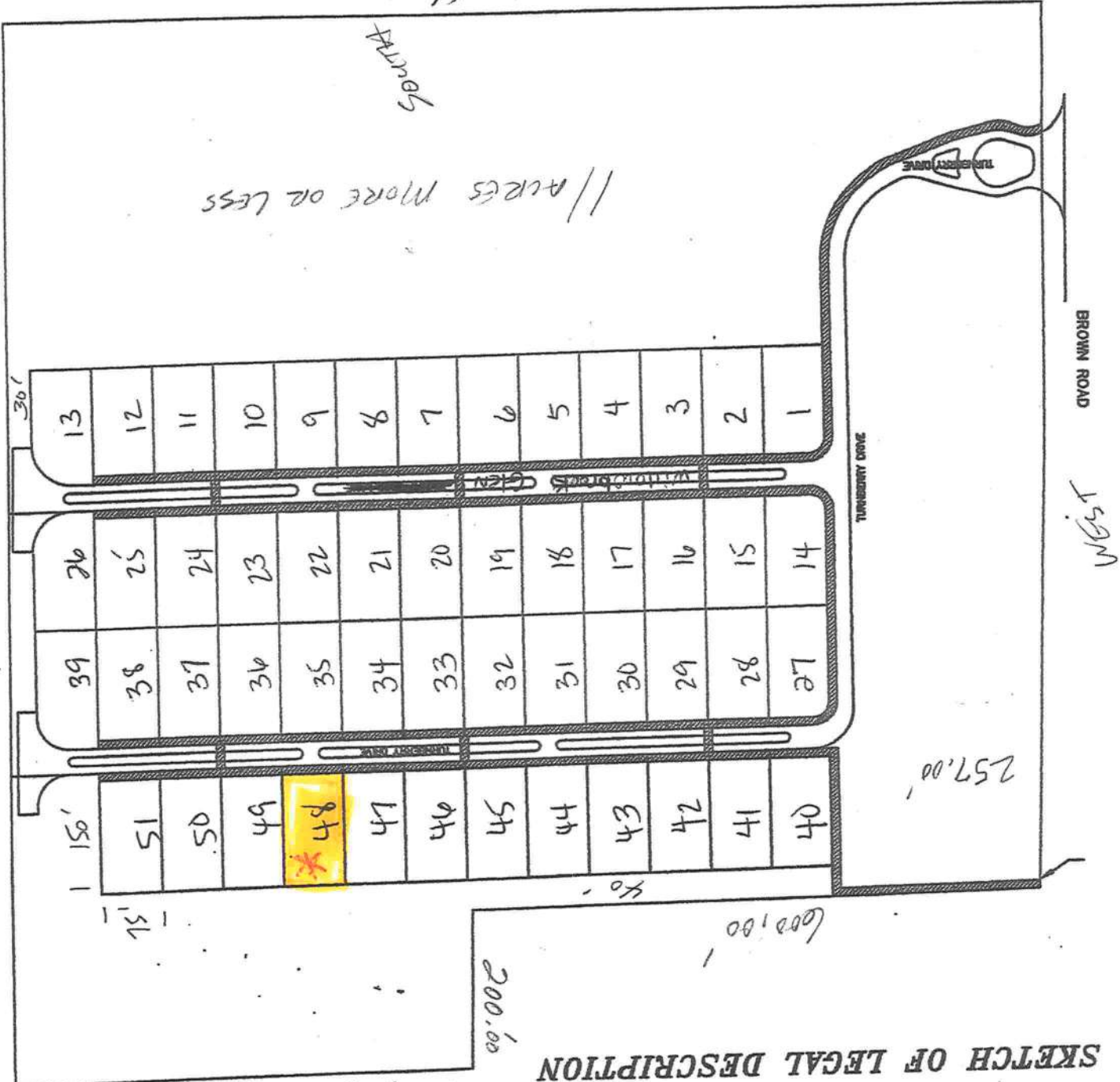
LOT #'S

Environmental
Health



EAST

1337.12'



SKETCH OF LEGAL DESCRIPTION

RONNIE BRANNON

COLUMBIA COUNTY TAX COLLECTOR

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS
REAL ESTATE 2008 107659.0000

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
R02376-000		430,864		430,864	002

2008 111008 WASTE EXEMPTION

FIVE ASH FOREST LLC
337 SW TOMPKINS ST
LAKE CITY FL 3202428-3S-16 5028/5028 36.00 Acres
COMM AT NW COR OF MAGNOLIA
HILLS, RUN N 1122.85 FT,
E 700 FT, N 200 FT, E 562.46
FT, S 1337.12 FT, W 1278.04 FT
See Tax Roll For Extra Legal

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	EXEMPTION AMOUNT	TAXABLE VALUE	TAXES LEVIED	
C001	BOARD OF COUNTY COMMISS	7.8910	430,864	3,399.95	
S002	COLUMBIA COUNTY SCHOOL		430,864		
	DISCRETIONARY	0.7480	430,864	322.29	
	LOCAL	5.2220	430,864	2,249.97	
	CAPITAL OUTLAY	1.7500	430,864	754.01	
WSR	SUWANNEE RIVER WATER M	0.4399	430,864	189.54	
HLSH	LAKE SHORE HOSPITAL AUT	2.0160	430,864	868.62	
IIDA	COLUMBIA COUNTY INDUS	0.1240	430,864	53.43	

Revised
NoticePAID BY: FIVE ASH FOREST LLC
Amount
T111 031
Oper GMB
Date 03/31/09
Control # 3103523.0000

TOTAL MILLAGE 18.1909

AD VALOREM TAXES

7,837.81

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR	FIRE ASSESSMENTS	300.58
NON-AD VALOREM ASSESSMENTS		300.58

FIVE ASH FOREST LLC
8,138.3900

COMBINED TAXES AND ASSESSMENTS		8,138.39	See reverse side for important information		
If Paid By	Nov 30 2008	Dec 31 2008	Jan 31 2009	Feb 28 2009	Mar 31 2009
Please Pay	7,812.85	7,894.24	7,975.62	8,057.01	8,138.39

Please
Retain
this
Portion
for your
Records



Palm Harbor
CONSTRUCTION


605 S. Frontage Rd
Plant City, FL 33563
813-752-1368
813-752-7280 Fax

"TEMPORARY"
* NEED WITNESS AUTHORIZATION *

POWER OF ATTORNEY

I, Charles P. Rogers, do hereby authorize Patti Goodson of Five Ash Forest to pull the set-up permits for:

397 NW Turnberry Dr
Lot 48
Lake City, FL 32055


Signature

3-10-10
Date

State of Florida
County of Hillsborough

Signed and acknowledged before me this 10th day of FEB, 2010 by
Charles P. Rogers who is personally known to me or produced identification


Notary

4/14/10
Commission Expires

Notary Seal:





COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Charles P. Rogers, give this authority for the job address show below
Installer License Holder Name

only, 397 N.W. Turnberry Dr, Lake City, Lot 48, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
<u>Patti Goodson</u>	<u>Patti Goodson</u>	<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input checked="" type="checkbox"/> Property Owner
<u>Mark Goodson</u>		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Charles P. Rogers
License Holders Signature (Notarized)

IH 0000607
License Number

2-16-10
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: HILLSBOROUGH

The above license holder, whose name is CHARLES P. ROGERS,
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 16 day of FEB, 20 10.

Shamlyn L. Walsh
NOTARY'S SIGNATURE



PERMIT WORKSHEET

page 2 of 2

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf
or check here to declare 1000 lb. soil ☒ without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing ☒. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Plumbing

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other _____ Pg. _____

Site Preparation

Debris and organic material removed ☒ YES

Water drainage: Natural _____ Swale _____ Pad _____ Other _____

Fastening multi wide units

FLOOR ALSO 1 1/2" x 1 1/2" STRAP
Type Fastener: 5/16" LAG Length: 4 1/2" Spacing: 20"
Walls: Type Fastener: 5/16" LAG Length: 5" Spacing: 12"
Roof: Type Fastener: 5/16" LAG Length: 6" Spacing: 20"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket 1 1/4" x 1 1/2" FOAM

Pg. ENCASED IN PLASTIC SHEATH

PG 36

Weatherproofing

The bottomboard will be repaired and/or taped. ☒ Yes Pg.
Siding on units is installed to manufacturer's specifications. ☒ Yes
Fireplace chimney installed so as not to allow intrusion of rain water. ☒ Yes

Miscellaneous

Skirting to be installed. Yes ☒ No ☒
Dryer vent installed outside of skirting. Yes ☒ N/A
Range downflow vent installed outside of skirting. Yes ☒ N/A
Drain lines supported at 4 foot intervals. Yes ☒ N/A
Electrical crossovers protected. Yes ☒ N/A
Other: _____

Installer verifies all information given with this permit worksheet
is accurate and true based on the

Installer Signature

Date 2-16-10

PERMIT WORKSHEET

page 1 of 2

PALM HARBOR CONSTRUCTION

License # 1H0000607

Charles P Rogers

Length x Width 60 X 30

Manufacturer PALM HARBOR HOMES

Name of Owner of this Mobile Home FIVE ASH FOREST MH COMMUNITY

New Home

Used Home

Year

2006

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide

Wind Zone II

Wind Zone III

Double wide

Installation Decal #

301252

Triple/Quad

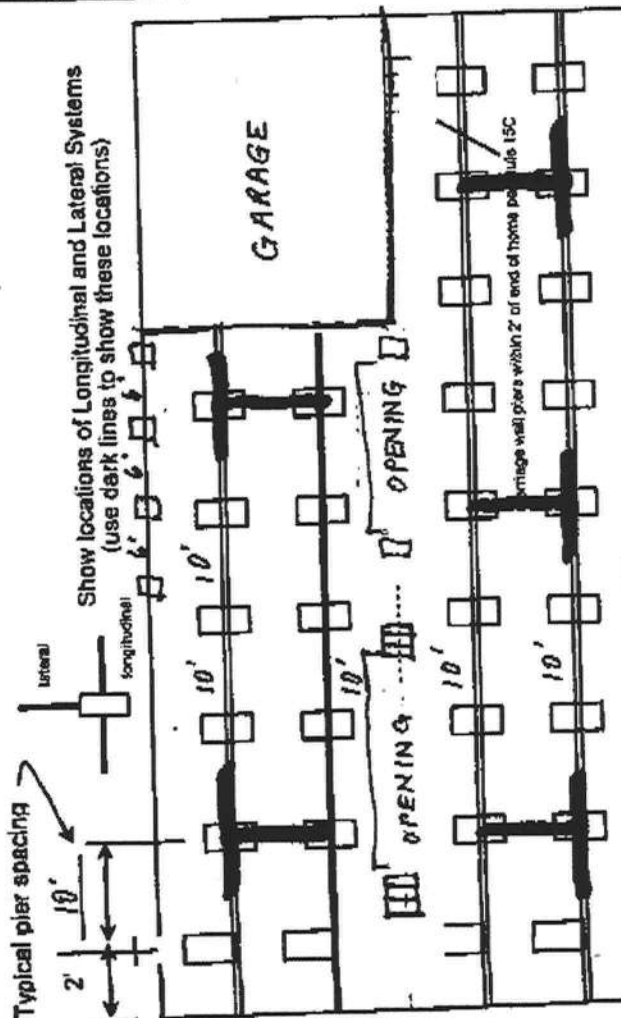
Serial #

916746

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials



PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17 1/2" x 25 1/2"

Perimeter pier pad size 13" x 26"

Other pier pad sizes 2 columns 26" x 26"

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft 5 ft

SEE BLOCKING DIAGRAM
FROM FACTORY ENGINEERING
DEPARTMENT

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

TIE DOWN ENGINEERING

X-1 GRIND SYSTEM

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

FRAME TIES

within 2' of end of home
spaced at 5' 4" oc

ANCHORS

Number

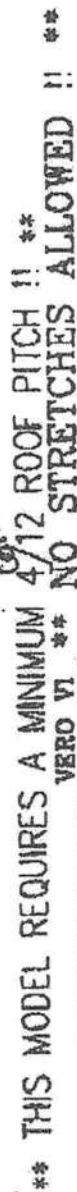
Sidewall

Longitudinal

Marriage wall

Shearwall

T-419 PW02/004 F-204



MODEL	NET SIZE*	SQ FT=	BATHS	BEDROOMS
T360K8	32X59/60	1290	2	2

*DIMENSIONS ARE NOMINAL 2007 MODEL 1500 SERIES STD

Energy STAR

16 Wdws

III 2 M

Wynndover

TURNBERRY

120 W

21

Office
118 NW
Turnberry

* 180
NW Turnberry

NW Wilbuck

285	284	111	110
299	298	125	124
313	312	139	138
327	326	153	152
341	340	167	166
355	354	181	180
371	370	195	194
385	384	211	210
397	396	225	224
413	412	239	238
427	426	253	252
441	440	267	266
	454	281	280

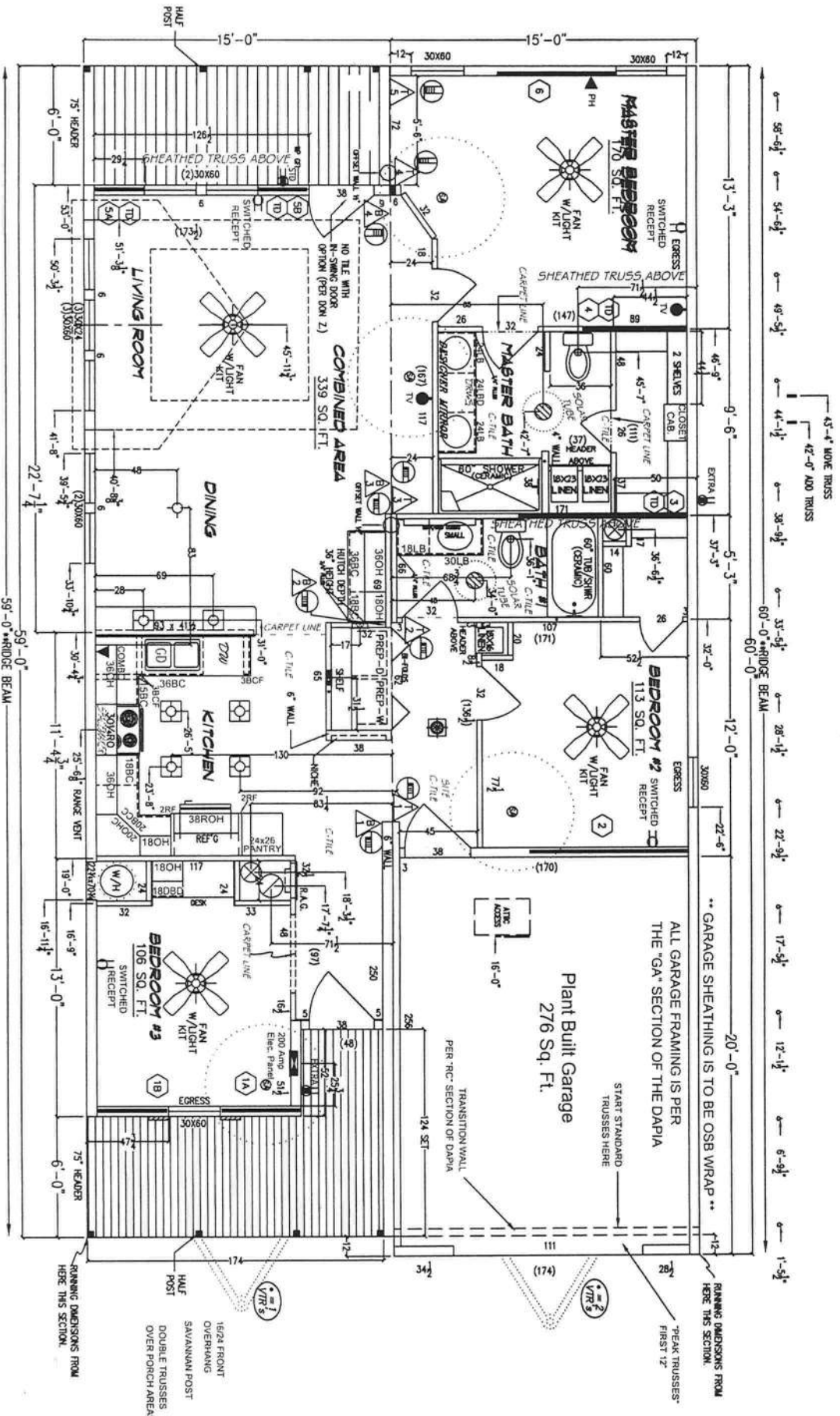
466


292

13

12

NW WILBROCK

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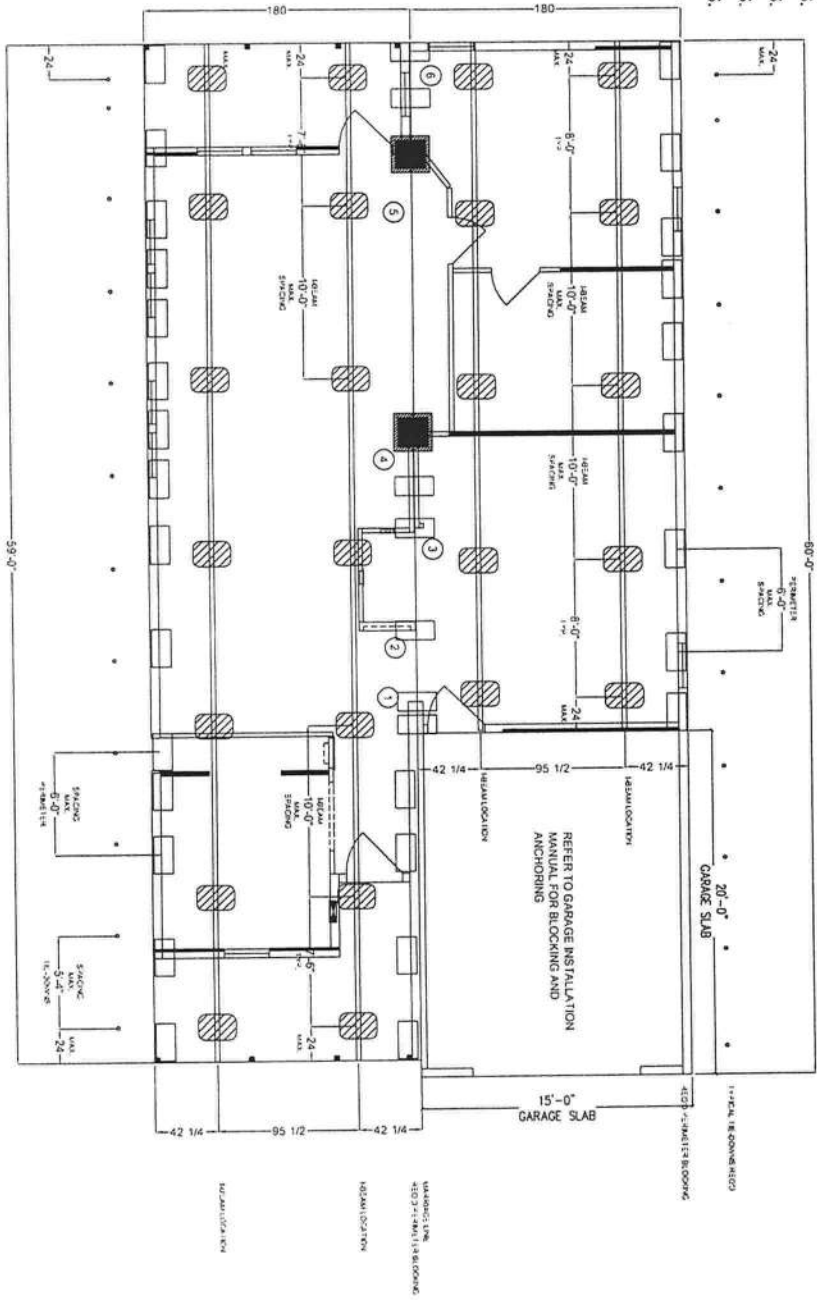
<div>  SHEARWALLS VERSION 14.1.06R-222 © Copyright 2004 WINDLOAD: 7 PSF POLIM Harbor Homes, Inc. ST-JOSE: 72.5° DATA FILE: 050826.CMD All Rights Reserved </div>									
STD JOISTS: 2x8 @ 16.0 O/C, J3 SFS SECTWALL HEIGHT: 3' * = OPTIMIZED PER AVAILABLE WALL SPACE ** = USE SMALL STAINLESS BOLTS									
NO.	PF	JOIST	JOIST	JOIST	JOIST	JOIST	JOIST	JOIST	JOIST
		1	2	3	4	5	6	7	8
		1	2	3	4	5	6	7	8
14	350	47	7	N/A	4	4	4	4	4
18	350	41	8	N/A	4	4	4	4	4
2	350	95	4	3	3	3	3	3	3
3	350	101	4	3	3	3	3	3	3
4	350	63	6	3	3	3	3	3	3
5A	420	29	13	N/A	4	4	4	4	4
5B	420	29	13	N/A	4	4	4	4	4
6	210	70	3	3	2-3X	2	2	13-5'	0

PALM HARBOR Homes						FLOOR PLAN 15T260K8		200E
DRAWING NO.		7360K8		REV.				3
DRAWN BY:	MJL	DATE:	03/19/04	SCALE:	NONE	REV.		
DOCT CAPACITY:		13560		DOCT AREA:		(SQUARE FEET)		
				VOLUME:		(CUBIC YD)		
RECOMMENDED A/C UNIT:		3 TON						
R-30--1-11								
SER# 916746								
DEALER: PHH				DRAWN BY: BSR				
CUSTOMER: STOCK				DATE: 9/07/06				

REVISED 9/13/06 9:45 AM BSR
BEDROOM # 3. REMOVE CLOSET & PASSAGE DOOR
ADD DESK WITH OVERHEAD PER FACTORY CHANGE ORDER #5155

BLOCKING LOCATIONS SHOWN ARE CONSIDERED TYPICAL. BLOCKS MAY BE MOVED FROM LOCATION SHOWN WITH THE EXCEPTION OF SHEARWALL OR COLUMN LOCATIONS AS LONG AS THE MAXIMUM SPACING IS NOT EXCEEDED. UNLESS OTHERWISE SPECIFIED IN THE NOTES BELOW, THE DISTANCE BETWEEN ADJACENT PIERS MAY DEVIATE FROM THE LISTED SPACING BY 10%, SO LONG AS THE OVERALL AVERAGE DISTANCE BETWEEN PIERS IS EQUAL TO OR LESS THAN THE LISTED SPACING. SEE SECTION 3 IN THE PALM HARBOR HOMES INSTALLATION MANUAL FOR MORE SPECIFICS ON BLOCKING THE HOME.

- 1 = 1929 LBS.
- 2 = 1378 LBS.
- 3 = 1899 LBS.
- 4 = 3806 LBS.
- 5 = 4436 LBS.
- 6 = 814 LBS.



INSTALLING A HOME CAN BE VERY DANGEROUS. ONLY QUALIFIED PERSONNEL SHOULD EVER ATTEMPT TO INSTALL A HOME.

- NOTES:
1. BLOCKING SPACING BASED ON 20PSF LIVE LOAD ON ROOF AND 1000 PSF SOIL BEARING CAPACITY.
 2. CONCRETE BLOCKS ARE ONLY RATED AT 8000 POUNDS. 8000 POUND PIERS OR HIGHER MUST BE DOUBLE BLOCKED.
 3. BLOCKING REQUIRED AT OPENING LESS THAN 48" IN WIDTH ONLY TO MAKE NON-OPERATIONAL DOORS OPERATIONAL. PERIMETER SUPPORTS ARE REQUIRED ON EACH SIDE OF ALL OPENINGS GREATER THAN 48" (IE, SLIDING GLASS DOORS, BOX BAY WINDOWS, RECESSED ENTRIES, ETC.). REFER TO THE INSTALLATION MANUAL FOR MORE SPECIFICS.
 4. MARRIAGE LINE BLOCKING ONLY REQUIRED UNDER WALL. MARRIAGE LINE WALL AREAS.
 5. FOR WIND ZONE II AND III INSTALLATIONS, A PIER IS REQUIRED UNDER THE SHEARWALLS WHERE THEY ATTACH TO THE SIDEWALL. THESE SHEARWALLS ARE INDICATED AS DARKENED WALLS ON THE FLOOR PLAN.
 6. ABS PIER PAD SIZES AND CAPACITIES BASED ON INFORMATION PROVIDED BY MANUFACTURED HOUSING FOUNDATION SYSTEMS.
 7. STABILIZER SYSTEM PER PALM HARBOR HOMES INSTALLATION MANUAL, AND ALL SIDEWALL ANCHORS ARE SPACED AT 5'-0" MAXIMUM. FOUR FOOT GROUND ANCHOR MAY BE USED EXCEPT WHERE PALM HARBOR HOMES INSTALLATION MANUAL SPECIFICS DIFFERENT.
 8. IT IS THE RESPONSIBILITY OF THE DEALER AND/OR INSTALLER TO CERTIFY THAT ANY BLOCKING AND/OR FOUNDATION PRINTS, OR ANY OTHER DIAGRAM SUPPLIED FOR ANY SITE INSTALLATION, CORRELATE WITH THE UNIT ORDERED AND BEING SET AS WELL AS THE CONDITIONS OF THE SITE. THE MANUFACTURER WILL NOT BE LIABLE FOR DAMAGES ARISING FROM FAILURE OF THE DEALER AND/OR INSTALLER TO MAKE CERTAIN THAT THE CONTRACTOR/INSTALLER HAS THE CORRECT DIAGRAMS, REGARDLESS OF WHAT WAS SUPPLIED BY THE MANUFACTURER. THE MANUFACTURER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE DESIGN OF THE BLOCKING AND/OR FOUNDATION.
 9. FOR MORE SPECIFIC INFORMATION REFER TO THE INSTALLATION MANUAL.
 10. ALL SET-UP MUST COMPLY WITH THE PALM HARBOR HOMES INSTALLATION MANUAL.



LEGEND

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SEE NOTE SECTION

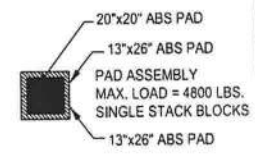
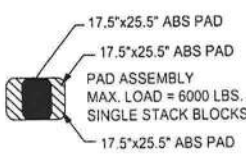


- 17.5'x25.5' ABS PAD = 3000 LBS. CAPACITY
- 13'x26' ABS PAD = 2375 LBS. CAPACITY

STABILIZER SYSTEM REQUIRED PER PALM HARBOR HOMES INSTALLATION MANUAL



16"x16"x4" CONCRETE PIER PADS - STACKED
LOAD CAPACITY = # OF PADS ON BOTTOM X 1490 LBS.



Model Number: T360K8

IT IS THE RESPONSIBILITY OF THE DEALER AND/OR INSTALLER TO CERTIFY THAT ANY BLOCKING AND/OR FOUNDATION PRINTS, ARE SUITABLE FOR THE SPECIFIC INSTALLATION SITE.

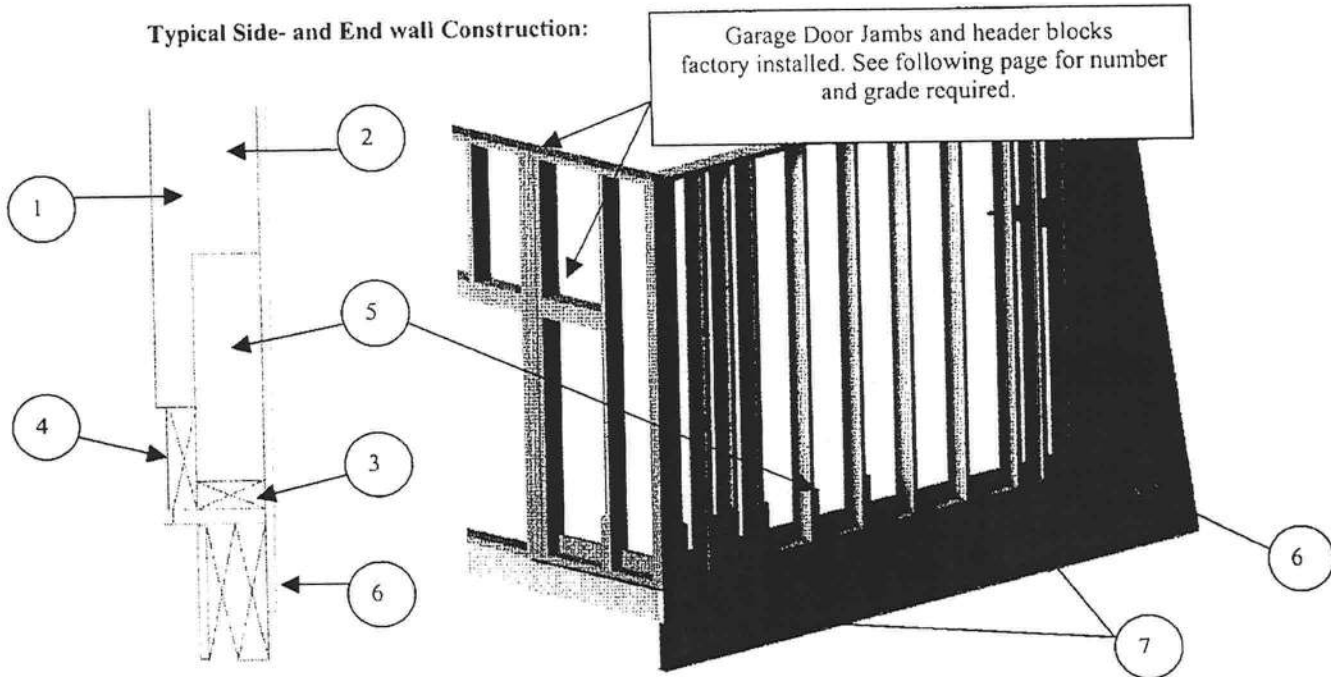


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Palm Harbor Construction
605 South Frontage Road
Plant City, Florida 33563
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<p>SETUP INFORMATION BLOCKING DIAGRAM BLOCKED FOR 20 PSF AND 1000 PSF SOIL BEARING CAPACITY</p> <p>BLK-1 SHEET OF 1</p>	<p>CONTRACTOR INFORMATION</p> <p>CHARLES P. ROGERS LIC # RW000007 PHONE: 813-712-1355</p>	<p>HOME LOCATION</p> <p>TRACT: STREET: CITY:</p>
	<p>DRAWING INFORMATION</p> <p>NAME: M.B.J. DATE: 08/10/04 SCALE: NOT PRINTED TO SCALE</p>	<p>DATE: 08/10/04</p>
	<p>PLANT CITY ZONE</p> <p>3</p>	

Garage

Typical Side- and End wall Construction:



1. Max. side- and mating wall height is 108". End wall may be cathedral, when sidewall is less than 108".
2. Garage side- and end wall studs are min 2x6 #3 SPF or better, or per charts for respective wind zone, whichever is greater. Studs are 16" o.c. max.
3. Side- and end wall bottom plate is 2x4
4. 2x6 wall studs have 2" deep by 4" high notch on bottom end to receive min 2x6 #3 S-P-F let-in. Fasten to stud and/or block per table below. Split number of fasteners evenly between stud and block, when required.
5. 2x4x12 blocks required at side of 2x6 studs in WZ 2&3
6. Sheathing extends to within 4" of bottom of floor. Glued to all framing members including header blocks and to rim joist w/AFG-01 or other approved adhesive, and fastened w/7/16x 1 1/2" x 16 ga staples, 6" o.c. edge and field.
7. Install vertical tie within 24" of each end of garage side wall. 96" o.c. intermediate. Add min 2x4#3 SPF stud as required.
8. All fastening not shown is per applicable requirements in Section FS and EW.

Wind Zone		Load	No of #8x3" screws, let-in to stud	2x4 block to stud w/7/16 x2 1/2 x 15ga not required
1		524	3	
2	end	1676	10	12
	int	1328	8	10
3	end	2024	11	15
	int	1604	9	12

Calc Ref.: X11.180.01-.09
X13.180.01-.06
X15.180.01-.05

Approval:

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Palm Harbor Homes, Inc.
15303 Dallas Parkway, Addison, TX 75001

**Integrated Garage Side- and
End wall construction.**

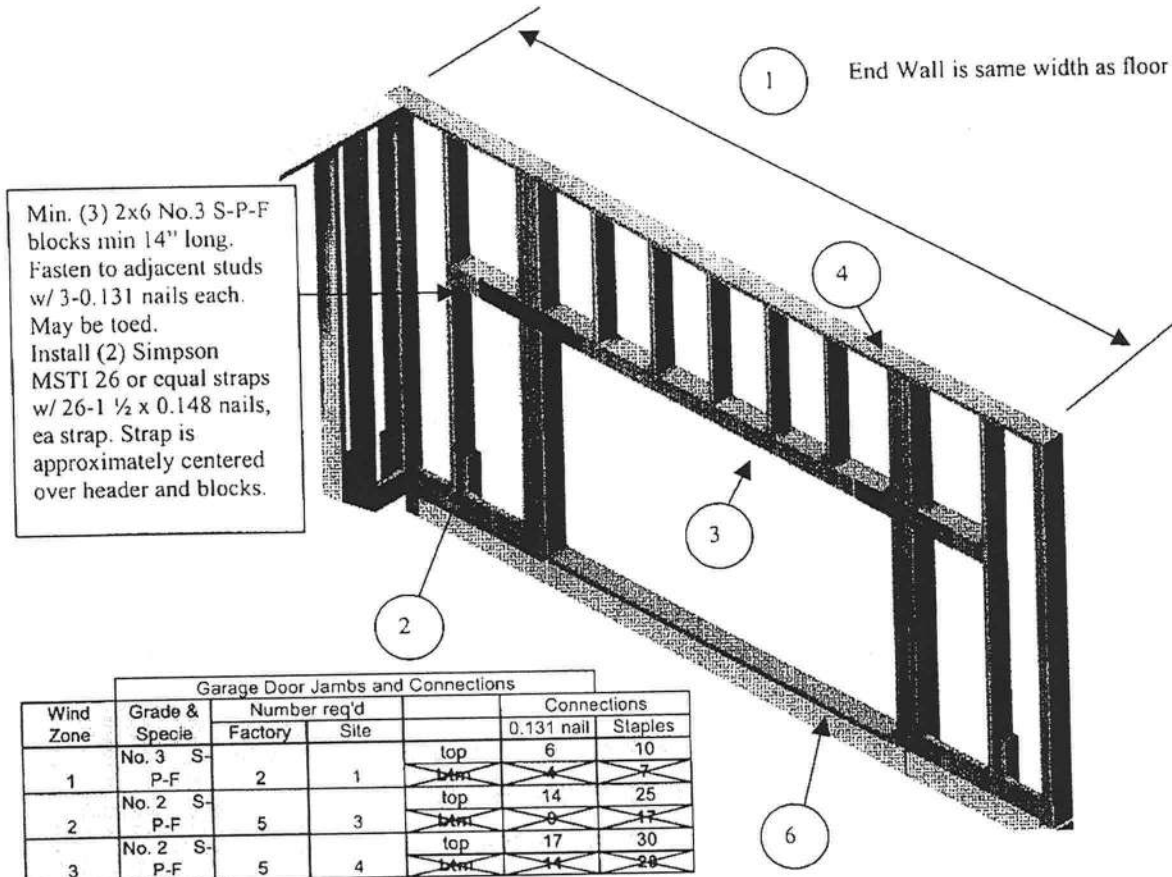
Patent Pending

Date: 6/17/04


Rev.:

Page: GA-EW-01

Garage End Wall Construction:



Wind Zone	Grade & Specie	Garage Door Jamb and Connections			Connections	
		Factory	Site		0.131 nail	Staples
1	No. 3 S-P-F	2	1	top	6	10
				btm	4	7
2	No. 2 S-P-F	5	3	top	14	25
				btm	8	17
3	No. 2 S-P-F	5	4	top	17	30
				btm	11	20

 = Factory Req'd

Notes:

1. End wall extends **full width of floor**.
2. For Wind Zone 2 & 3, add 2x4x12 Block at all single stud locations. See previous page for fastening requirements.
3. Garage door header sized and oriented per applicable header tables.
4. Number of opening studs per table above. Total number of 0.131x3" nails or 7/16 x 2 1/2 x 15 ga staples required at jamb studs to top plate (factory) and into site installed support wall stud (see GA-IM section).
5. All 2x6 framing. Garage ceiling may be flat as shown, or cathedral.
6. **Do not remove bottom plate or joist in garage door opening.**
7. Garage door by others and installed on site.

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Calc Ref.: X11.180.01-.09; X13.180.01-.06; X15.180.01-.05

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**Integrated Garage Side- and
Garage End wall
construction.
Patent Pending**

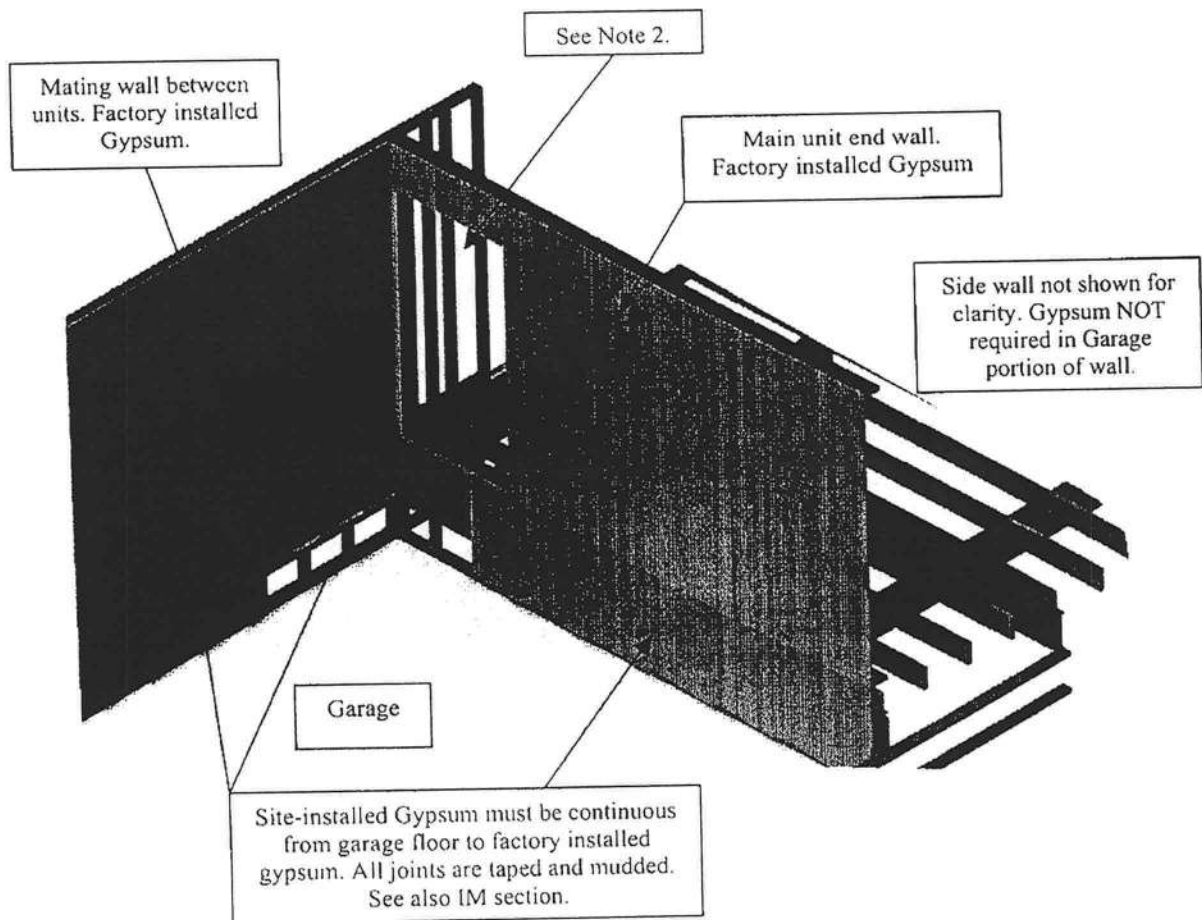
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Rev.:

Page: GA-EW-02

Required Fire Protection:

1. Any section of wall within garage area, adjacent to interior space, must be covered with minimum $\frac{1}{2}$ " Gypsum, taped and mudded at seam.
2. Door between the garage and residence shall be equipped with solid wood doors not less than 1-3/8 inches (35mm) in thickness, solid or honeycomb core steel doors not less than 1-3/8 inches (35 mm) thick, or 20-minute fire-rated door. (Ref.: 2003 IRC, R309.1).
3. Garage ceiling is minimum $\frac{1}{2}$ " Gypsum and continuous in same plane as main unit ceiling.



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**Integrated Garage
Main Unit End and Mating
wall construction.
Patent Pending**

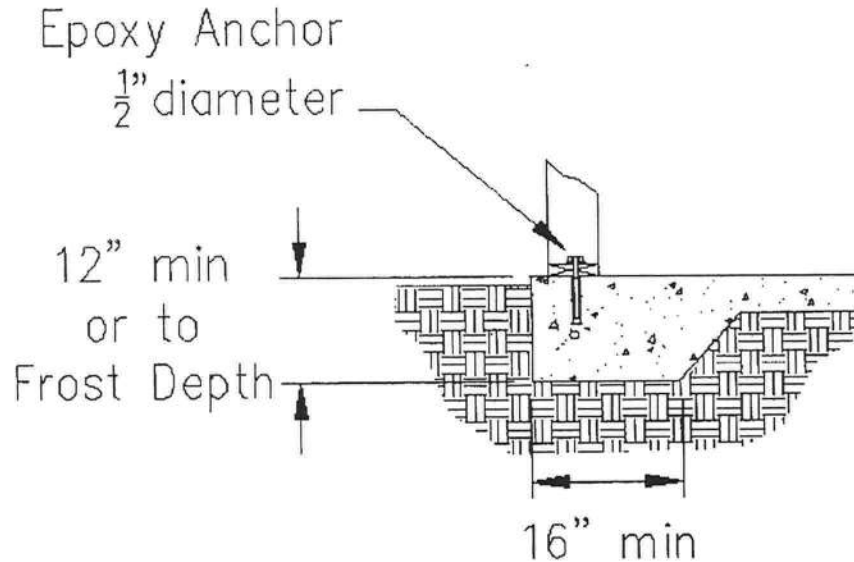
Date: 6/17/04

Rev.:

Page: GA-EW-03

Garage Slab Requirements:

1. All concrete is min 2500 psi @ 28 Days
2. Perimeter footer is min 16" wide by 12" deep or to Frost Line. Remainder of slab is min 4" thick.
3. All anchors to sill are either 1/2" diameter Epoxy type anchors with min 2" diameter washer, or other anchor systems as shown in specific details.



Notes:

1. DO NOT attempt to install Manufactured Home Sections until concrete has cured.
2. For illustration purposes, not all installed components of any given assembly may be shown in the following details.
3. A copy of all following details in this section (GA-IM-xx) MUST be included as addenda to the Installation Manual

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**Integrated Garage
Installation Instructions.
Patent Pending**

Date: 6/25/04

Rev.:

Pg: GA-IM-01

Typical Drawbar Assembly for "Integrated Garage"

"X-Brace" brackets. May be same as 2-hole hitch plates, or fabricated to same specs as hitch plates (thickness, gauge and welding requirements). See also details below.

Max. 11'-8" first to last x-brace.
Center X-brace approx. in $\frac{1}{2}$ distance

Typical 4-hole hitch plates per other details this section.

50 degree coupler

Min. 10" I-beam A-frame
Min. 8" I-beam X-Beams

42" max.
coupler to front
Hitch X-brace

X-brace brackets
At front x-brace at rear X-brace
X-braces bolt through brackets into perimeter beams with min (4) typical hitch-plate bolts, nuts and washers. See FC-section for specifications.

Min. Coupler load is 12% of gross unit weight.
Max. Coupler Load is 6000#

Notes:

1. Max. unit length=76 ft (incl. Garage)
2. Max. garage depth = 20 ft.
3. Max. garage width = 15 ft.
4. Model plan DAPIA approval must include garage extension as an option, or as standard.
5. All welded connections per Section FW-4.xx

Calc Ref.: X11.180.01-08

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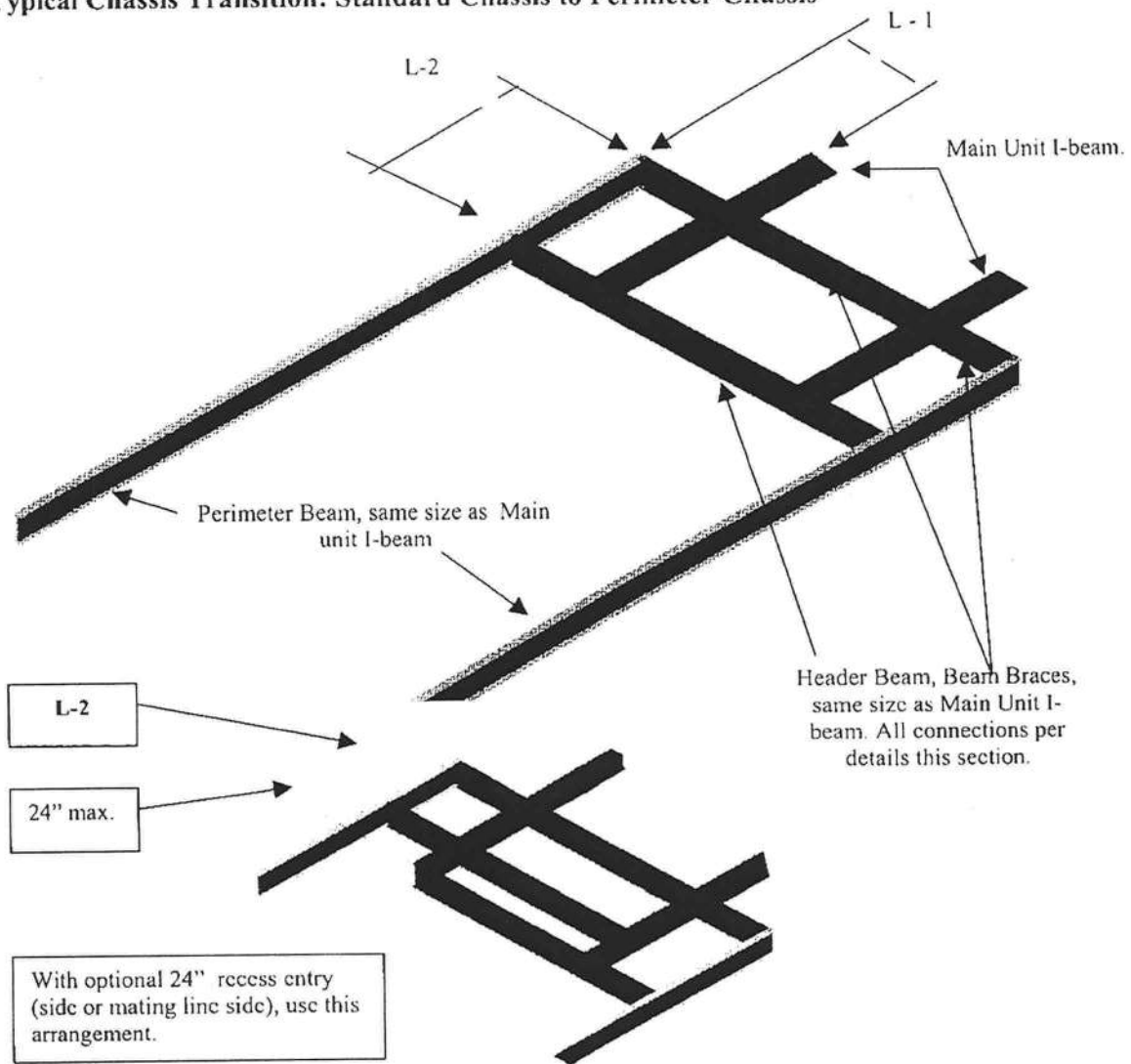
**Factory-built, integrated
Garage extension.
Typ. Draw-bar Assembly.
Patent Pending**

Date: 6/16/2004

Rev.:

Page: GA-FC-01

Typical Chassis Transition: Standard Chassis to Perimeter Chassis



Notes:

1. L-2= min 2* L-1 or 48\", whichever is greater.
2. Suitable temporary brace may be installed across ends of perimeter beam, when required by production/assembly process.
3. All welded connections of beams to beams, per applicable details in Section FW.
4. See Section FL for floor framing details.

Calc Ref.: X11.180.01 to .08

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Factory-built, integrated
Garage extension.
Typ. Perimeter chassis
transition

Date: 6/16/2004

Rev.:

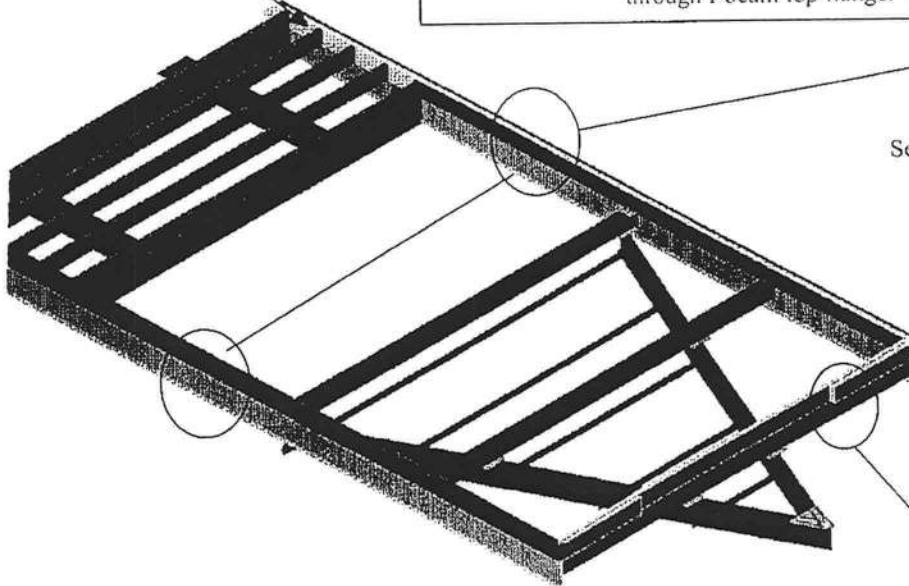
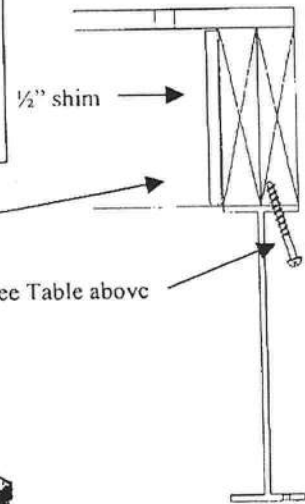
Page: GA-FC-02

Typ. Garage floor framing:

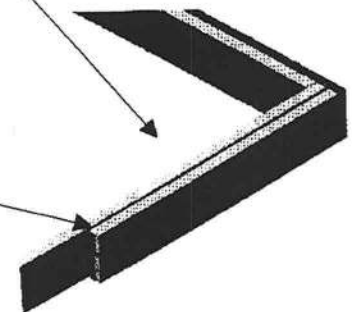
Wind Zone		Load @ joint (#/ft)		Top (factory installed)		
		Top	Bottom	0.113 Nails	#12 TEK Screws	5/16x3" lags
1		57.5	72.5	24	52	63
2	end	184	232	7 5/8	16	20
	int	146	184	9 5/8	20	25
3	end	222	280	6 3/8	13	16
	int	176	222	8	17	21

Extend 2nd rim joist into normal floor framing a min. of 4ft.

Dbl 2x rim joists, same size as main unit floor joists, with 1/2" plywood or OSB shim. Fasten together per multiple joist fastening schedule this section. Fasten joist to perimeter beam (top joint) per table above. When lags are used, drill 3/8" dia holes through I-beam top flange.



Front header joist(s) consists of one full width joist, same grade, size and specie as main unit joist, with added 1/2" shim and 2x blocks. Size block length to accommodate garage door opening plus 1 1/2" each side.



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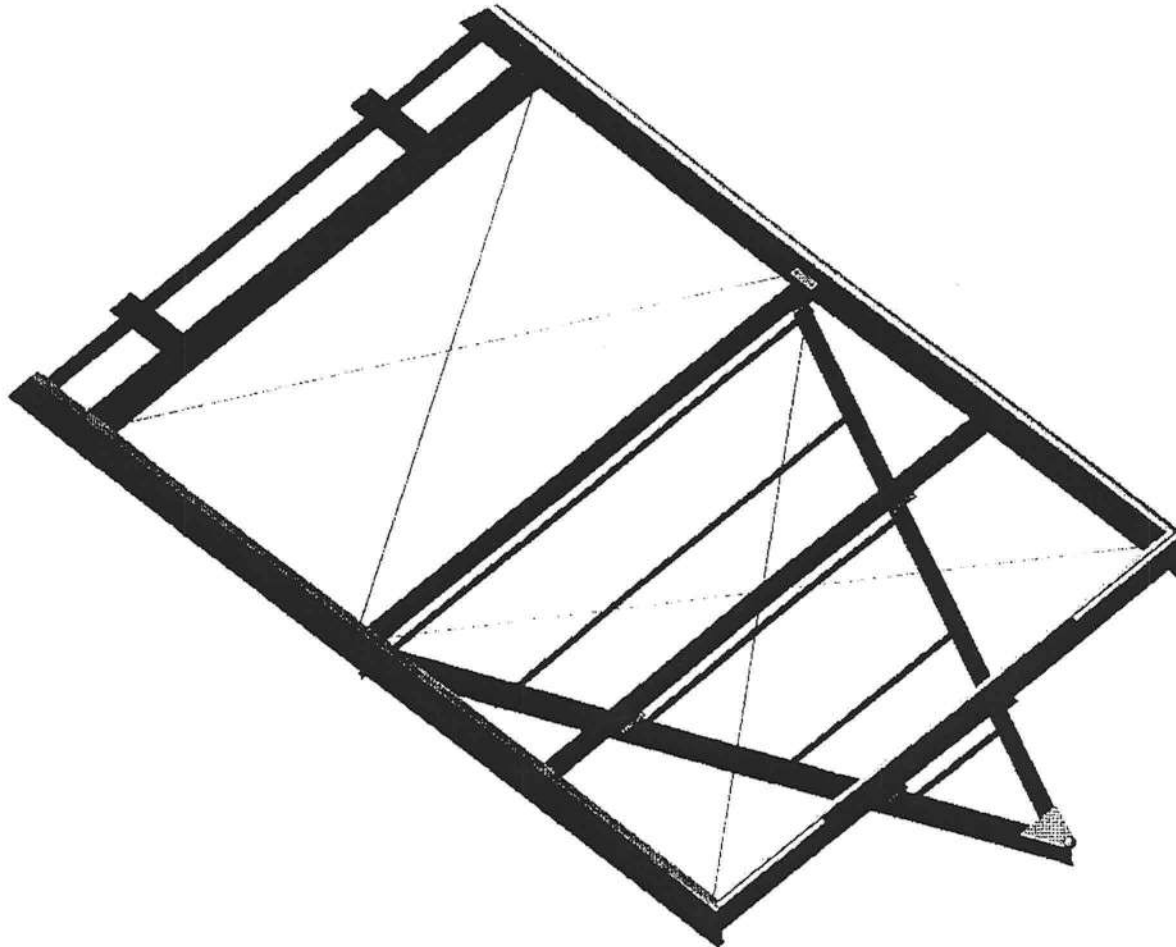
**Integrated Garage
Floor Framing Details.
Patent Pending**

Date: 6/17/04

Rev.:

Page: GA-FL-01

Cross Bracing Requirement:



Once floor framing attachment to chassis is complete, install 3/8" steel cable cross bracing as shown.

Each cable section is equipped with a turnbuckle on one end. By tightening the turnbuckles make sure framing assembly is square and all cables are taut.

Cable Ref.: X11.180.01 to 08

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**Integrated Garage
Floor Framing Details
Patent Pending**

Date: 6/17/04

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Page: GA-FL-02

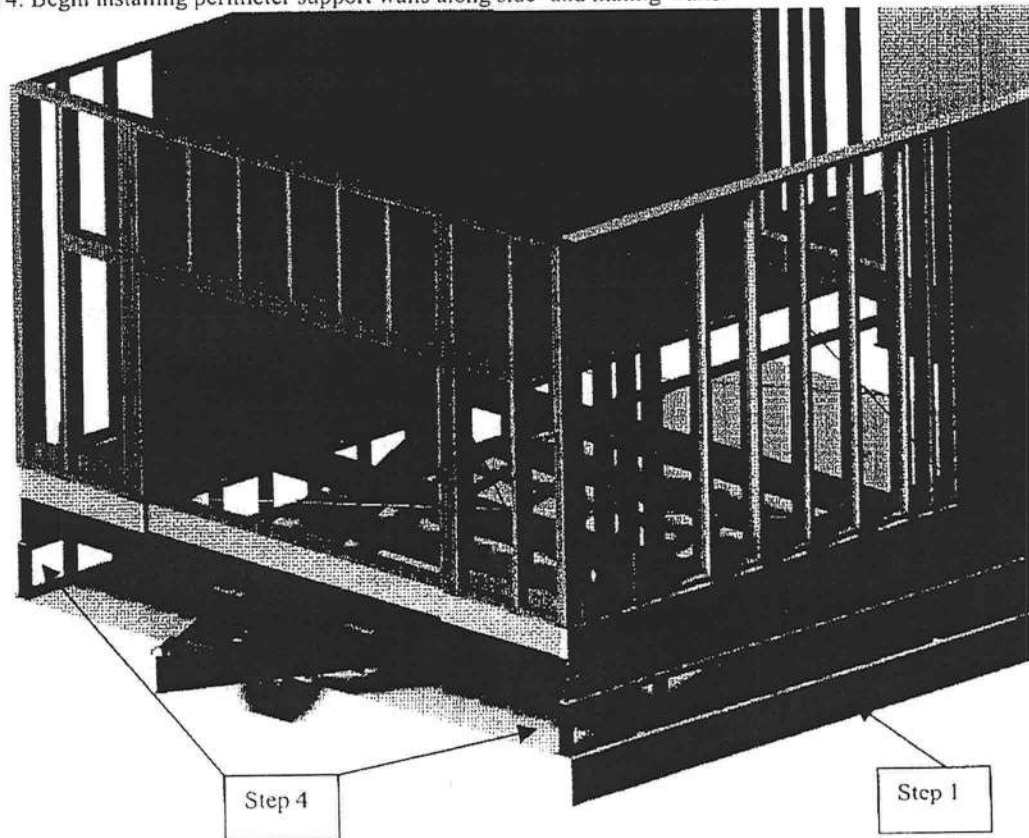
Garage Unit Installation Instructions (adjacent unit(s) installation per typical installation manual).

Step 1: Prepare foundation per GA-IM-01, prior to actual installation of unit(s).

Step 2: Carefully position section over prepared slab and foundation. Make sure not to damage bent down anchor straps.

Step 3: Begin installing footers and piers under main section of unit. Adjust hitch jack accordingly to maintain proper level of complete unit. IMPORTANT: Perimeter and mating line support walls must at least same height as perimeter I-beam!

Step 4: Begin installing perimeter support walls along side- and mating walls.



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**Integrated Garage
Installation Instructions.
Patent Pending**

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Page: GA-IM-02

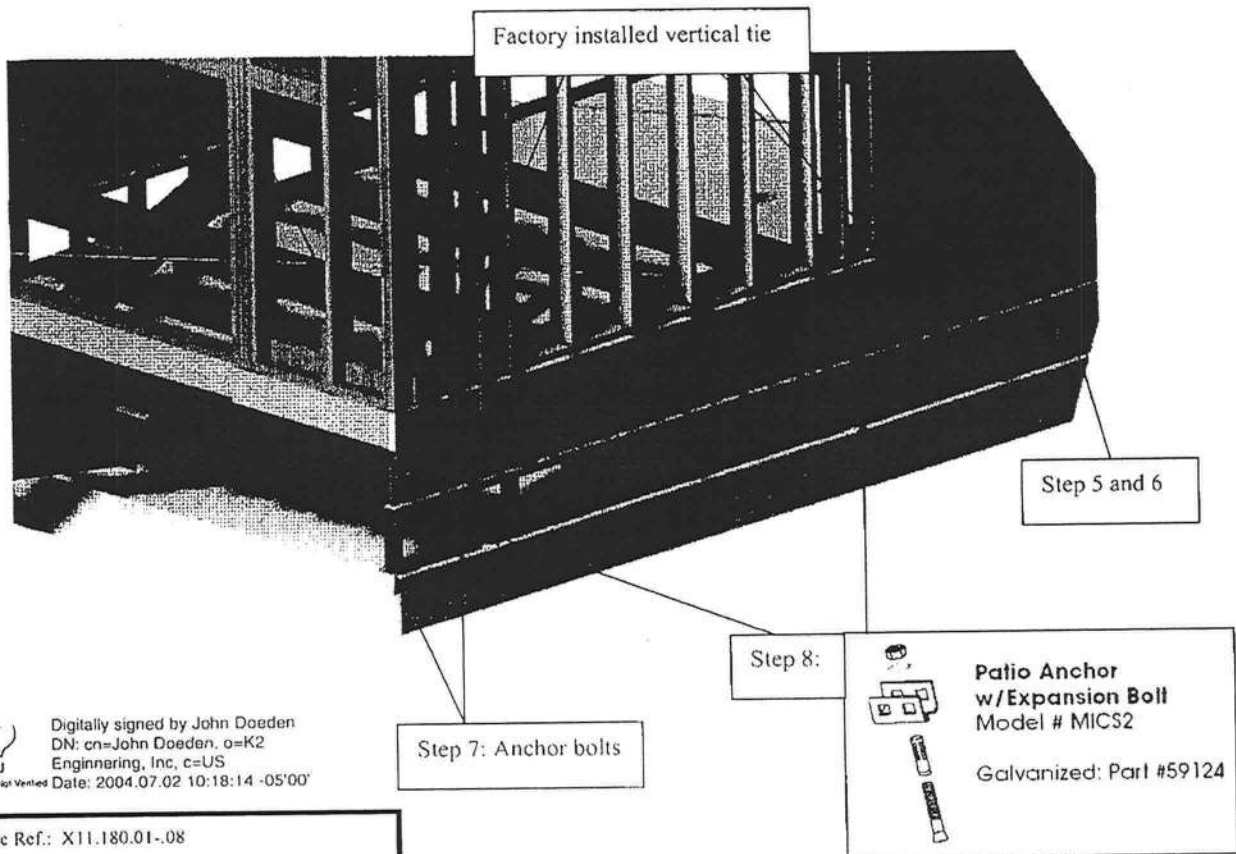
Step 5: Shim Gaps between bottom flange of perimeter beams at side- and mating walls as needed. Maximum shim thickness is 1/2".

Step 6: Secure support wall top plate to perimeter beam bottom flange with #12 TEK screws per table. Repeat along mating line support wall.

Step 7: Install anchor bolts (Simpson SET/ET/AT) or equal, or Mud sill anchors (Simpson MAS), each end of each bottom plate section and per table between each end. Note: cut-out bottom plate at vertical tie locations. (4" max. width)

		Max. Roof Pitch:		4.35/12	6/12
Wind Zone	Zone	#12 TEK Screws	Anchor bolts or MAS connector	Anchor Bolts	MAS connector
1		41	53" o.c.	53" o.c.	53" o.c.
2	end	12	49" o.c.	48" o.c.	30" o.c.
	int	16			
3	end	10 5/8	38" o.c.	36" o.c.	24" o.c.
	int	13			

Step 8: install patio anchor (TDE MICS2 or equal) at vertical tie locations and connect strap to vertical tie buckle and anchor head.



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**Integrated Garage
Installation Instructions.**
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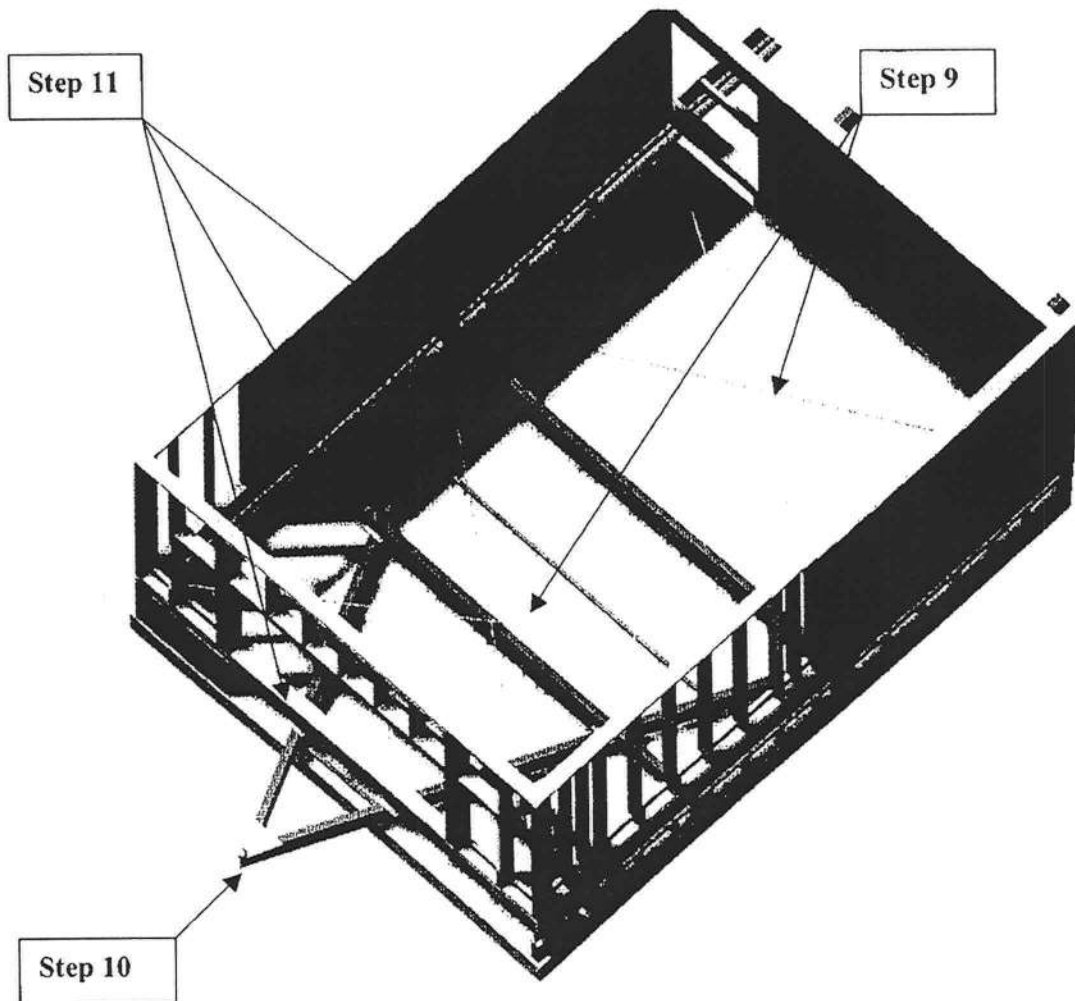
Rev.:

Page: GA-1M-03


Step 9: Remove cable cross bracing

Step 10: Remove A-frame from hitch assembly and pull out carefully, so as to not damage the bent-down anchor straps.

Step 11: Remove remainder of hitch assembly (3-cross beams).



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**Integrated Garage
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Date: 6/25/04

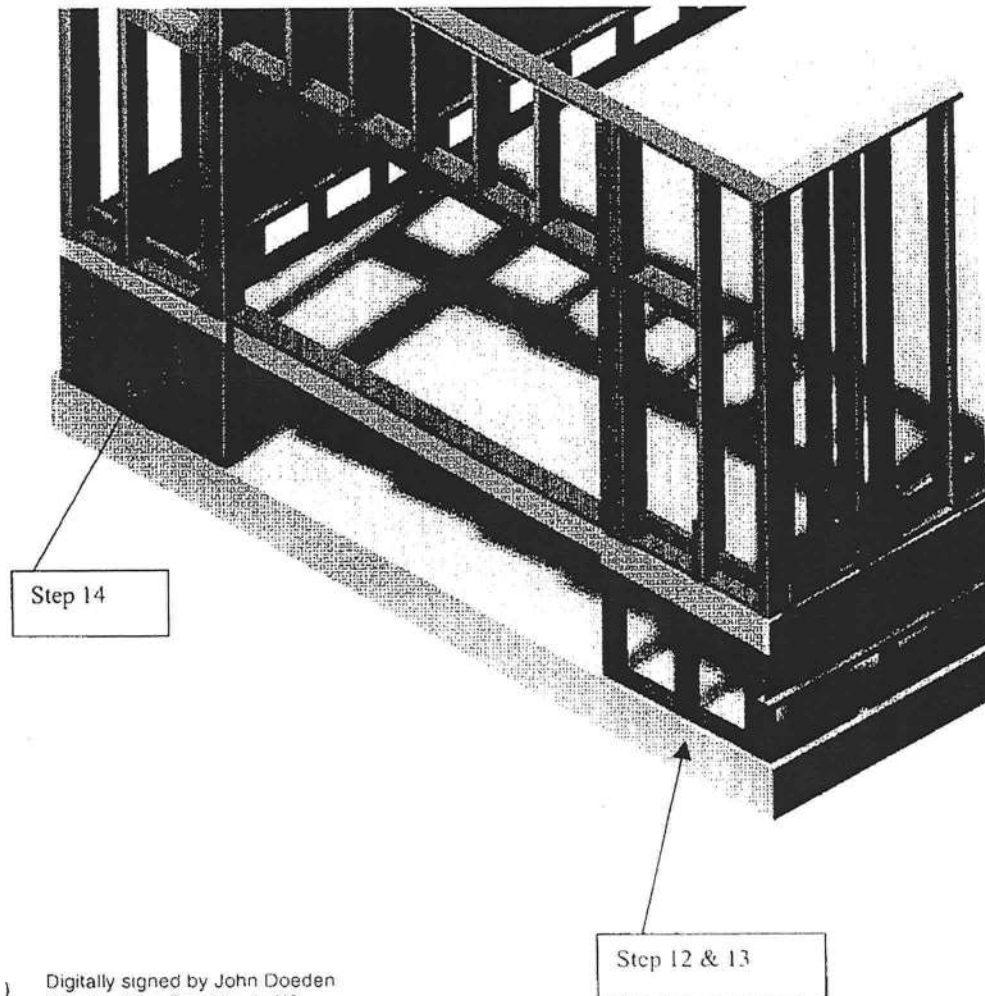
Rev.:

Page: GA-IM-04

Step 12: Install support walls under front garage wall. **Note: All studs are doubled.**

Step 13: Install anchor bolts (Simpson SET/ET/AT or equal). Min 3 each wall section(6-total) for Wind zones 1 &2 and 4 each section (8 total) for Wind Zone 3. OR, (4) Simpson MAS connectors each section for WZ 1&2, 5 each section for WZ 3.

Step 14: Install sheathing, glued with AFG 01 or other approved adhesive and fasten with 7/16 x 1 1/2 x 16 ga staples at 6" o.c. edges and field.



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Patent Pending

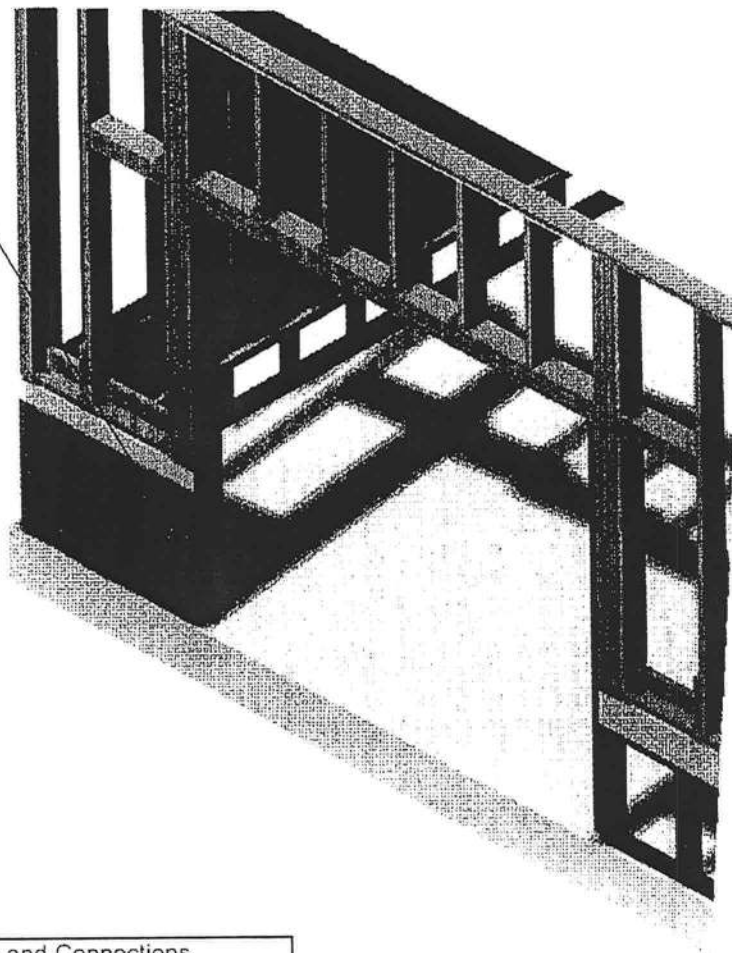
Date: 6/25/04

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Page: GA-IM-05

Step 15: Cut-out rim joist and bottom plate inside garage door opening.

Step 16: Install 2x6 Jack stud to inside of each side of opening per table below. Fasten 1st stud to support wall stud with number indicated below. Fasten 1st and each remaining stud with 2-rows 0.131 nails or #8x3" screws @ 6" o.c. Note: make sure 2x6 Studs does not touch concrete (3/4" min gap).



Garage Door Jambs and Connections						
Wind Zone	Grade & Specie	Number req'd			Connections	
		Factory	Site		0.131 nail	Staples
1	No. 3 S-P-F	2	1	top	6	10
		2		btm	4	7
2	No. 2 S-P-F	5	3	top	14	25
		5		btm	9	17
3	No. 2 S-P-F	5	4	top	17	30
		5		btm	11	20

☐ = Site Req'ts

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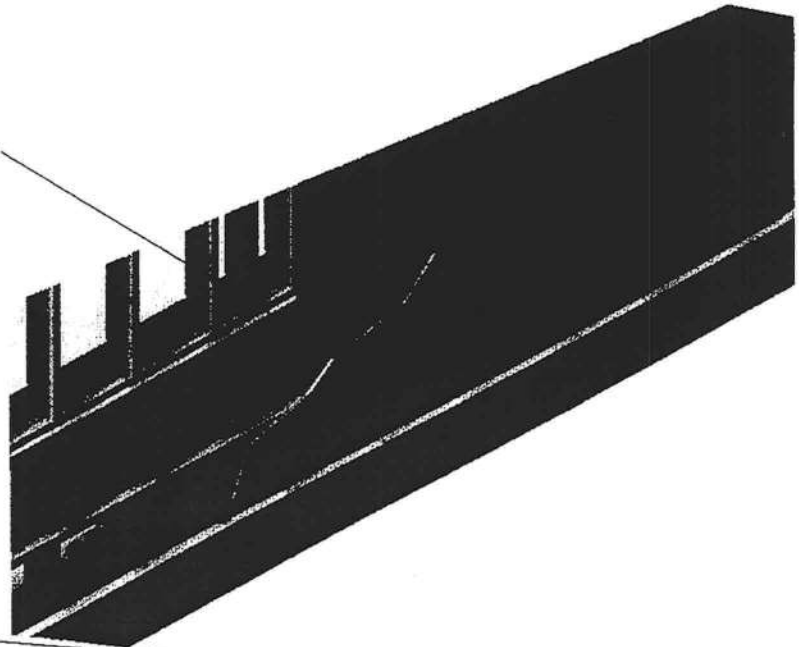
**Integrated Garage
Installation Instructions.**
Patent Pending

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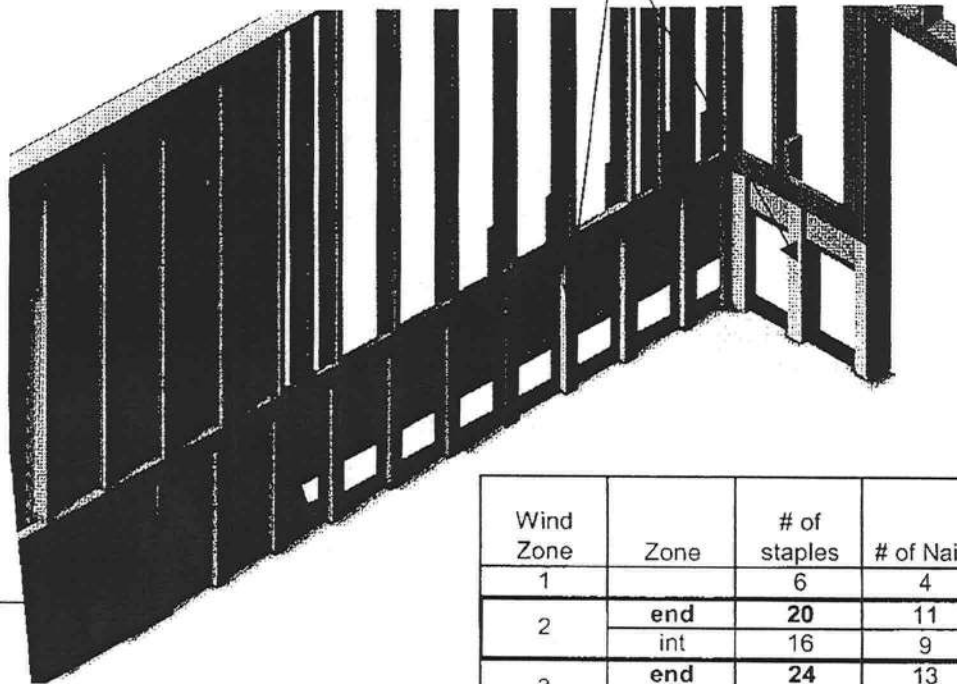
Page: GA-IM-06

Step 17: Complete sheathing installation along garage exterior side wall. Attach sheathing with AFG 01 or other approved adhesive and fasten to all framing members @ 6" o.c. max.



Step 18: Install min 2x4 #3 S-P-F flatwise, to supportwall studs and rim joists. Fasten to rim and studs with 7/16x2 1/2 x 15 ga staples or 0.131x3" nails, per table below.

Step 19: Install 1/2" Sheathing same as in step 17.



Wind Zone	Zone	# of staples	# of Nails
1		6	4
2	end	20	11
	int	16	9
3	end	24	13
	int	19	11

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**Integrated Garage
Installation Instructions.**
Patent Pending

Date: 6/25/04

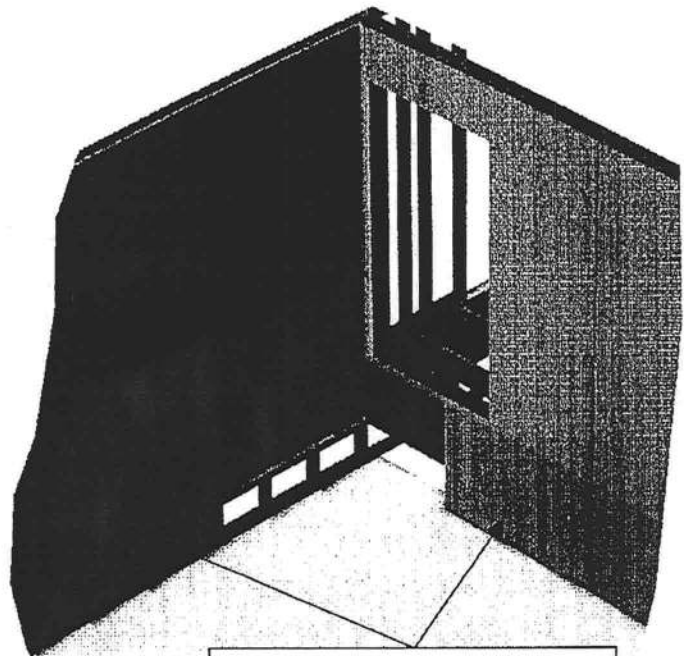
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Page: GA-IM-07

Step 20: Install min ½" thick gypsum (shipped loose), from bottom edge of factory installed gypsum on mating wall and main unit endwall, to top of concrete floor. There must not be any unprotected openings from garage into crawl space below living areas.
All joints in gypsum must be taped and mudded. Installation of gypsum to garage side and endwall is optional.


Step 21:
Complete installation of adjoining section(s)

Step 22: Complete all exterior close-up per typical installation details.



Field installed gypsum must cover all open areas into crawl space below living space.

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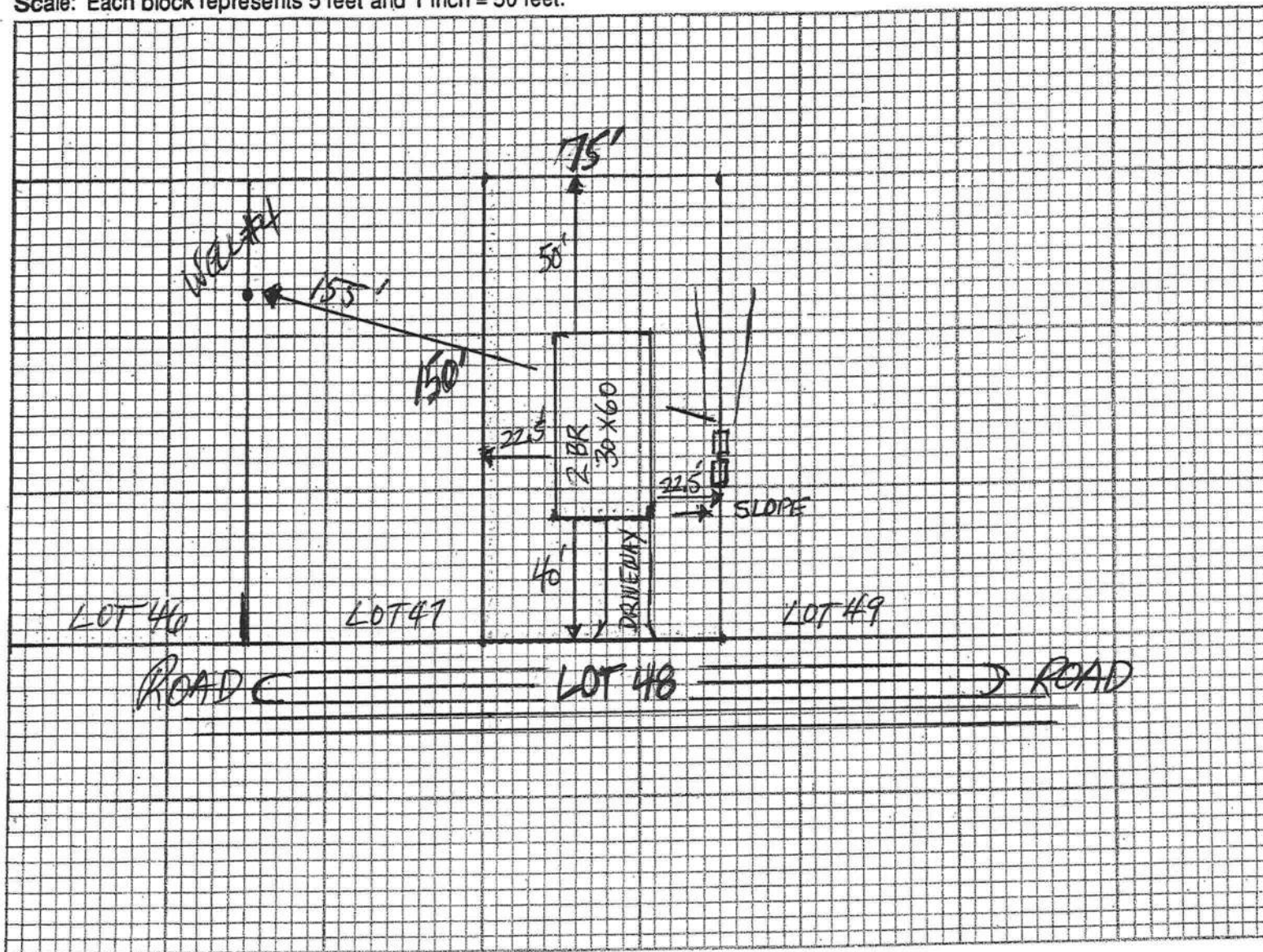


DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 10-0087E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: _____
_____ (See Attached) also _____

Site Plan submitted by: Mark S. Good Signature
Plan Approved X Not Approved _____
By Sallie Ford - EH Director County Health Department
Date 2-22-10 Title OWNER

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1002-28

CONTRACTOR

Charles Rogers

PHONE

28389

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Conner Electric, Inc</u>	Signature <u>Michael S. Conner</u>	Phone #: <u>(386) 965-9005</u>
MECHANICAL	Print Name <u>Country Comfort Heating & Air</u>	Signature <u>Chris Williams</u>	Phone #: <u>386-752-5841</u>
A/C	License #: <u>CACO 57795 (837)</u>		
PLUMBING/ GAS	Print Name <u>Patti H. Goodson</u>	Signature <u>Patti H. Goodson</u>	Phone #: <u>386-755-6795</u>
	License #: <u>owner</u>		
ROOFING	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
SHEET METAL	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
FIRE SYSTEM/ SPRINKLER	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
SOLAR	Print Name _____	Signature _____	Phone #: _____
	License #: _____		

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER	<u>(837) CGC 1504128</u>	<u>Michael A. Retherford</u>	<u>Michael A. Retherford</u>
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.