DATE 02/16/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029188

APPLICANT PAMELA I. SMITH PHONE 786-368-3707

ADDRESS 91 SAN JUAN DR. C-4 PONTE VEDRA BEACH FL 32082

OWNER PAMELA I. SMITH PHONE 786-368-3707

ADDRESS 268 SW LANGELIER DRIVE FORT WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE

LOCATION OF PROPERTY 47 S, L 27, R 138, L RUM ISLAND TERR, L LANGELIER, GO APPROX
1 MILE, 3RD BACK FROM JACOB CT ON RIGHT, THEN STAY LEFT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 170750.00

HEATED FLOOR AREA 2504.00 TOTAL AREA 3415.00 HEIGHT 28.00 STORIES 2

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 10/12 FLOOR WOOD

LAND USE & ZONING ESA-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE AE F DEVELOPMENT PERMIT NO. 11-002

PARCEL ID 36-7S-16-04351-026 SUBDIVISION RIVER FRONT UNREC.

LOT 6 BLOCK PHASE UNIT TOTAL ACRES 10.05

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor

EXISTING	11-002	BK	TC	Y
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: MINIMUM FLOOR ELEVATION SET @ 40.3' FOR SFD AND ALL EQUIPMENT
NEED FINISHED CONSTRUCTION ELEVATION CERTIFICATE BEFORE PERM POWER
NOC ON FILE, SRWMD ON FILE, ZERO RISE ON FILE Check # or Cash 1004

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 855.00 CERTIFICATION FEE $ 17.07 SURCHARGE FEE $ 17.07

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ 50.00 FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 1014.14

INSPECTORS OFFICE _____ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1101-08 Date Received 1/7/11 By LH Permit # 29188

Zoning Official BLK Date 27.01.11 Flood Zone AE Floodway Land Use ESA Zoning ESA-2

FEMA Map # 0533C Elevation 39.3' MFE 40.3' + equipment River Santa Fe Plans Examiner T.G Date 1-24-11

Comments

☑ NOC ☐ EH ☑ Deed or PA ☑ Site Plan ☐ State Road Info ☐ Parent Parcel #

☐ Dev Permit # 11-602 ☐ In Floodway ☑ Letter of Auth. from Contractor ☑ F W Comp. letter

IMPACT FEES: EMS Suspended Fire Corr Road/Code

School = TOTAL ☑ Zero Rise ☑ Vf form

☑ SRWMD

Septic Permit No. 110016

Email: pamismith33176@aol.com

Fax - 904-260-0047

Name Authorized Person Signing Permit PAMELA I. SMITH Phone 786-368-3707

Address 91 SAN JUAN DR-C-4, PONTE VEDRA BEACH, FL. 32082

Owners Name PAMELA I. SMITH Phone 786-368-3707

☑ sheet 911 Address 268 SW LANGELIER DRIVE, FORT WHITE, FL. 32038

Contractors Name OWNER Phone

Address

Fee Simple Owner Name & Address PAMELA I. SMITH & LANCE K. SCOTT

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address DAVID DISOSWAY POB 868, LAKE CITY, FL. 32056

Mortgage Lenders Name & Address N/A

Circle the correct power company – FL Power & Light – (Clay Elec.) – Suwannee Valley Elec. – Progress Energy

Property ID Number 36-7S-16-04351-026 Estimated Cost of Construction $200,000.-

Subdivision Name River front Unrec. (AKA) Lot 6 Block Unit Phase

Driving Directions SR 47 S TO US 27 TO CR 138 TO RUM ISLAND TERR. - 1 MILE TO (L) LANGELIER RD - ~~APPROX~~ 1 MILE TO 268 LANGELIER - STAY TO LEFT - LAZY TURTLE LODGE

Number of Existing Dwellings on Property 3 SHEDS 1 TRAILER RV

Construction of SINGLE FAMILY HOME 3rd property back from Jacob Ct Total Acreage 10.5 Lot Size 10.5

Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 27'11"

Actual Distance of Structure from Property Lines - Front 1095 Side 63.4 Side 155.8 Rear 101

Number of Stories 2 Heated Floor Area 2504 Total Floor Area 3415 Roof Pitch 10/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Left a message 1-27-11 (LH)

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number_____
Columbia County
Competency Card Number_____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20___.

Personally known_____ or Produced Identification_____

SEAL:

State of Florida Notary Signature (For the Contractor)

386.462.5323

Revised

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER Permit 29188 CONTRACTOR Pamela Smith PHONE 786 368 3707

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name_____ Signature_____ License #: Phone #:
MECHANICAL/ A/C ✓ 102	Print Name Builders Air of North FL Signature_____ License #: CAC036941 Phone #: 352-373-3111
PLUMBING/ GAS	Print Name_____ Signature_____ License #: Phone #:
ROOFING	Print Name_____ Signature_____ License #: Phone #:
SHEET METAL	Print Name_____ Signature_____ License #: Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name_____ Signature_____ License#: Phone #:
SOLAR	Print Name_____ Signature_____ License #: Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Smith

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ Signature _____ License #: Phone #:	
MECHANICAL/ A/C _____	Print Name _____ Signature _____ License #: Marian R. Van Mersbergen Phone #:	
PLUMBING/ GAS 728	Print Name Plumbing Concepts, Inc. Signature _____ License #: CFC1427326 Phone #: 386-288-5111	
ROOFING	Print Name _____ Signature _____ License #: Phone #:	
SHEET METAL	Print Name _____ Signature _____ License #: Phone #:	
FIRE SYSTEM/ SPRINKLER	Print Name _____ Signature _____ License#: Phone #:	
SOLAR	Print Name _____ Signature _____ License #: Phone #:	

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 11-0016

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

NORTH

SEE ATTACHED

1 inch = 50 feet

Site Plan Submitted By Paul Lloyd Date 1-10-11

Plan Approved X Not Approved ____ Date 2-3-11

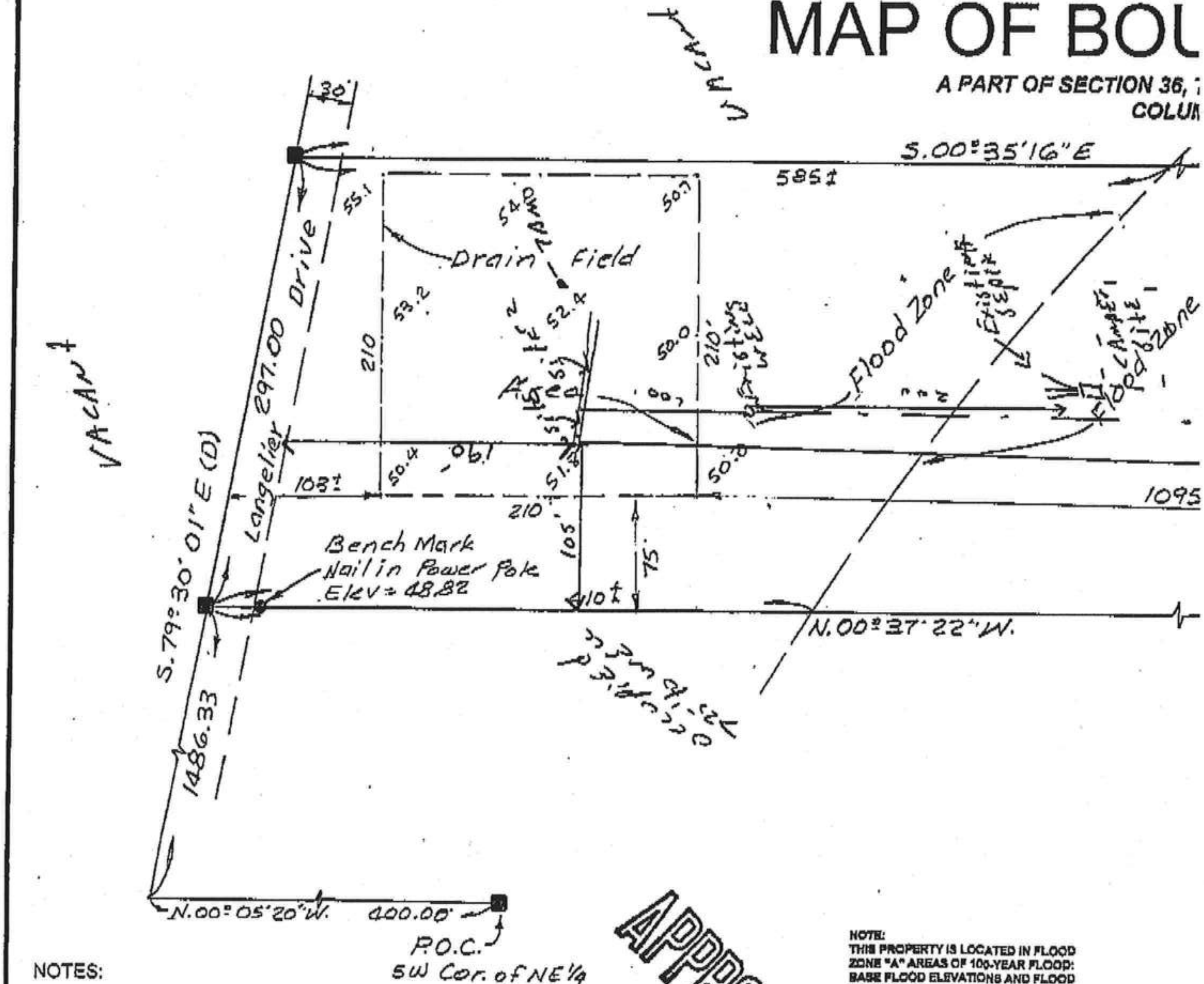
By Sallie Ford. EH Director Columbia CHD CPHU

Notes: ____

11-00116

MAP OF BOU

A PART OF SECTION 36,
COLU



APPROVED

NOTE:
THIS PROPERTY IS LOCATED IN FLOOD ZONE "A" AREAS OF 100-YEAR FLOOD: BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED. AND FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER COMMUNINTY PANEL 120070 0270 B, EFFECTIVE 01-06-88.

NOTES:

1. BEARINGS HEREON ARE REFERRED TO N.00°37'22" W. on the west Property line
2. NO UNDERGROUND UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. FENCES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND NOT TO SCALE.
5. PROPERTY LINES SHOULD NOT BE RECONSTRUCTED BASED ON DISTANCES TO IMPROVEMENTS.
6. NO INSTRUMENTS OF RECORD REFLECTING EASMENTS, RIGHT OF WAYS, AND / OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN, AND NO SEARCH OF THE PUBLIC RECORDS HAS BEEN DONE BY THE SURVEYOR.
7. BUILDING SETBACKS SHOWN HEREON WERE TAKEN FROM THE RECORD PLAT OR INFORMATION FURNISHED TO THE SURVEYOR ONLY. THEREFORE, IF NO BUILDING SETBACKS ARE SHOWN ON THIS MAP, THEN THE RECORD PLAT DID NOT REFLECT ANY SETBACKS AND NO INFORMATION WAS FURNISHED. THIS IS NOT TO IMPLY THERE ARE NO BUILDING SETBACKS ON THE PROPERTY SHOWN HEREON.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THIS SURVEY IS CERTIFIED ONLY TO THE SURVEY DATE AND NOT THE BIGINING DATE.
10. INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LAWYER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.

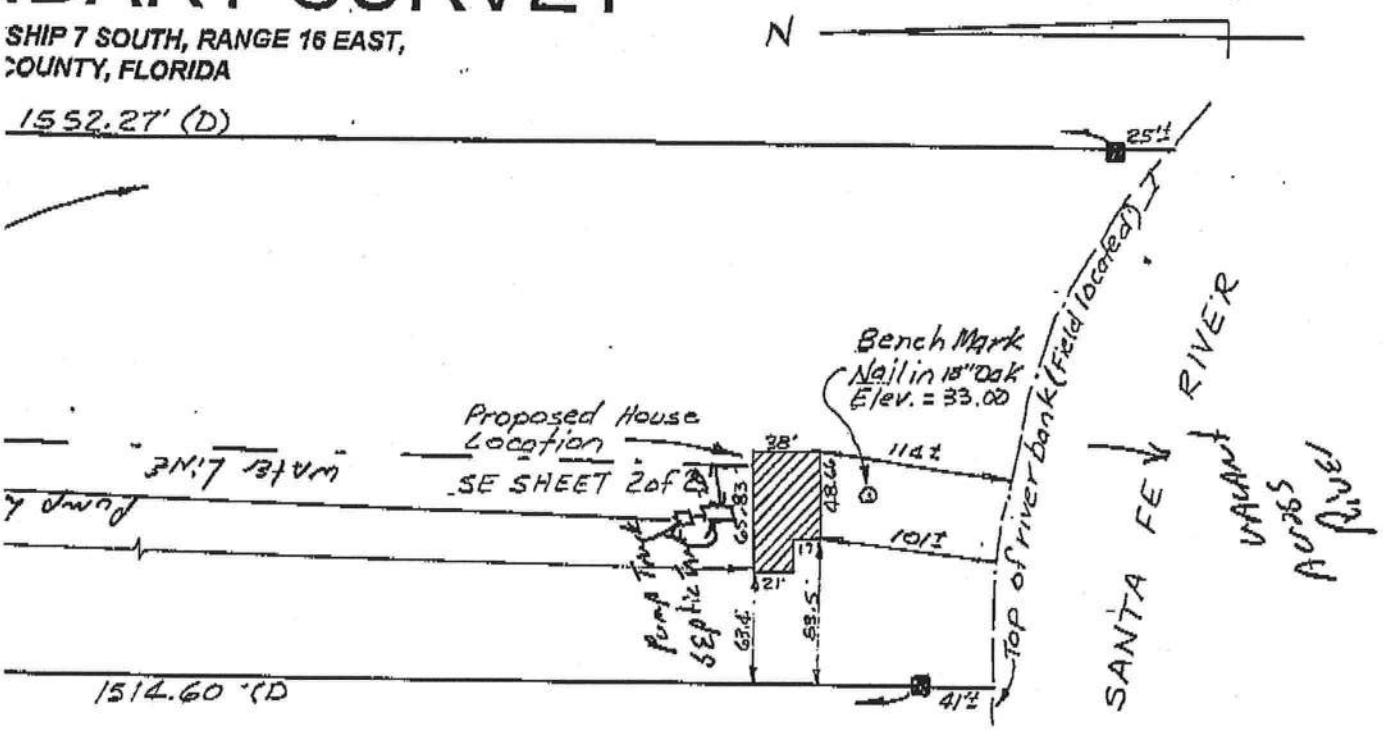
LEGEND:

■ = 4"x4" CONC. MONUMENT FOUND (NO IDENT. UNLESS SHOWN)
● = 1/2" IRON ROD FOUND
○ = 1/2" IRON ROD SET MARKED "P.L.S. 1824"
(P) = PLAT
(M) = MEASURED
(D) = DESCRIPTION
(C) = CALCULATED
D = DELTA (CENTRAL ANGLE)
R = RADIUS
A = ARC LENGTH
PC = POINT-OF-CURVATURE
PT = POINT-OF-TANGENCY
IDENT = IDENTIFICATION
(RB) = REFERENCE BEARING
POC = POINT-OF-COMMENCEMENT
POB = POINT-OF-BEGINNING
PUE = PUBLIC UTILITY EASEMENT
CH = CHORD
BSL = BUILDING SET BACK LINE
-E- = OVER HEAD ELECTRIC LINE

PREPARED BY:
WAYNE CHAN
PROFESSIONAL LAND S
9715 NW. 143rd STREE
ALACHUA, FLORIDA 32
352-538-2276

IDARY SURVEY

SHIP 7 SOUTH, RANGE 16 EAST,
COUNTY, FLORIDA

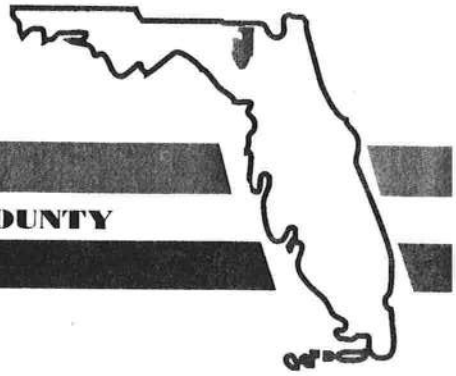


DESCRIPTION:
A PARCEL OF LAND LYING IN SECTION 36, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF SAID SECTION 36 AND RUN THENCE N.01°05'20"W. ALONG THE WEST LINE OF SAID NE1/4, A DISTANCE OF 400.00 FEET TO THE NORTH LINE OF A 30 FOOT EASEMENT; THENCE S.79°30'01"E., ALONG SAID NORTH LINE, 1486.33 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.79°30'01"E. ALONG SAID NORTH LINE 287.00 FEET; THENCE S.00°35'16"E., 1552.27 FEET TO A CONCRETE MONUMENT STAMPED P.L.S. NO.1079, THENCE CONTINUE S.00°35'16"E., 50 FEET, MORE OR LESS TO THE MOST NORTHERLY WATER'S EDGE OF THE "SANTA FE RIVER"; THENCE WESTERLY ALONG AND WITH THE MEANDER OF SAID WATER'S EDGE 305 FEET MORE OR LESS, TO A POINT OF BEARING S.00°37'22"E., FROM THE POINT OF BEGINNING, THENCE N.00°37'22"W., 50 FEET MORE OR LESS TO A CONCRETE MONUMENT STAMPED P.L.S. NO. 1079; THENCE CONTINUE N.00°37'22"W., 1514.60 FEET TO THE POINT OF BEGINNING. CONTAINING 10.5 ACRES, MORE OR LESS. TOGETHER WITH THE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS A 30 FOOT WIDE STRIP OF LAND WHOSE CENTERLINE IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTH WEST CORNER OF SECTION 36, TOWNSHIP 7 SOUTH, RANGE 16 EAST AND RUN S.01°06'36"E., ALONG THE WEST LINE THEREOF, 1043.92 FEET FOR A POINT OF BEGINNING FOR SAID EASEMENT CENTERLINE, THENCE RUN N.79°54'29"E., 1171.61 FEET; THENCE S.87°26'48"E., 1481.20 FEET; THENCE S.01°05'20"E., PARALLEL WITH THE EAST LINE OF THE NW1/4 OF SAID SECTION 36, 1256.07 FEET; THENCE S.79°30'01"E., 2392.64 FEET TO THE POINT OF TERMINATION OF SAID CENTERLINE, SUBJECT TO AN EASEMENT OVER AND ACROSS THE NORTHERLY 30 FEET THEREOF.

sheet 1 of 2

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE MINIMUM TECHINICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.		CERTIFIED TO:	SCALE: 1"=100'
FLORIDA LICENSE NO. 1824 CERTIFICATE OF AUTHORIZATION NO.6806	WAYNE CHANCE, P.L.S	LANCE SCOTT PAMELA I. SMITH	PROJ. NO. 10-045
			DRAWN:
			CHK'D: W.C
NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER	PROFESSIONAL LAND SURVEYOR SIGNING DATE: 12/30/10		DWG. NAME:
			SURVEY DATE: 12/29/10
			FIELD BOOK: 688
			PAGES: 37-39



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

16 February 2011

Lance Scott and Pamela I. Smith
268 Southwest Langelier Drive
Ft. White, Fl 32038

RE: Access to Property

Dear Mr. Scott and Ms. Smith:

Upon review of your application for a house, it appears that you are gaining access to your property from the neighbor's driveway. This is potentially an issue that may come up at some time in the future. This may also delay emergency response to your property.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner
Land Development regulation Administrator,
County Planner

CERTIFICATE OF

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 36-7S-16-04351-026 **Building permit No.** 000029188

Use Classification SFD, UTILITY **Fire:** 109.98

Permit Holder OWNER BUILDER **Waste:** 150.75

Owner of Building PAMELA I. SMITH **Total:** 260.73

Location: 268 SW LANGELIER DRIVE, FT. WHITE, FL 32038

Date: 01/06/2012

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
 Document ID:1U7R487-Z0115153754

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/13/2010

Truss Fabricator:	Anderson Truss Company
Job Identification:	10-237--Fill in later SAMMY KEEN/SMITH -- , ** (10-237-)
Truss Count:	22
Model Code:	Florida Building Code 2007 and 2009 Supplement
Truss Criteria:	FBC2007Res/TPI-2002(STD)
Engineering Software:	Alpine Software,Versions 10.01, 9.05.
Structural Engineer of Record:	The identity of the structural EOR did not exist as of
Address:	the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads:	Roof - 40.0 PSF @ 1.25 Duration
	Floor - N/A
	Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

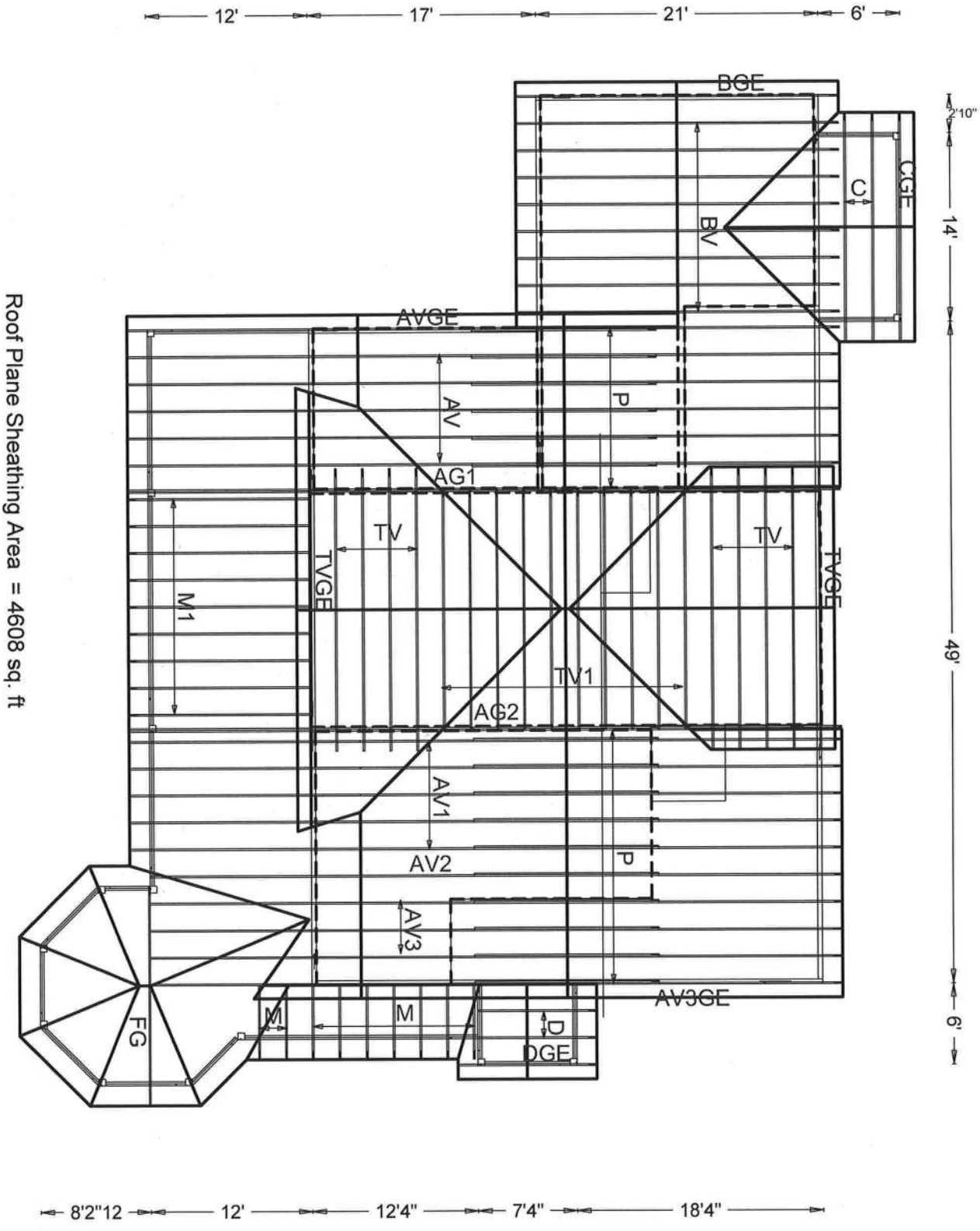
Douglas M. Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: CNNAILSP-BRCLBSUB-A1103005-GBLLETIN-A1101505-PB120-

#	Ref Description	Drawing#	Date
1	66487--FG	10349021	12/15/10
2	66488--AG1	10349022	12/15/10
3	66489--AG2	10349009	12/15/10
4	66490--AV3	10349003	12/15/10
5	66491--AV3GE	10349010	12/15/10
6	66492--AV	10349011	12/15/10
7	66493--AVGE	10349012	12/15/10
8	66494--AV1	10349005	12/15/10
9	66495--AV2	10349004	12/15/10
10	66496--BV	10349013	12/15/10
11	66497--BGE	10349014	12/15/10
12	66498--C	10349015	12/15/10
13	66499--CGE	10349016	12/15/10
14	66500--D	10349017	12/15/10
15	66501--DGE	10349018	12/15/10
16	66502--M	10349002	12/15/10
17	66503--M1	10349019	12/15/10
18	66504--M	10349001	12/15/10
19	66505--P	10349020	12/15/10
20	66506--TV	10349006	12/15/10
21	66507--TV1	10349007	12/15/10
22	66508--TVGE	10349008	12/15/10

COLUMBIA COUNTY BUILDING DEPARTMENT Received for FILE COPY Code Compliance PLANS EXAMINER



Roof Plane Sheathing Area = 4608 sq. ft

SAMMY KEEN/ SMITH

JOB NO:	JOB DESCRIPTION:: Fill in later /: SAMMY KEEN/SMITH	
10-237		
PAGE NO:		
1 OF 1		

ITW Building Components Group, Inc.

12/15/2010

Truss Fabricator:	Anderson Truss Company
Job Identification:	10-237--Fill in later SAMMY KEEN/SMITH -- , ** (10-237-)
Truss Count:	3
Model Code:	Florida Building Code 2007 and 2009 Supplement
Truss Criteria:	FBC2007Res/TPI-2002(STD)
Engineering Software:	Alpine Software,Versions 10.01, 9.05.
Structural Engineer of Record:	
Address:	
Minimum Design Loads:	Roof - 40.0 PSF @ 1.25 Duration Floor - N/A Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Seal Date: 12/15/2010

-Truss Design Engineer-
Douglas M. Fleming

1950 Marley Drive
Haines City, FL 33844

Revised Trusses

#	Ref	Description	Drawing#	Date
1	66487--FG		10349021	12/15/10
2	66491--AV3GE		10349010	12/15/10
3	66497--BGE		10349014	12/15/10

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - FG)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Special loads
------(Lumber Dur.Fac.=1.25 / Plate Dur.Fac.=1.25)

TC - From	123 plf at	0.00	to	188 plf at	4.32
TC - From	188 plf at	4.32	to	188 plf at	7.39
TC - From	188 plf at	7.39	to	188 plf at	10.45
TC - From	188 plf at	10.45	to	123 plf at	16.28
BC - From	29 plf at	0.00	to	50 plf at	4.32
BC - From	50 plf at	4.32	to	50 plf at	7.33
BC - From	41 plf at	7.33	to	41 plf at	7.39
BC - From	51 plf at	7.39	to	51 plf at	10.45
BC - From	51 plf at	10.45	to	29 plf at	16.28

BC - 13 lb Conc. Load at 1.33 , 3.33, 5.33
BC - 1223 lb Conc. Load at 7.39

Conventional framing is not the responsibility of the Truss Designer, Plate Manufacturer, or Truss Fabricator. Persons erecting trusses are cautioned to seek advice from a local professional engineer regarding conventional framing.

The Building Designer shall evaluate and approve load magnitudes and locations as shown under "SPECIAL LOADS". Truss Engineer & Fabricator are not responsible for load magnitudes and locations.

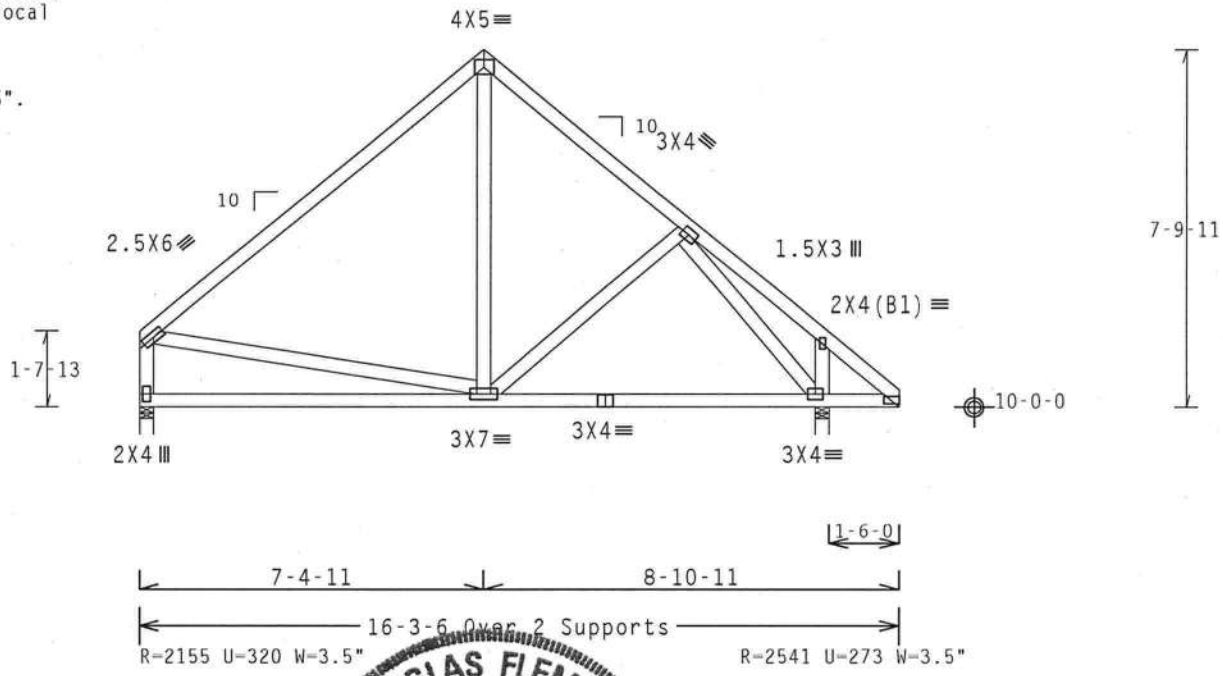
2 COMPLETE TRUSSES REQUIRED

Nail Schedule:0.131"x3" nails
Top Chord: 1 Row @12.00" o.c.
Bot Chord: 1 Row @12.00" o.c.
Webs : 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.



Design Crit: FBC2007Res/TPI-2002(SPD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 10.01.01/0517.23 QTY:1 FL/-/4/-/-/R/- Scale =.25"/Ft.

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Haines City, FL 33844
FL COA #0 278

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET!
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Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installing and bracing of trusses. Apply plates to each face of truss and position as shown above and on the joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job's general notes page; ITW-BCG: www.itwbcg.com; TPI: www.tpinst.org; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

DOUGLAS FLEMING LICENSE No.66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0	PSF	REF R487-- 66487
TC DL	10.0	PSF	DATE 12/15/10
BC DL	10.0	PSF	DRW HCUSR487 10349021
BC LL	0.0	PSF	HC-ENG TCE/DF
TOT.LD.	40.0	PSF	SEQN- 6057 REV
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AG1)

Top chord 2x6 SP #2 :T4, T8 2x4 SP #2 Dense:
:T5 2x6 SP #1 Dense:
Bot chord 2x4 SP #2 Dense :B1, B2 2x6 SP #2:
Webs 2x4 SP #3 :W1, W7 2x6 SP #2:
:W15 2x4 SP #2 Dense:

Left end vertical not exposed to wind pressure.

MWFRS loads based on trusses located at least 16.08 ft. from roof edge.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

SPECIAL LOADS
------(LUMBER DUR.FAC.=1.25 / PLATE DUR.FAC.=1.25)

TC - From	515 PLF	at 1.50	to	515 PLF	at 10.72
TC - From	66 PLF	at 10.72	to	66 PLF	at 11.99
TC - From	455 PLF	at 11.99	to	455 PLF	at 13.62
TC - From	450 PLF	at 13.62	to	450 PLF	at 29.01
TC - From	66 PLF	at 29.01	to	66 PLF	at 30.28
TC - From	521 PLF	at 30.28	to	521 PLF	at 39.21
TC - From	61 PLF	at 39.21	to	61 PLF	at 53.00
BC - From	501 PLF	at 1.50	to	501 PLF	at 14.17
BC - From	20 PLF	at 14.17	to	20 PLF	at 22.50
BC - From	23 PLF	at 22.50	to	23 PLF	at 39.21
BC - From	20 PLF	at 39.21	to	20 PLF	at 53.00

+Laterally brace Top Chord below filler at 24" oc, including a lateral brace at chord ends.

The Building Designer shall evaluate and approve load magnitudes and locations as shown under "SPECIAL LOADS". Truss Engineer & Fabricator are not responsible for load magnitudes and locations.

* 2x4 Temporary Brace. Attach with 1x4 plates on one face only to avoid damage to truss during shipment and erection. Brace to be removed after truss has been properly erected.

2 COMPLETE TRUSSES REQUIRED

Nail Schedule:0.131"x3" nails
Top Chord: 1 Row @ 6.00" o.c.
Bot Chord: 1 Row @ 6.25" o.c.
Webs : 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.
4" o.c. spacing of nails perpendicular and parallel to grain required in area over bearings greater than 4"

Brg blocks:0.131"x3" nails

brg	x-loc	#blocks	length/blk	#nails/blk	wall plate
2	11.167'	1	12"	15	Rigid Surface

Brg block to be same size and species as bottom chord.
Refer to drawing CNNAILSP0109 for more information.

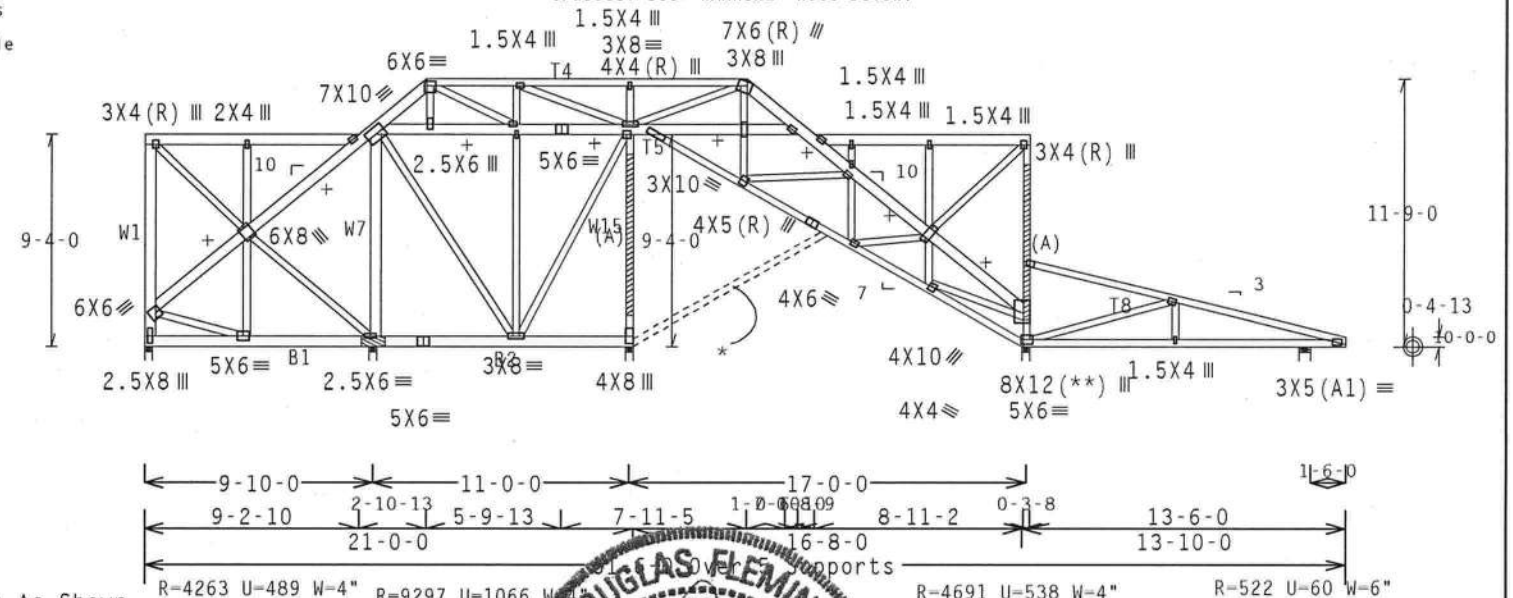
(**) 1 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCp1(+/-)=0.18

Wind reactions based on MWFRS pressures.

(A) #3 or better scab brace. Same size & 80% length of web member. Attach with 10d Box or Gun (0.128"x3",min.)nails @ 6" OC.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



Note: All Plates Are 3X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0319.16 TY:1 FL/-/4/-/-/R/- Scale =.125"/Ft.

DOUGLAS FLEMING LICENSE No.66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

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Haines City, FL 33844
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TC LL	20.0 PSF	REF	R487-- 66488
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349022
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167534
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AG2)

Top chord 2x6 SP #2 :T3, T5 2x6 SP #1 Dense:
:T4, T8 2x4 SP #2 Dense:
Bot chord 2x4 SP #2 Dense :B1, B2 2x6 SP #1 Dense:
Webs 2x4 SP #3 :W1, W7, W8, W11 2x6 SP #2:
:W13 2x4 SP #2 Dense:

Left end vertical not exposed to wind pressure.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

MWFRS loads based on trusses located at least 16.08 ft. from roof edge.

SPECIAL LOADS
------(LUMBER DUR.FAC.=1.25 / PLATE DUR.FAC.=1.25)

TC - From	515 PLF at	1.50 to	515 PLF at	10.72
TC - From	66 PLF at	10.72 to	66 PLF at	11.99
TC - From	455 PLF at	11.99 to	455 PLF at	13.62
TC - From	450 PLF at	13.62 to	450 PLF at	29.01
TC - From	66 PLF at	29.01 to	66 PLF at	30.28
TC - From	521 PLF at	30.28 to	521 PLF at	39.21
TC - From	61 PLF at	39.21 to	61 PLF at	53.00
BC - From	501 PLF at	1.50 to	501 PLF at	17.83
BC - From	23 PLF at	17.83 to	23 PLF at	39.21
BC - From	20 PLF at	39.21 to	20 PLF at	53.00

+Laterally brace Top Chord below filler at 24" oc, including a lateral brace at chord ends.

The Building Designer shall evaluate and approve load magnitudes and locations as shown under "SPECIAL LOADS". Truss Engineer & Fabricator are not responsible for load magnitudes and locations.

2 COMPLETE TRUSSES REQUIRED

Nail Schedule:0.131"x3" nails
Top Chord: 1 Row @ 6.00" o.c.
Bot Chord: 1 Row @ 6.25" o.c.
Webs : 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.
4" o.c. spacing of nails perpendicular and parallel to grain required in area over bearings greater than 4"

Brg blocks:0.131"x3" nails

brg	x-loc	#blocks	length/blk	#nails/blk	wall plate
2	17.500'	2	18"	24	Rigid Surface

Brg block to be same size and species as bottom chord.
Refer to drawing CNNAILSP0109 for more information.

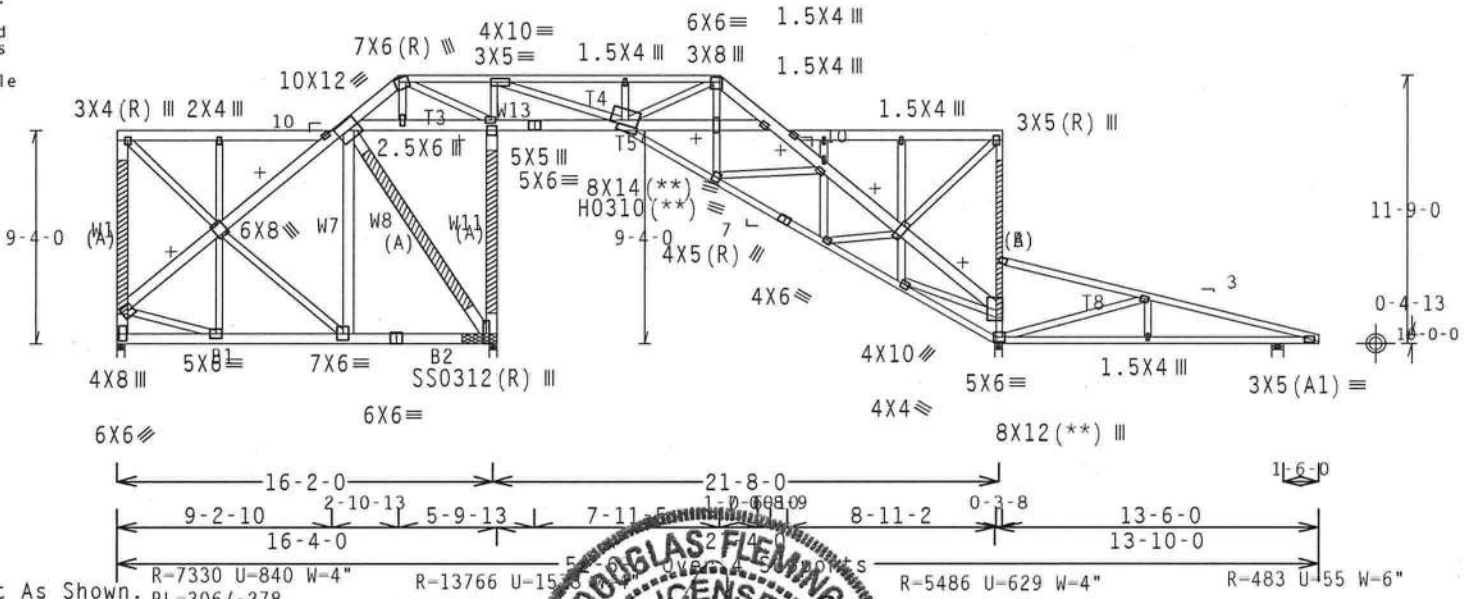
(**) 3 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

(A) #3 or better scab brace. Same size & 80% length of web member. Attach with 10d Box or Gun (0.128"x3",min.)nails @ 6" OC.

(B) (2) #3 or better scab braces. Same size & 80% length of web member. Attach one to each face w/10d Box or Gun (0.128"x3",min.)nails @ 6" OC.



Note: All Plates Are 3X4 Except As Shown.
PLT TYP. 20 Gauge HS,18 Gauge HS, Wave

Design Crit: FBC2007Res/TPI-2002(SPD)
FT/RT=10%(0%)/0(0)
1.05/03.0319.16
QTY:1 FL/-/4/-/-/R/- Scale =.125"/Ft.

RL-306/-278

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

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FL COA #0 278

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ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installing or bracing of trusses. Apply plates to each face of truss and position as shown above and on the individual Plate Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job general notes page; ITW-BCG: www.itwbcg.com; TPI: www.tpinst.org; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

TC LL	20.0 PSF	REF	R487-- 66489
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349009
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167545
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AV3)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Rt Stub Wedge 2x4 SP #3:

Calculated horizontal deflection is 0.14" due to live load and 0.14" due to dead load.

(A) Continuous lateral bracing equally spaced on member.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets L/240 live and L/180 total load.

Laterally brace Bottom Chord above filler at 24" oc, including a lateral brace at chord ends.

(I) - plates so marked were sized using a Fabrication Tolerance of 0% and a Rotational Tolerance of 0 degrees.

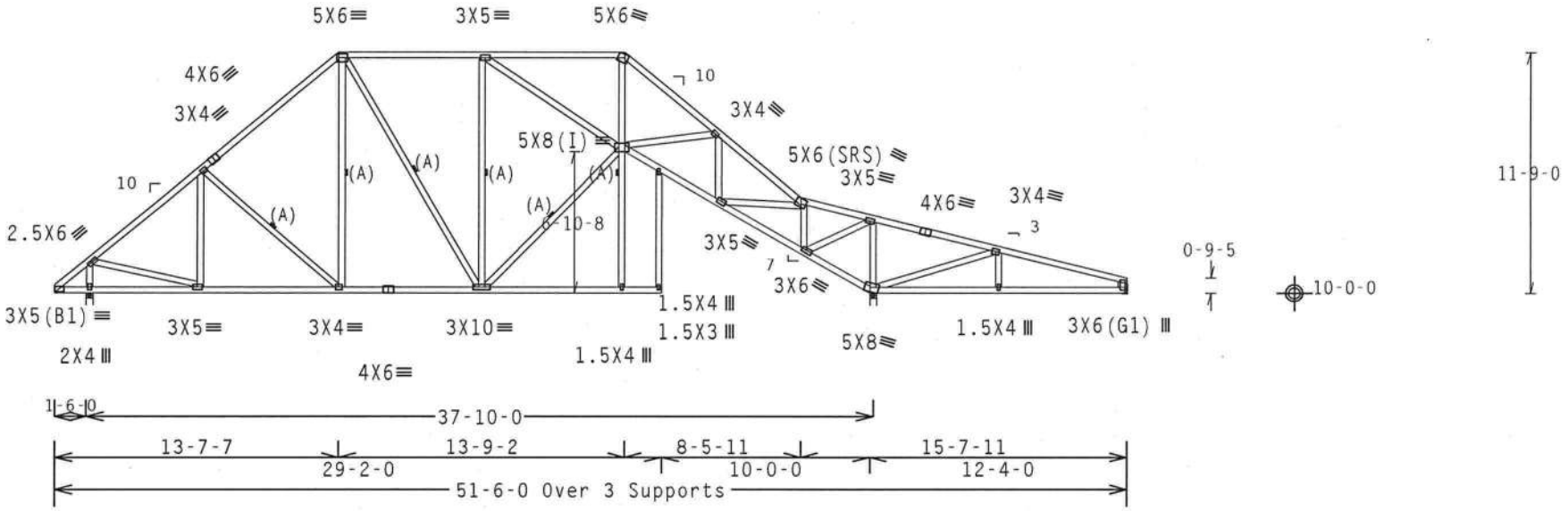
110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R=1699 U=129 W=4"
RL=262/-303

R=2900 211 W=4"
R=13 Rw=14 U=55

Design Crit: FBC2007Res/TPI-2002(STD) 09.05.03.0319.16

PLT TYP. Wave FT/RT=10%(0%)/0(0) QTY:3 FL/-/4/-/-/R/- Scale =.125"/Ft.

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12/15/2010

TC LL	20.0 PSF	REF R487-- 66490
TC DL	10.0 PSF	DATE 12/15/10
BC DL	10.0 PSF	DRW HCUSR487 10349003
BC LL	0.0 PSF	HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN- 167129
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1U7R487_Z01

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AV3GE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Special loads
------(Lumber Dur.Fac.=1.25 / Plate Dur.Fac.=1.25)

TC - From	66 plf at	0.00 to	66 plf at	0.32
TC - From	66 plf at	0.32 to	66 plf at	1.81
TC - From	66 plf at	1.81 to	66 plf at	8.01
TC - From	66 plf at	8.01 to	66 plf at	13.72
TC - From	61 plf at	13.72 to	61 plf at	27.28
TC - From	66 plf at	27.28 to	66 plf at	35.72
TC - From	61 plf at	35.72 to	61 plf at	41.84
TC - From	61 plf at	41.84 to	61 plf at	45.05
TC - From	108 plf at	45.05 to	164 plf at	48.44
TC - From	164 plf at	48.44 to	164 plf at	51.50
BC - From	20 plf at	0.00 to	20 plf at	13.17
BC - From	20 plf at	13.17 to	20 plf at	29.17
BC - From	23 plf at	29.17 to	23 plf at	39.17
BC - From	20 plf at	39.17 to	20 plf at	41.44
BC - From	10 plf at	41.44 to	10 plf at	43.44
BC - From	20 plf at	43.44 to	20 plf at	45.05
BC - From	36 plf at	45.05 to	55 plf at	48.44
BC - From	55 plf at	48.44 to	55 plf at	51.50

BC - 127 lb Conc. Load at 41.44 , 43.44

Wind reactions based on MWFRS pressures.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.

+ Member to be laterally braced for horizontal wind loads. Bracing system to be designed and furnished by others.

Shim all supports to solid bearing.

Conventional framing is not the responsibility of the Truss Designer, Plate Manufacturer, or Truss Fabricator. Persons erecting trusses are cautioned to seek advice from a local professional engineer regarding conventional framing.

The Building Designer shall evaluate and approve load magnitudes and locations as shown under "SPECIAL LOADS". Truss Engineer & Fabricator are not responsible for load magnitudes and locations.

110 mph wind, 15.88 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCp1(+/-)=0.18

Truss spaced at 24.0" OC designed to support 0-6-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

See DWGS A11030050109 & GBLLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

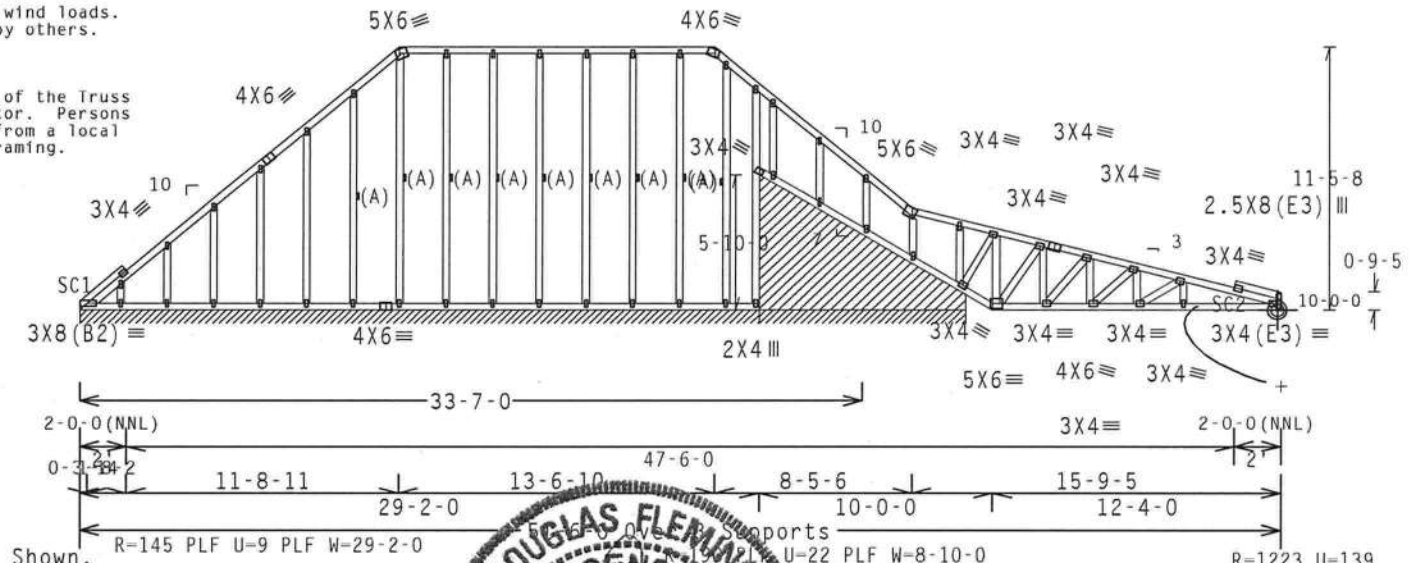
(A) Continuous lateral bracing equally spaced on member.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



Note: All Plates Are 1.5X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(SPD) 10.01.01.0517.2 TY:1

PLT TYP. Wave FT/RT=10%(0%)/0(0) FL/-/4/-/-/R/- Scale =.125"/Ft.

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12/15/2010

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Haines City, FL 33844
FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 66491
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349010
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	6053 REV
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

(A) Continuous lateral bracing equally spaced on member.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

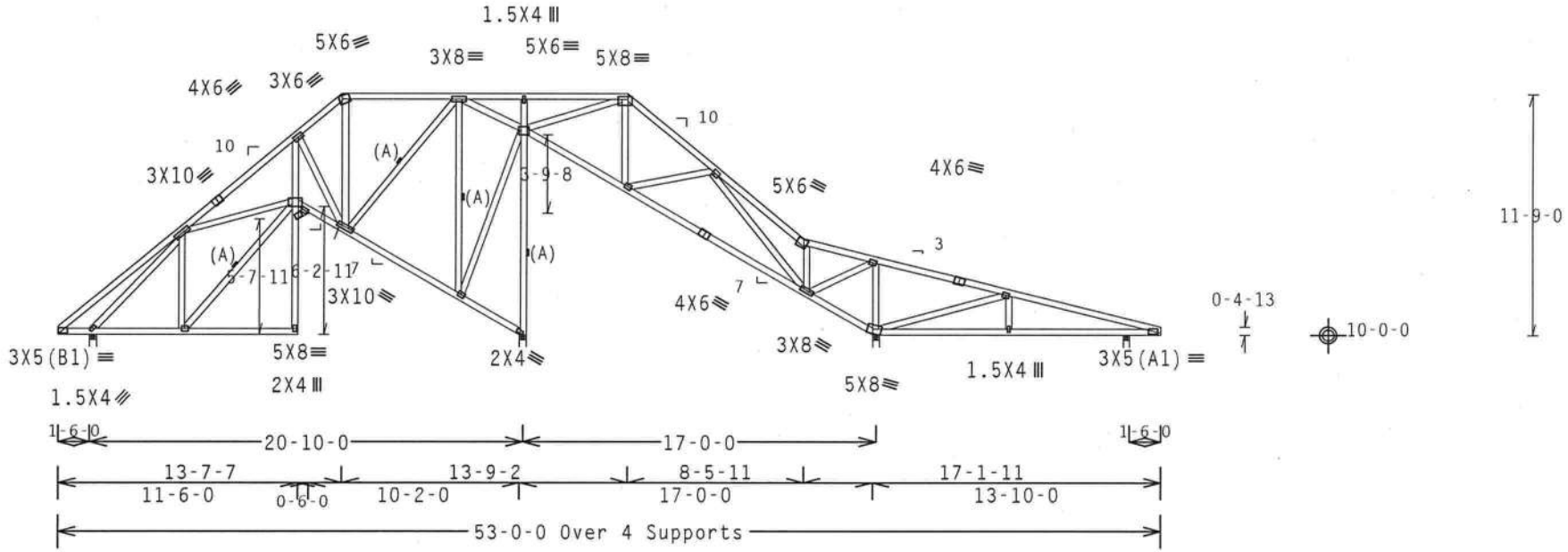
MWFRS loads based on trusses located at least 8.04 ft. from roof edge.

110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R=977 U=156 W=4"
RL=314/-361

R=1519 U=0 W=4"
(0.5" Effective Contact)

R=337 U=26 W=3.5"
R=16# U=20 W=4"

Note: All Plates Are 3X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(SPI

PLT TYP. Wave

FT/RT=10%(0%)/0(0)

9.05.03.0319.16

QTY:5

FL/-/4/-/-/R/-

Scale =.125"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 66492
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349011
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167108
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AVGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3 :M22, M23 2x4 SP #2 Dense:
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Calculated horizontal deflection is 0.13" due to live load and 0.14" due to dead load.

See DWGS A11030050109 & GBLLETIN0109 for more requirements.

(A) Continuous lateral bracing equally spaced on member.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

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110 mph wind, 15.87 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

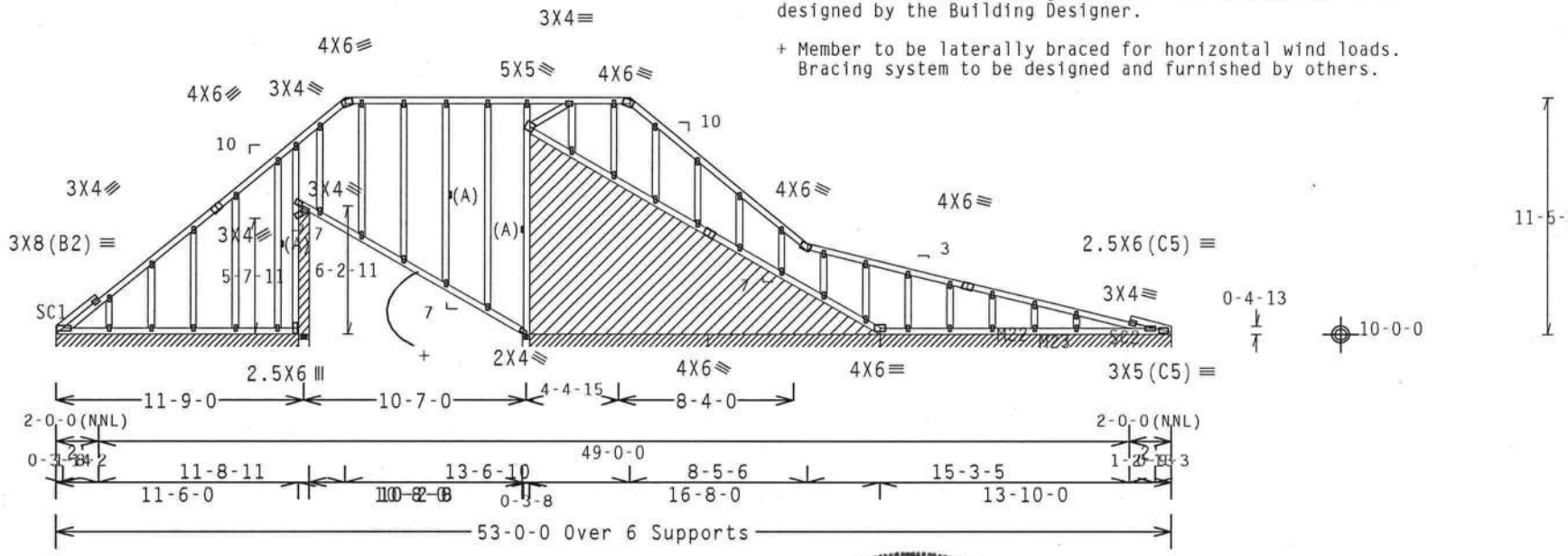
Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

Deflection meets L/240 live and L/180 total load.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.

+ Member to be laterally braced for horizontal wind loads. Bracing system to be designed and furnished by others.



R=16 PLF U=42 PLF W=11-6-0
RL=27/-31 PLF
R=1330 U=0 W=6"
R=602 U=0 W=4"
(0.5" Effective Contact)
R=74 PLF U=8 PLF W=8-5-4
R=84 PLF U=20 PLF W=8-2-2
R=77 PLF U=9 PLF W=13-10-0

Note: All Plates Are 1.5X4 Except As Shown.

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002(SPD) FT/RT=10%(0%)/0(0) 9.05.03.0319.16 QTY:1 FL/-/4/-/-/R/- Scale =.125"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 66493
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349012
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167105
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

(10-237--Fill in later SAMMY KEEN/SMITH -- . ** - AV1)

Top chord 2x4 SP #2 Dense :T2 2x6 SP #2:
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

(A) Continuous lateral bracing equally spaced on member.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

* 2x4 Temporary Brace. Attach with 1x4 plates on one face only to avoid damage to truss during shipment and erection. Brace to be removed after truss has been properly erected.

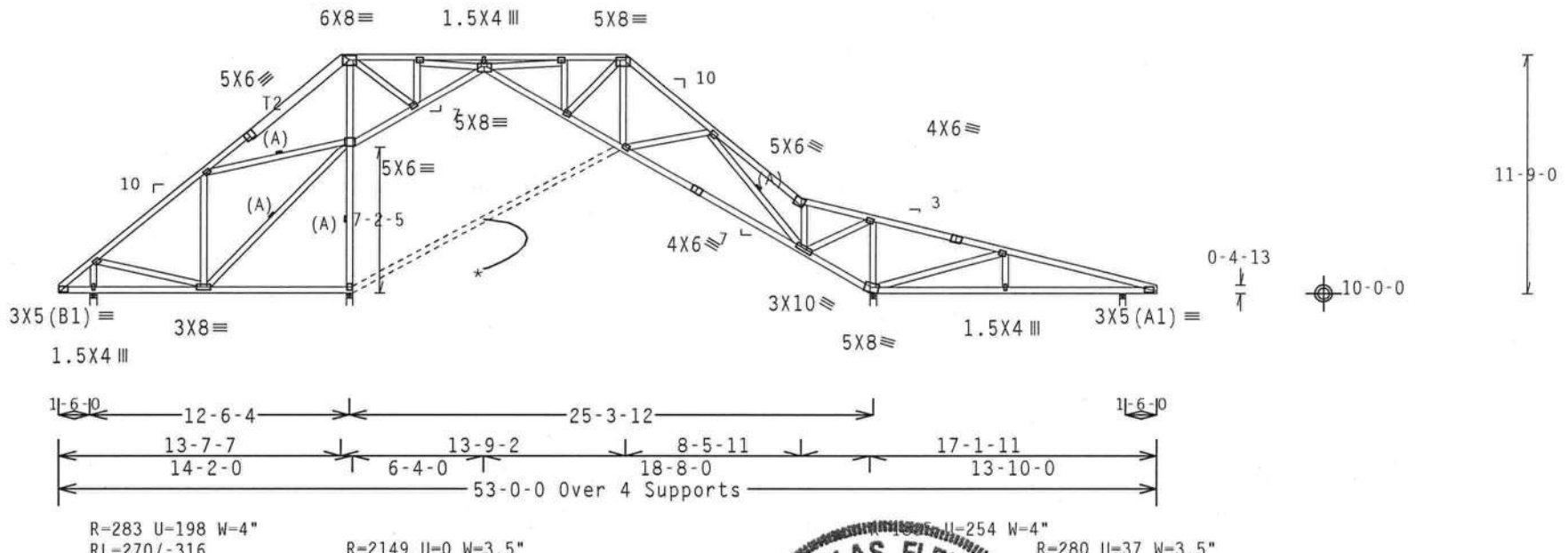
110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 8.04 ft. from roof edge.



Note: All Plates Are 3X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0319.16 QTY:5 FL/-/4/-/-/R/- Scale =.125"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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12/15/2010

TC LL	20.0 PSF	REF	R487-- 66494
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349005
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167123
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - AV2)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #2 Dense :T2 2x6 SP #2:
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

(A) Continuous lateral bracing equally spaced on member.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 8.04 ft. from roof edge.

* 2x4 Temporary Brace. Attach with 1x4 plates on one face only to avoid damage to truss during shipment and erection. Brace to be removed after truss has been properly erected.

(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 16.08 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

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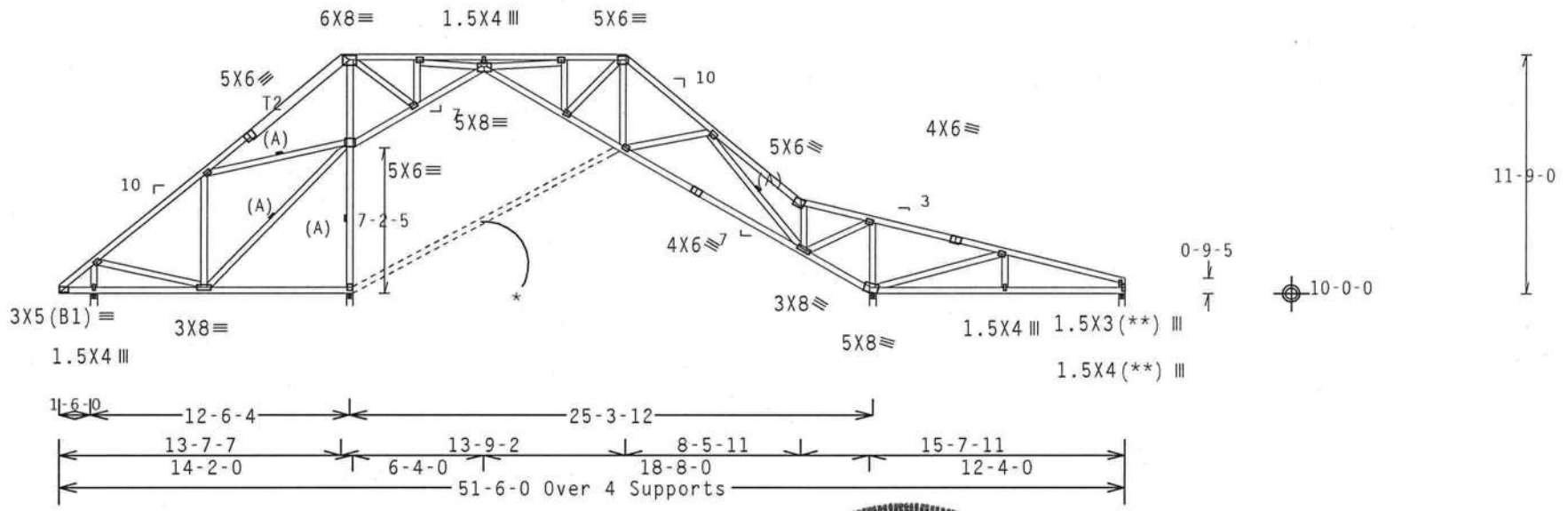

Note: All Plates Are 3X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(SPD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 120 MPH 1.05.03.0319.16 QTY:1 FL/-/4/-/-/R/- Scale =.125"/Ft.

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ALPINE
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Haines City, FL 33844
FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 66495
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349004
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167126
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - BV)

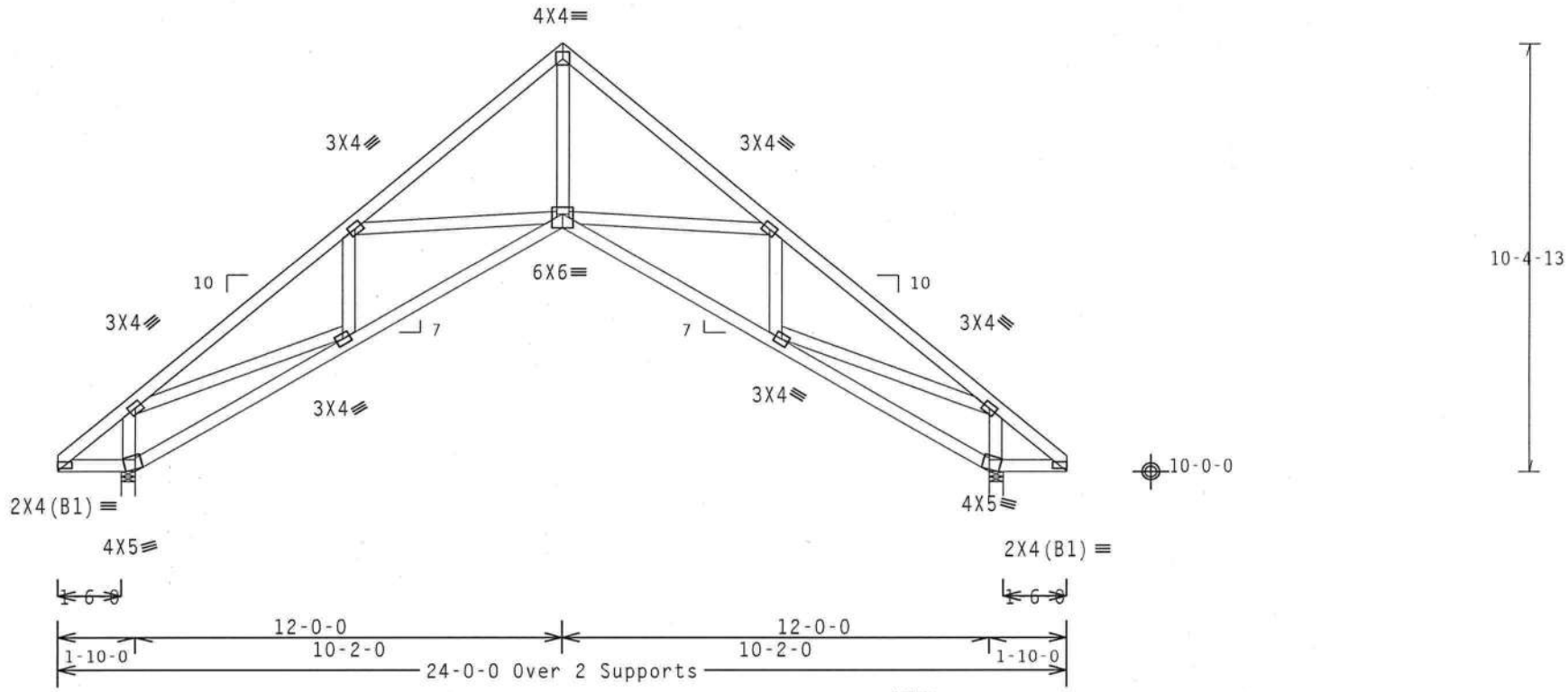
Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.40 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.



Design Crit: FBC2007Res/TPI-2002(SPI) 09.05.03.0319.16 QTY:8 FL/-/4/-/-/R/-

PLT TYP. Wave FT/RT=10%(0%)/0(0) Scale =.25"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0 PSF	REF	R487-- 66496
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349013
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167094
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - BGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Truss spaced at 24.0" OC designed to support 0-6-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

Shim all supports to solid bearing.

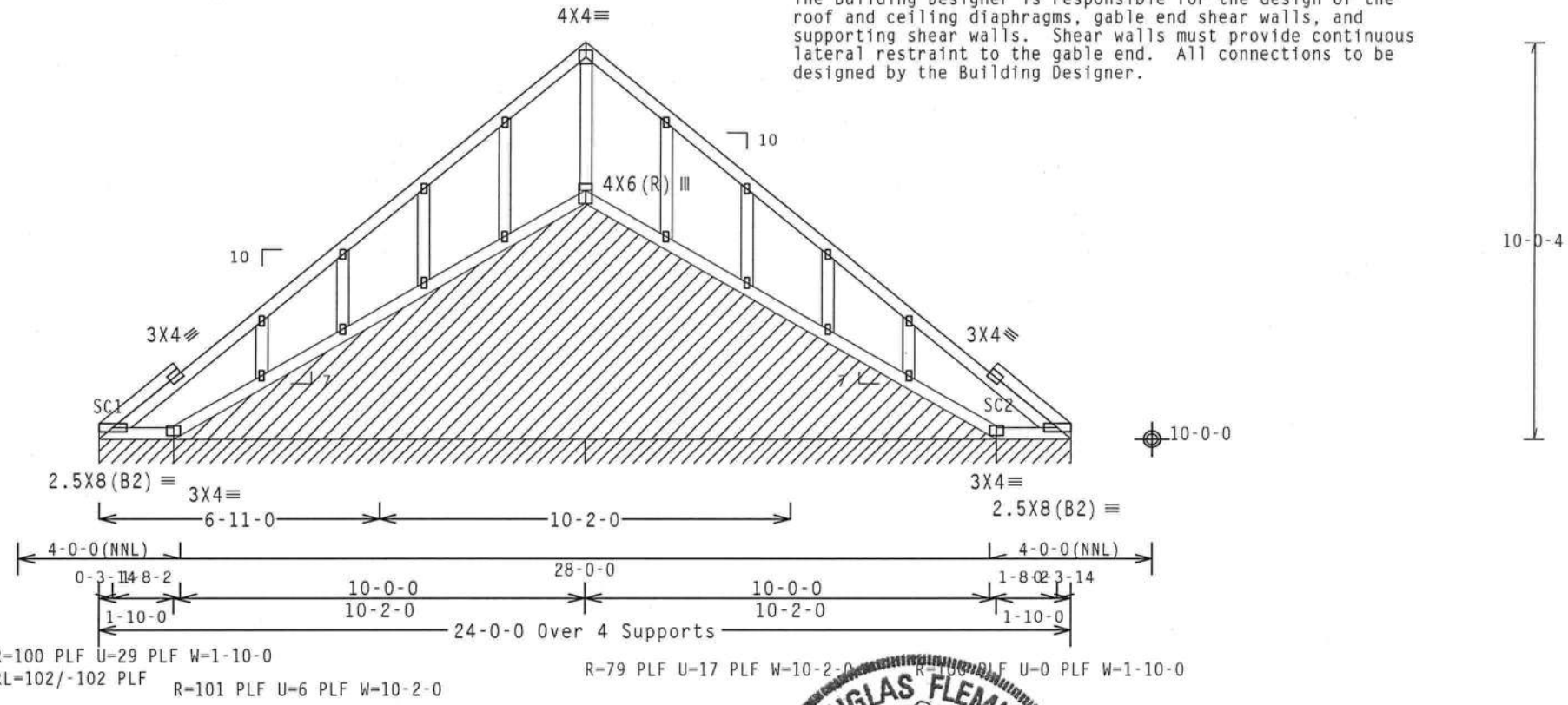
110 mph wind, 15.16 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

See DWGS A11030050109 & GBLLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.



Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(SPI

PLT TYP. Wave FT/RT=10%(0%)/0(0) 10.01.01.0517.2 QTY:1 FL/-/4/-/-/R/- Scale =.25"/Ft.

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12/15/2010

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Haines City, FL 33844
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TC LL	20.0 PSF	REF	R487-- 66497
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349014
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	6023 REV
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - C)

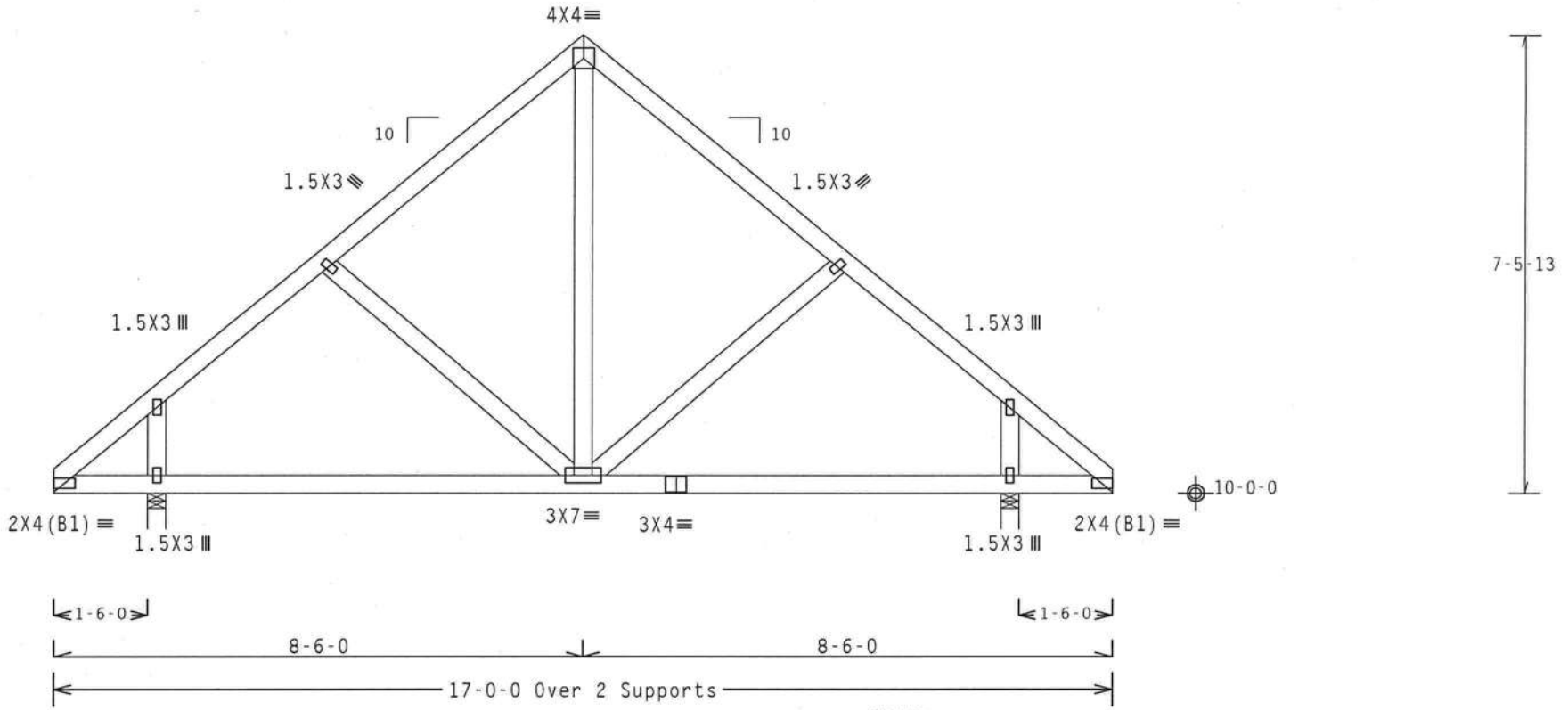
Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.



Design Crit: FBC2007Res/TPI-2002(SPI) 9.05.03.0319.16

PLT TYP. Wave FT/RT=10%(0%)/0(0) QTY:2 FL/-/4/-/-/R/- Scale =.375"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

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FL COA #0 278

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TC LL	20.0 PSF	REF	R487-- 66498
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349015
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167099
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - CGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Truss spaced at 24.0" OC designed to support 0-6-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

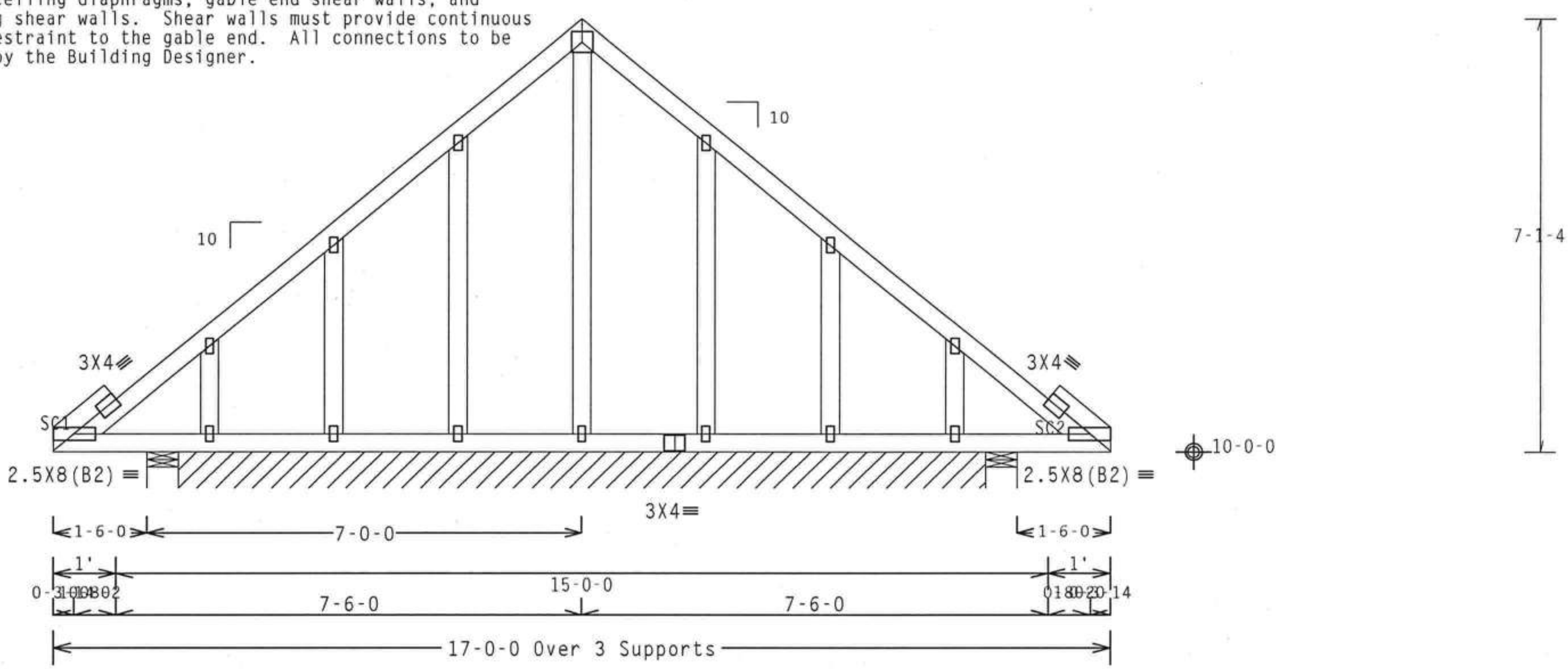
The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



R=102 Rw=126 U=76 W=6"
RL=168/-168

R=115 PLF U=9 PLF W=13-0-0

R=102 Rw=115 U=69 W=6"

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0) 9.05.03.0319.16

PLT TYP. Wave

QTY:1 FL/-/4/-/-/R/- Scale =.375"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING
LICENSE
No. 66648
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

12/15/2010

TC LL	20.0 PSF	REF	R487-- 66499
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349016
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167102
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - D)

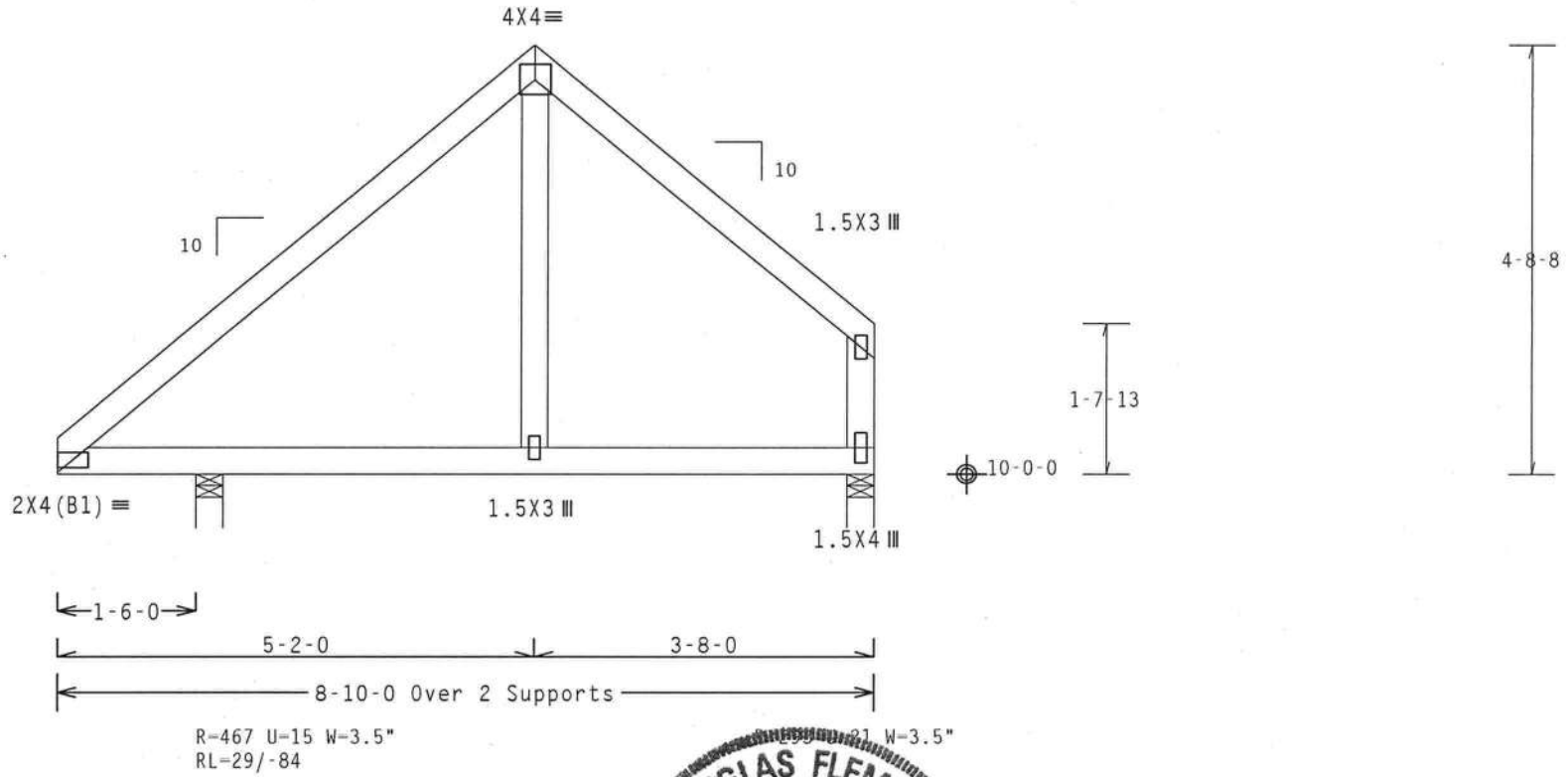
Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.



Design Crit: FBC2007Res/TPI-2002(S... 9.05.03.0319.16

PLT TYP. Wave

FT/RT=10%(0%)/0(0)

QTY:2

FL/-/4/-/-/R/-

Scale =.5"/Ft.

DOUGLAS FLEMING LICENSE No.66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	20.0	PSF	REF R487-- 66500
TC DL	10.0	PSF	DATE 12/15/10
BC DL	10.0	PSF	DRW HCUSR487 10349017
BC LL	0.0	PSF	HC-ENG TCE/DF
TOT.LD.	40.0	PSF	SEQN- 167137
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - DGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Truss spaced at 24.0" OC designed to support 0-6-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

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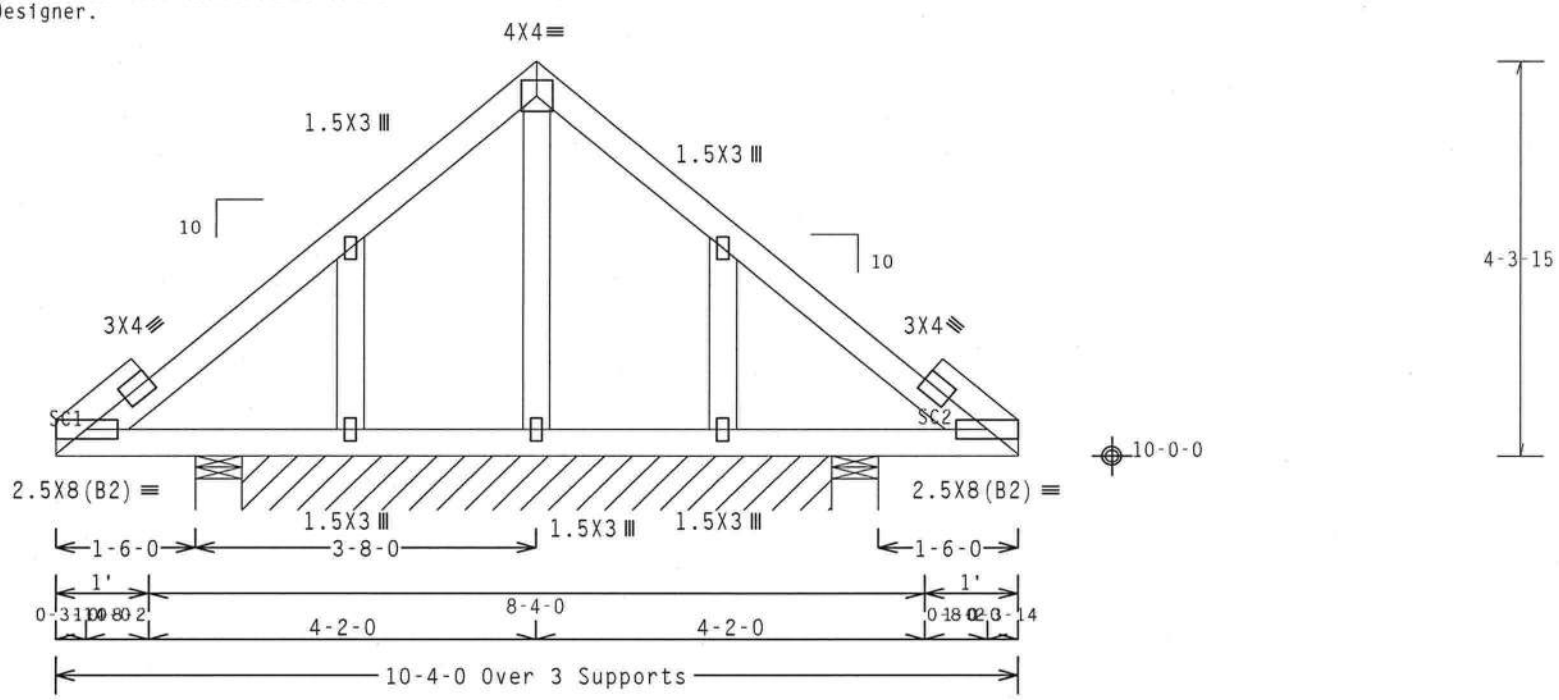
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



Design Crit: FBC2007Res/TPI-2002(S

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0319.16 QTY:1 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No.66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0 PSF	REF	R487-- 66501
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349018
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167140
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - M)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

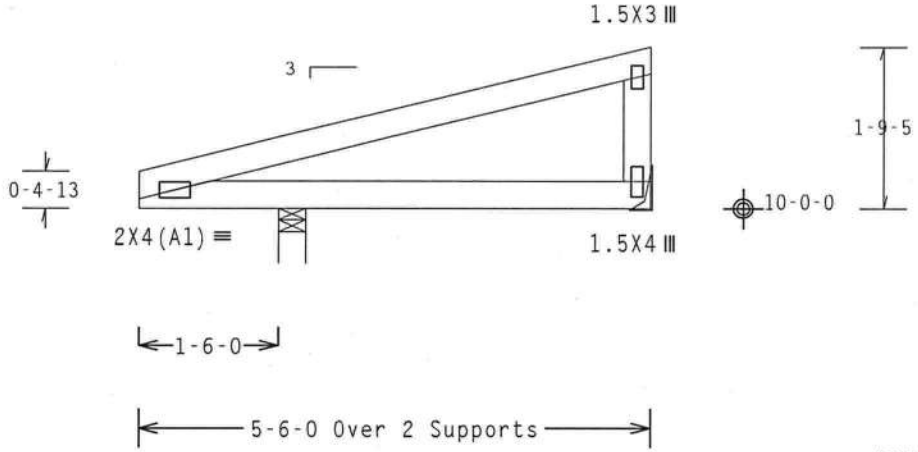
Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.



Design Crit: FBC2007Res/TPI-2002(SPD) 130.05.03.0319.16 QTY:7 FL/-/4/-/-/R/-

PLT TYP. Wave FT/RT=10%(0%)/0(0) Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0 PSF	REF R487-- 66502
TC DL	10.0 PSF	DATE 12/15/10
BC DL	10.0 PSF	DRW HCUSR487 10349002
BC LL	0.0 PSF	HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN- 167143
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - M1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 15.00 ft. from roof edge.

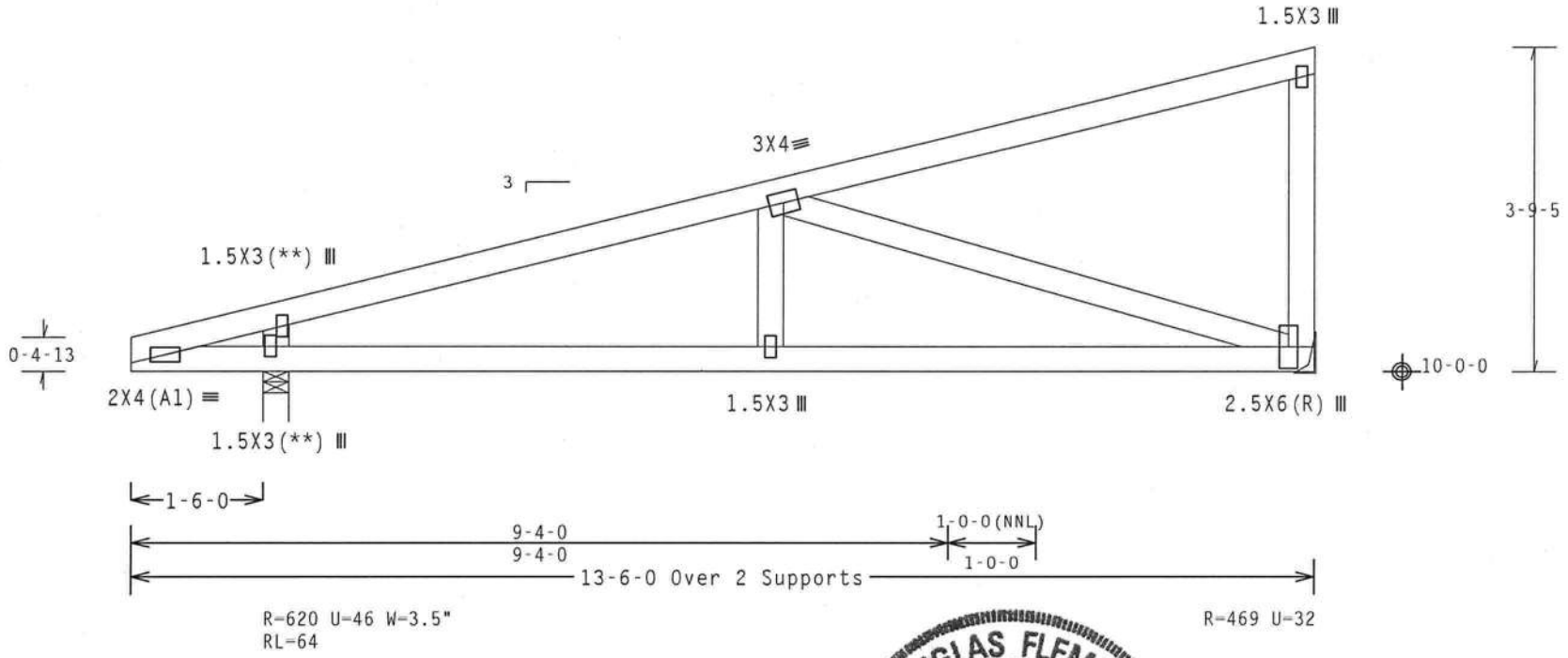
(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Right end vertical not exposed to wind pressure.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



Design Crit: FBC2007Res/TPI-2002(S...) ...9.05.03.0319.16

PLT TYP. Wave FT/RT=10%(0%)/0(0) QTY:9 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No.66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

TC LL	20.0 PSF	REF R487-- 66503
TC DL	10.0 PSF	DATE 12/15/10
BC DL	10.0 PSF	DRW HCUSR487 10349019
BC LL	0.0 PSF	HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN- 167111
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - M)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

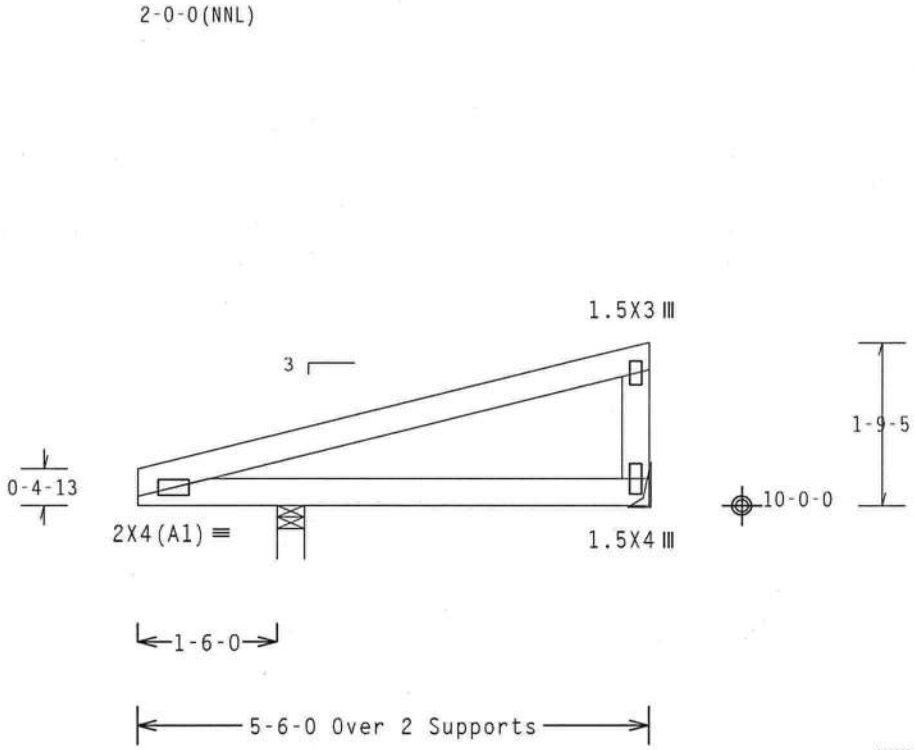
Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

MWFRS loads based on trusses located at least 15.00 ft. from roof edge.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.



Design Crit: FBC2007Res/TPI-2002(SPD)

PLT TYP. Wave FT/RT=10%(0%)/0(0) 9.05.03.0319.16 QTY:2 FL/-/4/-/-/R/- Scale =.5"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

TC LL	20.0 PSF	REF R487-- 66504
TC DL	10.0 PSF	DATE 12/15/10
BC DL	10.0 PSF	DRW HCUSR487 10349001
BC LL	0.0 PSF	HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN- 167146
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - P)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

110 mph wind, 24.62 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=2.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Refer to DWG PB1201009 for piggyback details.

For Piggyback being used for gable ends, Gable Details must also be applied as well as Piggyback Details.

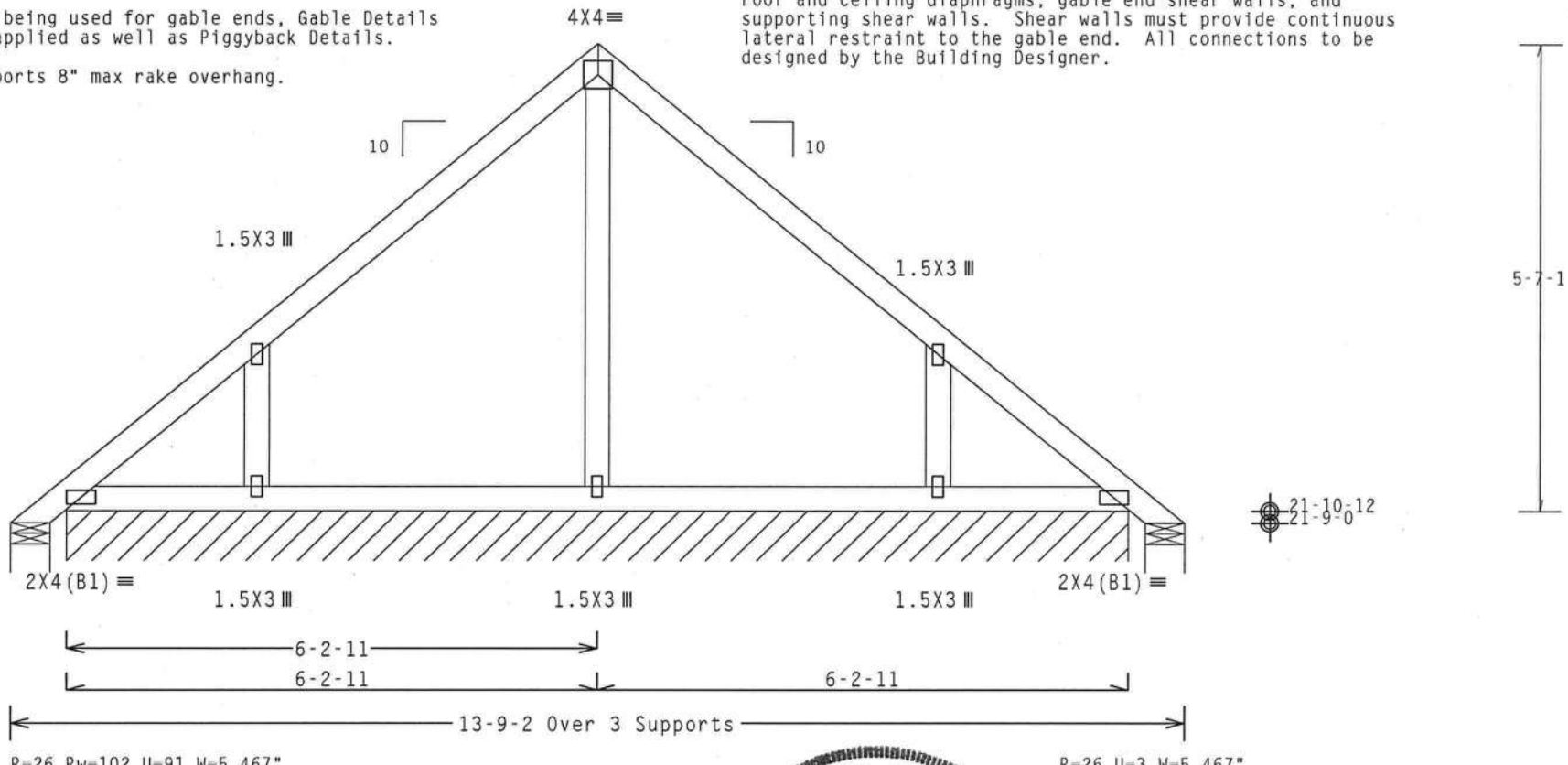
Gable end supports 8" max rake overhang.

Special loads
------(Lumber Dur.Fac.=1.25 / Plate Dur.Fac.=1.25)
TC- From 66 plf at 0.00 to 66 plf at 6.88
TC- From 66 plf at 6.88 to 66 plf at 13.76
BC- From 4 plf at 0.00 to 4 plf at 13.76

Deflection meets L/240 live and L/180 total load.

See DWGS A11030050109 & GBLLETIN0109 for more requirements.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.



R=26 Rw=102 U=91 W=5.467"
RL=145/-145

R=71 PLF U=25 PLF W=12-5-6

R=26 U=3 W=5.467"

Design Crit: FBC2007Res/TPI-2002(SPD) 9.05.03.0319.16 QTY:18 FL/-/4/-/-/R/-

PLT TYP. Wave

Scale =.5"/Ft.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

12/15/2010

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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TC LL	20.0	PSF	REF R487-- 66505
TC DL	10.0	PSF	DATE 12/15/10
BC DL	10.0	PSF	DRW HCUSR487 10349020
BC LL	0.0	PSF	HC-ENG TCE/DF
TOT.LD.	40.0	PSF	SEQN- 167531
DUR.FAC.	1.25		
SPACING	24.0"		JREF- 1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - TV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

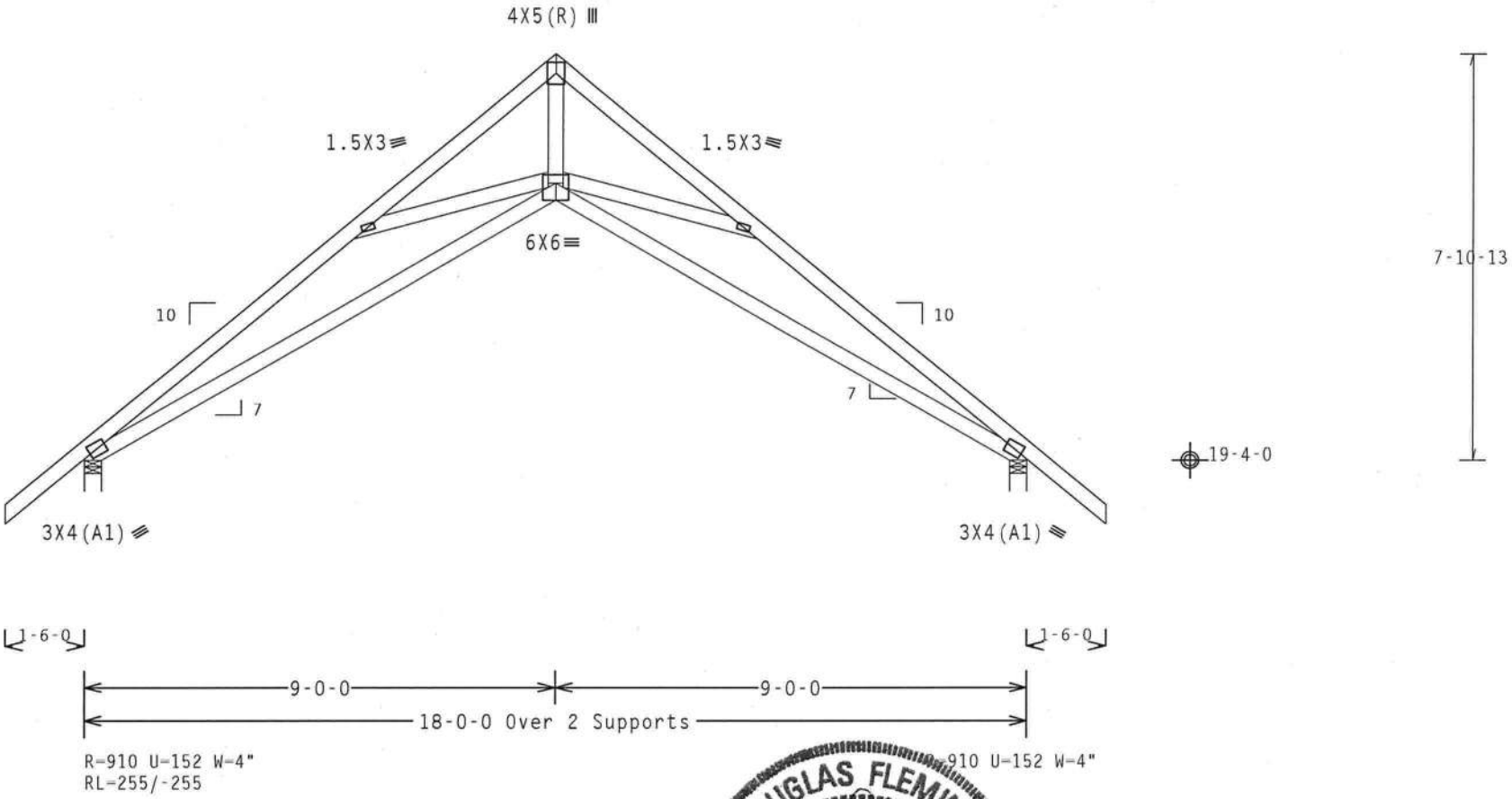
Calculated horizontal deflection is 0.20" due to live load and 0.23" due to dead load.

110 mph wind, 22.86 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.



Design Crit: FBC2007Res/TPI-2002(SPD) 9.05.03.0319.16 TY:8 FL/-/4/-/-/R/-

PLT TYP. Wave FT/RT=10%(0%)/0(0) Scale =.3125"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET!
IMPORTANT FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, storing and bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This job general notes page; ITW-BCG: www.itwbcg.com; TPI: www.tpinst.org; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0 PSF	REF	R487-- 66506
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349006
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167117
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - TV1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

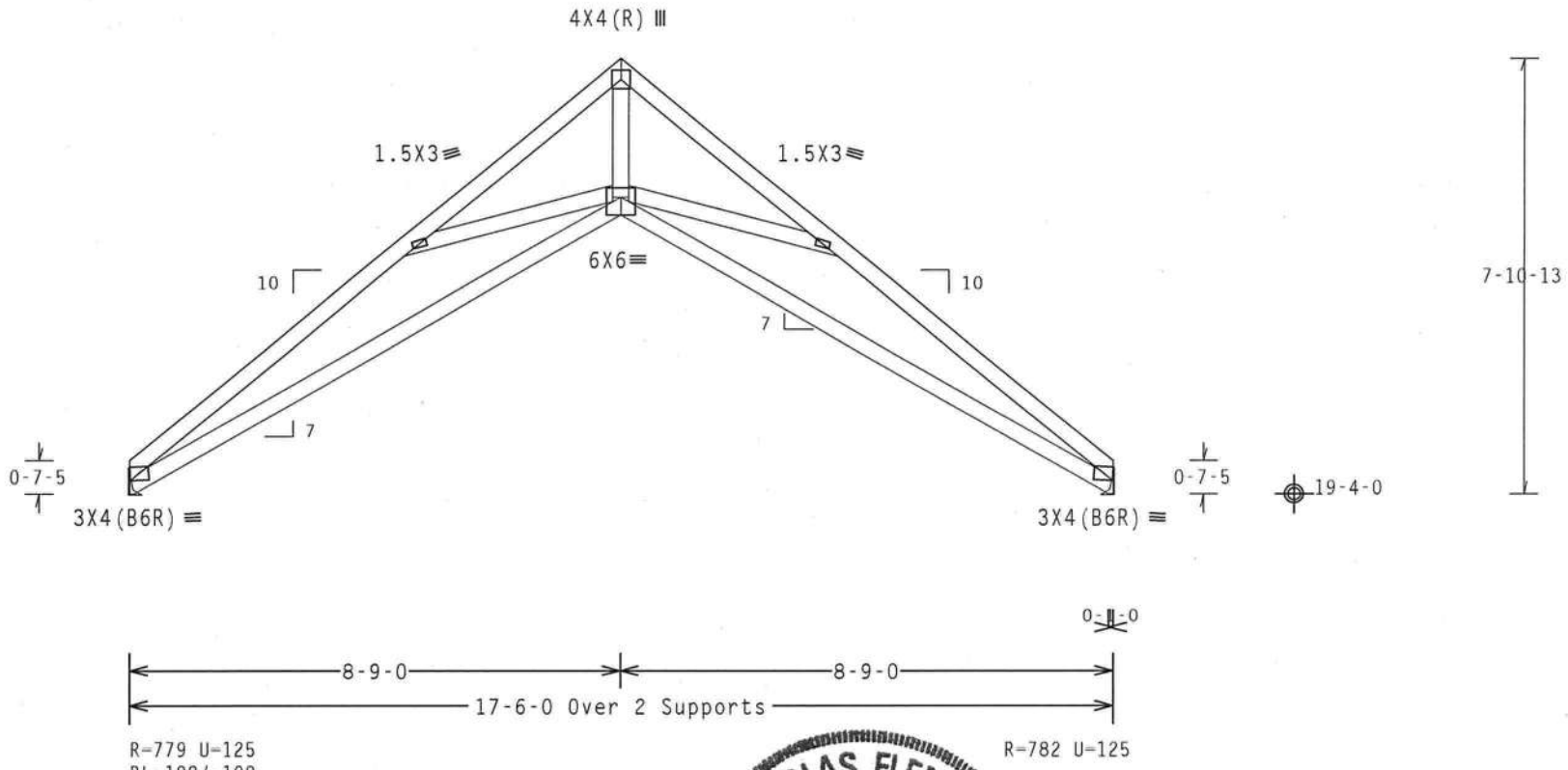
Calculated horizontal deflection is 0.19" due to live load and 0.24" due to dead load.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 23.59 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.



Design Crit: FBC2007Res/TPI-2002(STD) 9.05.03.0319.16 CTY:10 FL/-/4/-/-/R/-

PLT TYP. Wave FT/RT=10%(0%)/0(0)

Scale =.3125"/Ft.

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

TC LL	20.0 PSF	REF	R487-- 66507
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349007
BC LL	0.0 PSF		HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167528
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

(10-237--Fill in later SAMMY KEEN/SMITH -- , ** - TVGE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

Truss spaced at 24.0" OC designed to support 0-6-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

110 mph wind, 22.67 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Wind reactions based on MWFRS pressures.

Calculated horizontal deflection is 0.24" due to live load and 0.28" due to dead load.

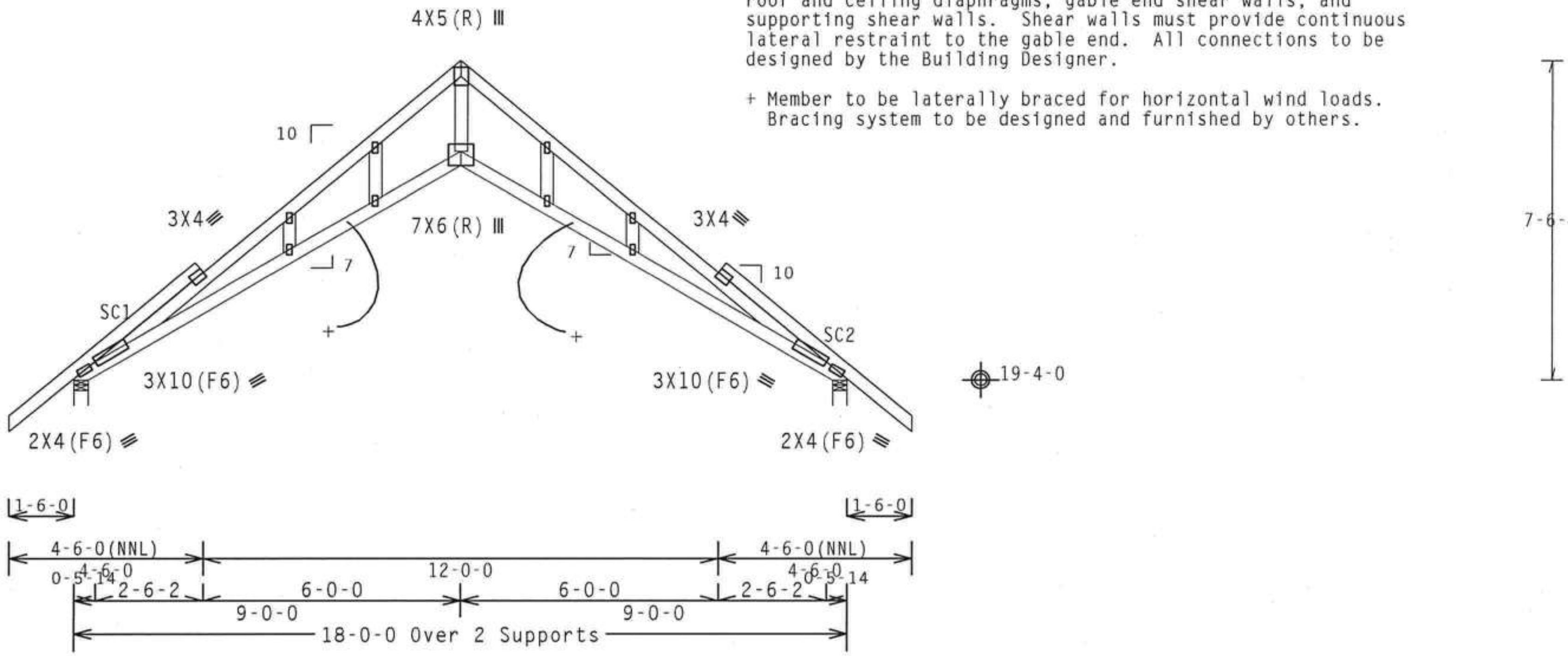
See DWGS A11030050109 & GBLLETIN0109 for more requirements.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.

+ Member to be laterally braced for horizontal wind loads. Bracing system to be designed and furnished by others.



R=910 U-143 W=4"
RL=251/-251

R=910 [illegible] 4"

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(ST[illegible]
FT/RT=10%(0%)/0(0) [illegible]9.05.03.0319.16

PLT TYP. Wave

QTY:2 FL/-/4/-/-/R/- Scale =.25"/Ft.

TC LL	20.0 PSF	REF	R487-- 66508
TC DL	10.0 PSF	DATE	12/15/10
BC DL	10.0 PSF	DRW	HCUSR487 10349008
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	167114
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U7R487_Z01

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

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DOUGLAS FLEMING
LICENSE
No. 66648
STATE OF FLORIDA
PROFESSIONAL ENGINEER

12/15/2010

NAIL SPACING DETAIL

MINIMUM SPACING FOR SINGLE BLOCK IS SHOWN. DOUBLE NAIL SPACINGS AND STAGGER NAILING FOR TWO BLOCKS. GREATER SPACING MAY BE REQUIRED TO AVOID SPLITTING.

BLOCK LOCATION, SIZE, LENGTH,GRADE AND TOTAL NUMBER AND TYPE OF NAILS ARE TO BE SPECIFIED ON SEALED DESIGN REFERENCING THIS DETAIL.

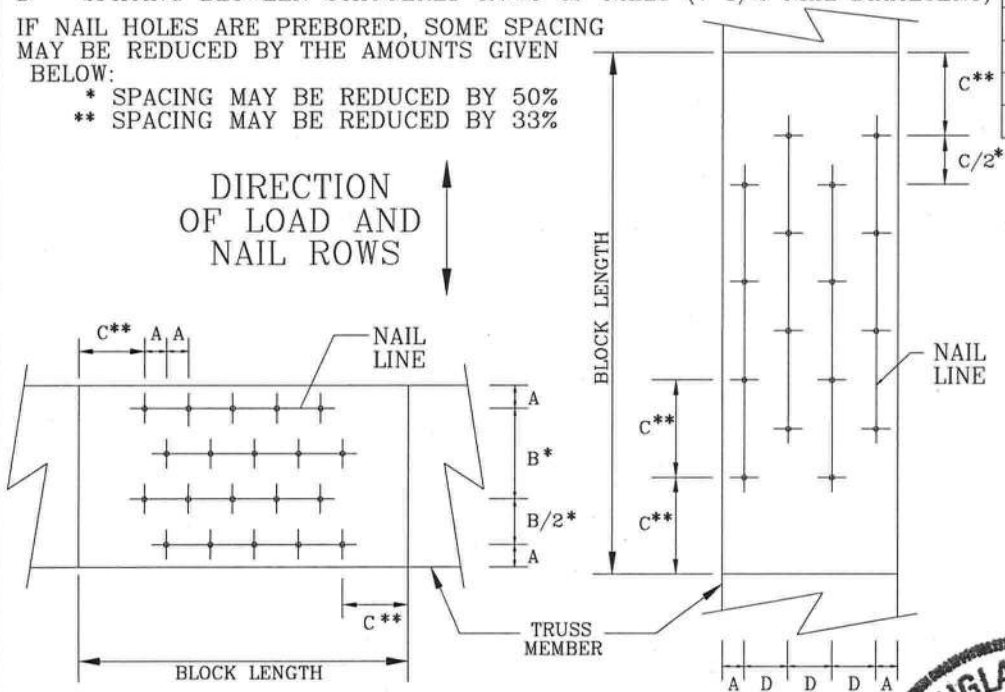
LOAD PERPENDICULAR TO GRAIN
A – EDGE DISTANCE AND SPACING BETWEEN STAGGERED ROWS OF NAILS (6 NAIL DIAMETERS)
B – SPACING OF NAILS IN A ROW (12 NAIL DIAMETERS)
C – END DISTANCE (15 NAIL DIAMETERS)

LOAD PARALLEL TO GRAIN
A – EDGE DISTANCE (6 NAIL DIAMETERS)
C – SPACING OF NAILS IN A ROW AND END DISTANCE (15 NAIL DIAMETERS)
D – SPACING BETWEEN STAGGERED ROWS OF NAILS (7 1/2 NAIL DIAMETERS)

IF NAIL HOLES ARE PREBORED, SOME SPACING MAY BE REDUCED BY THE AMOUNTS GIVEN BELOW:
* SPACING MAY BE REDUCED BY 50%
** SPACING MAY BE REDUCED BY 33%

MINIMUM NAIL SPACING DISTANCES

NAIL TYPE	DISTANCES A	B*	C**	D
8d BOX (0.113"X 2.5",MIN)	3/4"	1 3/8"	1 3/4"	7/8"
10d BOX (0.128"X 3.",MIN)	7/8"	1 5/8"	2"	1"
12d BOX (0.128"X 3.25",MIN)	7/8"	1 5/8"	2"	1"
16d BOX (0.135"X 3.5",MIN)	7/8"	1 5/8"	2 1/8"	1 1/8"
20d BOX (0.148"X 4.",MIN)	1"	1 7/8"	2 1/4"	1 1/8"
8d COMMON (0.131"X 2.5",MIN)	7/8"	1 5/8"	2"	1"
10d COMMON (0.148"X 3.",MIN)	1"	1 7/8"	2 1/4"	1 1/8"
12d COMMON (0.148"X 3.25",MIN)	1"	1 7/8"	2 1/4"	1 1/8"
16d COMMON (0.162"X 3.5",MIN)	1'	2"	2 1/2"	1 1/4"
GUN (0.120"X 2.5",MIN)	3/4"	1 1/2"	1 7/8"	1"
GUN (0.131"X 2.5",MIN)	7/8"	1 5/8"	2"	1"
GUN (0.120"X 3.",MIN)	3/4"	1 1/2"	1 7/8"	1"
GUN (0.131"X 3.",MIN)	7/8"	1 5/8"	2"	1"



LOAD APPLIED PERPENDICULAR TO GRAIN LOAD APPLIED PARALLEL TO GRAIN

ITW Building Components Group Inc.

Earth City, MO 63045

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IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBCG connector plates are made of 20/18/16GA (W,H/S/K) ASTM A653 grade 33/40/60 (K/W/H,S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANST/TPI 1 Sec. 2.
ITW-BCG: www.itwbcg.com; TPI: www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

DEC 15 '10
12/15/2010

REF	NAIL SPACE
DATE	1/1/09
DRWG	CNNAILSP0109

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE. FOR MINIMUM ALTERNATIVE BRACING, RE-RUN DESIGN WITH APPROPRIATE BRACING.

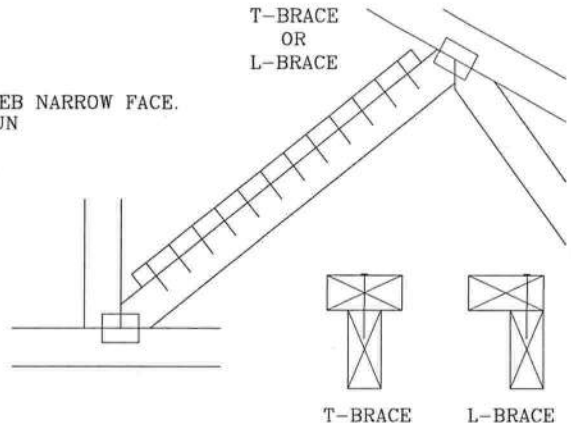
WEB MEMBER SIZE	SPECIFIED CLB BRACING	ALTERNATIVE BRACING T OR L-BRACE	ALTERNATIVE BRACING SCAB BRACE
2X3 OR 2X4	1 ROW	2X4	1-2X4
2X3 OR 2X4	2 ROWS	2X6	2-2X4
2X6	1 ROW	2X4	1-2X6
2X6	2 ROWS	2X6	2-2X4(*)
2X8	1 ROW	2X6	1-2X8
2X8	2 ROWS	2X6	2-2X6(*)

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.

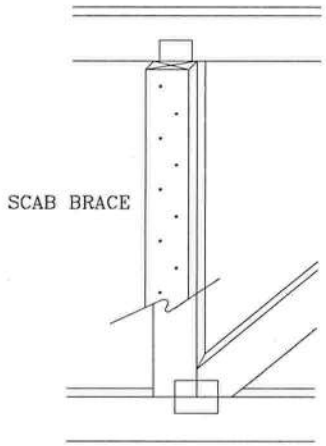
T-BRACING OR L-BRACING:

APPLY TO EITHER SIDE OF WEB NARROW FACE.
ATTACH WITH 10d BOX OR GUN (0.128"x 3.",MIN) NAILS.
AT 6" O.C.
BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB.
NO MORE THAN (1) SCAB PER FACE.
ATTACH WITH 10d BOX OR GUN (0.128"x 3.",MIN) NAILS.
AT 6" O.C.
BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



Building Components Group Inc.

Earth City, MO 63045

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

DEC 15 '10

12/15/2010

TC LL	PSF	REF	CLB SUBST.
TC DL	PSF	DATE	1/1/09
BC DL	PSF	DRWG	BRCLBSUB0109
BC LL	PSF		
TOT. LD.	PSF		
DUR. FAC.			
SPACING			

GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 30' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE *		(1) 2X4 "L" BRACE *		(2) 2X4 "L" BRACE **		(1) 2X6 "L" BRACE *		(2) 2X6 "L" BRACE **	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
24" O.C.	SPF HF	#1 / #2	3' 8"	6' 4"	6' 6"	7' 6"	7' 8"	8' 11"	9' 2"	11' 9"	12' 1"	14' 0"	14' 0"
		#3	3' 7"	5' 5"	5' 5"	7' 2"	7' 2"	8' 11"	8' 11"	11' 2"	11' 2"	14' 0"	14' 0"
		STUD	3' 7"	5' 5"	5' 5"	7' 1"	7' 1"	8' 11"	8' 11"	11' 1"	11' 1"	14' 0"	14' 0"
		STANDARD	3' 7"	4' 8"	4' 8"	6' 1"	6' 1"	8' 3"	8' 3"	9' 6"	9' 6"	12' 11"	12' 11"
	SP DFL	#1	4' 0"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"
		#2	3' 11"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"
		#3	3' 9"	5' 7"	5' 7"	7' 4"	7' 4"	8' 11"	9' 5"	11' 5"	11' 5"	14' 0"	14' 0"
		STUD	3' 9"	5' 6"	5' 6"	7' 3"	7' 3"	8' 11"	9' 5"	11' 4"	11' 4"	14' 0"	14' 0"
		STANDARD	3' 8"	4' 9"	4' 9"	6' 3"	6' 3"	8' 5"	8' 5"	9' 9"	9' 9"	13' 3"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 2"	7' 3"	7' 5"	8' 7"	8' 10"	10' 3"	10' 6"	13' 5"	13' 10"	14' 0"	14' 0"
		#3	4' 1"	6' 8"	6' 8"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
		STUD	4' 1"	8' 0"	8' 0"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
		STANDARD	4' 1"	5' 8"	5' 8"	7' 6"	7' 6"	10' 1"	10' 1"	11' 8"	11' 8"	14' 0"	14' 0"
	SP DFL	#1	4' 7"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"
		#2	4' 6"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	6' 10"	6' 10"	8' 7"	9' 0"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	6' 9"	6' 9"	8' 7"	8' 11"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 2"	5' 10"	5' 10"	7' 8"	7' 8"	10' 3"	10' 4"	11' 11"	11' 11"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 7"	8' 0"	8' 2"	9' 5"	9' 8"	11' 3"	11' 7"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 6"	6' 7"	6' 7"	8' 8"	8' 8"	11' 3"	11' 3"	13' 6"	13' 6"	14' 0"	14' 0"
	SP DFL	#1	5' 1"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 11"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	7' 11"	7' 11"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	7' 9"	7' 9"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 7"	6' 9"	6' 9"	8' 10"	8' 10"	11' 3"	11' 7"	13' 10"	13' 10"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR	
#1 / #2	STANDARD
#3	STUD

HEM-FIR	
#2	STUD
#3	STANDARD

DOUGLAS FIR-LARCH
#3
STUD
STANDARD

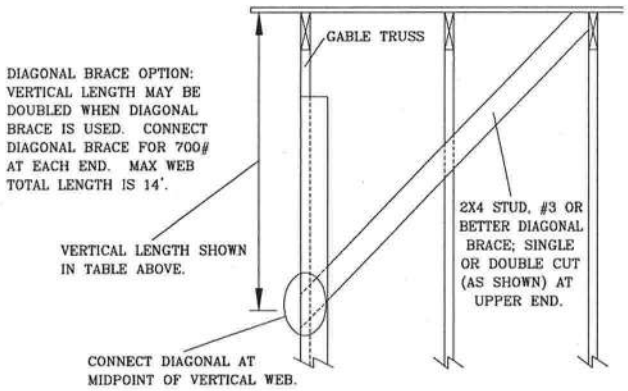
SOUTHERN PINE
#3
STUD
STANDARD

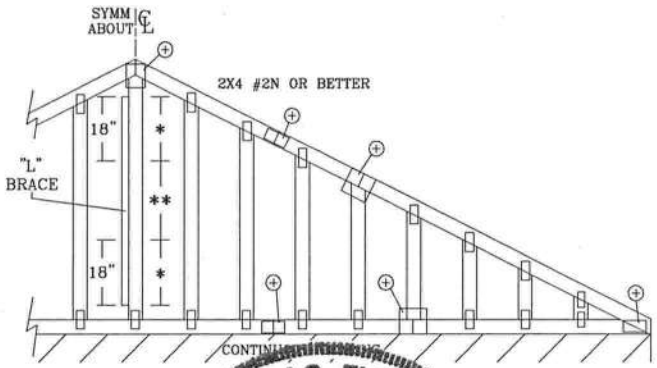
GROUP B:

HEM-FIR
#1 & BTR
#1

SOUTHERN PINE
#1
#2

DOUGLAS FIR-LARCH
#1
#2





REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 100 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS. (0.128"x3" min)

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.

** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

ITW Building Components Group Inc.

Earth City, MO 63045

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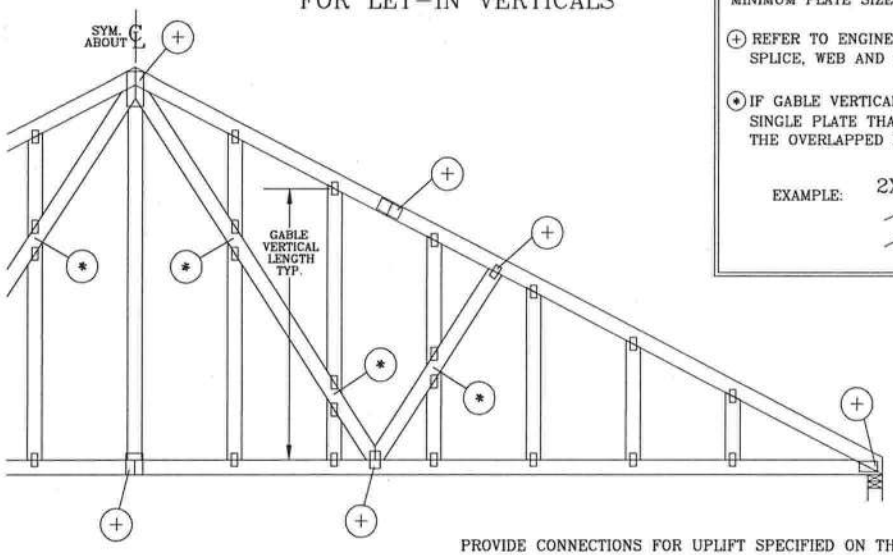
DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER
12/15/2010

MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF ASCE7-05-GAB11030
DATE 1/1/09
DRWG A11030050109

GABLE DETAIL
FOR LET-IN VERTICALS



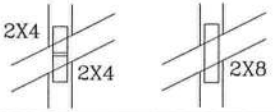
GABLE TRUSS PLATE SIZES

REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

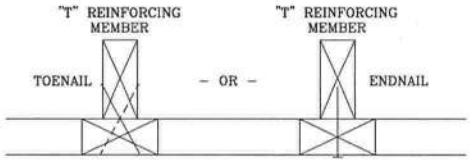
⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

⊛ IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE:



"T" REINFORCEMENT ATTACHMENT DETAIL



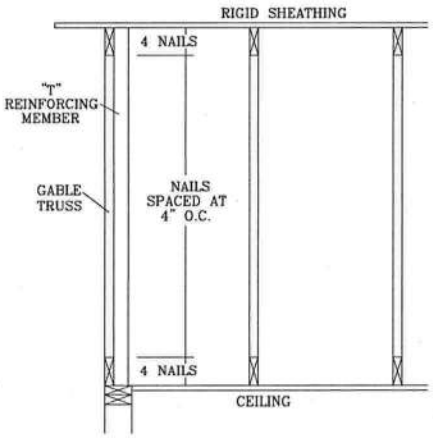
TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:
ASCE WIND SPEED = 100 MPH
MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00
GABLE VERTICAL = 24" O.C. SP #3
"T" REINFORCING MEMBER SIZE = 2X4
"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10
(1) 2X4 "L" BRACE LENGTH = 6' 7"
MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH
1.10 x 6' 7" = 7' 3"



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH
END DRIVEN NAILS:
10d COMMON (0.148"X 3.",MIN) NAILS AT 4" O.C. PLUS
(4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:
10d COMMON (0.148"x3",MIN) TOENAILS AT 4" O.C. PLUS
(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE WIND LOAD.
ASCE 7-98 GABLE DETAIL DRAWINGS
A13015980109, A12015980109, A11015980109, A10015980109,
A13030980109, A12030980109, A11030980109, A10030980109
ASCE 7-02 GABLE DETAIL DRAWINGS
A13015020109, A12015020109, A11015020109, A10015020109, A14015020109,
A13030020109, A12030020109, A11030020109, A10030020109, A14030020109
ASCE 7-05 GABLE DETAIL DRAWINGS
A13015050109, A12015050109, A11015050109, A10015050109, A14015050109,
A13030050109, A12030050109, A11030050109, A10030050109, A14030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

Dec 15 '10

12/15/2010

Building Components Group Inc.

Earth City, MO 63045

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MAX TOT. LD. 60 PSF
DUR. FAC. ANY
MAX SPACING 24.0"

REF	LET-IN VERT
DATE	1/1/09
DRWG	GBLLETIN0109

GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE *		(1) 2X4 "L" BRACE *		(2) 2X4 "L" BRACE **		(1) 2X6 "L" BRACE *		(2) 2X6 "L" BRACE **	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
24" O.C.	SPF HF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
	SP DFL	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
	SP DFL	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	SP DFL	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	5' 0"	8' 5"	8' 7"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR	
#1 / #2	STANDARD
#3	STUD

HEM-FIR	
#2	STUD
#3	STANDARD

DOUGLAS FIR-LARCH
#3
STUD
STANDARD

SOUTHERN PINE
#3
STUD
STANDARD

GROUP B:

HEM-FIR
#1 & BTR
#1

SOUTHERN PINE
#1
#2

DOUGLAS FIR-LARCH
#1
#2

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

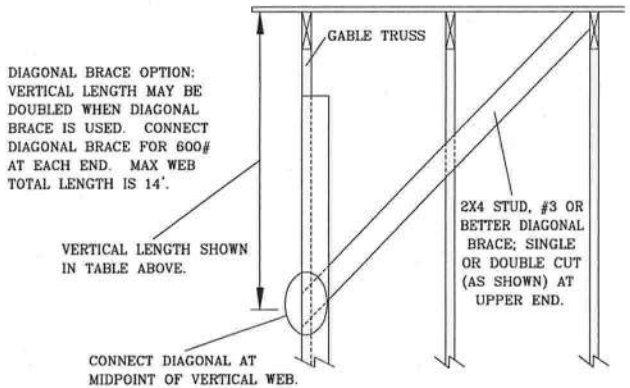
GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

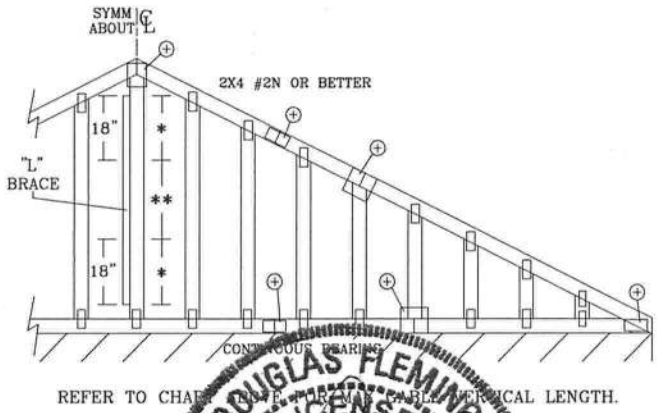
ATTACH EACH "L" BRACE WITH 10d NAILS. (0.128"x3" min)

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.

** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.





REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

Dec 15 '10 12/15/2010

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Earth City, MO 63045

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MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF ASCE7-05-GAB11015

DATE 1/1/09

DRWG A11015050109

120 PIGGYBACK DETAIL

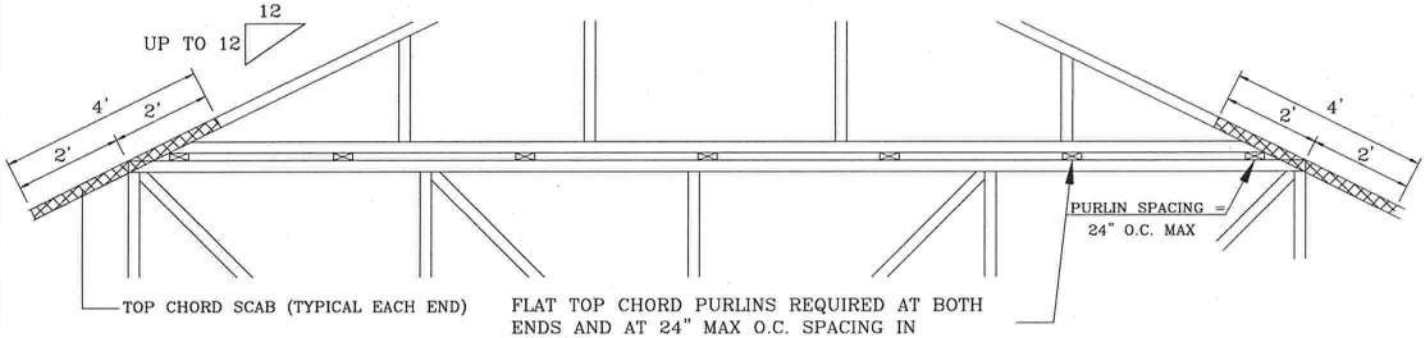
UP TO 120 MPH WIND, 30.00 FT MEAN HGT, ASCE 7-02 OR ASCE 7-05, ENCLOSED BLDG. LOCATED ANYWHERE IN ROOF, CAT II, EXP C, WIND DL= 5.0 PSF (MIN), Kzt=1.0.

MAXIMUM TRUSS SPACING IS 24" O.C.
DETAIL IS NOT APPLICABLE IF CAP SUPPORTS ADDITIONAL LOADS SUCH AS CUPOLA, STEEPLE, CHIMNEY OR DRAG STRUT LOADS.

NOTE: TOP CHORDS OF TRUSSES SUPPORTING PIGGYBACK CAP TRUSSES MUST BE ADEQUATELY BRACED BY SHEATHING OR PURLINS. THE BUILDING ENGINEER OF RECORD SHALL PROVIDE DIAGONAL BRACING OR ANY OTHER SUITABLE ANCHORAGE TO PERMANENTLY RESTRAIN PURLINS, AND LATERAL BRACING FOR OUT OF PLANE LOADS OVER GABLE ENDS.

** REFER TO ENGINEER'S SEALED TRUSS DESIGN DRAWING FOR PIGGYBACK AND BASE TRUSS SPECIFICATIONS.

DETAIL A : PURLIN SPACING = 24" O.C. OR LESS



PIGGYBACK CAP TRUSS SLANT NAILED TO ALL TOP CHORD PURLIN BRACING WITH (2) 16d BOX NAILS (0.135"x3.5") AND SECURE TOP CHORD WITH 2x4 #3 GRADE SCAB (1 SIDE ONLY AT EACH END) ATTACHED WITH 2 ROWS OF 10d BOX NAILS (0.128"x3") AT 4" O.C.

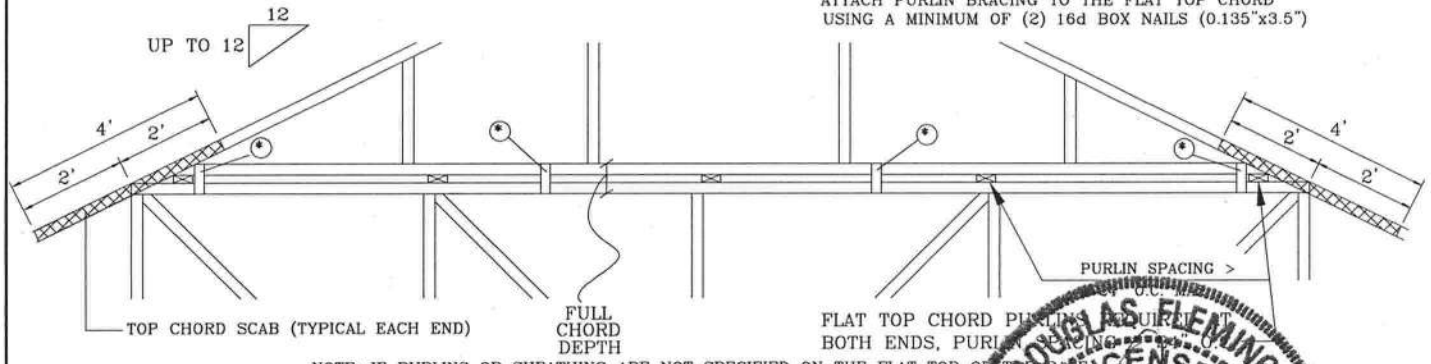
ATTACH PURLIN BRACING TO THE FLAT TOP CHORD USING (2) 16d BOX NAILS (0.135"x3.5")

THE TOP CHORD #3 GRADE 2x4 SCAB MAY BE REPLACED WITH EITHER OF THE FOLLOWING: (1) 3x8 TRULOX PLATE ATTACHED WITH (8) 0.120"x1.375" NAILS, (4) INTO CAP TC & (4) INTO BASE TRUSS TC OR (1) 28PB WAVE PIGGYBACK PLATE PLATED TO THE PIGGYBACK TRUSS TC AND ATTACHED TO THE BASE TRUSS TC WITH (4) 0.120"x1.375" NAILS. NOTE: NAILING THRU HOLES OF WAVE PLATE IS ACCEPTABLE.

DETAIL B : PURLIN SPACING > 24" O.C.

PIGGYBACK CAP TRUSS SLANT NAILED TO ALL TOP CHORD PURLIN BRACING WITH (2) 16d BOX NAILS (0.135"x3.5") AND SECURE TOP CHORD WITH 2x4 #3 GRADE SCAB (1 SIDE ONLY AT EACH END) ATTACHED WITH 2 ROWS OF 10d BOX NAILS (0.128"x3") AT 4" O.C.

ATTACH PURLIN BRACING TO THE FLAT TOP CHORD USING A MINIMUM OF (2) 16d BOX NAILS (0.135"x3.5")



NOTE: IF PURLINS OR SHEATHING ARE NOT SPECIFIED ON THE FLAT TOP OF THE BASE TRUSS, PURLINS MUST BE INSTALLED AT 24" O.C. MAX. AND USE DETAIL A.

* IN ADDITION, PROVIDE CONNECTION WITH ONE OF THE FOLLOWING METHODS:

TRULOX
USE 3x8 TRULOX PLATES FOR 2x4 CHORD MEMBER, AND 3x10 TRULOX PLATES FOR 2x6 AND LARGER CHORD MEMBERS. ATTACH TO EACH FACE @ 8' O.C. WITH (4) 0.120"x1.375" NAILS INTO CAP BOTTOM CHORD AND (4) IN BASE TRUSS TOP CHORD. TRULOX PLATES MAY BE STAGGERED 4' O.C. FRONT TO BACK FACES.

APA RATED GUSSET
8"x8"x7/16" (MIN) APA RATED SHEATHING GUSSETS (EACH FACE). ATTACH @ 8' O.C. WITH (8) 6d COMMON (0.113"x2") NAILS PER GUSSET, (4) IN CAP BOTTOM CHORD AND (4) IN BASE TRUSS TOP CHORD. GUSSETS MAY BE STAGGERED 4' O.C. FRONT TO BACK FACES.

2x4 VERTICAL SCABS
2x4 SPF#2, FULL CHORD DEPTH SCABS (EACH FACE). ATTACH @ 8' O.C. WITH (6) 10d BOX NAILS (0.128"x3") PER SCAB, (3) IN CAP BOTTOM CHORD AND (3) IN BASE TRUSS TOP CHORD. SCABS MAY BE STAGGERED 4' O.C. FRONT TO BACK FACES

28PB WAVE PIGGYBACK PLATE
ONE 28PB WAVE PIGGYBACK PLATE TO EACH FACE @ 8' O.C. ATTACH TEETH TO PIGGYBACK AT TIME OF FABRICATION. ATTACH TO SUPPORTING TRUSS WITH (4) 0.120"x1.375" NAILS PER FACE PER PLY. PIGGYBACK PLATES MAY BE STAGGERED 4' O.C. FRONT TO BACK FACES.

ITW
Building Components Group Inc.
Earth City, MO 63045

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DOUGLAS FLEMING LICENSE No. 66648 STATE OF FLORIDA PROFESSIONAL ENGINEER

DES 12/15/2010

REF	PIGGYBACK
DATE	03/15/10
DRWG	PB1200310
SPACING	24.0"

Columbia County Building Department
Flood Development Permit

Development Permit
F 023- 11-002

DATE 02/16/2011 BUILDING PERMIT NUMBER 000029188

APPLICANT PAMELA I. SMITH PHONE 786-368-3707

ADDRESS 91 SAN JUAN DR. C-4 PONTE VEDRA BEACH FL 32082

OWNER PAMELA I. SMITH PHONE 786-368-3707

ADDRESS 268 SW LANGELIER DRIVE FORT WHITE FL 32038

CONTRACTOR OWNER BUILDER PHONE

ADDRESS FL

SUBDIVISION RIVER FRONT UNREC. Lot 6 Block Unit Phase

TYPE OF DEVELOPMENT SFD, UTILITY PARCEL ID NO. 36-7S-16-04351-026

FLOOD ZONE AE F BY BK 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 0533C

FIRM 100 YEAR ELEVATION 39.3' PLAN INCLUDED (YES) or NO

REQUIRED LOWEST HABITABLE FLOOR ELEVATION 40.3'

IN THE REGULATORY FLOODWAY (YES) or NO RIVER Santa fe

SURVEYOR / ENGINEER NAME Brett Crews LICENSE NUMBER 65592

____ ONE FOOT RISE CERTIFICATION INCLUDED

_✓_ ZERO RISE CERTIFICATION INCLUDED

_✓_ SRWMD PERMIT NUMBER ERP 10-0078M
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED

INSPECTED DATE BY

COMMENTS

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160

SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT
9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-228-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:
LANCE SCOTT & PAMELA SMITH
91 SAN JUAN DRIVE C-4
PONTE VEDRA BEACH, FL 32082

PERMIT NUMBER: ERP10-0078M
DATE ISSUED: 02/04/2011
DATE EXPIRES: 02/04/2014
COUNTY: COLUMBIA
TRS: S36/T7S/R16E

PROJECT: P. SMITH DISTRICT FLOODWAY MODIFICATION

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

LANCE SCOTT & PAMELA SMITH
91 SAN JUAN DR. C-4
PONTE VEDRA BEACH, FL 32082

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

This permit authorizes a 3765 square foot single family residence within the regulatory floodway of the Santa Fe River. The project will be completed in a manner consistent with the application package received by the District from Mark Disoway P.E. on January 20, 2011; and subject to conditions of District rule(s) 40B-4.3030, F.A.C.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.

2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.

3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.

4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance

criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance

documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;

b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including

cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;

d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;

e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;

f. Existing water elevation(s) and the date determined; and

g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other

lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by _____ Date Approved 2/4/11
District Staff

_____ _____
Clerk Executive Director

SUWANNEE RIVER WATER MANAGEMENT DISTRICT

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.

2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.

3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.

4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.

6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

LANCE SCOTT & PAMELA SMITH
91 SAN JUAN DRIVE C-4
PONTE VEDRA BEACH, FL 32082

At 4:00 p.m. this 9 day of Feb, 2011.

Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49
Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP10-0078M

27
2590

Prepared by
Virginia McCormac, an employee of
First American Title Insurance Company
2632 Northwest 43rd Street, Building C
Gainesville, Florida 32606
(352)336-0440

Return to: Grantee

File No.: 1094-1713311

Inst:200712020583 Date:9/11/2007 Time:2:14 PM
Doc Stamp-Deed:2590.00
DC,P DeWitt Cason,Columbia County Page 1 of 3

WARRANTY DEED

This indenture made on **September 04, 2007** A.D., by

Frederick W. Fey and Kathryn M. Fleming, husband and wife

whose address is: **268 SW Langelier Dr., Ft. White, FL 32038**
hereinafter called the "grantor", to

Lance Scott and Pamela I. Smith, husband and wife

whose address is: **9147 SW 130 Lane, Miami, FL 33176**
hereinafter called the "grantee":
(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, ($10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Columbia** County, **Florida**, to-wit:

Lot 6 of River Front, an unrecorded subdivision:

A parcel of land lying in Section 36, Township 7 South, Range 16 East, Columbia County, Florida. More particularly described as follows:

Commence at the Southwest corner of the NE 1/4 of said Section 36, and run thence N 01 deg. 05 min. 20 sec. West, along the West line of said NE 1/4, a distance of 400.00 feet to the North line of a 30 foot easement; thence S 79 deg. 30 min. 01 sec. East, along said North line, 1486.33 feet to the Point of Beginning; thence continue S 79 deg. 30 min. 01 see. East along said North line 297.00 feet; thence S 00 deg. 35 min. 16 sec. East, 1552.27 feet to a concrete monument stamped P.L.S. No. 1079; thence continue S 00 deg. 35 min. 16 sec. East, 50 feet, more or less, to the most Northerly water's edge of the "Santa Fe River"; thence Westerly along and with the meander of said water's edge 305 feet, more or less, to a point of bearing S 00 deg. 37 min. 22 sec. East, from the Point of Beginning; thence N 00 deg. 37 min. 22 sec. West, 50 feet, more or less, to a concrete monument stamped P.L.S. No. 1079; thence continue N 00 deg. 37 min. 22 sec. West, 1514.68 feet to the point of Beginning. Containing 10.5 acres, more or less.

Subject to an easement over and across the Northerly 30 feet thereof.

Together with the rights of easement for ingress and egress over and across a 30 foot wide strip of land whose centerline is more particularly described as follows: Commence at the Northwest corner of Section 36, Township 7 South, Range 16 East and run S 01 deg. 06 min. 31 sec. East, along the West line thereof 1043.92 feet for a Point of Beginning for said easement centerline. Thence run N 79 deg. 54 min. 20 sec. East, 1171.61 feet; thence S 87 deg. 28 min. 48 sec. East, 1451.20 feet; thence S 01 deg. 05 min. 20 sec. East, parallel with the East line of the NW 1/4 of said Section 36, 1256.07 feet; thence S79 deg. 30 min. 01 sec. East, 2392.64 feet to the point of termination of said centerline.

SUBJECT TO: Easement over and across the Northerly 30 feet of the property as described in O.R. Book 554, page 105.

SUBJECT TO: Restrictions as recorded in OR. Book 548, page 348.

Property Appraisers Parcel I.D. Number: 36-7S-16-04351-[redacted]. 026

Subject to that certain mortgage from Frederick W. Fey and Kathryn M. Fleming aka Kathryn M. Fey, husband and wife, in favor or Capital City Bank, recorded 1/12/2007 in OR Book 1107, page 2198, public records of Columbia County, Florida. Grantee specifically DOES NOT assume or agree to pay above described mortgage.

Parcel Identification Number: **R04351-[redacted]** 026

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2006.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

Frederick W. Fey

Kathryn M. Fleming

Signed, sealed and delivered in our presence:

Witness Signature

Print Name: Virginia E. McCormac

Witness Signature

Print Name: J W Edge

State of **FL**

County of **Alachua**

The Foregoing Instrument Was Acknowledged before me on **September 04, 2007**, by **Frederick W. Fey and Kathryn M. Fleming, husband and wife** who is/are personally known to me or who has/have produced a valid driver's license as identification.

NOTARY PUBLIC

V. E. MCCORMAC
Notary Public - State of Florida
My Commission Expires Aug 14, 2009
Commission # DD 420798
Bonded By National Notary Assn.

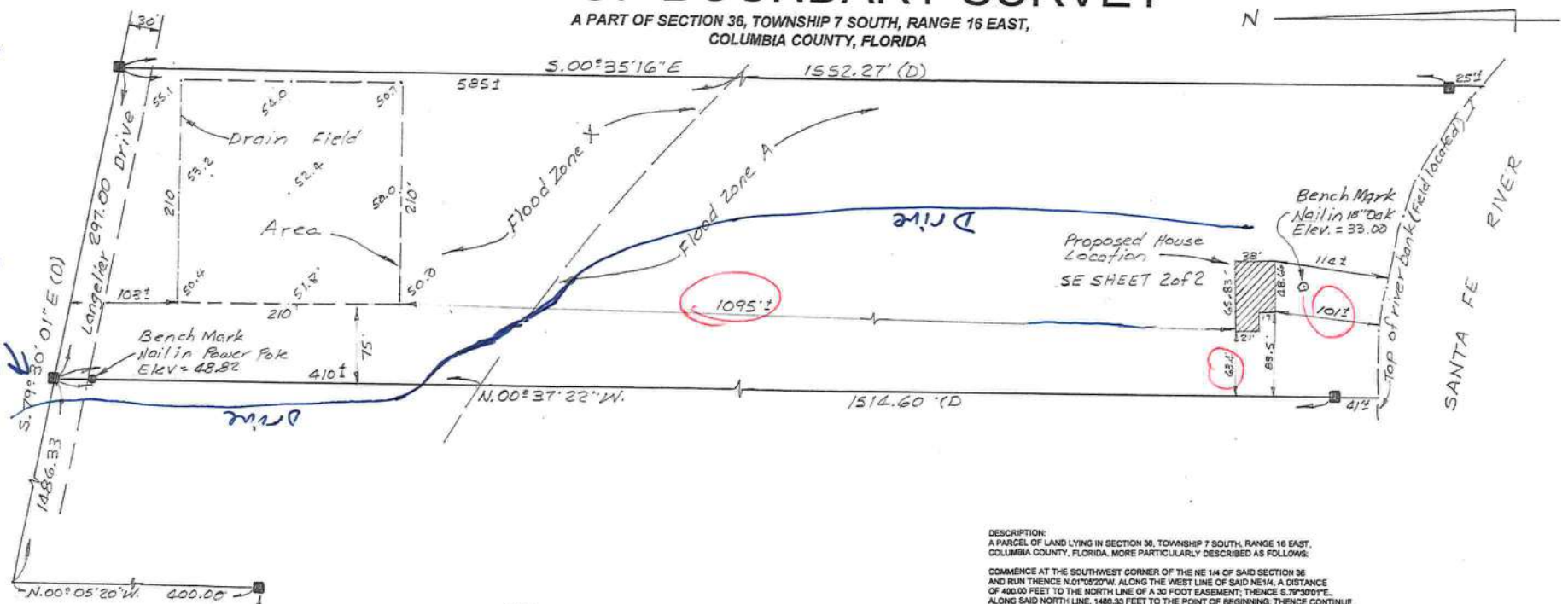
Notary Print Name

My Commission Expires: _____

MAP OF BOUNDARY SURVEY

A PART OF SECTION 36, TOWNSHIP 7 SOUTH, RANGE 16 EAST,
COLUMBIA COUNTY, FLORIDA

Existing Drive - Using Same



NOTES:

1. BEARINGS HEREON ARE REFERRED TO N.00°37'22"W. on the west Property line
2. NO UNDERGROUND UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. FENCES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND NOT TO SCALE.
5. PROPERTY LINES SHOULD NOT BE RECONSTRUCTED BASED ON DISTANCES TO IMPROVEMENTS.
6. NO INSTRUMENTS OF RECORD REFLECTING EASMENTS, RIGHT OF WAYS, AND / OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN, AND NO SEARCH OF THE PUBLIC RECORDS HAS BEEN DONE BY THE SURVEYOR.
7. BUILDING SETBACKS SHOWN HEREON WERE TAKEN FROM THE RECORD PLAT OR INFORMATION FURNISHED TO THE SURVEYOR ONLY, THEREFORE, IF NO BUILDING SETBACKS ARE SHOWN ON THIS MAP, THEN THE RECORD PLAT DID NOT REFLECT ANY SETBACKS AND NO INFORMATION WAS FURNISHED. THIS IS NOT TO IMPLY THERE ARE NO BUILDING SETBACKS ON THE PROPERTY SHOWN HEREON.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THIS SURVEY IS CERTIFIED ONLY TO THE SURVEY DATE AND NOT THE SIGNING DATE.
10. INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS, SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LAWYER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.

LEGEND:

- ■ = 4"x4" CONC. MONUMENT FOUND (NO IDENT. UNLESS SHOWN)
- ● = 1/2" IRON ROD FOUND
- ○ = 1/2" IRON ROD SET MARKED "P.L.S. 1824"
- (P) = PLAT
- (M) = MEASURED
- (D) = DESCRIPTION
- (C) = CALCULATED
- D = DELTA (CENTRAL ANGLE)
- R = RADIUS
- A = ARC LENGTH
- PC = POINT-OF-CURVATURE
- PT = POINT-OF-TANGENCY
- IDENT = IDENTIFICATION
- (RB) = REFERENCE BEARING
- POC = POINT-OF-COMMENCEMENT
- POB = POINT-OF-BEGINNING
- PUE = PUBLIC UTILITY EASEMENT
- CH = CHORD
- BSL = BUILDING SET BACK LINE
- -E- = OVER HEAD ELECTRIC LINE

NOTE:
THIS PROPERTY IS LOCATED IN FLOOD ZONE "A" AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED. AND FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER COMMUNINTY PANEL 120070 0270 B, EFFECTIVE 01-06-88.

DESCRIPTION:
A PARCEL OF LAND LYING IN SECTION 36, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF SAID SECTION 36 AND RUN THENCE N.01°05'20"W. ALONG THE WEST LINE OF SAID NE1/4, A DISTANCE OF 400.00 FEET TO THE NORTH LINE OF A 30 FOOT EASEMENT; THENCE S.79°30'01"E., ALONG SAID NORTH LINE, 1486.33 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.79°30'01"E. ALONG SAID NORTH LINE 297.00 FEET; THENCE S.00°35'16"E., 1552.27 FEET TO A CONCRETE MONUMENT STAMPED P.L.S. NO.1079, THENCE CONTINUE S.00°35'16"E., 50 FEET, MORE OR LESS TO THE MOST NORTHERLY WATERS EDGE OF THE "SANTA FE RIVER", THENCE WESTERLY ALONG AND WITH THE MEANDER OF SAID WATER'S EDGE 305 FEET MORE OR LESS, TO A POINT OF BEARING S.00°37'22"E., FROM THE POINT OF BEGINNING, THENCE N.00°37'22"W., 50 FEET MORE OR LESS TO A CONCRETE MONUMENT STAMPED P.L.S. NO. 1079; THENCE CONTINUE N.00°37'22"W., 1514.60 FEET TO THE POINT OF BEGINNING. CONTAINING 10.5 ACRES, MORE OR LESS. TOGETHER WITH THE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS A 30 FOOT WIDE STRIP OF LAND WHOSE CENTERLINE IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTH WEST CORNER OF SECTION 36, TOWNSHIP 7 SOUTH, RANGE 16 EAST AND RUN S.01°06'36"E., ALONG THE WEST LINE THEREOF, 1043.92 FEET FOR A POINT OF BEGINNING FOR SAID EASEMENT CENTERLINE, THENCE RUN N.79°54'29"E., 1171.61 FEET; THENCE S.87°28'48"E., 1451.20 FEET; THENCE S.01°05'20"E., PARALLEL WITH THE EAST LINE OF THE NW1/4 OF SAID SECTION 36, 1298.07 FEET; THENCE S.79°30'01"E., 2392.84 FEET TO THE POINT OF TERMINATION OF SAID CENTERLINE, SUBJECT TO AN EASEMENT OVER AND ACROSS THE NORTHERLY 30 FEET THEREOF.

sheet 1 of 2

PREPARED BY:
WAYNE CHANCE
PROFESSIONAL LAND SURVEYORS
9715 NW. 143rd STREET
ALACHUA, FLORIDA 32615
352-538-2276

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

FLORIDA LICENSE NO. 1824
CERTIFICATE OF AUTHORIZATION NO.6806

WAYNE CHANCE, P.L.S
PROFESSIONAL LAND SURVEYOR
SIGNING DATE: 12/30/10

NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

CERTIFIED TO:
LANCE SCOTT
PAMELA I. SMITH

SCALE:	1" = 100'
PROJ. NO.	10-045
DRAWN:	
CHK'D:	W.C
DWG. NAME:	
SURVEY DATE:	12/29/10
FIELD BOOK:	628
PAGES:	37-39

CES

Crews Engineering Services, LLC

PAMELA SMITH & LANCE SCOTT

ZERO RISE CERTIFICATION PACKAGE

DECK & HOUSE

1-7-2010

Brett A. Crews, P.E. 65592
Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
Ph. 386.623.4413
Auth # 28022
brett@crewsengineeringservices.com

TABLE OF CONTENTS

CES
Crews Engineering Services, LLC

Crews Engineering Services, LLC
P.O. Box 970
Lake City, FL 32056
Ph: 386.623.4413
brett@crewsengineeringservices.com

January 7, 2011

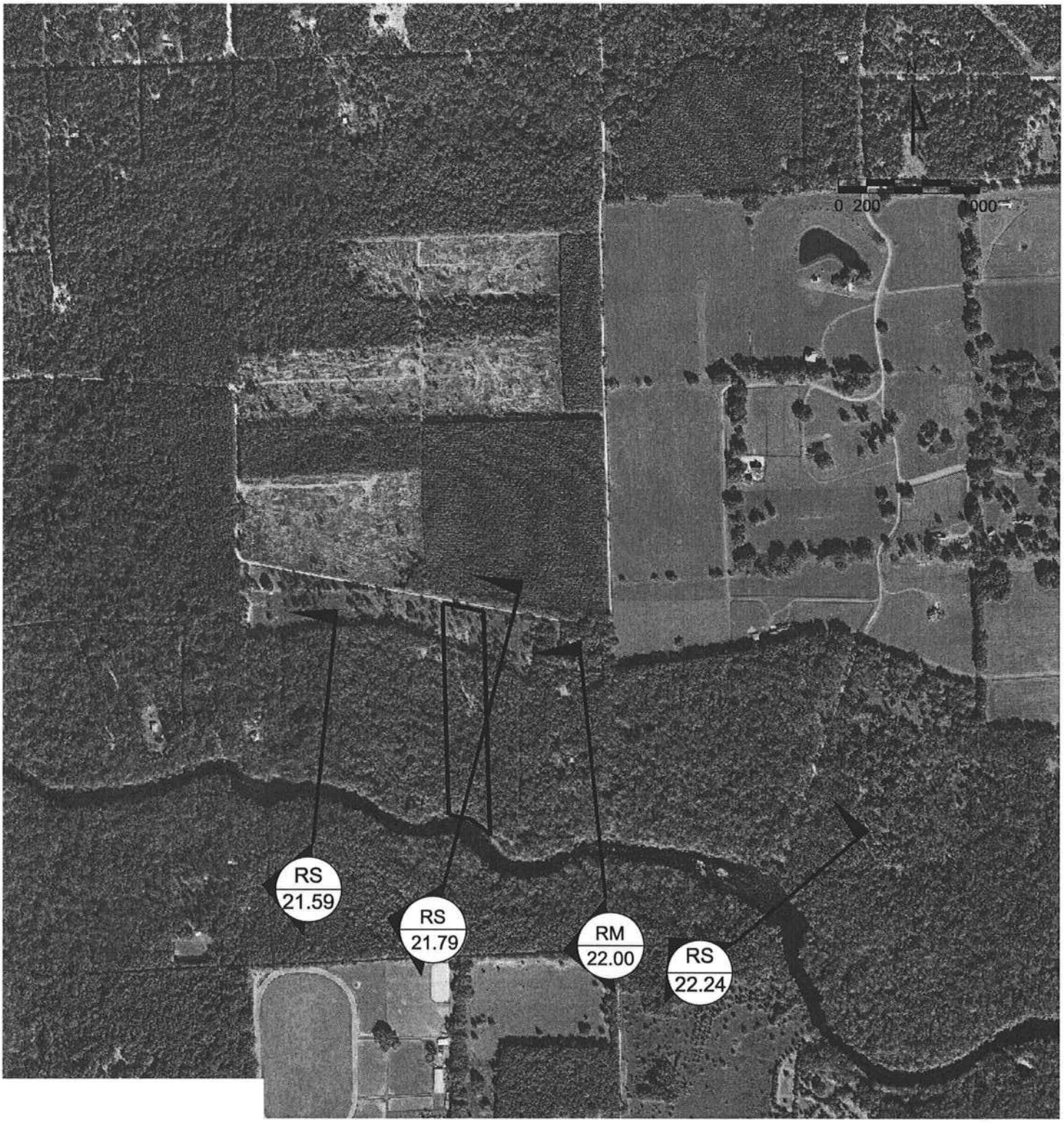
Zero Rise Certification

Client / Owner:	Pamela I. Smith & Lance Scott
Property Description:	Lot 6, Unrecorded Subdivision Section 36, Township 7 South, Range 16 East Columbia County, FL
Structure in Floodway:	12' x 6' Deck with 4' x 12' Walkway and 75' x 40' House
River Mile:	21.79
Elevation of 100 yr flood:	39.3 ft
Community Panel:	1200070 0533C

I hereby certify that construction of the proposed residence will not obstruct flow or cause more than a 0.01 ft rise in the 100-year flood elevation of the Santa Fe River.

1-7-2011

Brett A. Crews, PE 65592



CES
Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
386.754.4085

BRETT A. CREWS, P.E.

SMITH FLOODWAY PROJECT

CES PROJECT NO.: 2010-013

CROSS SECTION LOCATION MAP

SHEET: CS1

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HEC-RAS River: RIVER-1 Reach: Reach-1 Profile: PF 3

Reach	River Sta	Profile	Plan	Q Total	Min Ch El	W.S. Elev	Crit W.S.	E.G. Elev	E.G. Slope	Vel Chnl	Flow Area	Top Width	Froude # Chl
				(cfs)	(ft)	(ft)	(ft)	(ft)	(ft/ft)	(ft/s)	(sq ft)	(ft)	
Reach-1	23.82	PF 3	Org	19587.00	17.36	43.65		43.94	0.000259	4.86	11453.33	1205.06	0.20
Reach-1	23.82	PF 3	Existing XS	19587.00	17.36	43.65		43.94	0.000259	4.86	11450.94	1204.95	0.20
Reach-1	23.82	PF 3	Development	19587.00	17.36	43.65		43.95	0.000259	4.86	11458.83	1205.30	0.20
Reach-1	23.14	PF 3	Org	19587.00	17.29	42.23		42.68	0.000516	6.17	11516.46	2063.29	0.26
Reach-1	23.14	PF 3	Existing XS	19587.00	17.29	42.23		42.67	0.000516	6.17	11510.46	2062.64	0.26
Reach-1	23.14	PF 3	Development	19587.00	17.29	42.24		42.68	0.000515	6.17	11530.31	2064.77	0.26
Reach-1	22.24	PF 3	Org	19587.00	21.10	40.91		41.14	0.000220	4.00	9699.98	1212.77	0.18
Reach-1	22.24	PF 3	Existing XS	19587.00	21.10	40.91		41.14	0.000220	4.00	9694.91	1212.64	0.18
Reach-1	22.24	PF 3	Development	19587.00	21.10	40.92		41.15	0.000220	4.00	9711.63	1213.06	0.18
Reach-1	21.79	PF 3	Existing XS	19587.00	17.28	40.24		40.54	0.000276	4.76	10644.90	1558.04	0.20
Reach-1	21.79	PF 3	Development	19587.00	17.13	40.24		40.54	0.000285	4.79	10354.14	1559.09	0.20
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Reach-1	21.59	PF 3	Existing XS	19587.00	15.87	39.89		40.22	0.000317	5.17	11188.29	1305.25	0.21
Reach-1	21.59	PF 3	Development	19587.00	15.87	39.89		40.22	0.000317	5.17	11188.29	1305.25	0.21
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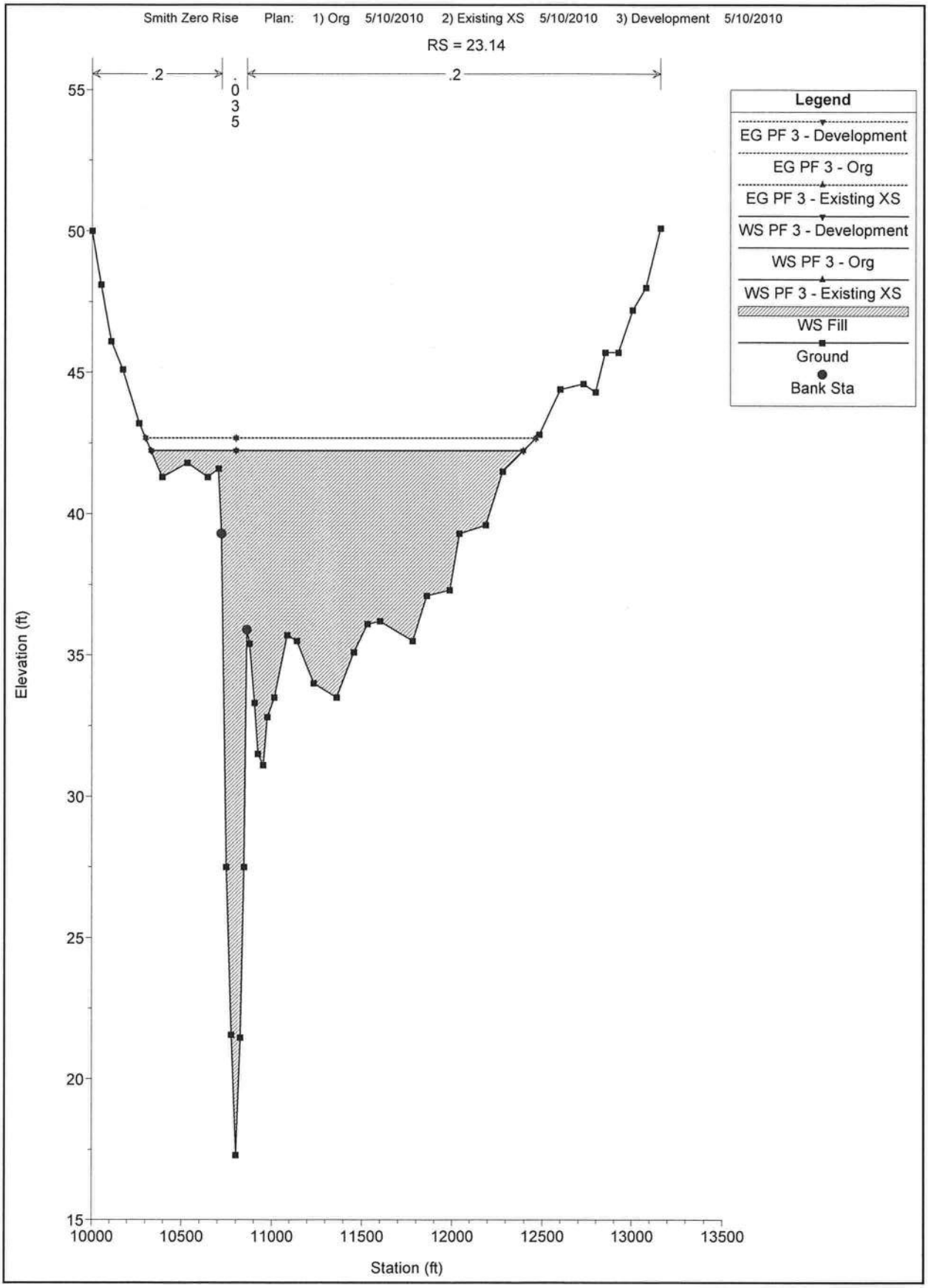
Reach-1	20.44	PF 3	Development	19587.00	16.14	38.90		39.02	0.000127	3.39	21255.62	2138.68	0.14
Reach-1	19.62	PF 3	Org	16717.00	17.74	38.53		38.60	0.000069	2.50	22626.33	2299.22	0.10
Reach-1	19.62	PF 3	Existing XS	16717.00	17.74	38.53		38.60	0.000069	2.50	22626.33	2299.22	0.10
Reach-1	19.62	PF 3	Development	16717.00	17.74	38.53		38.60	0.000069	2.50	22626.33	2299.22	0.10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EG PF 3 - Development
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EG PF 3 - Existing XS
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WS PF 3 - Org
WS PF 3 - Existing XS
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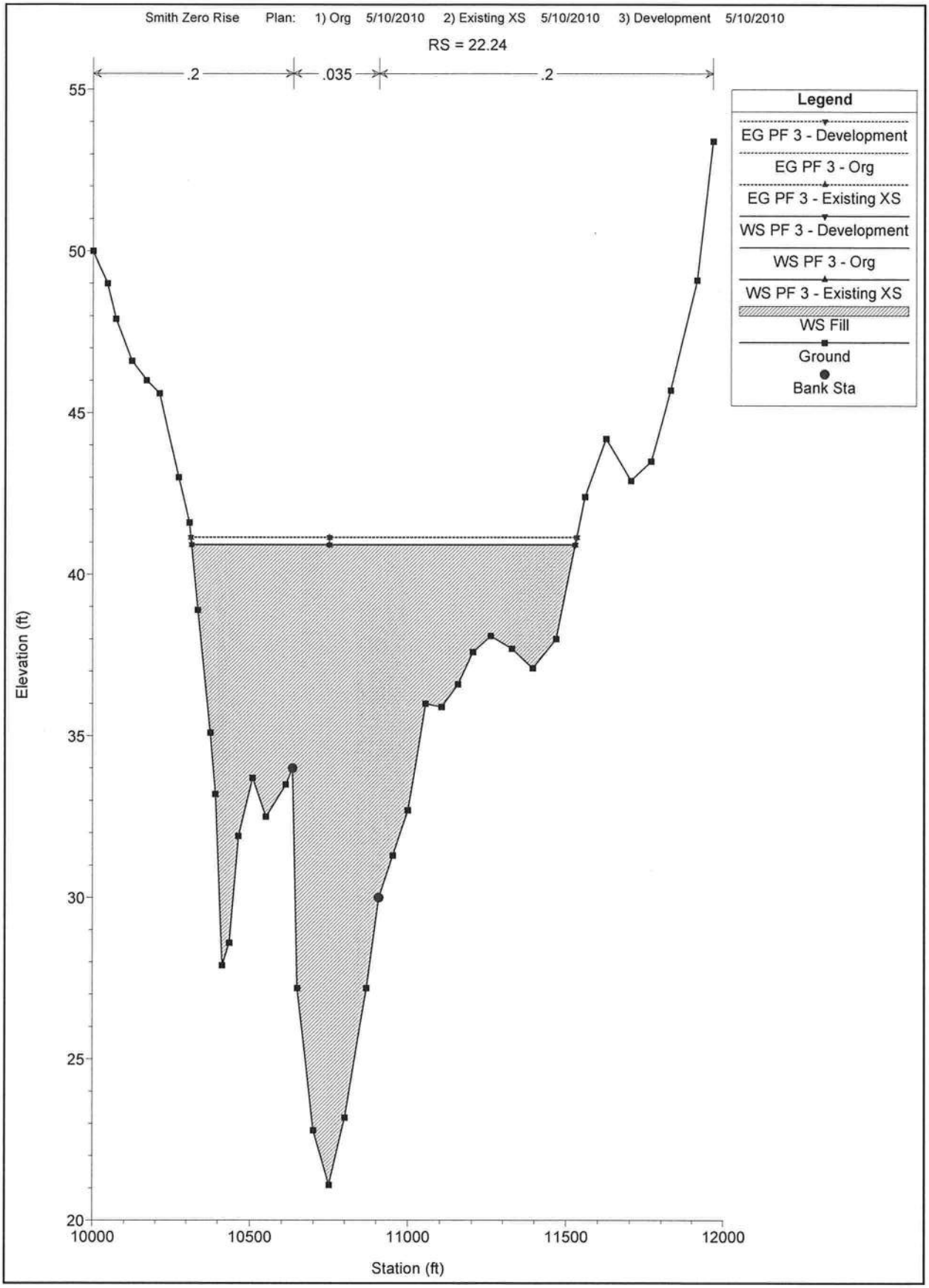
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EG PF 3 - Org
EG PF 3 - Existing XS
WS PF 3 - Development
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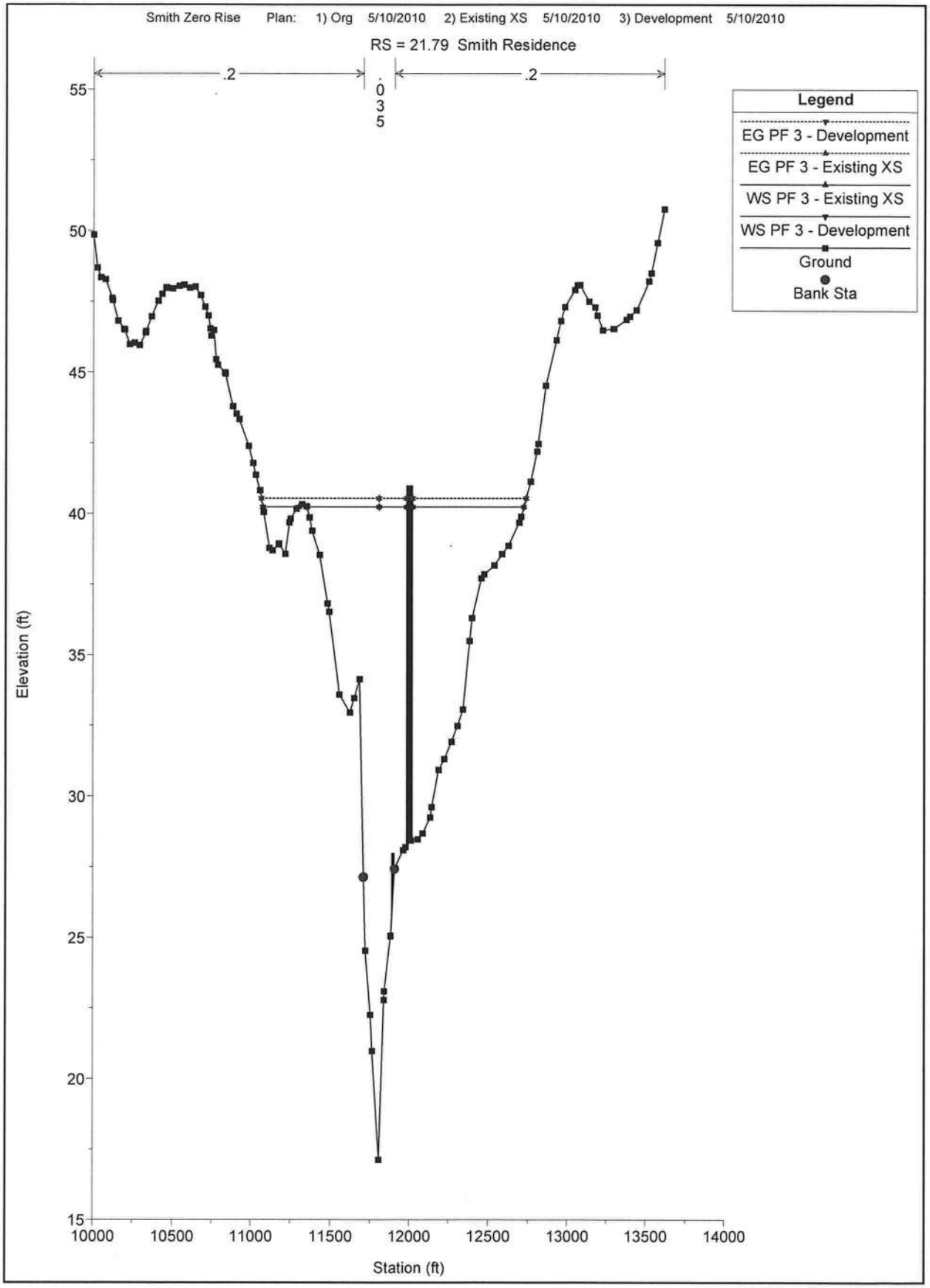
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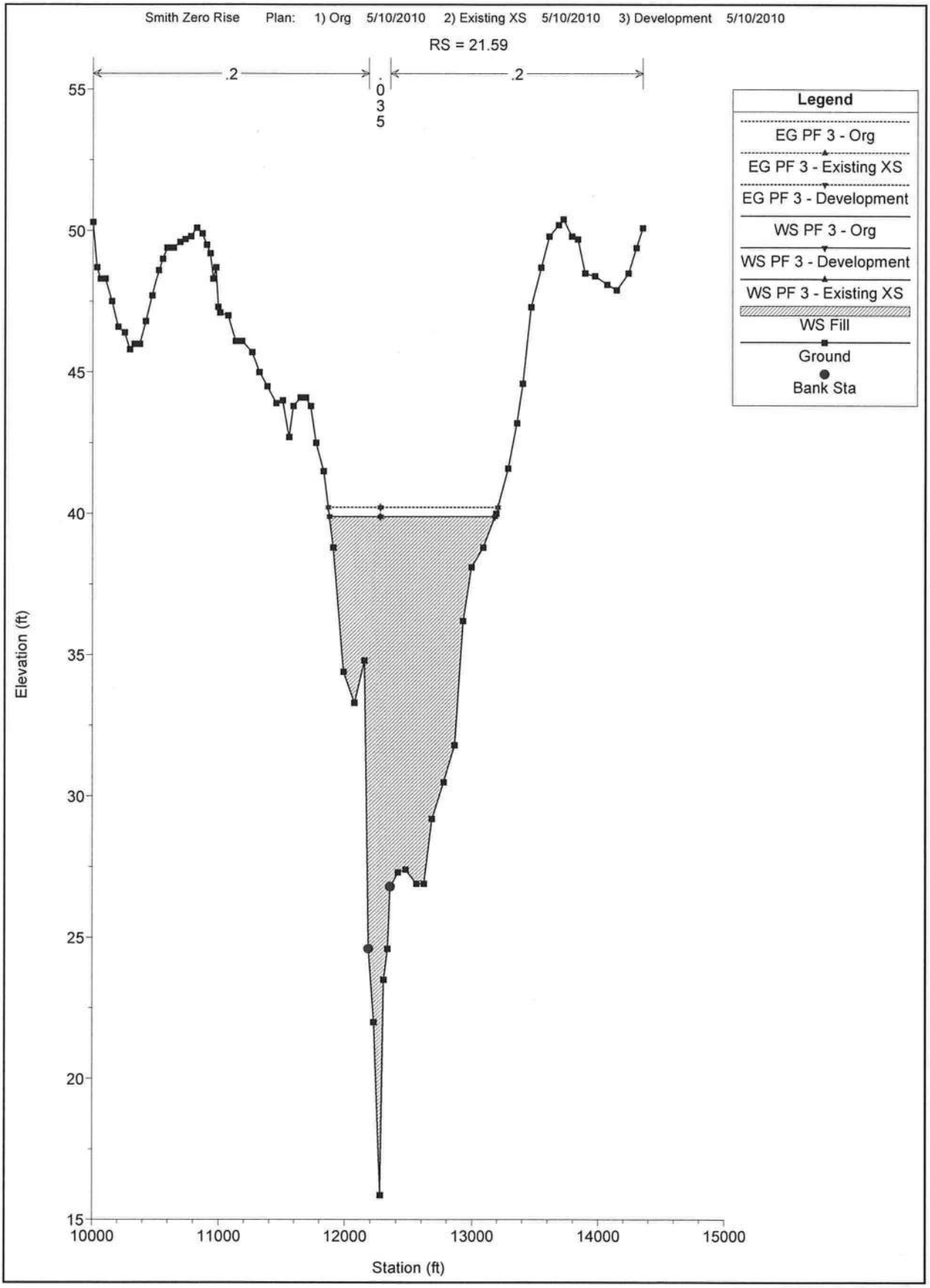
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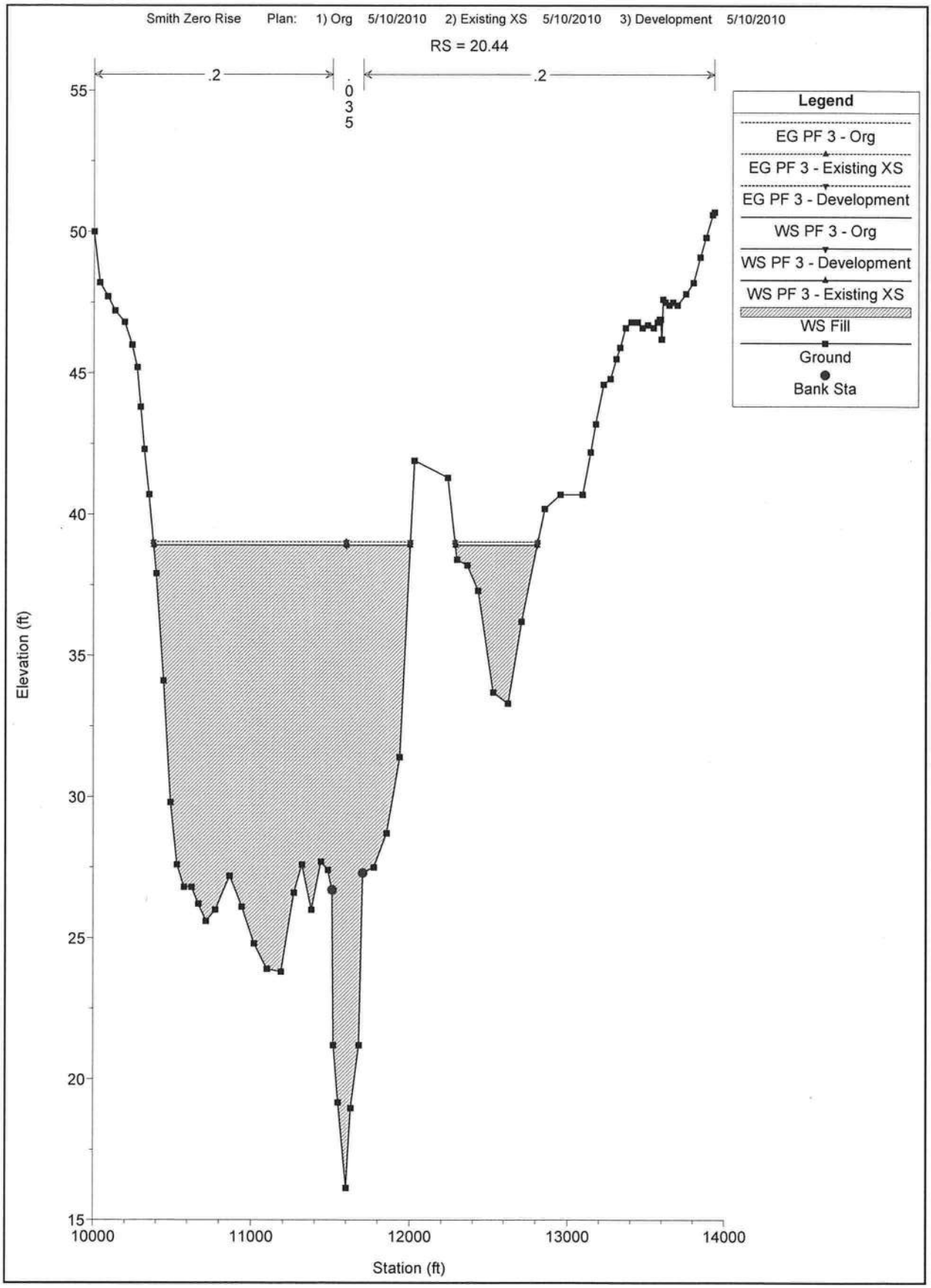
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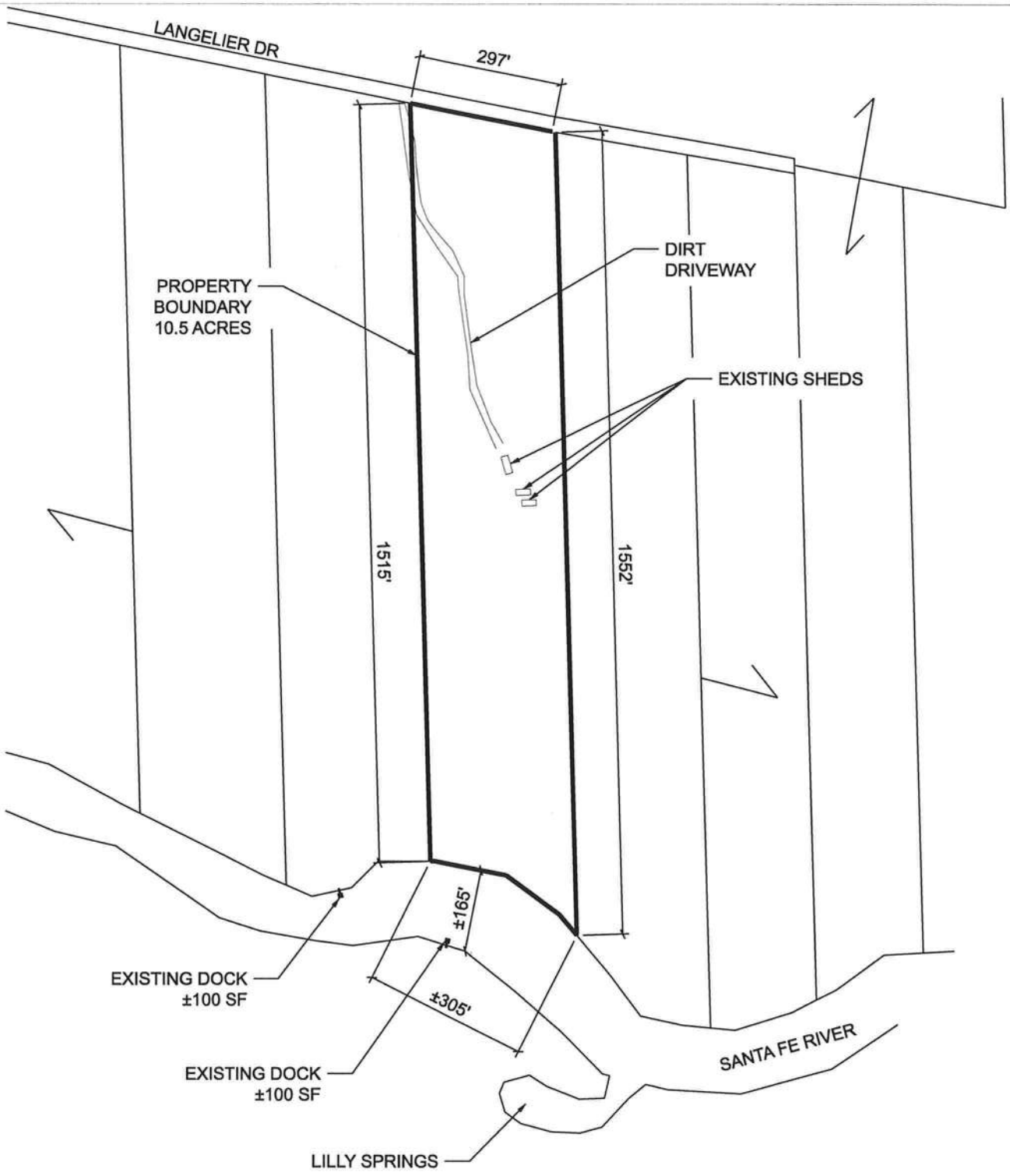

1-7-2010

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CES Crews Engineering Services, LLC	P.O. BOX 970 LAKE CITY, FL 32056 386.754.4085 BRETT A. CREWS, P.E.	**SMITH FLOODWAY PROJECT**	CES PROJECT NO.: 2010-013
		OVERALL SITE PLAN	SHEET: S2

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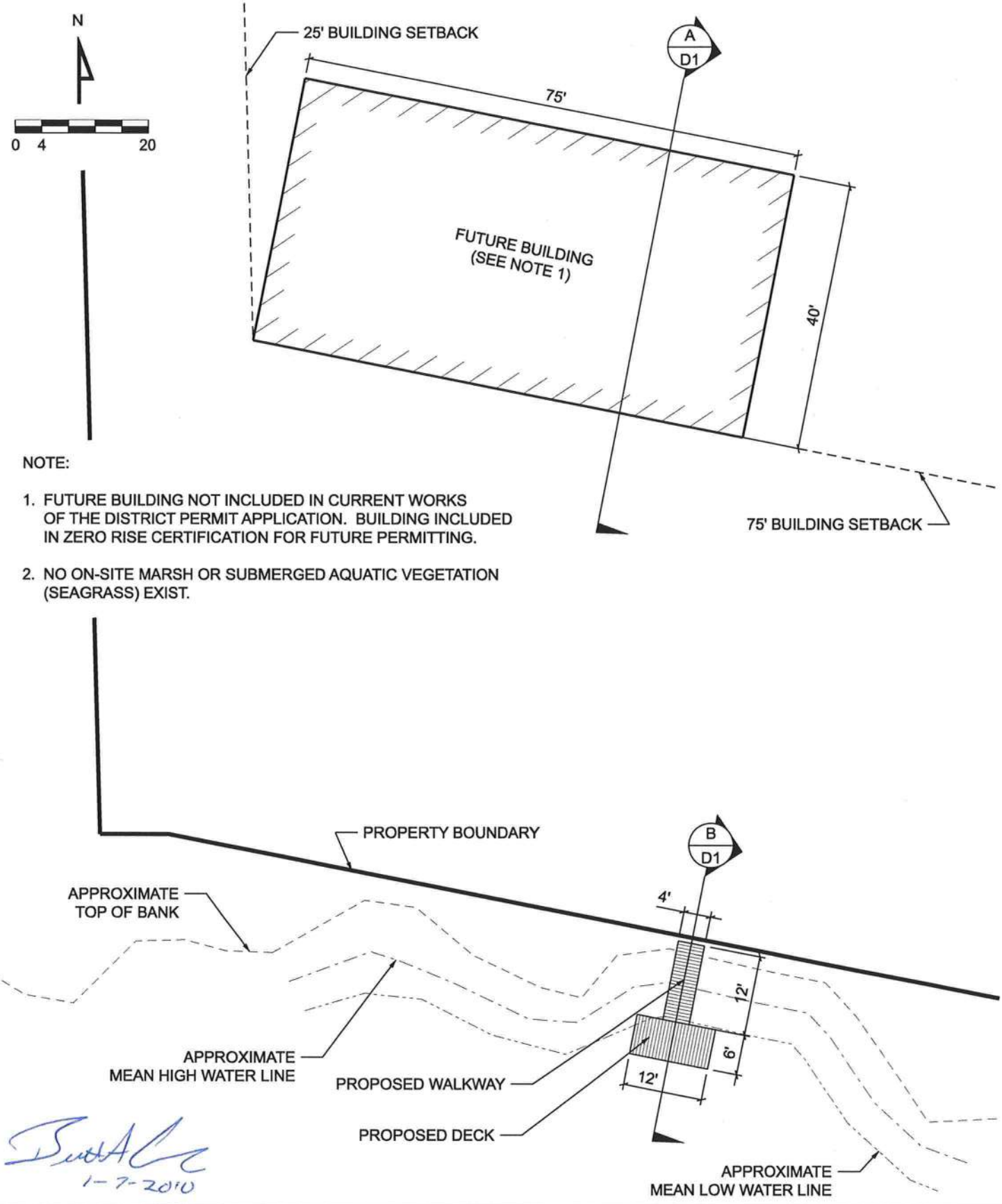


NOTE:

1. FUTURE BUILDING NOT INCLUDED IN CURRENT WORKS OF THE DISTRICT PERMIT APPLICATION. BUILDING INCLUDED IN ZERO RISE CERTIFICATION FOR FUTURE PERMITTING.
2. NO ON-SITE MARSH OR SUBMERGED AQUATIC VEGETATION (SEAGRASS) EXIST.

1-7-2010

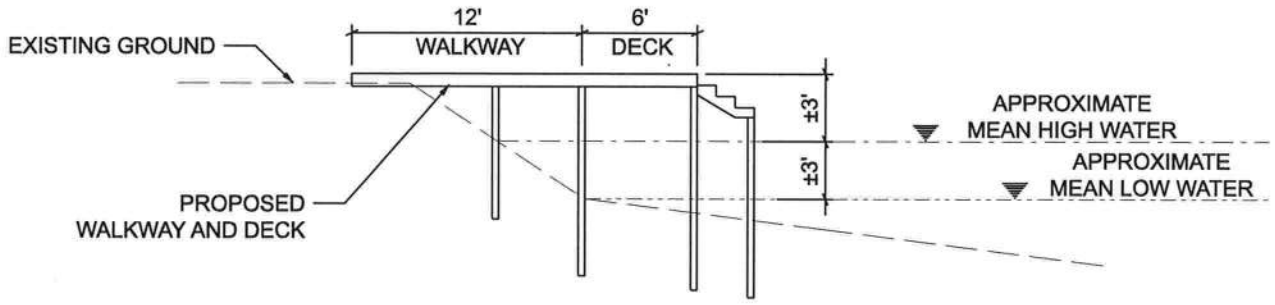
CES
Crews Engineering Services, LLC
P.O. BOX 970
LAKE CITY, FL 32056
386.754.4085
BRETT A. CREWS, P.E.

SMITH FLOODWAY PROJECT

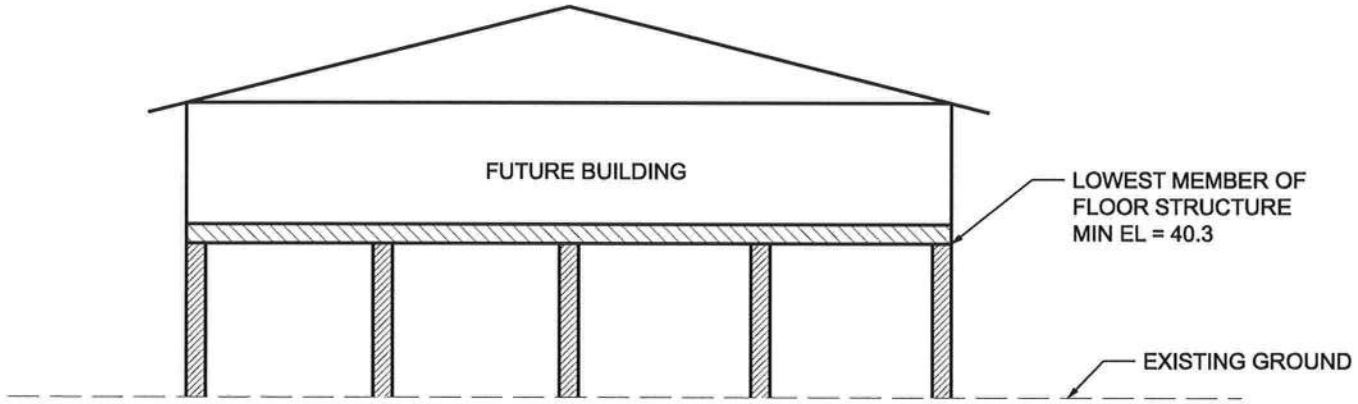
CES PROJECT NO.: 2010-013

SITE PLAN

SHEET: S1



SECTION B / S1
NTS



NOTE:

1. AREA UNDER BUILDING SHALL REMAIN OPEN TO ALLOW UNOBSTRUCTED FLOW OF FLOODWAY WATERS. NO SKIRTING, LATICE OR OTHER MATERIALS SHALL BE PLACED AROUND BUILDING BELOW THE FLOOR STRUCTURE.

SECTION A / S1
NTS

1-7-2010

CES
Crews Engineering Services, LLC
P.O. BOX 970
LAKE CITY, FL 32056
386.754.4085
BRETT A. CREWS, P.E.

SMITH FLOODWAY PROJECT

CES PROJECT NO.: 2010-013

DETAILS

SHEET: D1

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COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/7/2011 **DATE ISSUED:** 1/24/2011

ENHANCED 9-1-1 ADDRESS:

268 SW LANGELIER DR

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

36-7S-16-04351-026

Remarks:

RE-ISSUE OF EXISTING ADDRESS. MOVED FROM CAMPER LOCAITON TO PROPOSED NEW STRUCTURE LOCAITON.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1890

Inst:201112000331 Date:1/7/2011 Time:1:26 PM
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1207 P:2420

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 36-7S-16-04351-026

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT.**

1. Description of property *(legal description)*: AKA LOT 6 UNRECORDED SUBDIVISION
   a) Street *(job)* Address: 268 SW LANGELIER DR. FORT WHITE, FL. 32038
2. General description of improvements: _____
3. Owner Information
   a) Name and address: PAMELA I. SMITH & LANCE SCOTT
   b) Name and address of fee simple titleholder (if other than owner) _____
   c) Interest in property 100% OWNER
4. Contractor Information
   a) Name and address: _____
   b) Telephone No.: _____ Fax No. (Opt.) _____
5. Surety Information
   a) Name and address: _____
   b) Amount of Bond: _____
   c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
   a) Name and address: _____
   b) Phone No. _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
   a) Name and address: _____
   b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
   a) Name and address: _____
   b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or ~~Owner's Authorized~~ Office/Director/Partner/Manager

PAMELA I. SMITH
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 7 day of January, 20 11, by:
Pamela I. Smith as Owner (type of authority, e.g. officer, trustee, attorney fact) for Pamela I. Smith (name of party on behalf of whom instrument was executed).

Personally Known ____ OR Produced Identification ✓ Type FL DL

Notary Signature La Hodson Notary Stamp or Seal:

LAURIE HODSON
MY COMMISSION # DD 805657
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

_____
Signature ~~of Natural Person Signing~~ (in line #10 above.)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name PAMELA I. SMITH License #: OWNER	Signature Phone #: 786-368-3707
MECHANICAL/ A/C _____	Print Name License #:	Signature Phone #:
PLUMBING/ GAS	Print Name License #:	Signature Phone #:
ROOFING	Print Name License #:	Signature Phone #:
SHEET METAL	Print Name License #:	Signature Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name License#:	Signature Phone #:
SOLAR	Print Name License #:	Signature Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	OWNER	PAMELA SMITH	
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING	N/A		
GARAGE DOOR	N/A		
METAL BLDG ERECTOR	N/A		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed $75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased with in 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address http://www.myflorida.com/dbpr/pro/cilb/index.html for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

268 SW LANCELIER DRIVE, FORT WHITE, FL. 32038

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual of firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of $300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of $100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

(X) Single Family Dwelling ( ) Two-Family Residence ( ) Farm Outbuilding

( ) Addition, Alteration, Modification or other Improvement

( ) Commercial, Cost of Construction_____ Construction of_____

( ) Other_____

I PAMELA I. SMITH, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Owner Builder Signature Date 1/7/11

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FL DL

Notary Signature Laurie Hodson Date 1-7-11 (Seal)

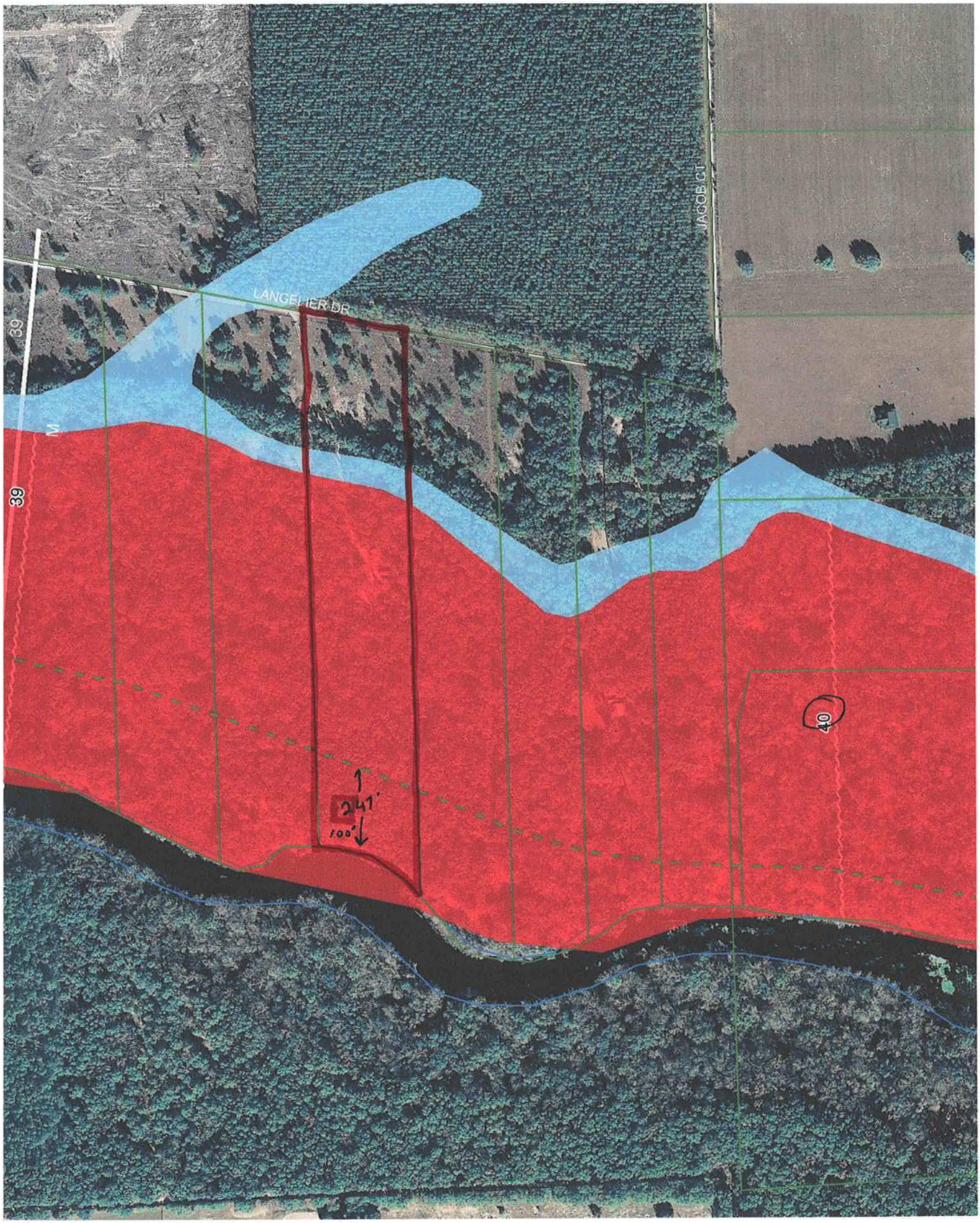
LAURIE HODSON
MY COMMISSION # DD 805657
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative Laurie Hodson

Revised: 7-23-09
DISCLOSURE STATEMENT 09
Documents: B&Z Forms



1101-08

COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) **SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE -------- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE --------110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL			Items to Include- Each Box shall be Circled as Applicable		
				Yes	No	N/A
1	Two (2) complete sets of plans containing the following:			✓		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void			✓		
3	Condition space (Sq. Ft.) 2504		Total (Sq. Ft.) under roof 3415	IIIIIII	IIIIIII	IIIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	✓		
5	Dimensions of all building set backs	✓		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	✓		
7	Provide a full legal description of property.	✓		

Wind-load Engineering Summary, calculations and any details required

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIIII YES	IIIII NO	IIIIII N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component, cladding materials not specifally designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	✓		
18	Location and size of skylights with Florida Product Approval	✓		
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)	✓		
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)	✓		
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.	✓		
32	Assumed load-bearing valve of soil 1500 Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		✓
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. **Protection shall be provided by registered termiticides**	✓		

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type			✓
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			✓

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	✓		
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers	✓		
41	Girder type, size and spacing to load bearing walls, stem wall and/or priers	✓		
42	Attachment of joist to girder	✓		
43	Wind load requirements where applicable	✓		
44	Show required under-floor crawl space	✓		
45	Show required amount of ventilation opening for under-floor spaces	✓		
46	Show required covering of ventilation opening	✓		
47	Show the required access opening to access to under-floor spaces	✓		
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &	✓		

48	intermediate of the areas structural panel sheathing	✓		
49	Show Draftstopping, Fire caulking and Fire blocking	✓		✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309	✓		✓
51	Provide live and dead load rating of floor framing systems (psf).	✓		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		
68	Provide dead load rating of rafter system	✓		

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	✓		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

	GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	✓		
74	Attic space	✓		
75	Exterior wall cavity	✓		
76	Crawl space	✓		

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	✓		
78	Exhaust fans locations in bathrooms	✓		
79	Show clothes dryer route and total run of exhaust duct	✓		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	✓		
81	Show the location of water heater	✓		

Private Potable Water

82	Pump motor horse power			✓
83	Reservoir pressure tank gallon capacity			✓
84	Rating of cycle stop valve if used			✓

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	✓		
86	Ceiling fans	✓		
87	Smoke detectors & Carbon dioxide detectors	✓		
88	Service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.	✓		

		✓		
90	Appliances and HVAC equipment and disconnects	✓		
91	Arc Fault Circuits (AFCI) in bedrooms			

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	**Building Permit Application** A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	**Parcel Number** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	**Environmental Health Permit or Sewer Tap Approval** A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	**City of Lake City** A permit showing an approved waste water sewer tap	✓		
96	**Toilet facilities shall be provided for all construction sites**	✓		
97	**Town of Fort White** (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	✓		
98	**Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	✓		
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	✓		
100	A development permit will also be required. Development permit cost is **$50.00**			
101	**Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			
102	**911 Address:** If the project is located in an area where a 911 address has not been issued, then application for a 911address must be applied for and **received** through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	✓		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the applicati or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance o a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became nu and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date if issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applican will be notified by phone as to the date and time a building permit will b prepared and issued by the Columbia County Building & Zoning Department

FORM 1100A-08

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name:	1008070SmithRes	Builder Name:	
Street:	268 SW Langelier Drive	Permit Office:	
City, State, Zip:	Fort White , FL , 32038-	Permit Number:	
Owner:	Smith	Jurisdiction:	
Design Location:	FL, Gainesville		

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	2
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	2504

7. Windows	Description	Area
a. U-Factor: SHGC:	Dbl, U=0.35 SHGC=0.35	505.50 ft²
b. U-Factor: SHGC:	N/A	ft²
c. U-Factor: SHGC:	N/A	ft²
d. U-Factor: SHGC:	N/A	ft²
e. U-Factor: SHGC:	N/A	ft²

8. Floor Types	Insulation	Area
a. Raised Floor	R=19.0	2210.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	2757.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Cathedral/Single Assembly (Vented)	R=30.0	2486.00 ft²
b. Knee Wall (Vented)	R=30.0	616.00 ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 500.8 ft²

12. Cooling systems
a. Central Unit — Cap: 47.0 kBtu/hr SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 47.0 kBtu/hr HSPF: 7.7

14. Hot water systems
a. Electric — Cap: 1 gallons EF: 0.92

b. Conservation features
None

15. Credits — None

Glass/Floor Area: 0.202

Total As-Built Modified Loads: 55.00
Total Baseline Loads: 67.64

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____
DATE: 1/7/2011 EVAN BEAMSLEY

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____
DATE: _____

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for FILE COPY
Code Compliance
PLANS EXAMINER

PROJECT

Title:	1008070SmithRes	Bedrooms:	2	Adress Type:	Street Address
Building Type:	FLAsBuilt	Conditioned Area:	2504	Lot #	
Owner:	Smith	Total Stories:	2	SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:		Rotate Angle:	0	Street:	268 SW Langelier Drive
Permit Office:		Cross Ventilation:		County:	Columbia
Jurisdiction:		Whole House Fan:		City, State, Zip:	Fort White , FL , 32038-
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

√	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

√	#	Floor Type	R-Value	Area		Tile	Wood	Carpet
_____	1	Raised Floor		2210 ft²	19	0.3	0.3	0.4

ROOF

√	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or shed	Composition shingles	2877 ft²	920 ft²	Dark	0.96	No	0	39.8 deg

ATTIC

√	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Partial cathedral cei	Vented	300	2210 ft²	N	N

CEILING

√	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Knee Wall (Vented)	30	616 ft²	0.11	Wood
_____	2	Cathedral/Single Assembly (Vented)	30	2486 ft²	0.11	Wood

WALLS

√	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	592.5 ft²		0.23	0.75
_____	2	E	Exterior	Frame - Wood	13	342 ft²		0.23	0.75
_____	3	S	Exterior	Frame - Wood	13	592.5 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	399 ft²		0.23	0.75
_____	5	N	Exterior	Frame - Wood	13	213 ft²		0.23	0.75
_____	6	S	Exterior	Frame - Wood	13	213 ft²		0.23	0.75
_____	7	N	Exterior	Frame - Wood	13	261 ft²		0.23	0.75
_____	8	E	Exterior	Frame - Wood	13	72 ft²		0.23	0.75

WALLS

√	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	9	W	Exterior	Frame - Wood	13	72 ft²		0.23	0.75

DOORS

√	#	Ornt	Door Type	Storms	U-Value	Area
_____	1	N	Insulated	None	0.400000	13.33333
_____	2	E	Insulated	None	0.400000	13.33333
_____	3	S	Insulated	None	0.400000	26.66666
_____	4	N	Insulated	None	0.400000	16 ft²

WINDOWS

Orientation shown is the entered, asBuilt orientation.

√	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
_____	1	N	Metal	Low-E Double	Yes	0.35	0.35	N	26.66666	1 ft 6 in	2 ft 4 in	HERS 2006	None
_____	2	N	Metal	Low-E Double	Yes	0.35	0.35	N	8 ft²	1 ft 6 in	2 ft 4 in	HERS 2006	None
_____	3	N	Metal	Low-E Double	Yes	0.35	0.35	N	16 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	4	N	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	5	N	Metal	Low-E Double	Yes	0.35	0.35	N	8 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	6	N	Metal	Low-E Double	Yes	0.35	0.35	N	32.5 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	7	E	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	8	E	Metal	Low-E Double	Yes	0.35	0.35	N	20 ft²	5 ft 10 in	2 ft 0 in	HERS 2006	None
_____	9	E	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	5 ft 6 in	2 ft 0 in	HERS 2006	None
_____	10	S	Metal	Low-E Double	Yes	0.35	0.35	N	45 ft²	13 ft 6 in	2 ft 0 in	HERS 2006	None
_____	11	S	Metal	Low-E Double	Yes	0.35	0.35	N	53.33333	13 ft 6 in	2 ft 0 in	HERS 2006	None
_____	12	S	Metal	Low-E Double	Yes	0.35	0.35	N	20 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	13	S	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	14	W	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	1 ft 6 in	1 ft 0 in	HERS 2006	None
_____	15	N	Metal	Low-E Double	Yes	0.35	0.35	N	24 ft²	1 ft 6 in	3 ft 0 in	HERS 2006	None
_____	16	N	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	1 ft 6 in	6 ft 0 in	HERS 2006	None
_____	17	S	Metal	Low-E Double	Yes	0.35	0.35	N	72 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None

INFILTRATION & VENTING

√	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM	Exhaust CFM	Run Time Fraction	Fan Watts
_____	Default	0.00036	2364	6.30	129.8	244.1	0 cfm	0 cfm	0	0

COOLING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
_____	1	Central Unit	None	SEER: 13	47 kBtu/hr	1410 cfm	0.75	sys#1

HEATING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Ducts
_____	1	Electric Heat Pump	None	HSPF: 7.7	47 kBtu/hr	sys#1

HOT WATER SYSTEM

√	#	System Type	EF	Cap	Use	SetPnt	Conservation
_____	1	Electric	0.92	1 gal	50 gal	120 deg	None

SOLAR HOT WATER SYSTEM

√	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
_____	None	None			ft²		

DUCTS

√	#	---- Supply ---- Location	R-Value	Area	---- Return ---- Location	Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
_____	1	Attic	6	500.8 ft	Attic	125.2 ft	Default Leakage	Interior	(Default)	(Default) %		

TEMPERATURES

Programable Thermostat: None

Ceiling Fans:

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Cooling	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Heating	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]
Venting	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours 1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68

FORM 1100A-08

Code Compliance Cheklist

Residential Whole Building Performance Method A - Details

ADDRESS: 268 SW Langelier Drive
Fort White, FL, 32038-

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 81

The lower the EnergyPerformance Index, the more efficient the home.

268 SW Langelier Drive, Fort White, FL, 32038-

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	2
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	2504

7. Windows**

	Description	Area
a. U-Factor: SHGC:	Dbl, U=0.35 SHGC=0.35	505.50 ft²
b. U-Factor: SHGC:	N/A	ft²
c. U-Factor: SHGC:	N/A	ft²
d. U-Factor: SHGC:	N/A	ft²
e. U-Factor: SHGC:	N/A	ft²

8. Floor Types

	Insulation	Area
a. Raised Floor	R=19.0	2210.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types

	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	2757.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types

	Insulation	Area
a. Cathedral/Single Assembly (Vented)	R=30.0	2486.00 ft²
b. Knee Wall (Vented)	R=30.0	616.00 ft²
c. N/A	R=	ft²

11. Ducts
    a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 500.8 ft²

12. Cooling systems
    a. Central Unit — Cap: 47.0 kBtu/hr, SEER: 13

13. Heating systems
    a. Electric Heat Pump — Cap: 47.0 kBtu/hr, HSPF: 7.7

14. Hot water systems
    a. Electric — Cap: 1 gallons, EF: 0.92
    b. Conservation features: None

15. Credits: None

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____

*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

Residential System Sizing Calculation

Summary

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title:
1008070SmithRes

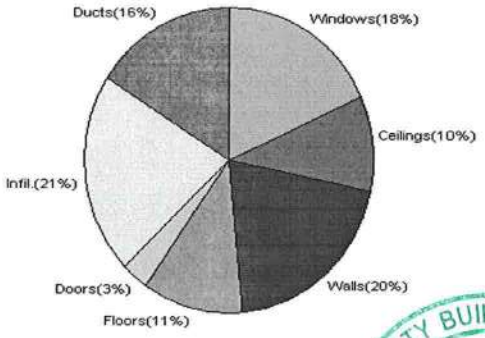
1/7/2011

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M) Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature(MJ8 99%)	33	F	Summer design temperature(MJ8 99%)	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation	**35890**	**Btuh**	**Total cooling load calculation**	**39472**	**Btuh**
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	131.0	47000	Sensible (SHR = 0.75)	111.2	35250
Heat Pump + Auxiliary(0.0kW)	131.0	47000	Latent	151.4	11750
			Total (Electric Heat Pump)	119.1	47000

WINTER CALCULATIONS

Winter Heating Load (for 2504 sqft)

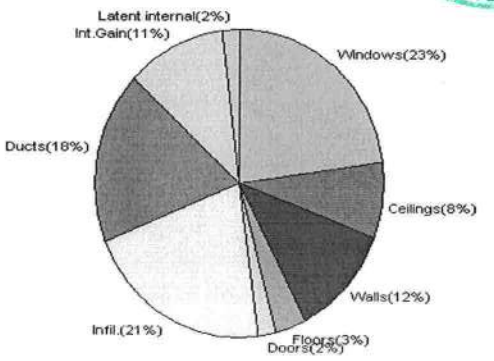
Load component			Load	
Window total	505	sqft	6546	Btuh
Wall total	2182	sqft	7166	Btuh
Door total	69	sqft	1026	Btuh
Ceiling total	3102	sqft	3703	Btuh
Floor total	2210	sqft	4101	Btuh
Infiltration	188	cfm	7607	Btuh
Duct loss			5741	Btuh
Subtotal			**35890**	**Btuh**
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			**35890**	**Btuh**



SUMMER CALCULATIONS

Summer Cooling Load (for 2504 sqft)

Load component			Load	
Window total	505	sqft	8968	Btuh
Wall total	2182	sqft	4552	Btuh
Door total	69	sqft	777	Btuh
Ceiling total	3102	sqft	3192	Btuh
Floor total			1330	Btuh
Infiltration	150	cfm	2796	Btuh
Internal gain			4320	Btuh
Duct gain			5776	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			**31711**	**Btuh**
Latent gain(ducts)			1471	Btuh
Latent gain(infiltration)			5491	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			800	Btuh
Total latent gain			**7761**	**Btuh**
TOTAL HEAT GAIN			**39472**	**Btuh**



8th Edition

EnergyGauge® System Sizing
PREPARED BY:
DATE: 1/7/2011 EVAN BEAMSLEY

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title:
1008070SmithRes
Building Type: User

1/7/2011

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

Component Loads for Whole House

Window	Panes/Type	Frame	U	Orientation	Area(sqft) X	HTM=	Load
1	2, NFRC 0.35	Metal	0.35	N	26.7	12.9	345 Btuh
2	2, NFRC 0.35	Metal	0.35	N	8.0	12.9	104 Btuh
3	2, NFRC 0.35	Metal	0.35	N	16.0	12.9	207 Btuh
4	2, NFRC 0.35	Metal	0.35	N	30.0	12.9	388 Btuh
5	2, NFRC 0.35	Metal	0.35	N	8.0	12.9	104 Btuh
6	2, NFRC 0.35	Metal	0.35	N	32.5	12.9	421 Btuh
7	2, NFRC 0.35	Metal	0.35	E	30.0	12.9	388 Btuh
8	2, NFRC 0.35	Metal	0.35	E	20.0	12.9	259 Btuh
9	2, NFRC 0.35	Metal	0.35	E	30.0	12.9	388 Btuh
10	2, NFRC 0.35	Metal	0.35	S	45.0	12.9	583 Btuh
11	2, NFRC 0.35	Metal	0.35	S	53.3	12.9	691 Btuh
12	2, NFRC 0.35	Metal	0.35	S	20.0	12.9	259 Btuh
13	2, NFRC 0.35	Metal	0.35	S	30.0	12.9	388 Btuh
14	2, NFRC 0.35	Metal	0.35	W	30.0	12.9	388 Btuh
15	2, NFRC 0.35	Metal	0.35	N	24.0	12.9	311 Btuh
16	2, NFRC 0.35	Metal	0.35	N	30.0	12.9	388 Btuh
17	2, NFRC 0.35	Metal	0.35	S	72.0	12.9	932 Btuh
	Window Total				505.5(sqft)		6546 Btuh

Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	458	3.28	1504 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	249	3.28	817 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	418	3.28	1371 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	369	3.28	1212 Btuh
5	Frame - Wood	- Ext	(0.089)	13.0/0.0	159	3.28	522 Btuh
6	Frame - Wood	- Ext	(0.089)	13.0/0.0	141	3.28	463 Btuh
7	Frame - Wood	- Ext	(0.089)	13.0/0.0	245	3.28	805 Btuh
8	Frame - Wood	- Ext	(0.089)	13.0/0.0	72	3.28	236 Btuh
9	Frame - Wood	- Ext	(0.089)	13.0/0.0	72	3.28	236 Btuh
	Wall Total				2182(sqft)		7166 Btuh

Doors	Type	Storm	Ueff.	Area X	HTM=	Load
1	Insulated - Exterior,	n	(0.400)	13	14.8	197 Btuh
2	Insulated - Exterior,	n	(0.400)	13	14.8	197 Btuh
3	Insulated - Exterior,	n	(0.400)	27	14.8	395 Btuh
4	Insulated - Exterior,	n	(0.400)	16	14.8	237 Btuh
	Door Total			69(sqft)		1026Btuh

Ceilings	Type/Color/Surface	Ueff.	R-Value	Area X	HTM=	Load
1	Knee Wall/D/Shing	(0.032)	30.0/0.0	616	1.2	726 Btuh
2	Cathedral/D/Shing	(0.032)	30.0/0.0	2486	1.2	2977 Btuh
	Ceiling Total			3102(sqft)		3703Btuh

Floors	Type	Ueff.	R-Value	Size X	HTM=	Load
1	Raised - Open	(0.050)	19.0	2210.0 sqft	1.9	4101 Btuh
	Floor Total			2210 sqft		4101 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title:
1008070SmithRes
Building Type: User

1/7/2011

			Envelope Subtotal:			22542 Btuh
Infiltration	Type Natural	ACH 0.50	Volume(cuft) 22536	Wall Ratio 1.00	CFM= 187.8	7607 Btuh
Duct load	Average sealed, R6.0, Supply(Att), Return(Att)			(DLM of 0.190)		5741 Btuh
All Zones	**Sensible Subtotal All Zones**					**35890 Btuh**

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	35890 Btuh 0 Btuh 35890 Btuh

EQUIPMENT

1. Electric Heat Pump	#	47000 Btuh

Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
U - (Window U-Factor)
HTM - (ManualJ Heat Transfer Multiplier)

Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title:
1008070SmithRes

1/7/2011

Reference City: Gainesville, FL Temperature Difference: 17.0F(MJ8 99%) Humidity difference: 54gr.

Component Loads for Whole House

Window	Type* Panes	SHGC	U	InSh	IS	Ornt	Overhang Len	Hgt	Window Area(sqft) Gross	Shaded	Unshaded	HTM Shaded	Unshaded	Load
1	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.3ft	26.7	0.0	26.7	13	13	355 Btuh
2	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.3ft	8.0	0.0	8.0	13	13	106 Btuh
3	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.0ft	16.0	0.0	16.0	13	13	213 Btuh
4	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.0ft	30.0	0.0	30.0	13	13	399 Btuh
5	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.0ft	8.0	0.0	8.0	13	13	106 Btuh
6	2 NFRC	0.35,	0.35	No	No	N	1.5ft	2.0ft	32.5	0.0	32.5	13	13	433 Btuh
7	2 NFRC	0.35,	0.35	No	No	E	1.5ft	2.0ft	30.0	0.0	30.0	13	40	1191 Btuh
8	2 NFRC	0.35,	0.35	No	No	E	5.8ft	2.0ft	20.0	8.5	11.5	13	40	569 Btuh
9	2 NFRC	0.35,	0.35	No	No	E	5.5ft	2.0ft	30.0	15.4	14.6	13	40	785 Btuh
10	2 NFRC	0.35,	0.35	No	No	S	13.5f	2.0ft	45.0	45.0	0.0	13	16	599 Btuh
11	2 NFRC	0.35,	0.35	No	No	S	13.5f	2.0ft	53.3	53.3	0.0	13	16	710 Btuh
12	2 NFRC	0.35,	0.35	No	No	S	1.5ft	2.0ft	20.0	20.0	0.0	13	16	266 Btuh
13	2 NFRC	0.35,	0.35	No	No	S	1.5ft	2.0ft	30.0	30.0	0.0	13	16	399 Btuh
14	2 NFRC	0.35,	0.35	No	No	W	1.5ft	1.0ft	30.0	1.5	28.5	13	40	1152 Btuh
15	2 NFRC	0.35,	0.35	No	No	N	1.5ft	3.0ft	24.0	0.0	24.0	13	13	319 Btuh
16	2 NFRC	0.35,	0.35	No	No	N	1.5ft	6.0ft	30.0	0.0	30.0	13	13	399 Btuh
17	2 NFRC	0.35,	0.35	No	No	S	1.5ft	2.0ft	72.0	69.6	2.4	13	16	965 Btuh
	Window Total								505 (sqft)					8968 Btuh

Walls	Type	U-Value	R-Value Cav/Sheath	Area(sqft)	HTM	Load
1	Frame - Wood - Ext	0.09	13.0/0.0	458.0	2.1	955 Btuh
2	Frame - Wood - Ext	0.09	13.0/0.0	248.7	2.1	519 Btuh
3	Frame - Wood - Ext	0.09	13.0/0.0	417.5	2.1	871 Btuh
4	Frame - Wood - Ext	0.09	13.0/0.0	369.0	2.1	770 Btuh
5	Frame - Wood - Ext	0.09	13.0/0.0	159.0	2.1	332 Btuh
6	Frame - Wood - Ext	0.09	13.0/0.0	141.0	2.1	294 Btuh
7	Frame - Wood - Ext	0.09	13.0/0.0	245.0	2.1	511 Btuh
8	Frame - Wood - Ext	0.09	13.0/0.0	72.0	2.1	150 Btuh
9	Frame - Wood - Ext	0.09	13.0/0.0	72.0	2.1	150 Btuh
	Wall Total			2182 (sqft)		4552 Btuh

Doors	Type	Area (sqft)	HTM	Load
1	Insulated - Exterior	13.3	11.2	149 Btuh
2	Insulated - Exterior	13.3	11.2	149 Btuh
3	Insulated - Exterior	26.7	11.2	299 Btuh
4	Insulated - Exterior	16.0	11.2	179 Btuh
	Door Total	69 (sqft)		777 Btuh

Ceilings	Type/Color/Surface	U-Value	R-Value	Area(sqft)	HTM	Load
1	Knee Wall/DarkShingle	0.032	30.0/0.0	616.0	1.66	1020 Btuh
2	Cath/Sngl Assem/DarkShingle	0.032	30.0/0.0	2486.0	0.87	2172 Btuh
	Ceiling Total			3102 (sqft)		3192 Btuh

Floors	Type	R-Value	Size	HTM	Load
1	Raised - Open	19.0	2210 (sqft)	0.6	1330 Btuh
	Floor Total		2210.0 (sqft)		1330 Btuh

	Envelope Subtotal:	18819 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title: 1008070SmithRes

Climate:FL_GAINESVILLE_REGIONAL_A

1/7/2011

Infiltration	Type	ACH	Volume(cuft)		Wall Ratio		CFM=	Load	
	SensibleNatural	0.40	22536		2182		187.8	2796	Btuh
Internal gain		Occupants	Btuh/occupant				Appliance	Load	
		3	X	230	+		3400	4090	Btuh
						Sensible Envelope Load:		25705	Btuh
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)					(DGM of 0.223)		5776	Btuh
						Sensible Load All Zones		**31481**	**Btuh**

Manual J Summer Calculations

Residential Load - Component Details (continued)

Smith
268 SW Langelier Drive
Fort White, FL 32038-

Project Title: 1008070SmithRes

Climate:FL_GAINESVILLE_REGIONAL_A

1/7/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	**Sensible Envelope Load All Zones**	**25935 Btuh**
	Sensible Duct Load	5776 Btuh
	Total Sensible Zone Loads	**31711 Btuh**
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	**31711 Btuh**
	Latent infiltration gain (for 54 gr. humidity difference)	5491 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	1471 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	**7761 Btuh**
	TOTAL GAIN	**39472 Btuh**

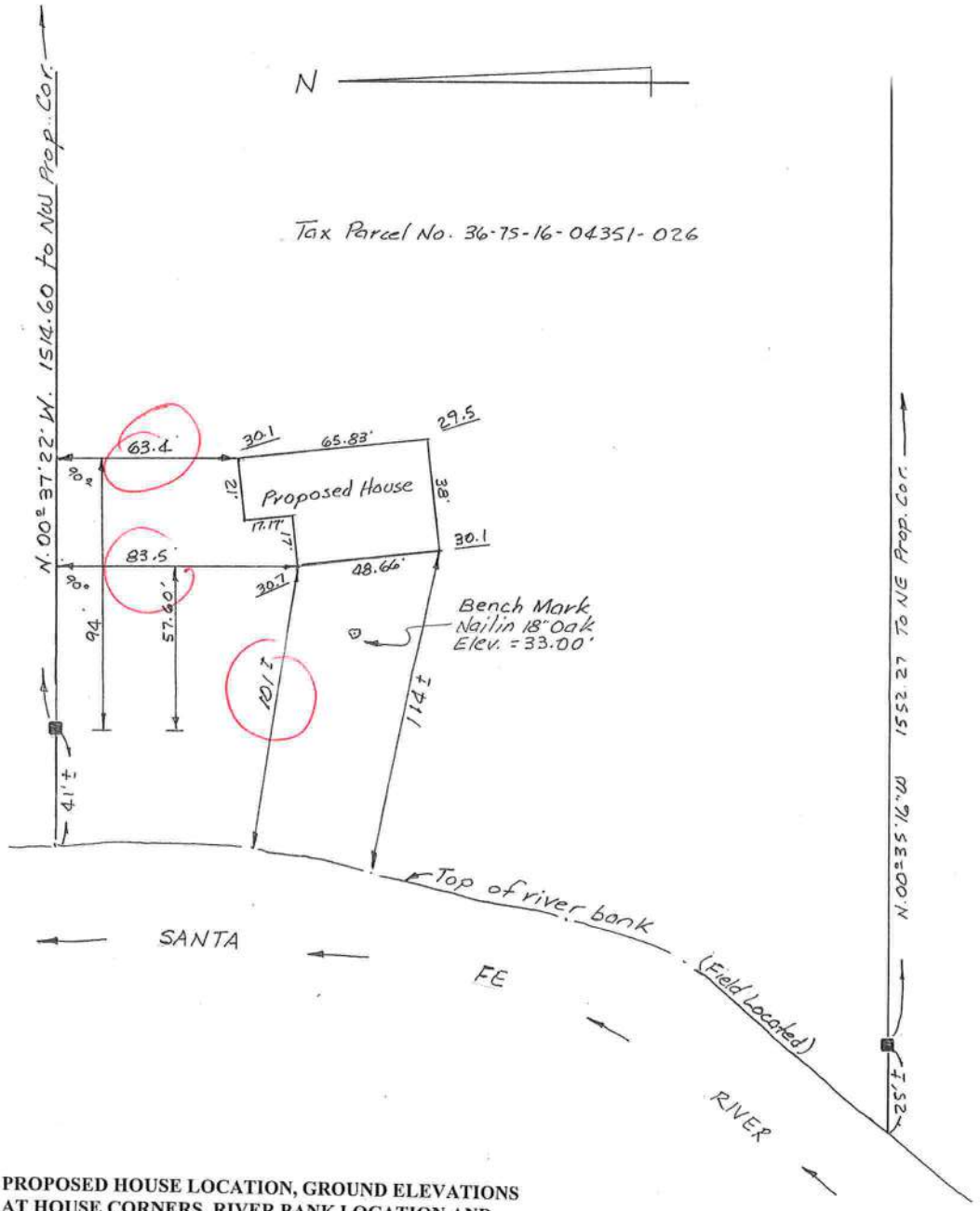
EQUIPMENT

1. Central Unit	#	47000 Btuh

*Key: Window types (Panes - Number and type of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value)
(U - Window U-Factor)
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
- For Blinds: Assume medium color, half closed
For Draperies: Assume medium weave, half closed
For Roller shades: Assume translucent, half closed
(IS - Insect screen: none(N), Full(F) or Half(½))
(Ornt - compass orientation)

Version 8

DETAIL SHEET



PROPOSED HOUSE LOCATION, GROUND ELEVATIONS AT HOUSE CORNERS, RIVER BANK LOCATION AND TEMPORARY BENCH MARK LOCATION WITH ELEVATION

sheet 2 of 2

Prepared By:
Professional Land Surveyors
9715 N.W. 143rd Street
WAYNE CHANCE
Alachua, Florida, 32615
Ph. 386 462-3015 Fax 386 462-0517

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Florida License No. 1824
Certificate of Authorization No. 6806

NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

WAYNE CHANCE, P.L.S.
Professional Land Surveyor
Signing Date: 12/30/10

CERTIFIED TO:

LANCE SCOTT
PAMELA I. SMITH

Scale:	1" = 40'
Proj. No.	10-045
Drawn:	
Chk'd:	
Dwg. Name:	
Survey Date:	12/29/10
Field Book:	688
Pages:	37-39

Property Bought from

Applicant Said they are best friends and they are not changing the driveway.

Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 36-7S-16-04351-026 - MOBILE HOM (000200)

(AKA LOT 6 UNR S/D DESC AS): COMM SW COR OF NE1/4, RUN N 400 FT, SE 1486.33 FT FOR POB, CONT SE 297 FT, S 1602.27 FT TO EDGE OF SANTA FE RIVER, W ALON

NOTES:

		2010 Certified Values	
Name:	SCOTT LANCE &		
Site:	268 SW LANGELIER DR	Land	$161,900.00
Mail:	PAMELA I SMITH 268 SW LANGELIER DR FORT WHITE, FL 32038	Bldg	$5,275.00
		Assd	$183,591.00
		Exmpt	$0.00
Sales Info	9/4/2007$370,000.00 I / Q	Taxbl	Cnty: $183,591 Other: $183,591 | Schl: $183,591

Existing

---- Drive

Columbia County Property Appraiser

DB Last Updated: 1/6/2011

2010 Tax Year

Tax Collector | Tax Estimator | Property Card | Parcel List Generator | Interactive GIS Map | Print

Parcel: 36-7S-16-04351-026

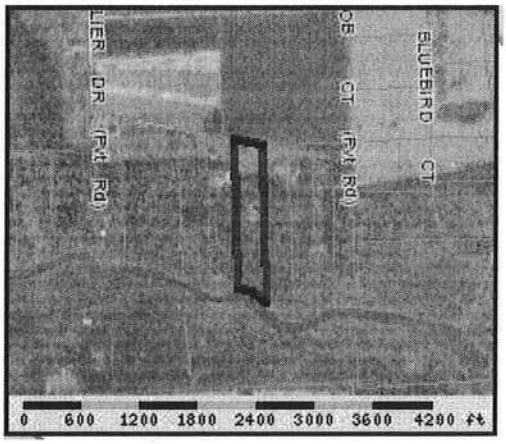
<< Next Lower Parcel | Next Higher Parcel >>

Search Result: 1 of 1

Owner & Property Info

Owner's Name	SCOTT LANCE &		
Mailing Address	PAMELA I SMITH 268 SW LANGELIER DR FORT WHITE, FL 32038		
Site Address	268 SW LANGELIER DR		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	**Neighborhood**	36716
Land Area	10.500 ACRES	**Market Area**	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		

(AKA LOT 6 UNR S/D DESC AS): COMM SW COR OF NE1/4, RUN N 400 FT, SE 1486.33 FT FOR POB, CONT SE 297 FT, S 1602.27 FT TO EDGE OF SANTA FE RIVER, W ALONG RIVER 305 FT, N 1564.68 FT TO POB. ORB 554-105, 554-106, 851-290, WD 1104- 2489,2492,2495. CORR WD 1107- 2193 & 2195. ORB 787-2361, 787-2367, WD 1104-2495, WD 1130-1566.



Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	$161,900.00
Ag Land Value	cnt: (2)	$0.00
Building Value	cnt: (1)	$5,275.00
XFOB Value	cnt: (3)	$16,416.00
Total Appraised Value		$183,591.00
Just Value		$183,591.00
Class Value		$0.00
Assessed Value		$183,591.00
Exempt Value		$0.00
Total Taxable Value		Cnty: $183,591 Other: $183,591 | Schl: $183,591

2011 Working Values

NOTE:
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/4/2007	1130/1566	WD	I	Q		$370,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	2002	AL SIDING (26)	240	240	$4,771.00
	Note: All S.F. calculations are based on exterior building dimensions.					

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	2003	$5,184.00	0000432.000	12 x 36 x 0	(000.00)
0296	SHED METAL	2003	$5,184.00	0000432.000	12 x 36 x 0	(000.00)

500yr
AE
Floodway
39