



BRIGHTON "CRAFTSMAN"

FUTURE RESIDENCE OF:
Robert & Amanda Clemons

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 6TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSSES COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD. THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 6TH EDITION WITH SUPPLEMENTS.



GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR , AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Cover Page

BRIGHTON
"CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

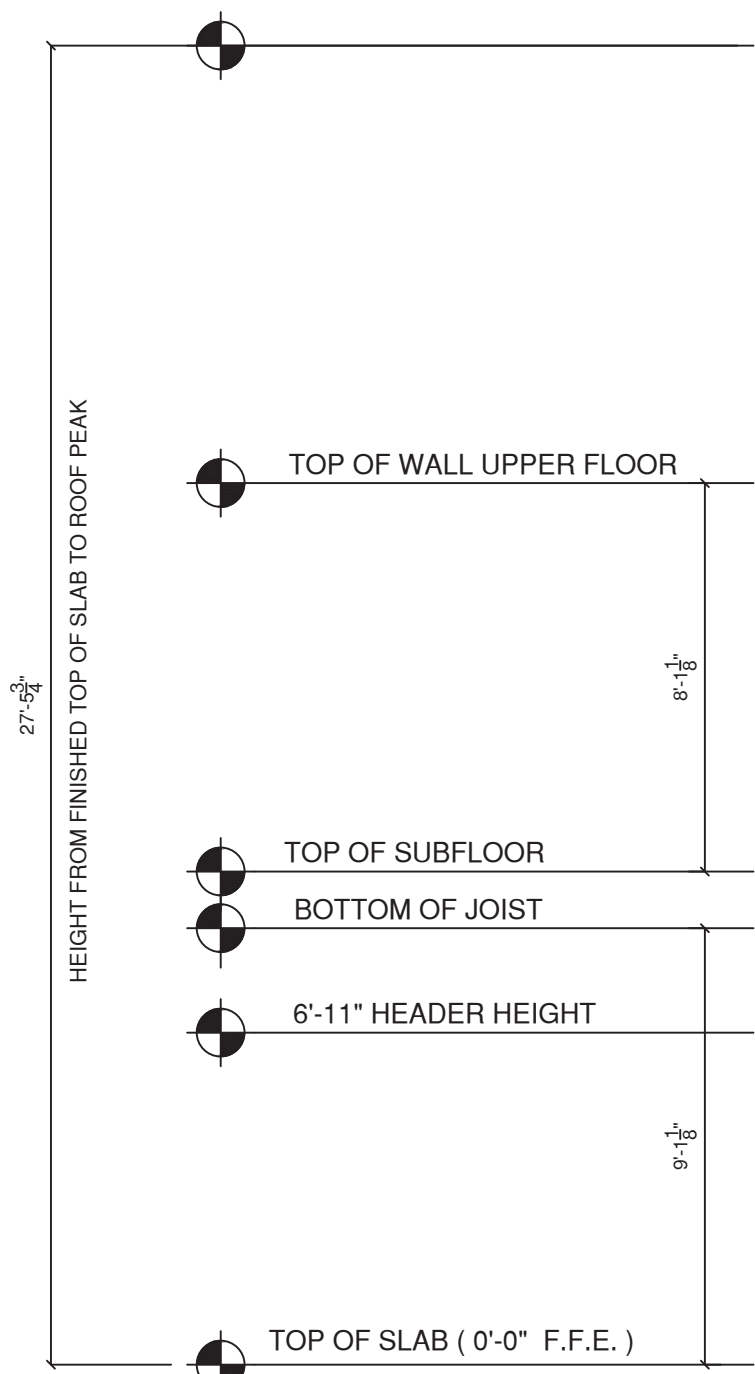
PERMANENT III

JOB # : 12-272

CLEMONS

CUSTOMER SELECTION NOTES

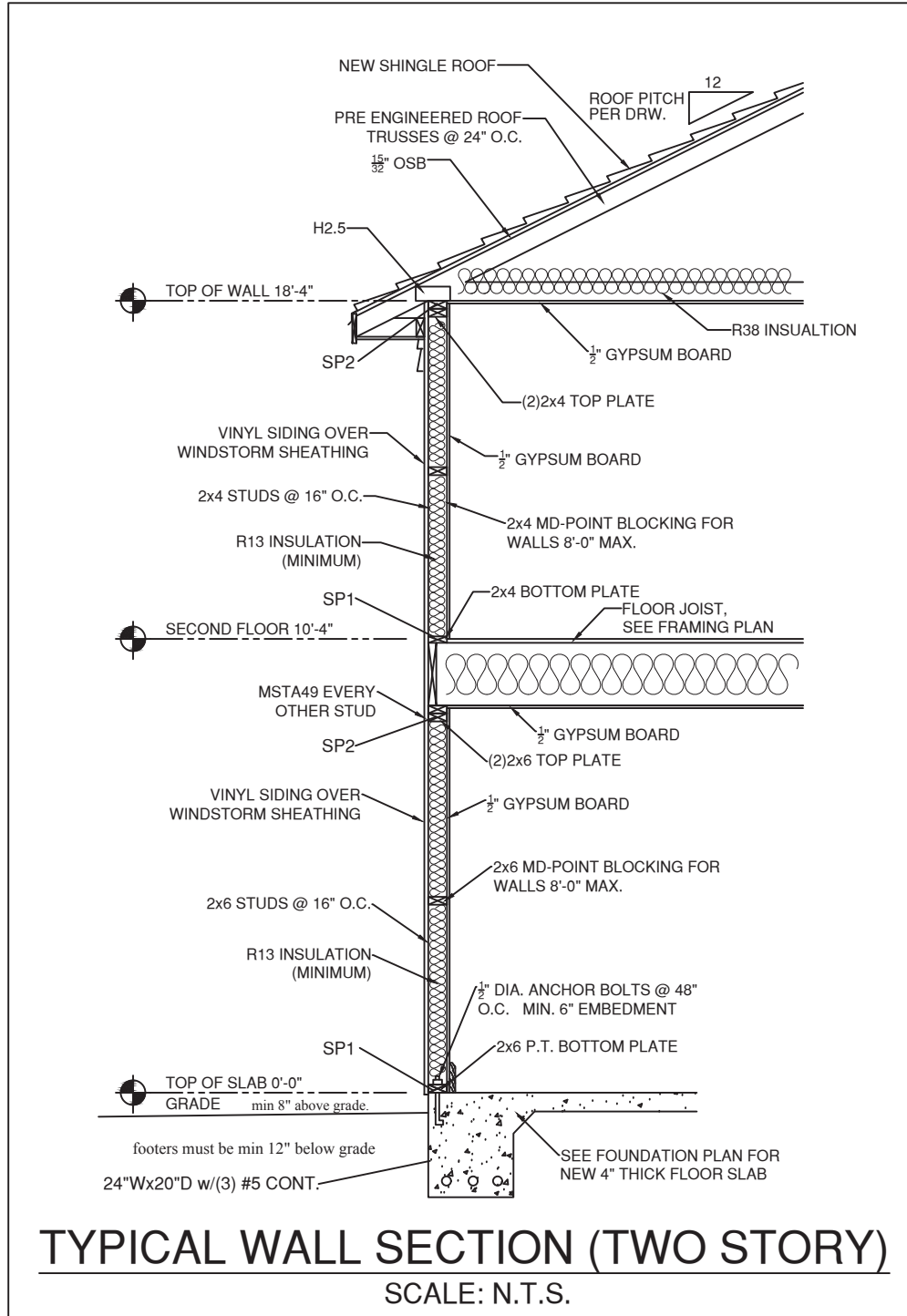
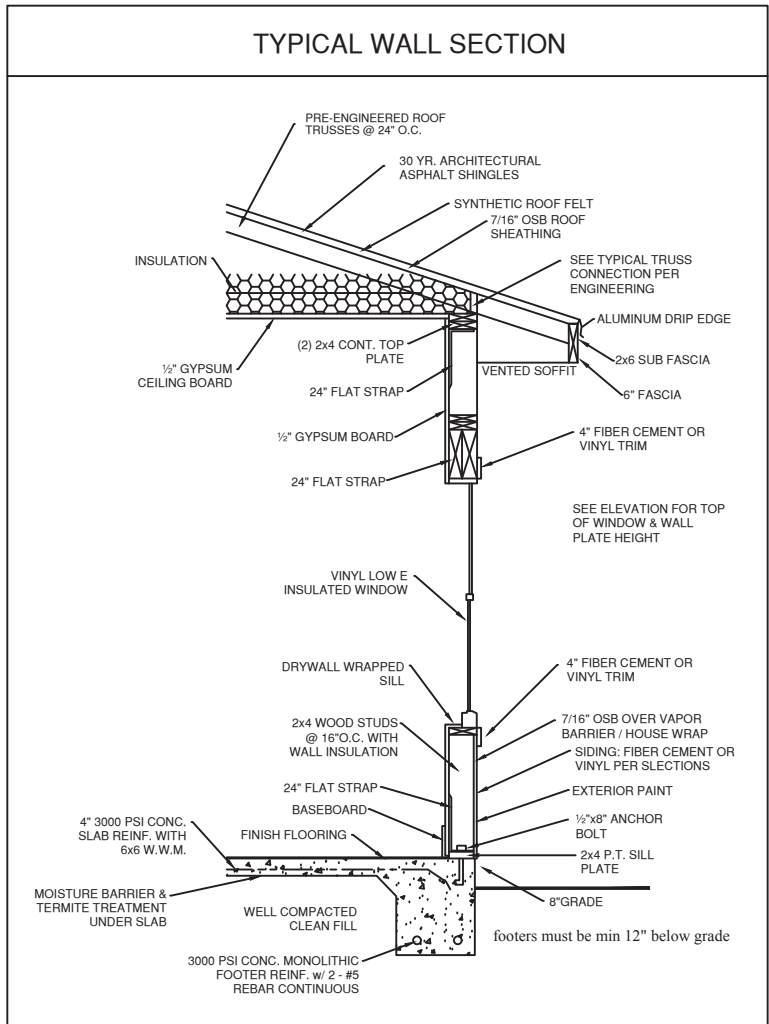
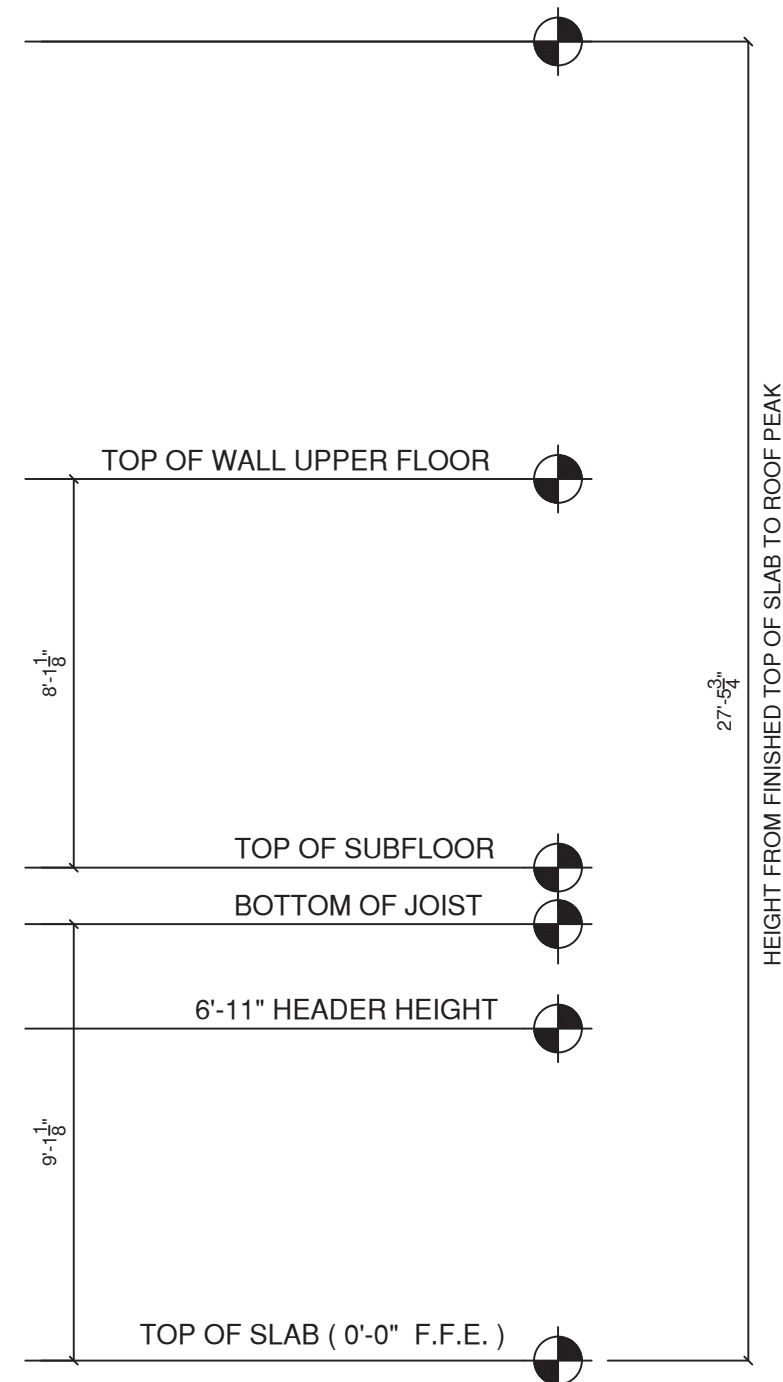
ELEVATIONS	FLOOR PLAN	KITCHEN	BATHROOMS	BATHROOMS CONTINUED	APPLIANCES CONTINUED
SIDING MATERIAL TO BE: ● VINYL SIDING () CEMENT LAP SIDING () STUCCO ROOFING MATERIAL TO BE: ● ARCHITECTURAL SHINGLES WINDOW GRID PATTERNS TO BE : () 6 OVER 6 ● 3 OVER 1 () 1 OVER 1 GARAGE DOOR OPTIONS IF APPLICABLE : () STANDARD RAISED PANEL ● RIBBED PANEL DESIGN ● ADD GLASS PANELS WITH GRIDS () ADD GLASS PANELS WITHOUT GRIDS () ADD GARAGE DOOR OPENER () ADD GARAGE DOOR OPENER KEYPAD SHUTTER OPTIONS : () NO SHUTTERS () VINYL RAISED PANEL () VINYL LOUVERED ● VINYL BOARD & BATTEN () GARAGE DOOR OPENER W/ 2 REMOTES () KEYPAD FOR GARAGE DOOR OPENER EXTERIOR DOOR STYLES : () FRONT - 6 PANEL ● FRONT - 3-LITE CRAFTSMAN () FRONT - FULL GLASS NO GRIDS () FRONT - FULL GLASS W/ GRIDS ● REAR - SLIDING GLASS () REAR - 6 PANEL () REAR - FULL GLASS NO GRIDS () REAR - FULL GLASS W/ GRIDS () SIDE - SLIDING GLASS ● SIDE - 6 PANEL () SIDE - FULL GLASS NO GRIDS () SIDE - FULL GLASS W/ GRIDS	CEILING HEIGHTS AND OPTIONS: () 8'- STANDARD () 9'- OPTIONAL () 10'- OPTIONAL () VAULT CEILING IN LIVING AREAS () TRAY CEILING IN MASTER BATH () TRAY CEILING IN LIVING ROOM () TRAY CEILING IN FOYER () TRAY CEILING IN FLEX / FORMAL / STUDY () TRAY CEILING IN ENTIRE LIVING AREA INTERIOR DOOR STYLE: ● 6 - PANEL COLONIAL () 2 - PANEL ARCHED TOP () 2 - PANEL CHEYENNE () 5 - PANEL () SHAKER 3 PANEL () BIRKDALE 3 PANEL INTERIOR DOOR HARDWARE: **CIRCLE COLOR** ● DORIAN LEVER - CHROME (S.N.) / VEN. BRNZE. () BALBOA LEVER - CHROME / S.N. / VEN. BRNZE. () DELTA LEVER - CHROME / S.N. / VEN. BRNZE. () TYLO KNOB - CHROME / S.N. / VEN. BRNZE. () COVE KNOB - CHROME / S.N. / VEN. BRNZE. () POLO KNOB - CHROME / S.N. / VEN. BRNZE. ELECTRICAL PLAN BREAKFAST AREA LIGHT FIXTURES: () 3 - BULB SATIN CHROME () 3 - BULB SATIN NICKEL ● 3 - BULB SATIN MATTE BLACK () 3 - BULB SATIN OIL RUBBED BRONZE DINING AREA LIGHT FIXTURES: ● 5 - BULB SATIN MATTE BLACK FOYER LIGHT FIXTURES: ● 5 - BULB SATIN MATTE BLACK MASTER VANITY LIGHT FIXTURES: ● 3 - BULB SATIN CHROME () 3 - BULB SATIN NICKEL () 3 - BULB SATIN MATTE BLACK () 3 - BULB SATIN OIL RUBBED BRONZE	KITCHEN CABINET OPTIONS: () LEVEL 1 PAINTED CABINETS () LEVEL 1 STAINED CABINETS () LEVEL 2 PAINTED CABINETS () LEVEL 2 STAINED CABINETS () 30" UPPER WALL CABINETS () 30" & 36" STAGGERED UPPER WALL CABINETS ● 42" UPPER WALL CABINETS () KNOBS ● PULLS ● CROWN MOULDING ON UPPER WALL CABINETS () SOFT CLOSE CABINET DOORS () SOFT CLOSE CABINET DRAWERS KITCHEN COUNTER TOP OPTIONS: () LAMINATE TOPS ● LEVEL 1 GRANITE () LEVEL 2 GRANITE () LEVEL 1 QUARTZ () LEVEL 2 QUARTZ () ADD 4" GRANITE BACKSPLASH () ADD 4" QUARTZ BACKSPLASH KITCHEN SINK OPTION: () 8" DEEP 50/50 DROP-IN SINK ● UNDERMOUNT DEEP 50/50 SINK () UNDERMOUNT PLATINUM SINGLE BOWL SINK () FARM SINK KITCHEN FAUCET OPTION: ● PFIRST SERIES 1 - CHROME () PFIRST SERIES 1 - STAINLESS () PFIRST SERIES 1 - MATTE BLACK () STELLEN 1 - STAINLESS () STELLEN 1 - MATTE BLACK () STELLEN 1 - BRUSHED GOLD () STELLEN TOUCHLESS - CHROME () STELLEN TOUCHLESS - STAINLESS () STELLEN TOUCHLESS - MATTE BLACK () NEERA CULINARY - STAINLESS () NEERA CULINARY - GOLD () NEERA CULINARY - MATTE BLACK () ASARI - CHROME () ASARI - STAINLESS () ASARI - GOLD () ASARI - MATTE BLACK	MASTER BATH VANITY CABINET OPTIONS: ● LEVEL 1 PAINTED CABINETS () LEVEL 1 STAINED CABINETS () LEVEL 2 PAINTED CABINETS () LEVEL 2 STAINED CABINETS ● KNOBS () PULLS () SOFT CLOSE DOORS () SOFT CLOSE DRAWERS () RAISED HEIGHT VANITY () LAMINATE TOP(S) ● LEV. 1 GRANITE TOP(S) () LEV. 2 GRANITE TOP(S) () LEV. 1 QUARTZ TOP(S) () LEV. 2 QUARTZ TOP(S) () ROUND DROP-IN SINK(S) () ROUND UNDERMOUNT SINK(S) ● RECTANGLE UNDERMOUNT SINK(S) HALL BATH 1 VANITY CABINET OPTIONS: ● LEVEL 1 PAINTED CABINETS () LEVEL 1 STAINED CABINETS () LEVEL 2 PAINTED CABINETS () LEVEL 2 STAINED CABINETS ● KNOBS () PULLS () SOFT CLOSE DOORS () SOFT CLOSE DRAWERS () RAISED HEIGHT VANITY () LAMINATE TOP(S) ● LEV. 1 GRANITE TOP(S) () LEV. 2 GRANITE TOP(S) () LEV. 1 QUARTZ TOP(S) () LEV. 2 QUARTZ TOP(S) () ROUND DROP-IN SINK(S) () ROUND UNDERMOUNT SINK(S) ● RECTANGLE UNDERMOUNT SINK(S)	HALL BATH 2 VANITY CABINET OPTIONS CONTINUED: () SOFT CLOSE DRAWERS () RAISED HEIGHT VANITY () LAMINATE TOP(S) () LEV. 1 GRANITE TOP(S) () LEV. 2 GRANITE TOP(S) () LEV. 1 QUARTZ TOP(S) () LEV. 2 QUARTZ TOP(S) () ROUND DROP-IN SINK(S) () ROUND UNDERMOUNT SINK(S) () RECTANGLE UNDERMOUNT SINK(S) GUEST BATH VANITY CABINET OPTIONS: () LEVEL 1 PAINTED CABINETS () LEVEL 1 STAINED CABINETS () LEVEL 2 PAINTED CABINETS () LEVEL 2 STAINED CABINETS () KNOBS () PULLS () SOFT CLOSE DOORS () SOFT CLOSE DRAWERS () RAISED HEIGHT VANITY () LAMINATE TOP(S) ● PFIRST SERIES 1 ((CHROME) / S.S. / MATTE BLK.) () STELLEN 1 (S.S. / BRSHD.GOLD / MATTE BLK.) () NEERA CULINARY (S.S. / GOLD / BLACK) () ASARI (CHROME / S.S. / GOLD / BLACK) () STELLEN TOUCHLESS (CHROME / S.S. / BLACK) KITCHEN SINK () 8" DEEP DOUBLE BOWL SINK (DROP-IN) ● UNDERMOUNT DEEP DOUBLE SINK 50/50 () UNDERMOUNT PLATINUM BOWL () FARM SINK MASTER BATH SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT HALL BATH 1 SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT HALL BATH 2 SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT GUEST BATH SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT	ALL STAINLESS LEVEL 2 APPLIANCES () 30" RECIRCULATING RANGE HOOD () 30" VENTED RANGE HOOD () RECIRCULATING MICROWAVE / HOOD () VENTED MICROWAVE / HOOD ALL STAINLESS LEVEL 3 APPLIANCES () 30" RECIRCULATING RANGE HOOD ● 30" VENTED RANGE HOOD () RECIRCULATING MICROWAVE / HOOD () VENTED MICROWAVE / HOOD CUSTOMER SUPPLIED APPLIANCES () YES PLUMBING HARDWARE KITCHEN FAUCET - **CIRCLE COLOR OPTION** ● PFIRST SERIES 1 ((CHROME) / S.S. / MATTE BLK.) () STELLEN 1 (S.S. / BRSHD.GOLD / MATTE BLK.) () NEERA CULINARY (S.S. / GOLD / BLACK) () ASARI (CHROME / S.S. / GOLD / BLACK) () STELLEN TOUCHLESS (CHROME / S.S. / BLACK) KITCHEN SINK () 8" DEEP DOUBLE BOWL SINK (DROP-IN) ● UNDERMOUNT DEEP DOUBLE SINK 50/50 () UNDERMOUNT PLATINUM BOWL () FARM SINK MASTER BATH SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT HALL BATH 1 SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT HALL BATH 2 SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT GUEST BATH SINK(S) () ROUND DROP-IN () ROUND UNDERMOUNT () RECTANGLE UNDERMOUNT



FRONT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"



Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

FREEDOM
CODE COMPLIANCE

GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Front & Rear Elevations

BRIGHTON "CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272

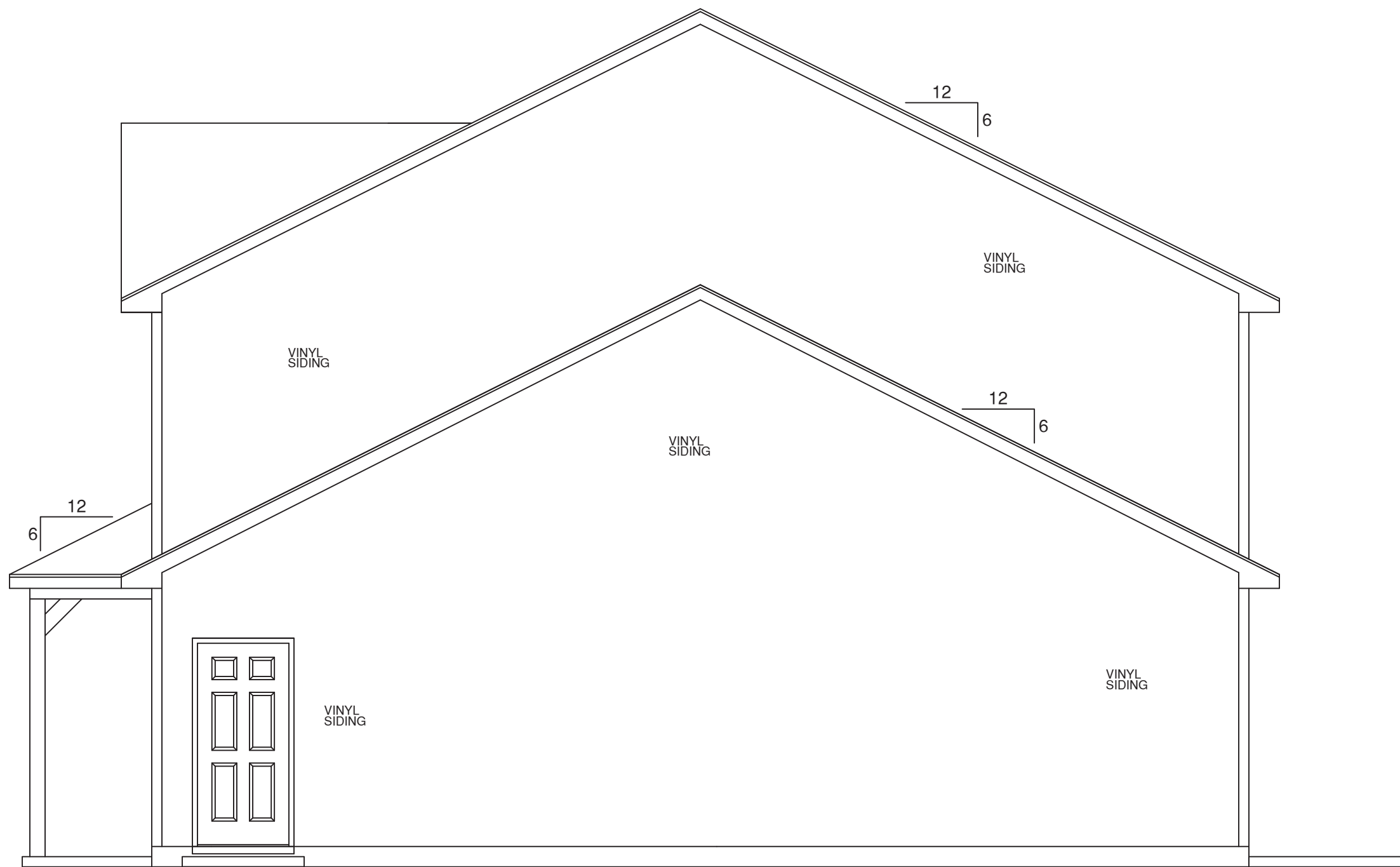
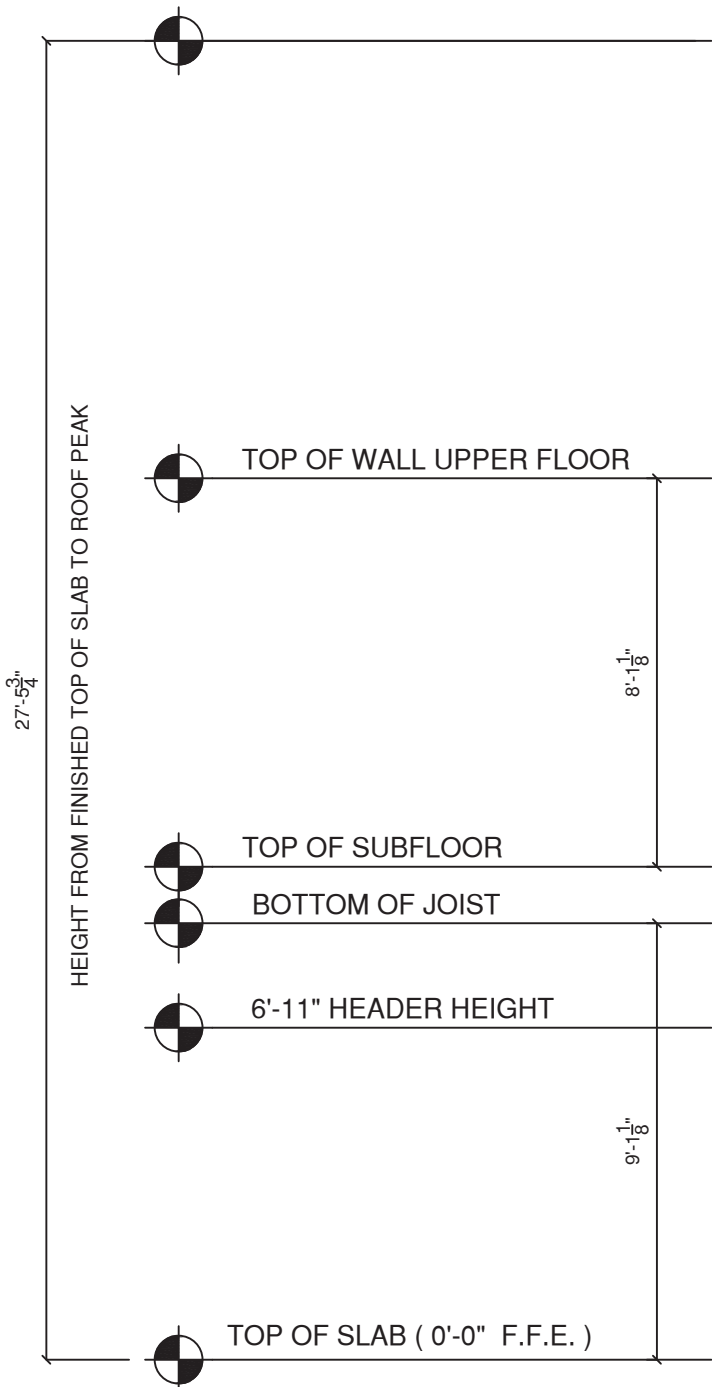
CLEMONS

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

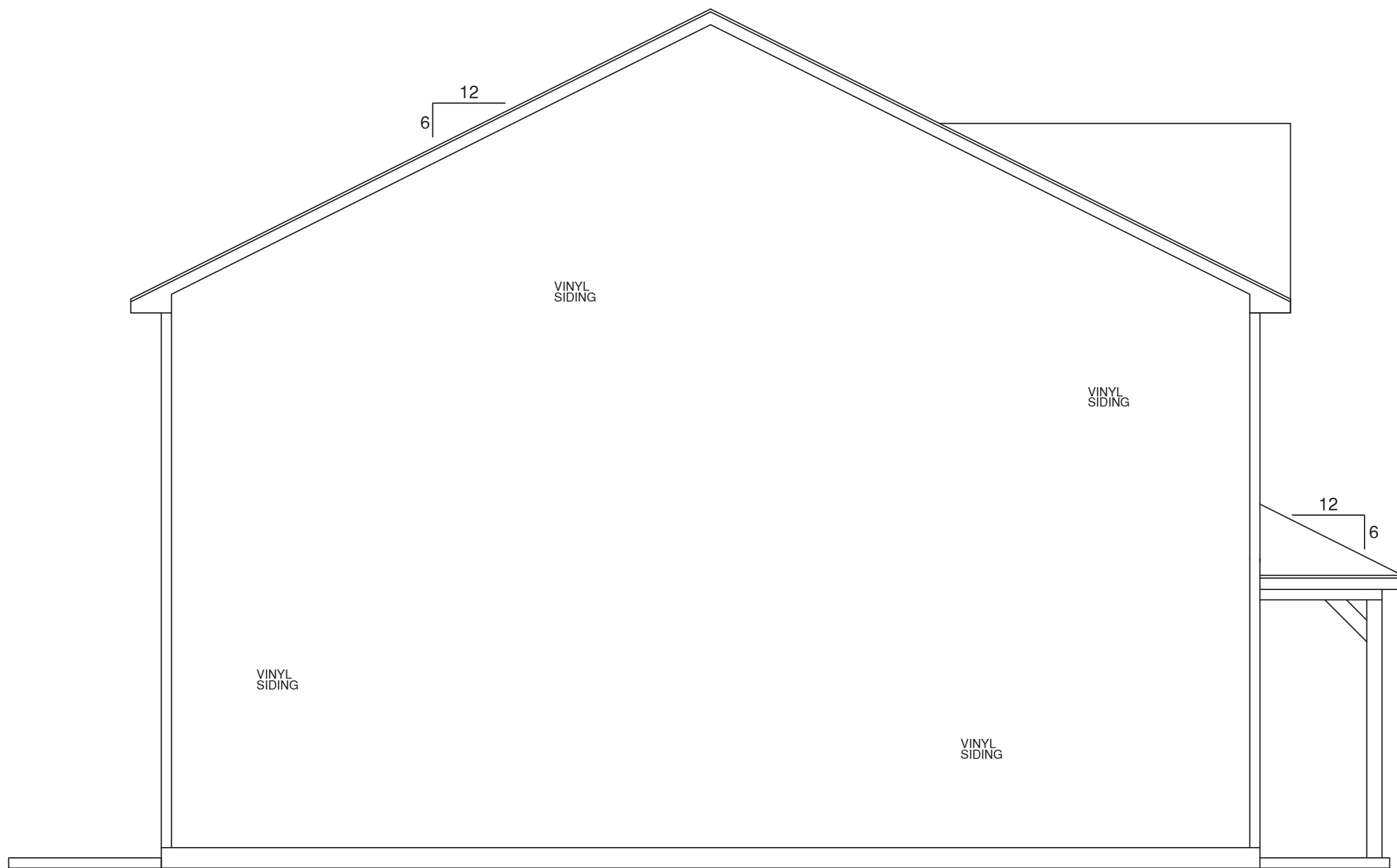
THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



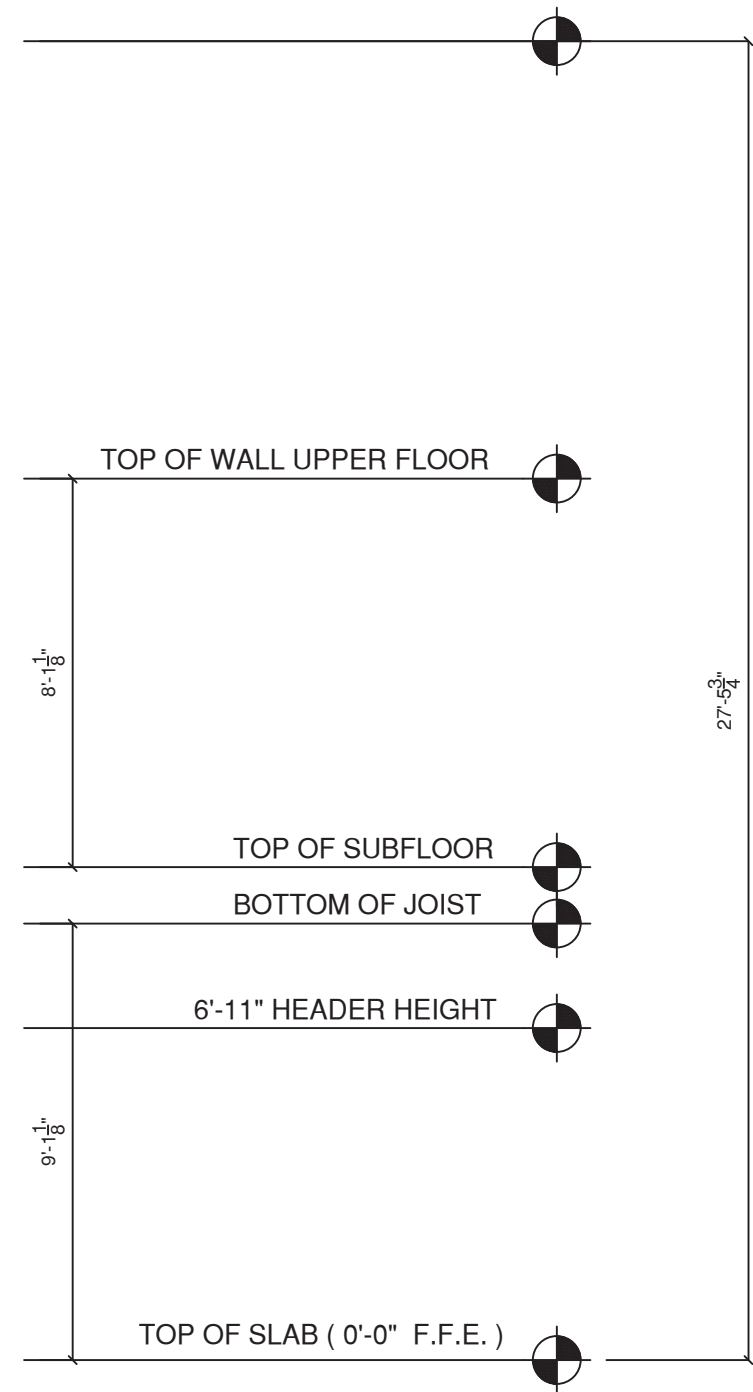
FLORIDA ENGINEERING, LLC
4101 TARBURTON TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (813) 981-8985
FAX: (813) 979-8196



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Right & Left Elevations

BRIGHTON "CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272
CLEMONS

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



4101 TAMARAC TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8985
FAX: (841) 879-8166



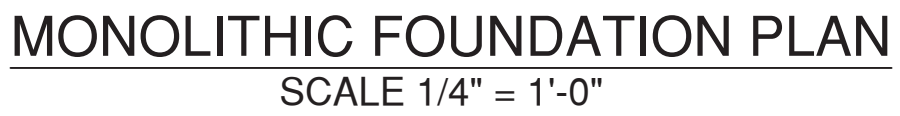
FLORIDA ENGINEERING, LLC
161 TAMiami TRAIL, UNIT 101
PORT CHARLOTTE, FL 33952
PH: (941) 391-5999
FAX: (941) 979-8196

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

PRELIM. : 6/23/2025 JPH
 PERM. : 08/19/2025 BES*
 PERM II: 08/27/2025 BES*
 PERM. III : 08/28/2025 JPH

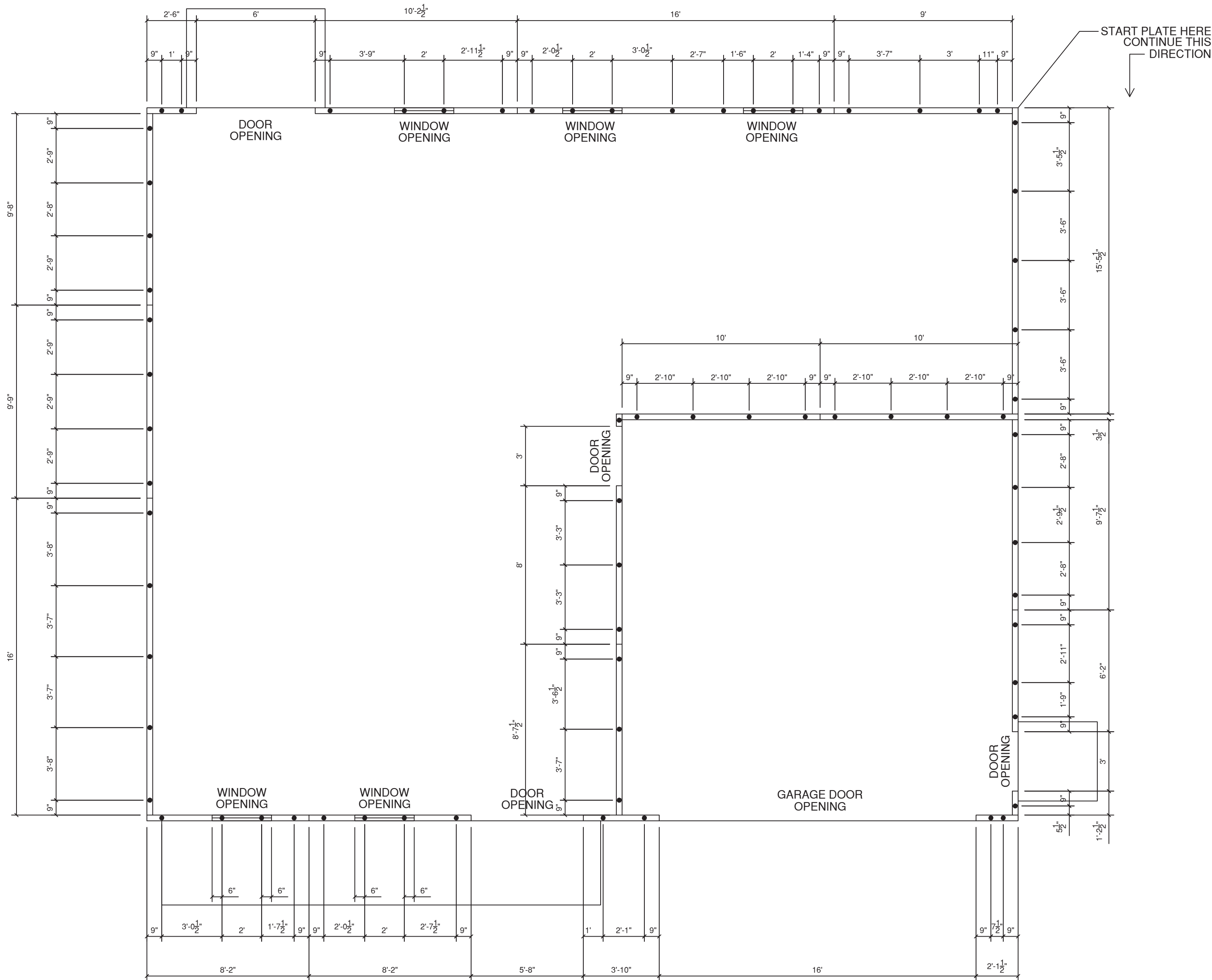
CLEMONS



FREEDOM
CODE COMPLIANCE

GENERAL J-BOLT PLAN NOTES:

- J-BOLTS ARE TO BE NO MORE THAN 9" FROM THE END OF THE BOARD.
- ALL J-BOLTS MUST BE MUST BE INSTALLED NO MORE THAN 4'-0" APART FROM ONE ANOTHER.
- J-BOLTS ARE TO BE INSTALLED 6"- IN. FROM THE OUTSIDE EDGE OF ALL WINDOWS.
- ALL J-BOLTS USED MUST MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES.



J-BOLT LOCATION PLAN
SCALE 1/4" = 1'-0"

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



GENERAL BUILD'G NOTES

- MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
- INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
- ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
- WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
- HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
- SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
- FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
- ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
- ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
- BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
- LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
- BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. I : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

J-Bolt Plan

BRIGHTON
"CRAFTSMAN"



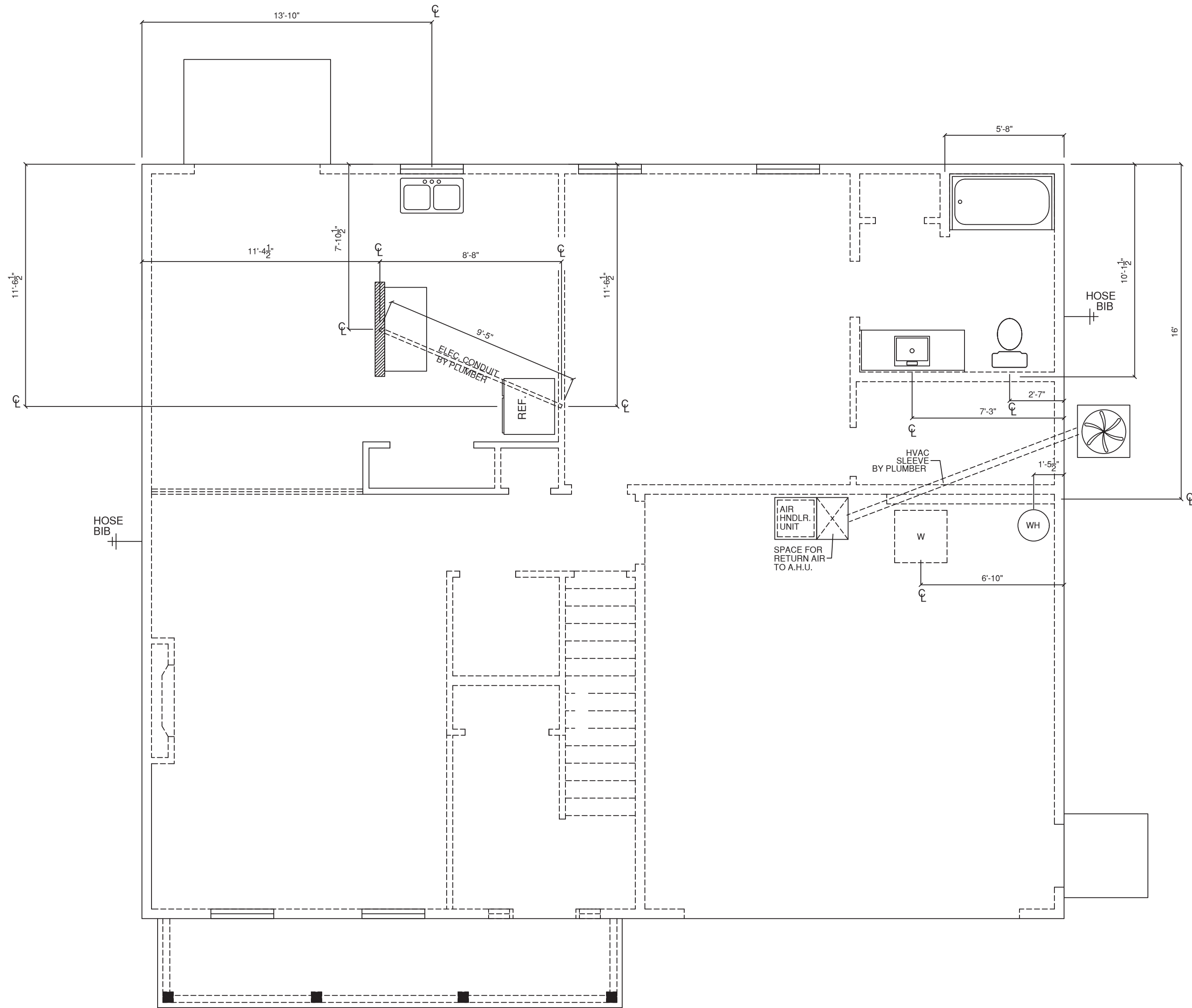
COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272
CLEMONS

GENERAL PLUMBING PLAN NOTES:

1. DIMENSIONS ARE CENTERED ON PLUMBING FIXTURES AND TO THE CENTER OF THE WALLS.



PLUMBING PLAN
SCALE 1/4" = 1'-0"

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH

PERM. : 08/19/2025 BES*

PERM II: 08/27/2025 BES*

PERM. III : 08/28/2025 JPH

Plumbing Plan

BRIGHTON
"CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272

CLEMONS



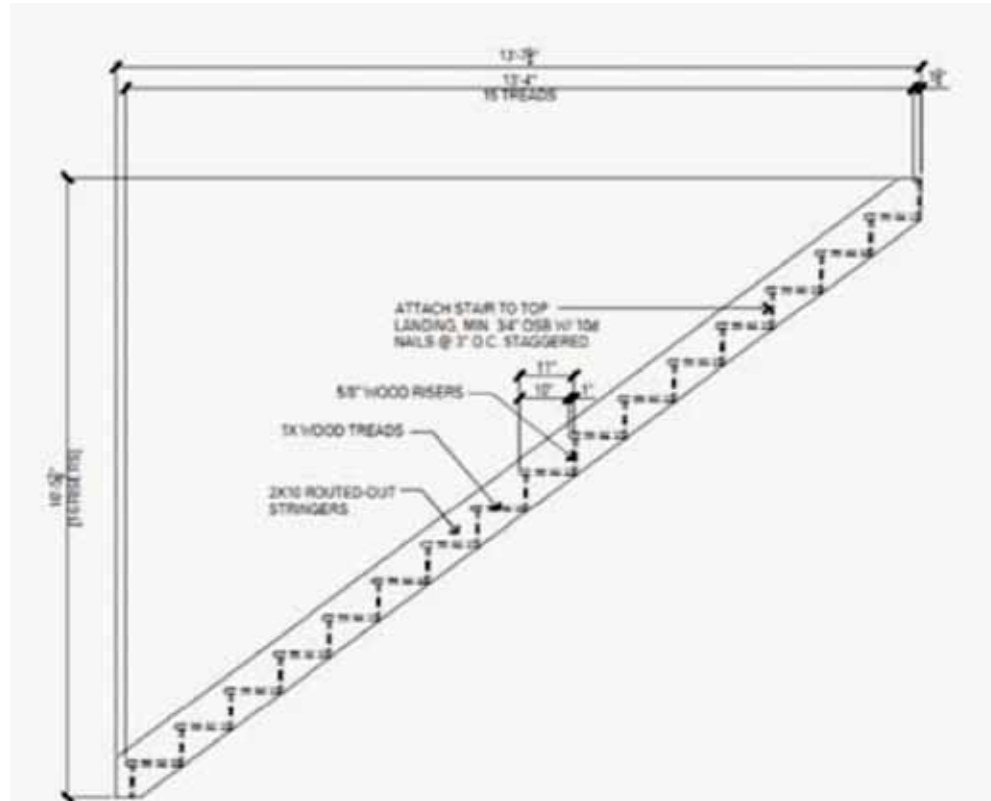
1. HOUSE IS WOOD FRAME CONSTRUCTION.
2. 3" OPENINGS OR LESS: PROVIDE MINIMUM (2) 2X6 No.2 SOUTHERN PINE WOOD HEADER WITH 1/2" LAYER OF SOLID CONTINUOUS PLYWOOD OR OSB SPACERS GLUED AND NAILED WITH 10dX0.128" X 3" NAILS AT 12" O.C. IN 2 ROWS TOP AND BOTTOM AND CENTER ROW AT 12" O.C.
3. 6" OPENINGS OR LESS: PROVIDE MINIMUM (2) 2X10 No.2 SOUTHERN PINE WOOD HEADER WITH 1/2" LAYER OF SOLID CONTINUOUS PLYWOOD OR OSB SPACERS GLUED AND NAILED WITH 10dX0.128" X 3" NAILS AT 12" O.C. IN 2 ROWS TOP AND BOTTOM AND CENTER ROW AT 12" O.C.

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES
12. LOCAL, STATE, & NATIONAL BUILDING CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

PRELIM. : 6/23/2025 JPH
 PERM. : 08/19/2025 BES*
 PERM II: 08/27/2025 BES*
 PERM. III : 08/28/2025 JPH

JOB # : 12-272
CLEMONS



WINDOW SCHEDULE (TYP.)		
WINDOW TYPE	ACTUAL SIZE	FRAMED ROUGH OPENING
2030 SH	23-1/2" W x 35-1/2" H	24" W X 36" H
3030 SH	35-1/2" W x 35-1/2" H	36" W x 36" H
3050 SH	35-1/2" W x 59-1/2" H	36" W x 60" H
3050-2 SH	71-1/2" W x 59-1/2" H	72" W x 60" H
3050-3 SH	107-1/2" W x 59-1/2" H	108" W x 60" H
4040 SH	47-1/2" W x 47-1/2" H	48" W x 48" H
4010 SH	47-1/2" W x 11-1/2" H	48" W x 12" H

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS NOTED BY ANY COMMENTS ON THESE PLANS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



FLORIDA ENGINEERING, INC.
51 TAMiami TRAIL, UNIT 33
FORT CHARLOTTE, FL. 33703
PH: (941) 391-5980
FAX: (941) 978-8126

GENERAL FLOOR PLAN NOTES:

- HOUSE IS WOOD FRAME CONSTRUCTION.
- 3" OPENINGS OR LESS: PROVIDE MINIMUM (2) 2X6 No.2 SOUTHERN PINE WOOD HEADER WITH 1/2" LAYER OF SOLID CONTINUOUS PLYWOOD OR OSB SPACERS GLUED AND NAILED WITH 10dX0.128" X 3" NAILS AT 12" O.C. IN 2 ROWS TOP AND BOTTOM AND CENTER ROW AT 12" O.C.
- 6" OPENINGS OR LESS: PROVIDE MINIMUM (2) 2X10 No.2 SOUTHERN PINE WOOD HEADER WITH 1/2" LAYER OF SOLID CONTINUOUS PLYWOOD OR OSB SPACERS GLUED AND NAILED WITH 10dX0.128" X 3" NAILS AT 12" O.C. IN 2 ROWS TOP AND BOTTOM AND CENTER ROW AT 12" O.C.

GENERAL BUILD'G NOTES

- MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
- INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
- ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
- WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
- HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
- SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
- FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
- ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
- ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR , AND LICENSED ENGINEER
- BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
- LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
- BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Second Floor Plan

BRIGHTON
"CRAFTSMAN"

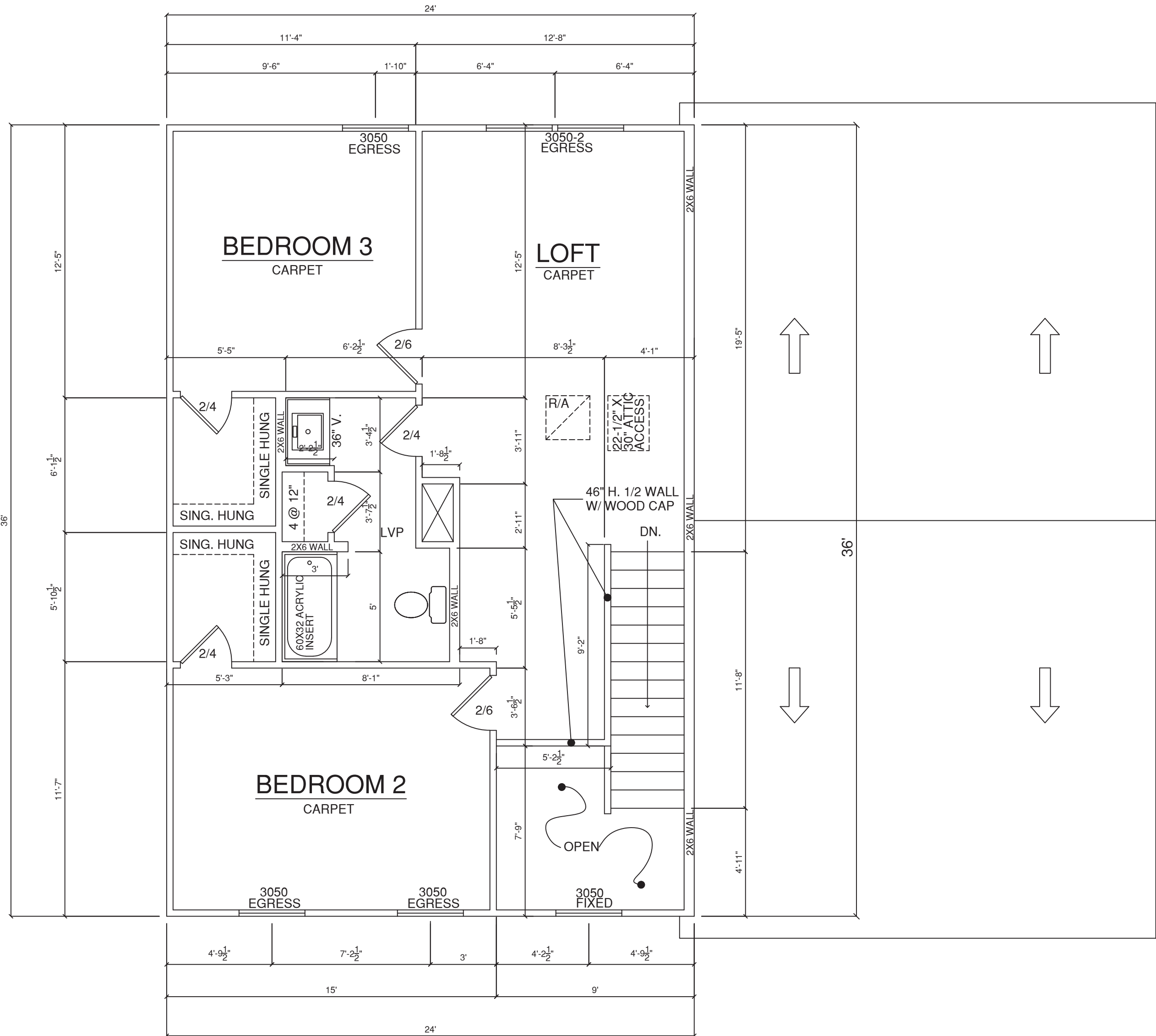


COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272

CLEMONS



SECOND FLOOR
SCALE 1/4" = 1'-0"

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

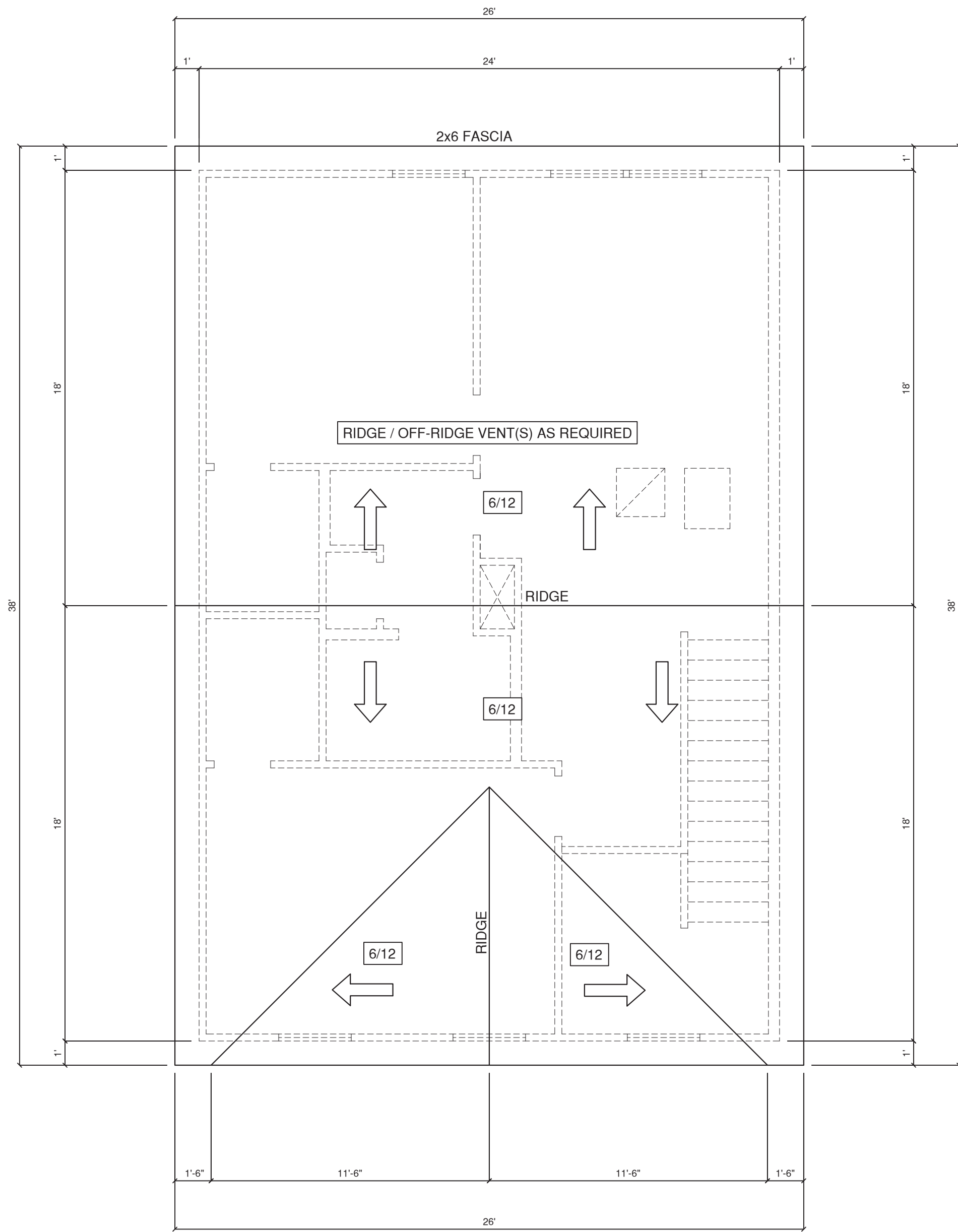
THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



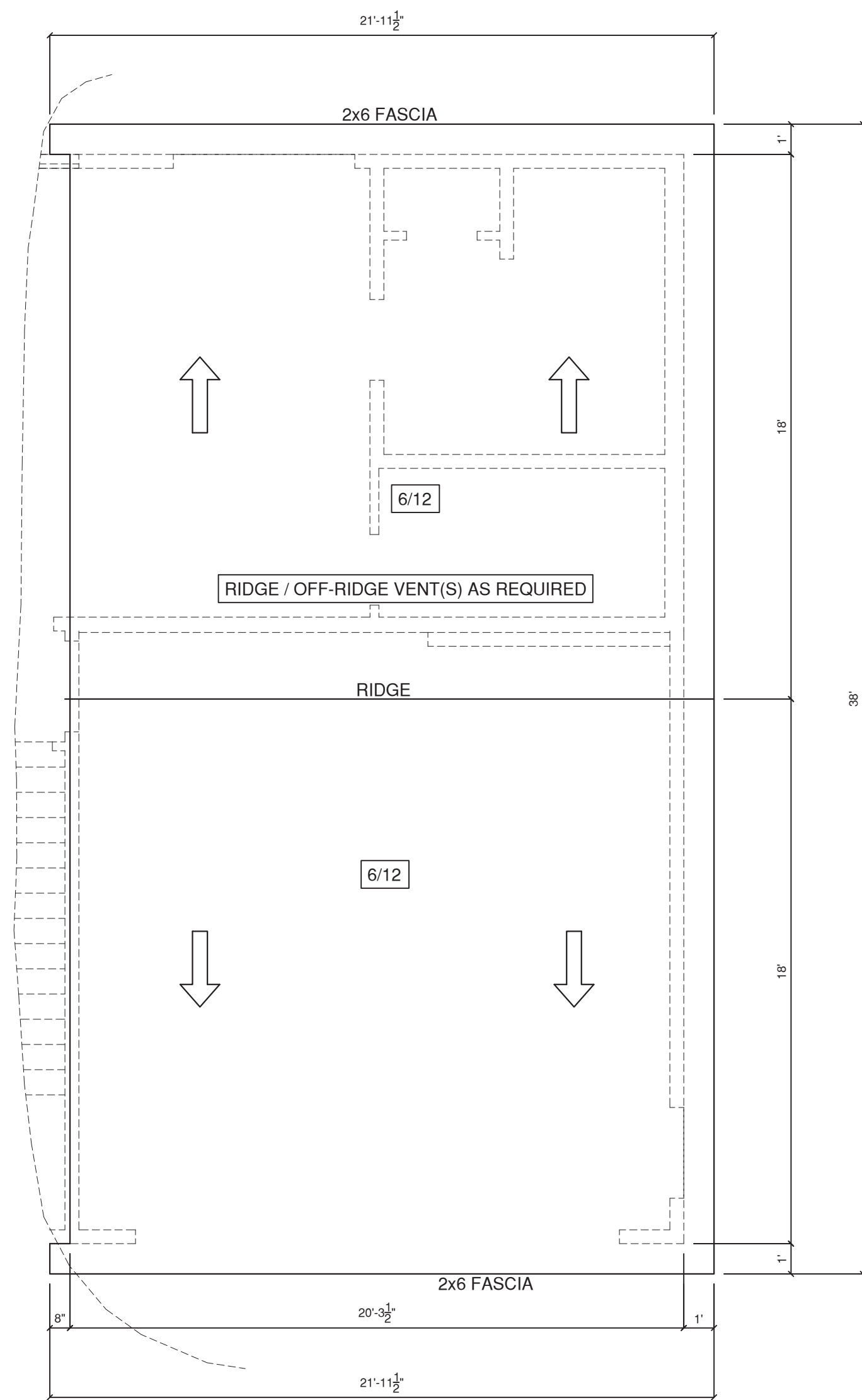
FLORIDA ENGINEERING, LLC
4101 TARBUM TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8985
FAX: (841) 879-8186

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

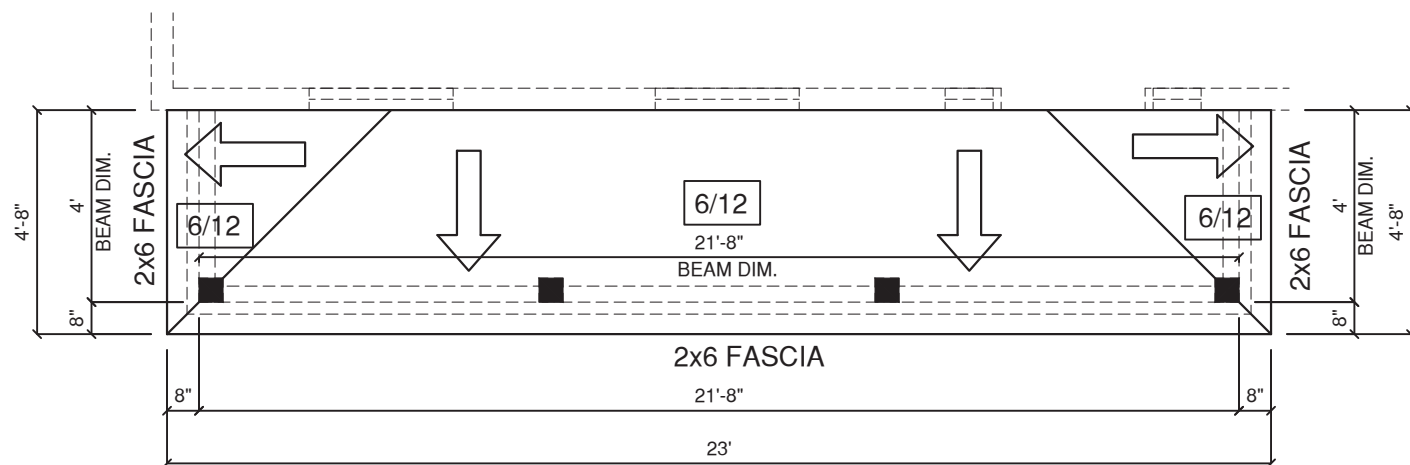




ROOF PLAN
SCALE 1/4" = 1'-0"



GARAGE / BONUS ROOM ROOF PLAN
SCALE 1/4" = 1'-0"



PORCH ROOF PLAN
SCALE 1/4" = 1'-0"

- GENERAL ROOF PLAN NOTES:
1. TRUSSES ARE NOT TO COVER PLUMBING WALLS
 2. RIDGE / OFF-RIDGE VENT(S) AS REQUIRED

GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR , AND LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Roof Plan

BRIGHTON
"CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272
CLEMONS

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

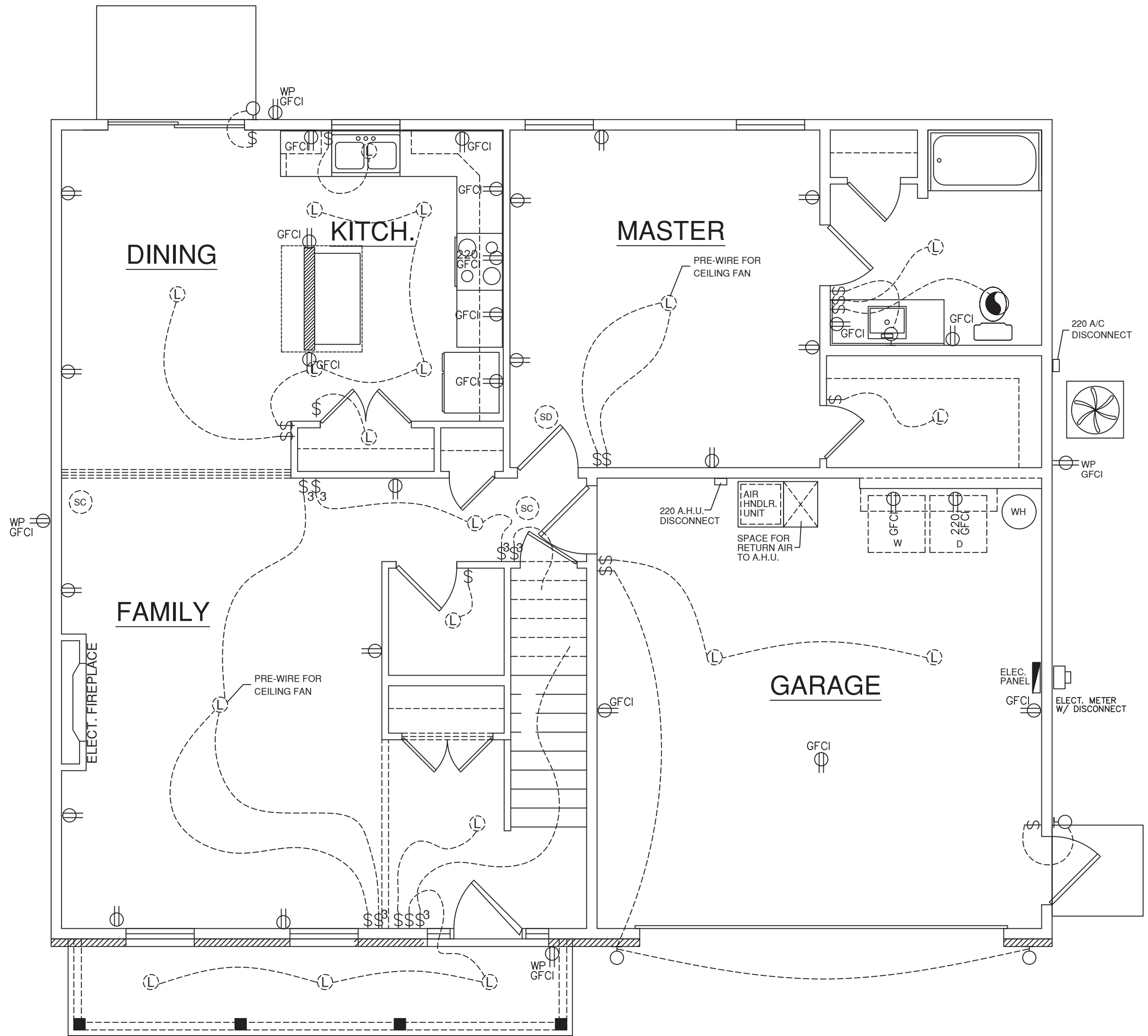


I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



FLORIDA ENGINEERING, LLC
4101 TAMARIT TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8585
FAX: (841) 879-8186



FIRST FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. SURFACE MOUNT
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE / CARBON DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

- ALL ELECTRICAL TO MEET N.E.C.
- PROVIDE 200 AMP SINGLE PHASE SERVICE
- PROVIDE ALL COPPER WIRING
- CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES
- CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
- PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:
- PROVIDE AFCI'S (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NEC210.12

SWITCHES 42"
OUTLETS 14"
TELEPHONE 14"
TELEVISION 14"

GENERAL BUILD'G NOTES

- MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
- INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
- ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
- WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
- HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
- SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
- FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
- ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
- ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
- BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
- LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
- BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

1st Floor Electric Plan

BRIGHTON "CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272

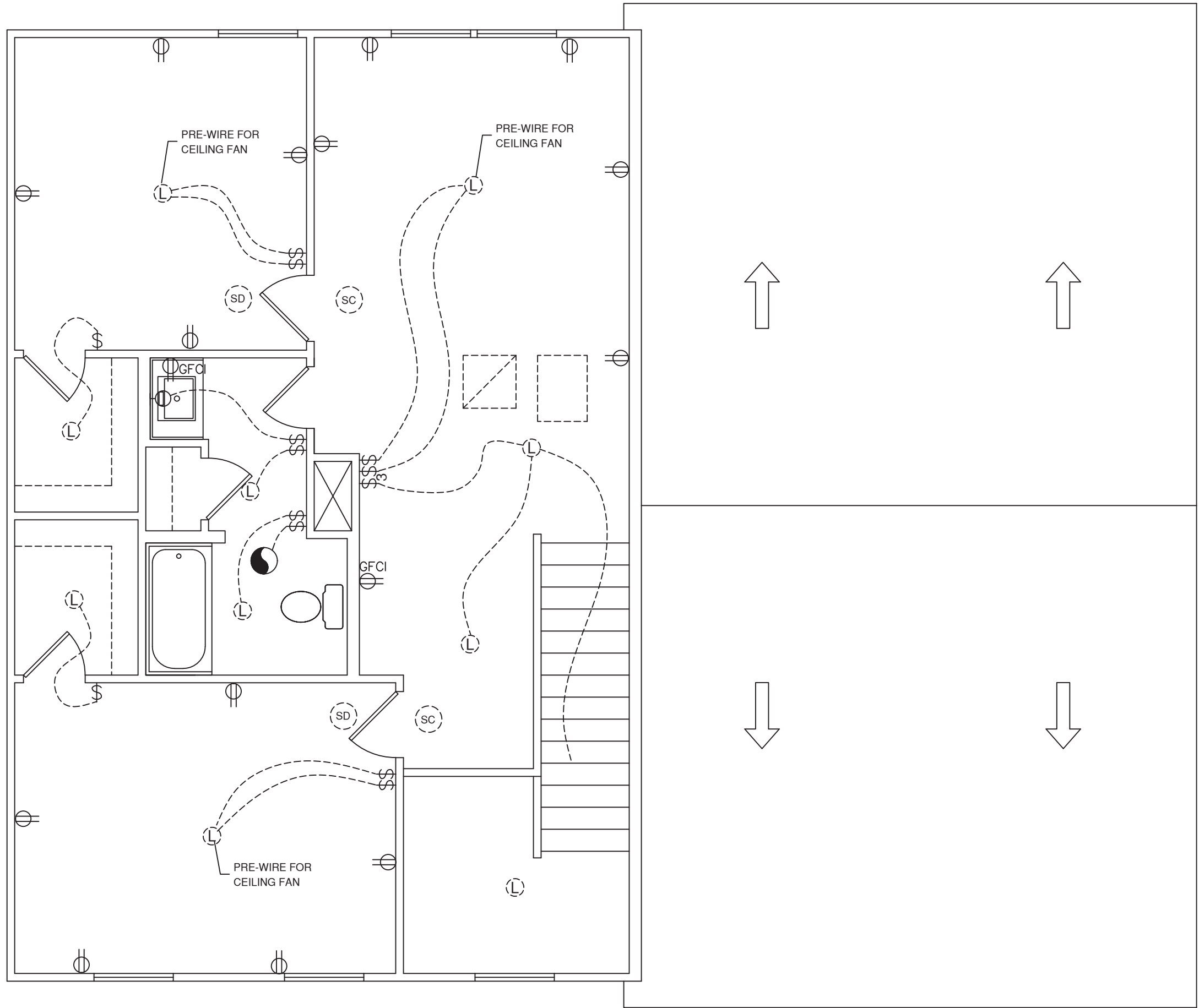
CLEMONS

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS IS IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENT 1.



FLORIDA ENGINEERING, LLC
4101 TAMARIT TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8585
FAX: (841) 879-8196



SECOND FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND

	DUPLEX OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	WATER PROOF OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LIGHT, SURFACE MOUNTED
	LIGHT, L.E.D. SURFACE MOUNT
	LIGHT, PENDANT
	LIGHT, COACH / VANITY
	LIGHT, UNDER WALL CABINET
	LIGHT, OUTDOOR FLOOD
	EXHAUST FAN
	SMOKE DETECTOR
	SMOKE / CARBON DETECTOR
	THERMOSTAT
	CEILING FAN WITH LIGHT
	CEILING FAN PRE-WIRE AT LIGHT
	RECEPTACLE, PHONE
	RECEPTACLE, CAT CABLE
	RECEPTACLE, T.V. CABLE
	ELECTRICAL PANEL
	METER BASE
	CHIME BELL, DOOR
	EAVE LIGHT

ELECTRICAL NOTES

- ALL ELECTRICAL TO MEET N.E.C.
- PROVIDE 200 AMP SINGLE PHASE SERVICE
- PROVIDE ALL COPPER WIRING
- CONTRACTOR TO CONNECT ALL FIXTURES AND APPLIANCES
- CONTRACTOR TO HAVE VALID LICENSE TO DO ELECTRICAL WORK
- PROVIDE #5 REBAR ELECTRICAL GROUND TO FOUNDATION STEEL
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT- INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
- UNLESS OTHERWISE INDICATED, INSTALL SWITCHES & RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE THE FINISHED FLOOR:
- PROVIDE AFCI'S (ARC-FAULT CIRCUIT INTERRUPTERS) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS IN ALL DWELLING UNITS PER NEC210.12

SWITCHES	42"
OUTLETS	14"
TELEPHONE	14"
TELEVISION	14"

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENT.



FLORIDA ENGINEERING, LLC
4101 TABARRA TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8585
FAX: (841) 879-8196

GENERAL BUILD'G NOTES

- MAIN FLOOR PLATE HEIGHT TO BE 8'-0" UNLESS NOTED OTHERWISE
- OPTIONAL BONUS PLATE HEIGHT TO BE UNLESS NOTED OTHERWISE
- INTERIOR AND EXTERIOR WALLS TO BE DRAWN AT 3 1/2" U.N.O.
- ALL ANGLES TO BE DRAWN AT 90° OR 45° UNLESS NOTED OTHERWISE
- WINDOW HEADER HEIGHT TO BE SET AT 6'-11" FROM TOP OF HOUSE SLAB TO BOTTOM OF WINDOW HEADER U.N.O.
- HEADER SIZES AND MATERIALS TO BE DETERMINED AND VERIFIED BY LICENSED ENGINEER AND BUILDER.
- SIZES, LOCATIONS, AND MATERIALS OF BEAMS, TRUSSES, GIRDERS, AND HEADERS ARE TO BE DETERMINED AND VERIFIED BY BUILDER, FRAMER, TRUSS SHOP, AND LICENSED ENGINEER
- FOOTER SIZE, MATERIAL AND LOCATIONS TO BE VERIFIED AND DETERMINED BY BUILDER, FOOTER CONTRACTOR, AND LICENSED ENGINEER
- ROOF VENTILATION TO BE DETERMINED AND VERIFIED BY BUILDER, ROOFING CONTRACTOR, AND LICENSED ENGINEER
- ALL MECHANICAL SYSTEMS DESIGNS, LOCATIONS AND SIZING TO BE DETERMINED AND VERIFIED BY BUILDER, APPROPRIATE TRADE CONTRACTOR, AND LICENSED ENGINEER
- BUILDER IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH ALL LOCAL, STATE, AND NATIONAL BUILDING CODES.
- LOCAL, STATE, & NATIONAL BUILD'G CODES TAKE PRECEDENCE OVER DRAWINGS
- BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

2nd Floor Electric Plan

BRIGHTON "CRAFTSMAN"

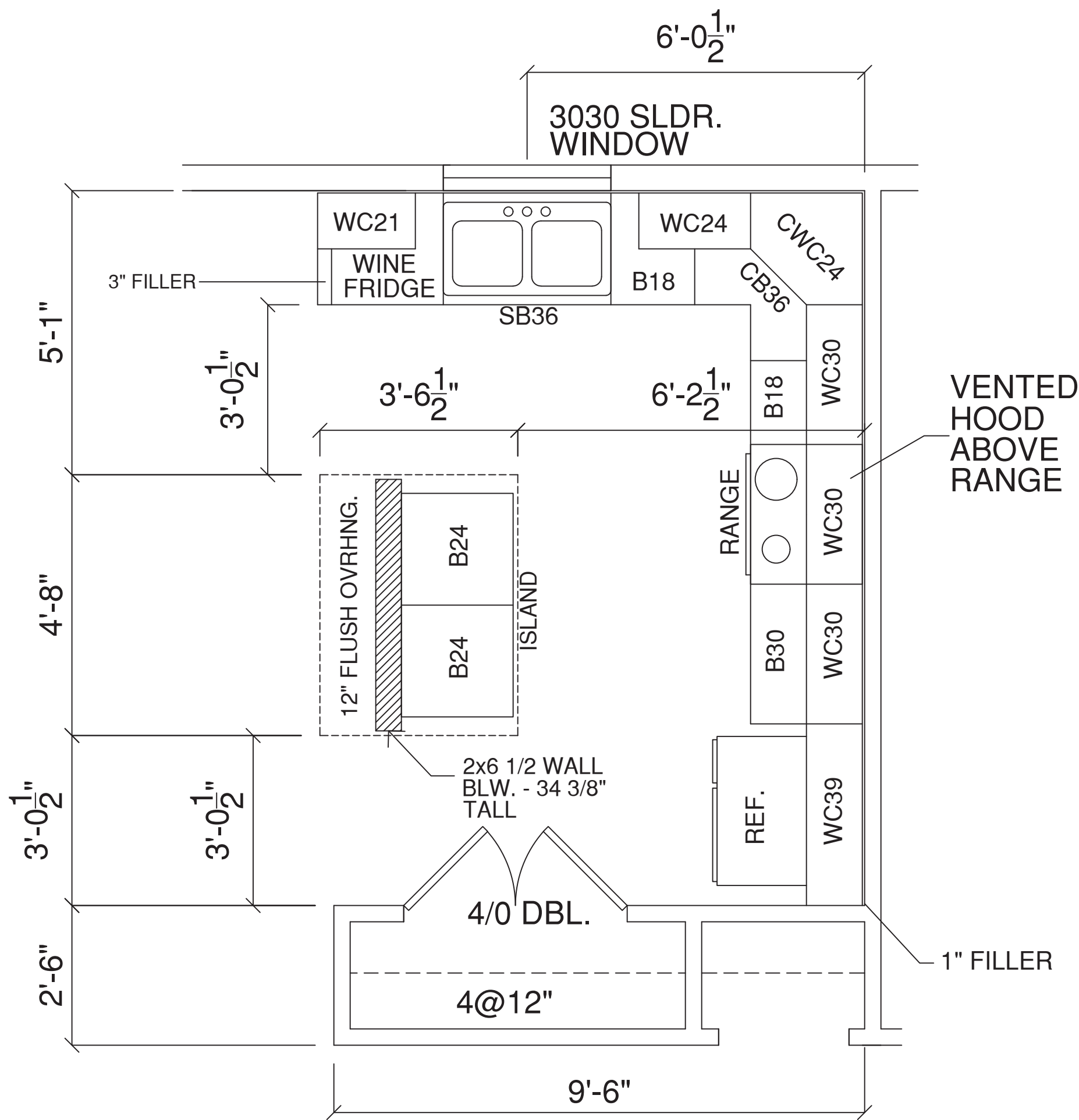


COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

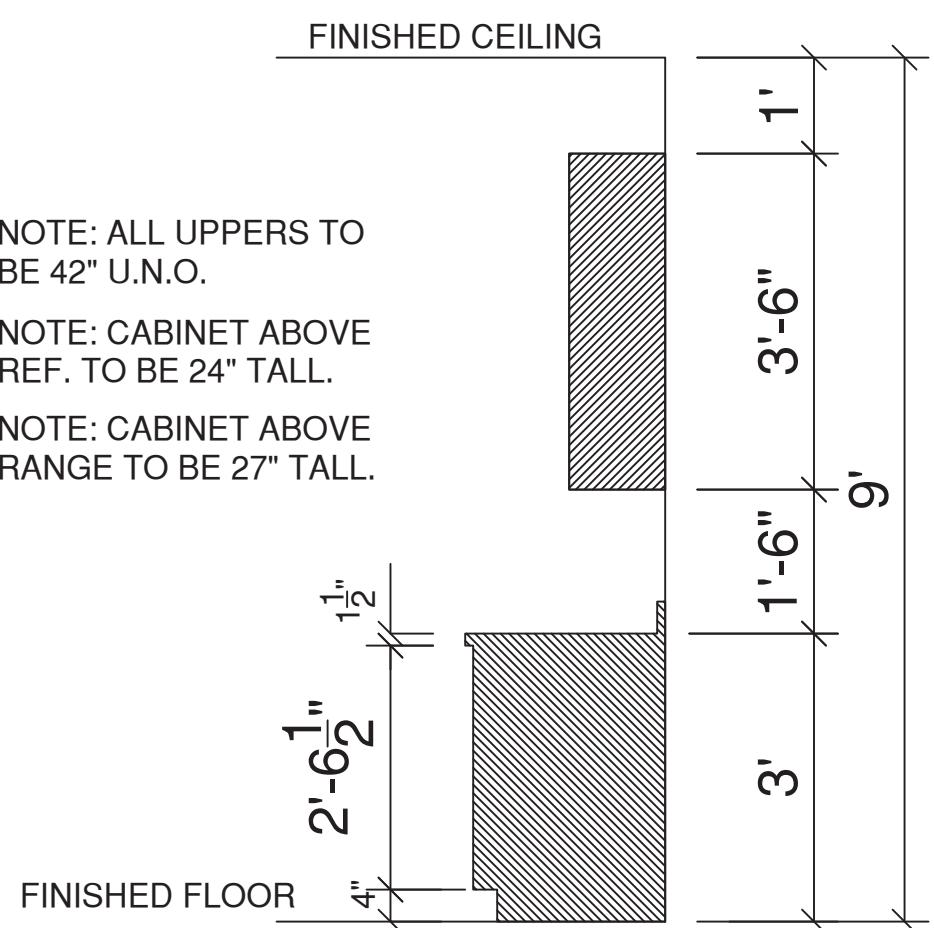
JOB # : 12-272

CLEMONS



KITCHEN PLAN

SCALE: 1/2" = 1'-0"



OPTIONAL 42" WALL CABS.

SCALE: = 1/2" = 1'-0"

☐ OPTIONAL SCRIBE TRIM MLD'G.

☒ OPTIONAL CROWN MLD'G.

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING
DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS
ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA
BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS
COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.

FLORIDA ENGINEERING, LLC
4101 TAMARAC TRAIL, UNIT 101
PORT CHARLOTTE, FL 33982
TEL: (841) 391-8585
FAX: (841) 870-8186

GENERAL BUILD'G NOTES

1. MAIN FLOOR PLATE HEIGHT TO BE 8'-0"
UNLESS NOTED OTHERWISE
2. OPTIONAL BONUS PLATE HEIGHT TO BE
UNLESS NOTED OTHERWISE
3. INTERIOR AND EXTERIOR WALLS TO BE
DRAWN AT 3 1/2" U.N.O.
4. ALL ANGLES TO BE DRAWN AT 90° OR 45°
UNLESS NOTED OTHERWISE
5. WINDOW HEADER HEIGHT TO BE SET AT
6'-11" FROM TOP OF HOUSE SLAB TO
BOTTOM OF WINDOW HEADER U.N.O.
6. HEADER SIZES AND MATERIALS TO BE
DETERMINED AND VERIFIED BY LICENSED
ENGINEER AND BUILDER.
7. SIZES, LOCATIONS, AND MATERIALS OF
BEAMS, TRUSSES, GIRDERS, AND
HEADERS ARE TO BE DETERMINED AND
VERIFIED BY BUILDER, FRAMER, TRUSS
SHOP, AND LICENSED ENGINEER
8. FOOTER SIZE, MATERIAL AND LOCATIONS
TO BE VERIFIED AND DETERMINED BY
BUILDER, FOOTER CONTRACTOR, AND
LICENSED ENGINEER
9. ROOF VENTILATION TO BE DETERMINED
AND VERIFIED BY BUILDER, ROOFING
CONTRACTOR, AND LICENSED ENGINEER
10. ALL MECHANICAL SYSTEMS DESIGNS,
LOCATIONS AND SIZING TO BE
DETERMINED AND VERIFIED BY BUILDER,
APPROPRIATE TRADE CONTRACTOR , AND
LICENSED ENGINEER
11. BUILDER IS RESPONSIBLE FOR VERIFYING
AND COMPLYING WITH ALL LOCAL,
STATE, AND NATIONAL BUILDING CODES.
12. LOCAL, STATE, & NATIONAL BUILD'G CODES
TAKE PRECEDENCE OVER DRAWINGS
13. BUILDER TO VERIFY ALL DIMENSIONS

SQUARE FOOTAGE CHART

MAIN FLOOR HEATED & COOLED AREA:	1179
COVERED FRONT PORCH AREA:	94
GARAGE AREA TO FRAME:	405
COVERED REAR LANAI AREA:	N/A
2ND FLOOR HEATED & COOLED AREA:	770
TOTAL HEATED AND COOLED AREA:	1949
TOTAL UNDER BEAM AREA:	2448

NOTE:
ALL AREA CALCULATIONS ARE CALCULATED
TO EXTERIOR OF FRAMED WALLS.

STREET ADDRESS:

351 SW Worry Free Glen

CITY/STATE:

Fort White, FL.

ZIP:

32038

COUNTY:

Columbia

PERMIT NUMBER:

X

HEATH DEPT. NUMBER:

X

DRAFTING DATES:

PRELIM. : 6/23/2025 JPH
PERM. : 08/19/2025 BES*
PERM II: 08/27/2025 BES*
PERM. III : 08/28/2025 JPH

Cabinet Plan

BRIGHTON
"CRAFTSMAN"



COPYRIGHT 2022 RED DOOR HOMES, LLC.
LICENSED TO RED DOOR HOMES OF:
NORTH CENTRAL FLORIDA

PERMANENT III

JOB # : 12-272

CLEMONS

DOOR ROUGH OPENING CHART

INTERIOR DOORS R/O

2'0"	26" x 82 1/2"
2'4"	30" x 82 1/2"
2'6"	32" x 82 1/2"
2'8"	34" x 82 1/2"
3'0"	38" x 82 1/2"

EXTERIOR DOORS R/O

INSWING	OUTSWING
---------	----------

2'6"	32" x 82 1/2"	32" x 81 1/2"
2'8"	34" x 82 1/2"	34" x 81 1/2"
2'10"	36" x 82 1/2"	36" x 81 1/2"
3'0"	38" x 82 1/2"	38" x 81 1/2"

DOUBLE DOOR R/O

INTERIOR (Door width x 2) + 2" = R.O.W.

EXTERIOR (Door width x2) + 3" = R.O.W.

POCKET DOORS R/O

(Width 2 x Door size) = 2" = R.O.W.

Height 84"

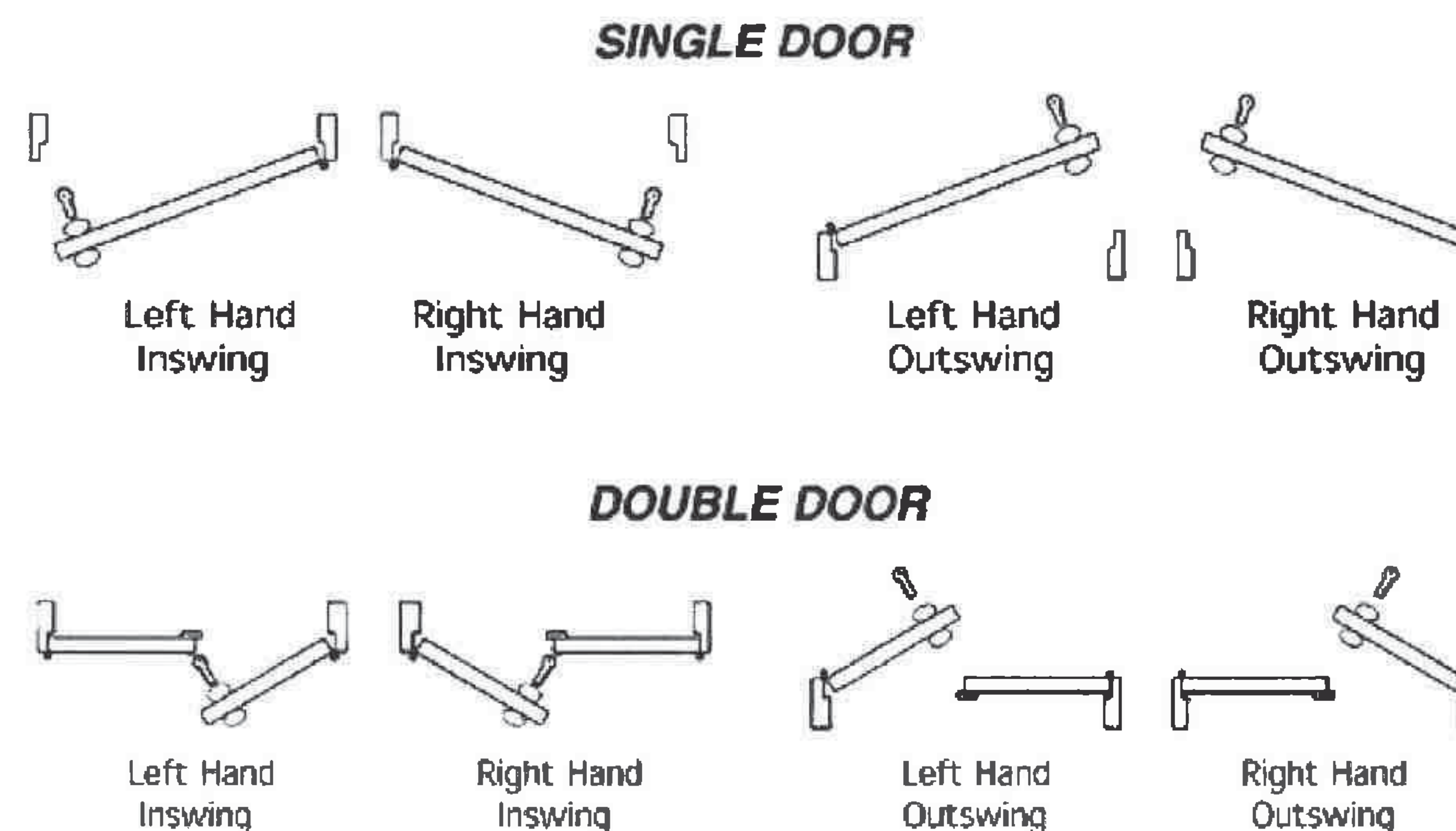
SLIDING GLASS DOOR R/O

5' 60" x 80"

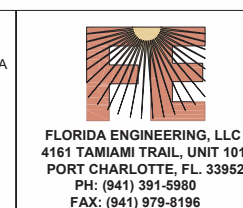
6' 72" x 80"

ENTRY UNIT DOORS R/O

	S.D/D.S.	S.D.S.	
12" sidelite	52"	65"	82 1/2"
14" sidelite	54"	69"	82 1/2"
16" sidelite	56"	73"	82 1/2"



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD. THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION WITH SUPPLEMENTS.



RED DOOR HOMES
7420 W NEWBERRY RD, SUITE B
GAINESVILLE, FL 32605
(352) 559-3050
HCBCL1262184



© 2022 RED DOOR HOMES OF NORTH CENTRAL FLORIDA LLC

DETAIL PAGE

SCALE (TYPICAL)
1/4" = 1'-0"

DESIGNED BY
J.S.

PAGE
WD 1

WINDOW

3050



SIZE AND FEATURES

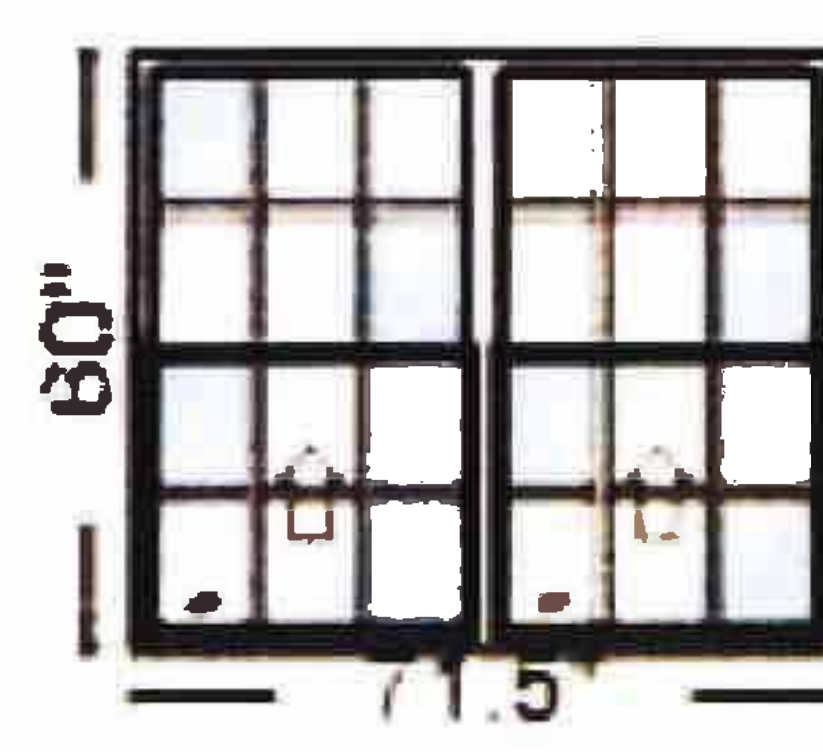
V1, 2900, Single-Hung

Dimension Type = Vinyl Size

Overall Rough Opening = 36 1/2" x 60 1/2", Overall Unit = 36" x 60"

Call Size = 3-0 x, 5-0, Frame Width = 36, Frame Height = 60, Product

Double 3050



SIZE AND FEATURES

V1, 2900, Twin Single-Hung

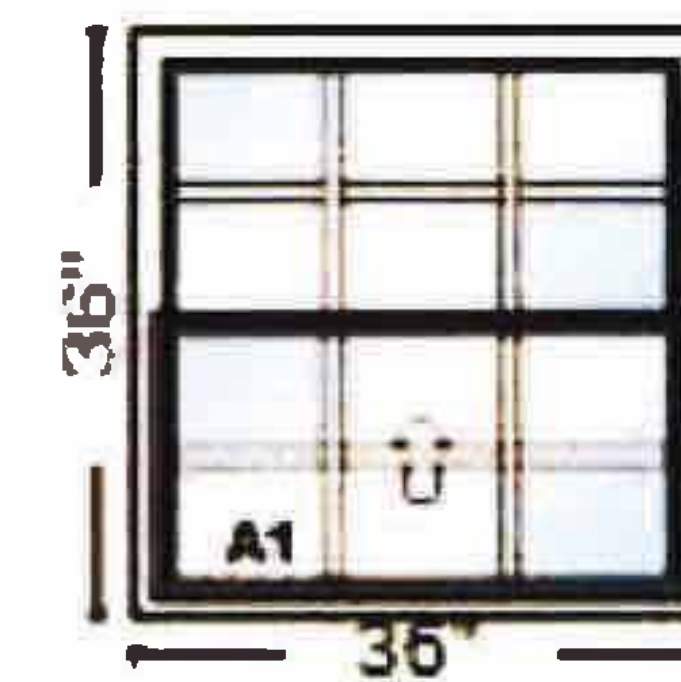
Dimension Type = Vinyl Size

Overall Rough Opening = 72" x 60 1/2", Overall Unit = 71 1/2" x 60"

Frame Width = 36, Frame Height = 60, Product Style = Equal Sash

Call Size = 3-0 x 5-0

3030



SIZE AND FEATURES

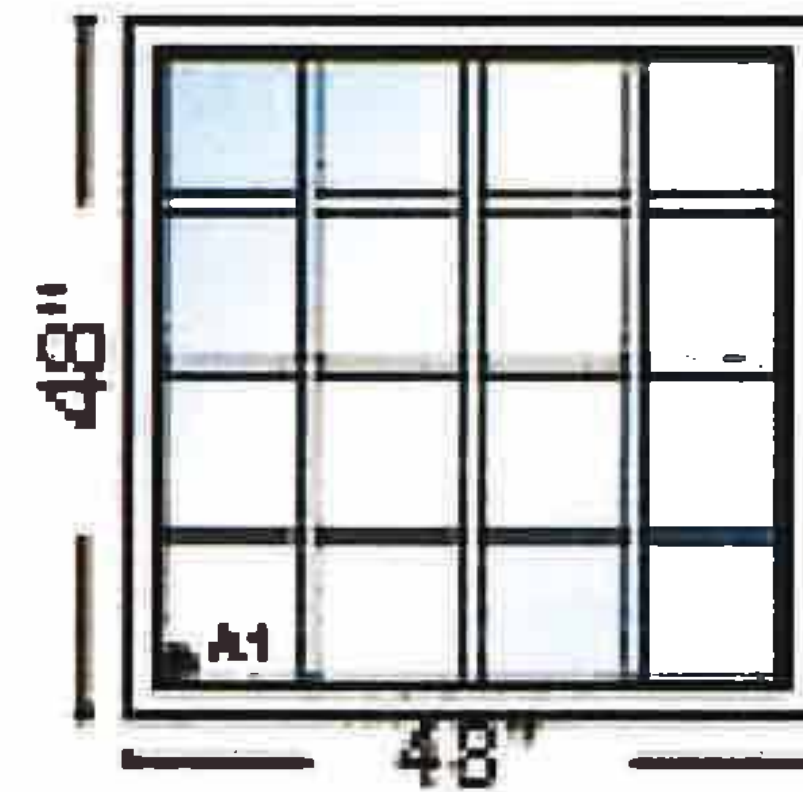
V1, 2900, Single-Hung

Dimension Type = Vinyl Size

Overall Rough Opening = 36 1/2" x 36 1/2", Overall Unit = 36" x 36"

Call Size = 3-0 x, 3-0, Frame Width = 36, Frame Height = 36, Product

4040



SIZE AND FEATURES

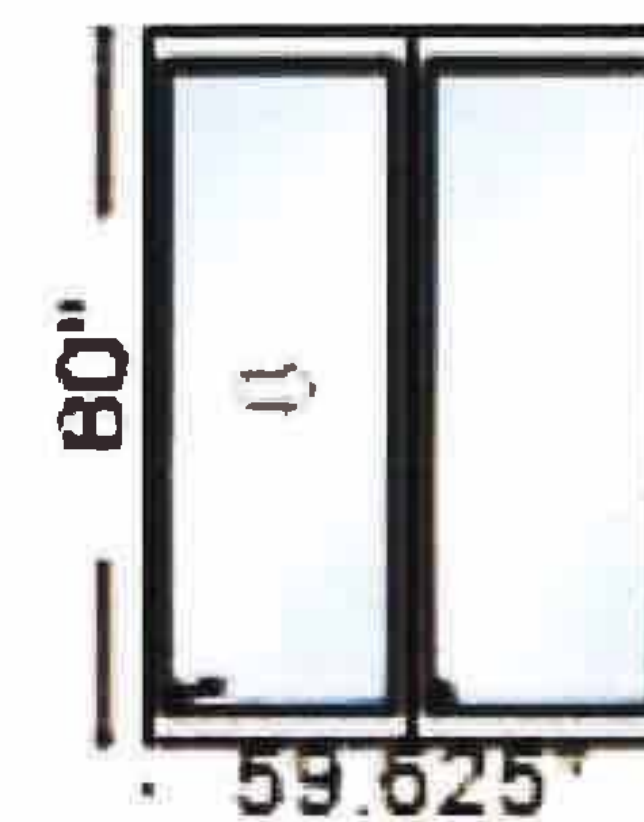
V1, 2900, Picture Window

Dimension Type = Vinyl Size

Overall Rough Opening = 48 1/2" x 48 1/2", Overall Unit = 48" x 48"

Call Size = 4-0 x, 4-0, Frame Width = 48, Frame Height = 48

Sliding Glass Door



SIZE AND FEATURES

V3, 5800, 2 Panel

Dimension Type = Call Size

Overall Rough Opening = 60 1/8" x 80 1/2", Overall Unit = 59 5/8" x 80"

Call Size = 5-0 x, 6-8, Frame Width = 59.625, Frame Height = 80

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way





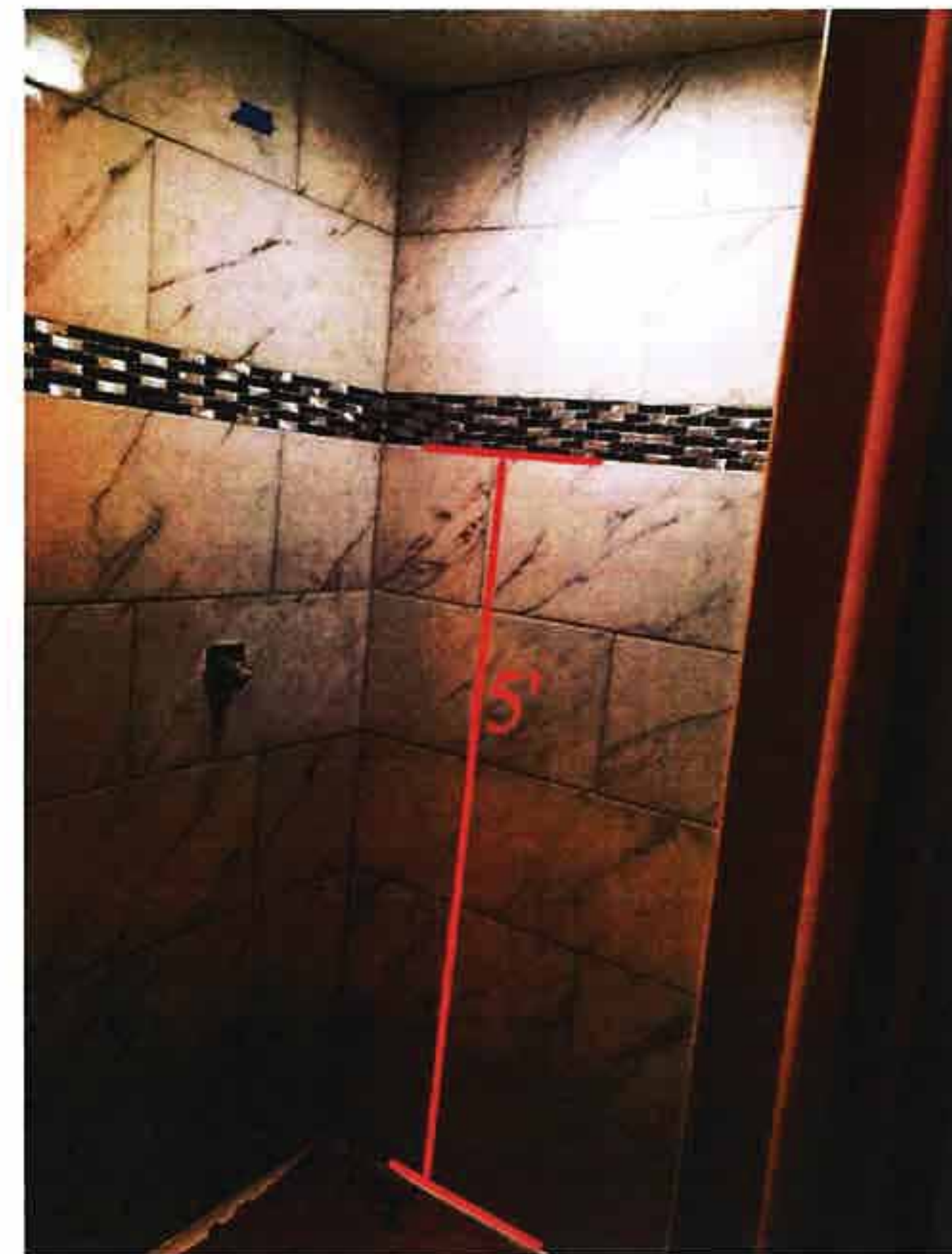
Tub/Shower Horizontal
Tile Detail



Tub/Shower Vertical
Tile Detail



Fireplace Tile Detail



Mosaic Band Tile Detail



Shower Tile Detail
With Shelves Heights

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way
FREEDOM
CODE COMPLIANCE

HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING
DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS
ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA
BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS
COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.
THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING
CODE, 8TH EDITION WITH SUPPLEMENTS.

FLORIDA ENGINEERING, LLC
4151 TAMM TRAIL, UNIT 101
FORT CHARLOTTE, FL 33902
PH: (841) 391-0860
FAX: (841) 375-6196

RED DOOR HOMES
7420 W NEWBERRY RD, SUITE B
GAINESVILLE, FL 32605
(352) 559-3050
#CBC1262184

RED DOOR
h o m e s

© 2022 RED DOOR HOMES OF NORTH CENTRAL FLORIDA LLC

DETAIL PAGE

SCALE (TYPICAL)
1/4" = 1'-0"

DESIGNED BY
J.S.

PAGE

TILE
DETAIL

Sidewalls/Sounds Out Door Stainless Steel

- Adjacent combustible sidewalls must be located a minimum of 12 in. (305 mm) from the fireplace opening.
- Combustible and non-combustible mantel legs, surrounds and stub walls may be constructed within the gridded area, Figure 6.3.

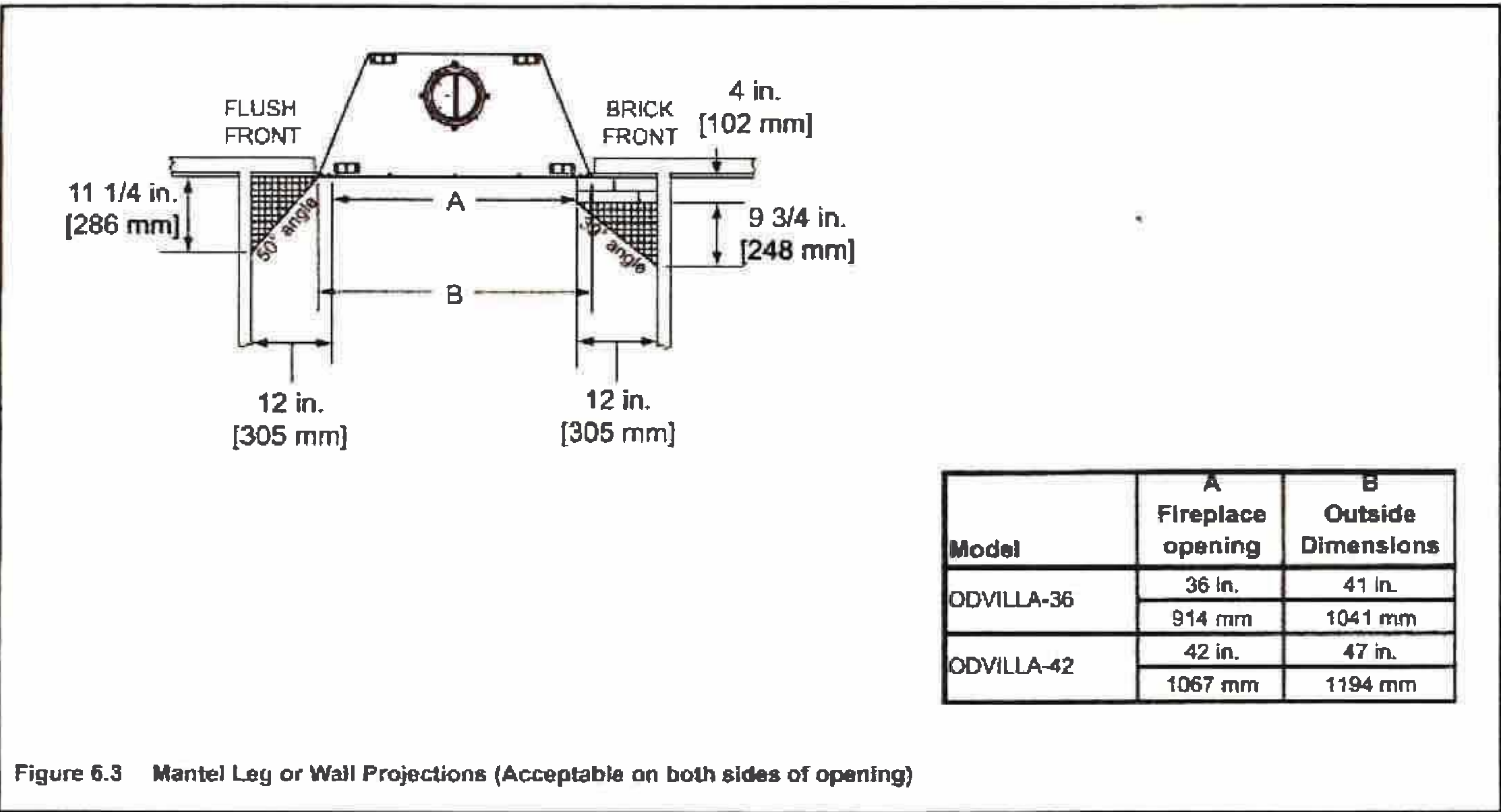


Figure 6.3 Mantel Leg or Wall Projections (Acceptable on both sides of opening)

Frame the Fireplace

Figure 6.4 shows typical framing using combustible materials (2x4 lumber shown).

- Observe all required air space clearances to combustible materials as shown in Figures 6.1 & 6.2
- Framing across the top of the fireplace must be above top.

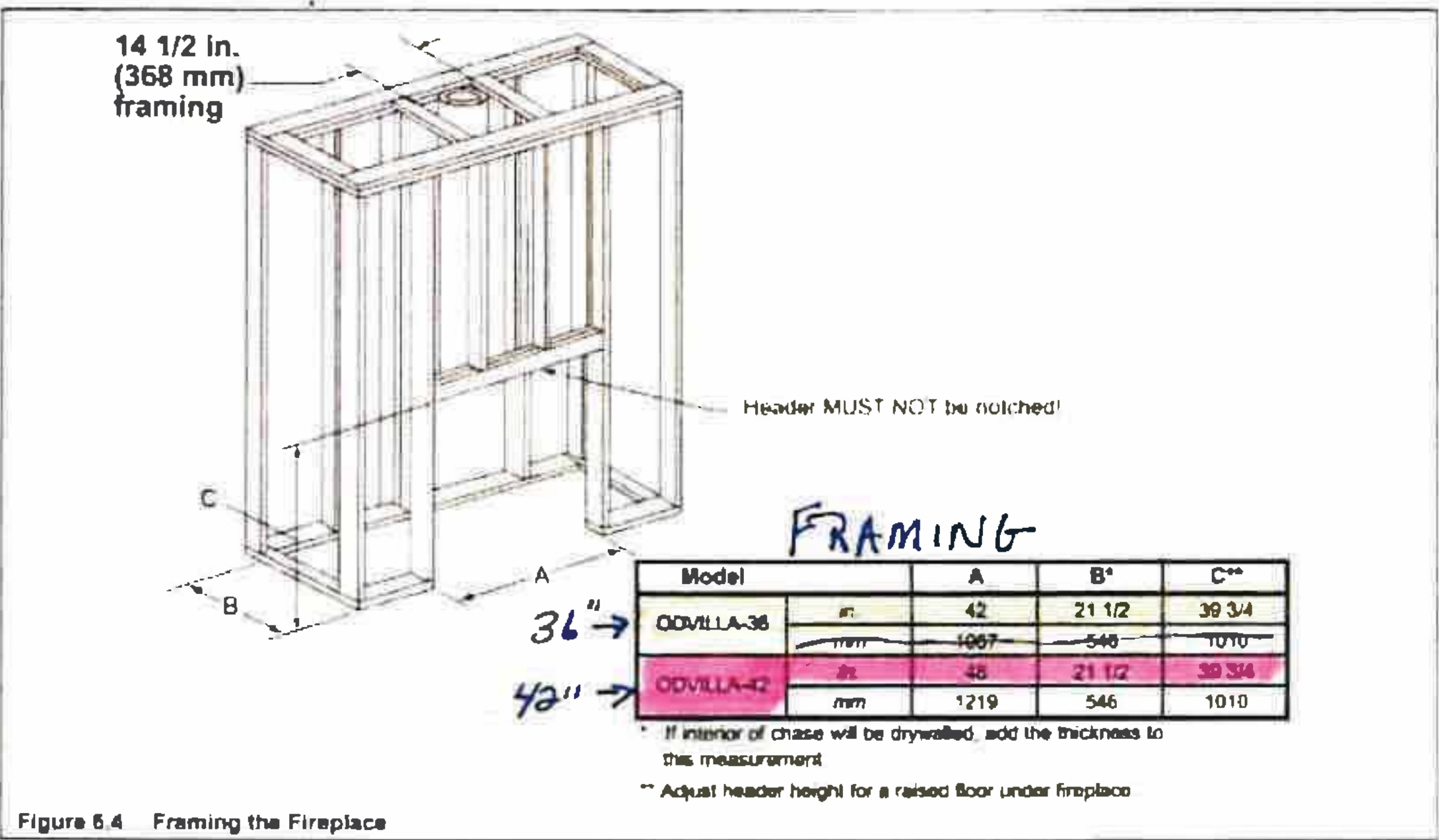


Figure 6.4 Framing the Fireplace



Fire Place Tile Detail

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD, THAT THE BUILDING
DESIGN AS SHOWN ON THESE PLANS (STRUCTURAL COMPLIANCE ONLY) AND AS
ACCOMPANIED BY DESIGN AND SUPPORT DOCUMENTS, CONFORMS TO THE 2023 FLORIDA
BUILDING CODE, 8TH EDITION. THIS CERTIFICATION DOES NOT INCLUDE ROOF TRUSS
COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE ENGINEER OF RECORD.
THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 FLORIDA BUILDING
CODE, 8TH EDITION WITH SUPPLEMENTS.



DETAIL PAGE

1/4" = 1'-0"

J.S.

PAGE

FP1

Fire
Place

RED DOOR HOMES
7420 W NEWBERRY RD, SUITE B
GAINESVILLE, FL 32605
(352) 559-3050
#CBC1262184



© 2022 RED DOOR HOMES OF NORTH CENTRAL FLORIDA LLC

Frame the Fireplace

Notice: Hearth extension design must be determined before installation of fireplace.

If the fireplace is on the floor the maximum height of a finished raised hearth is 7 1/2".

If you want a higher-raised hearth the fireplace must be placed on a platform

WARNING! Risk of fire. A raised hearth extension built flush with the fireplace opening or less than 4 in (102mm) below the fireplace opening requires the fireplace be installed on non-combustible surface.

WARNING! Risk of Fire! Comply with all minimum clearances specified

- A minimum 1/2 in. (13mm) air clearance must be maintained at the back and sides of the fireplace assembly.
- **Chimney sectiond at any lever rewuire a 2in. (51mm minimum air space clearance between the framing and chimney section.**

WARNING! Risk of Fire! You must comply with all minimum air space clearance to combustibles. DO NOT pack required air with insulation or other materials.

The finished cavity depth must be no less than 21 3/8in. (543mm) from the finished backwall to the outside of front wall framing.

CAUTION! risk of Cuts/Abrasions. Wear protective gloves and safety glasses during installation. Sheet metal edges are sharp.

Secure and Level the Fireplace

This fireplace may be placed on either a combustible or noncombustible continuous flat surface. Follow the instructions for framing in Section 3. Slide the fireplace into position. Be sure to provide the minimum 1/2 in. air clearance at the sides and back of the fireplace./

The fireplace should be positioned so the face of the noncombustible material on the fireplace will be flush with the face of the drywall on the walls.

Level the fireplace and shim as necessary.

WARNING! Risk of Fire! Prevent Contact with sagging, loose insulation.

- DO NOT install against vapor barriers or exposed insulation.
- Secure insulation and vapor barriers.
- Provide minimum air space clearances at the sides and back of the fireplace assembly.

Figure 3.5 shows a typical framing (using 2x4 lumber) of the fireplace, assuming combustible materials are used. All required clearances to combustibles around the fireplace must be adhered to.

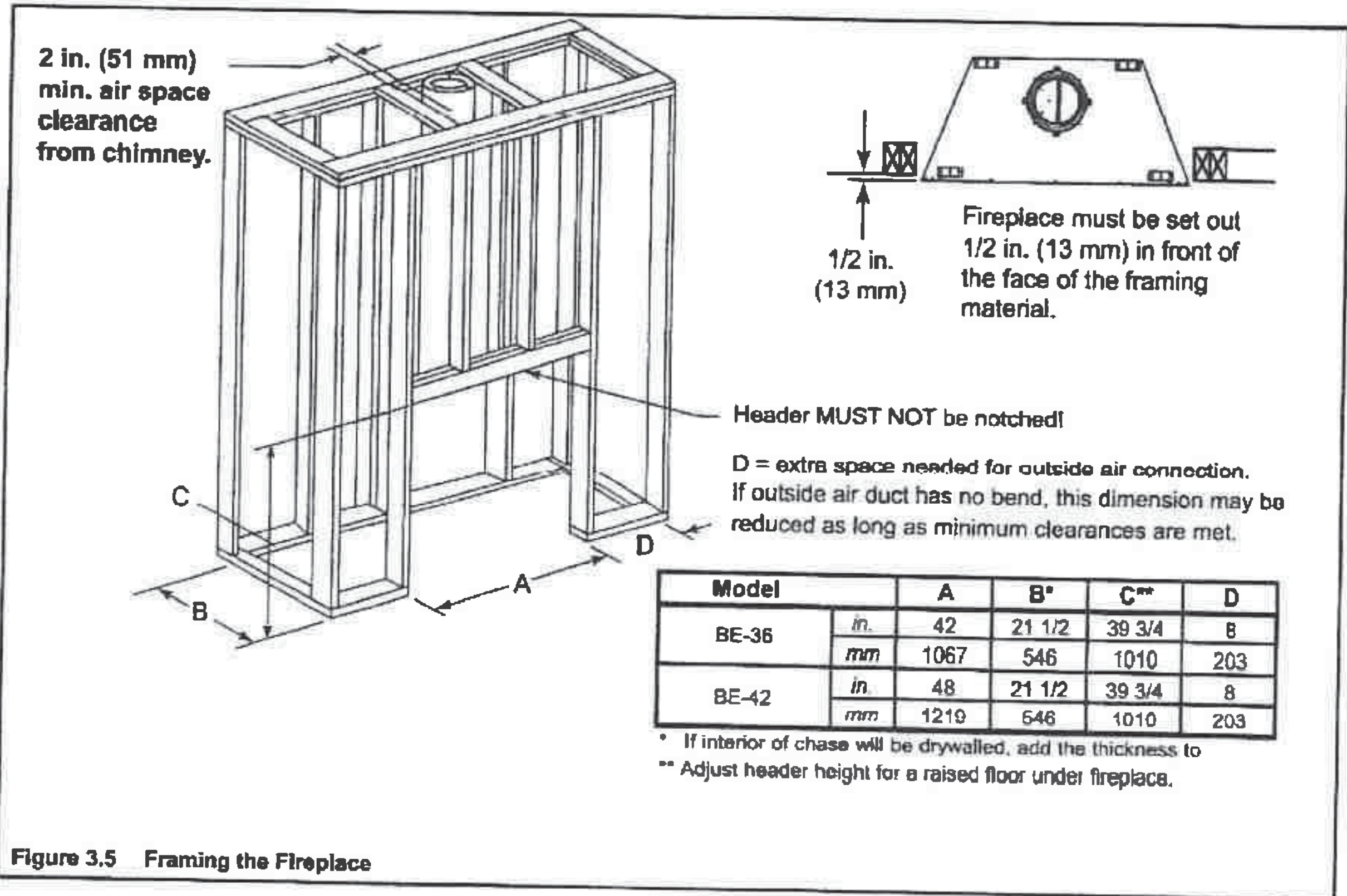
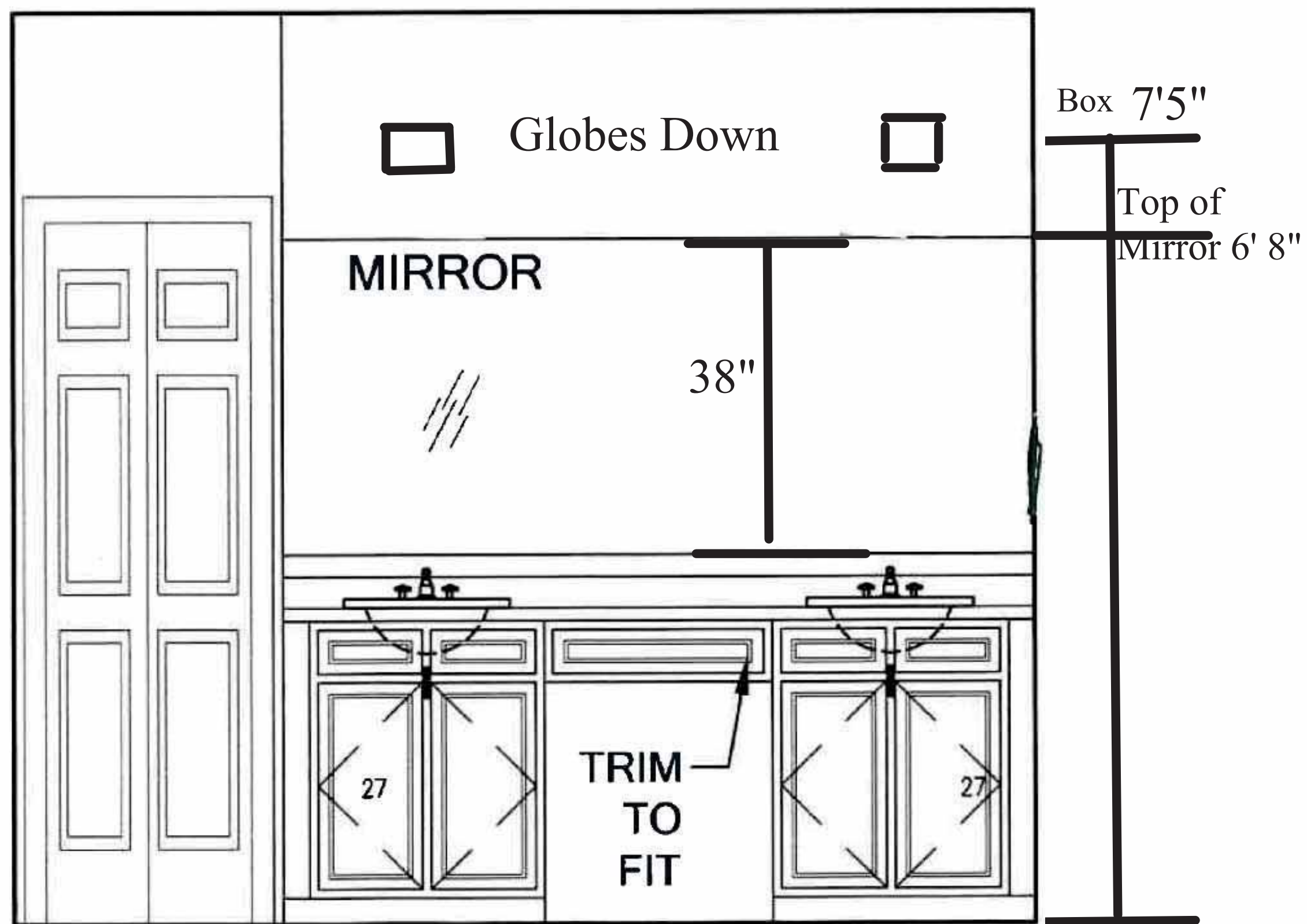
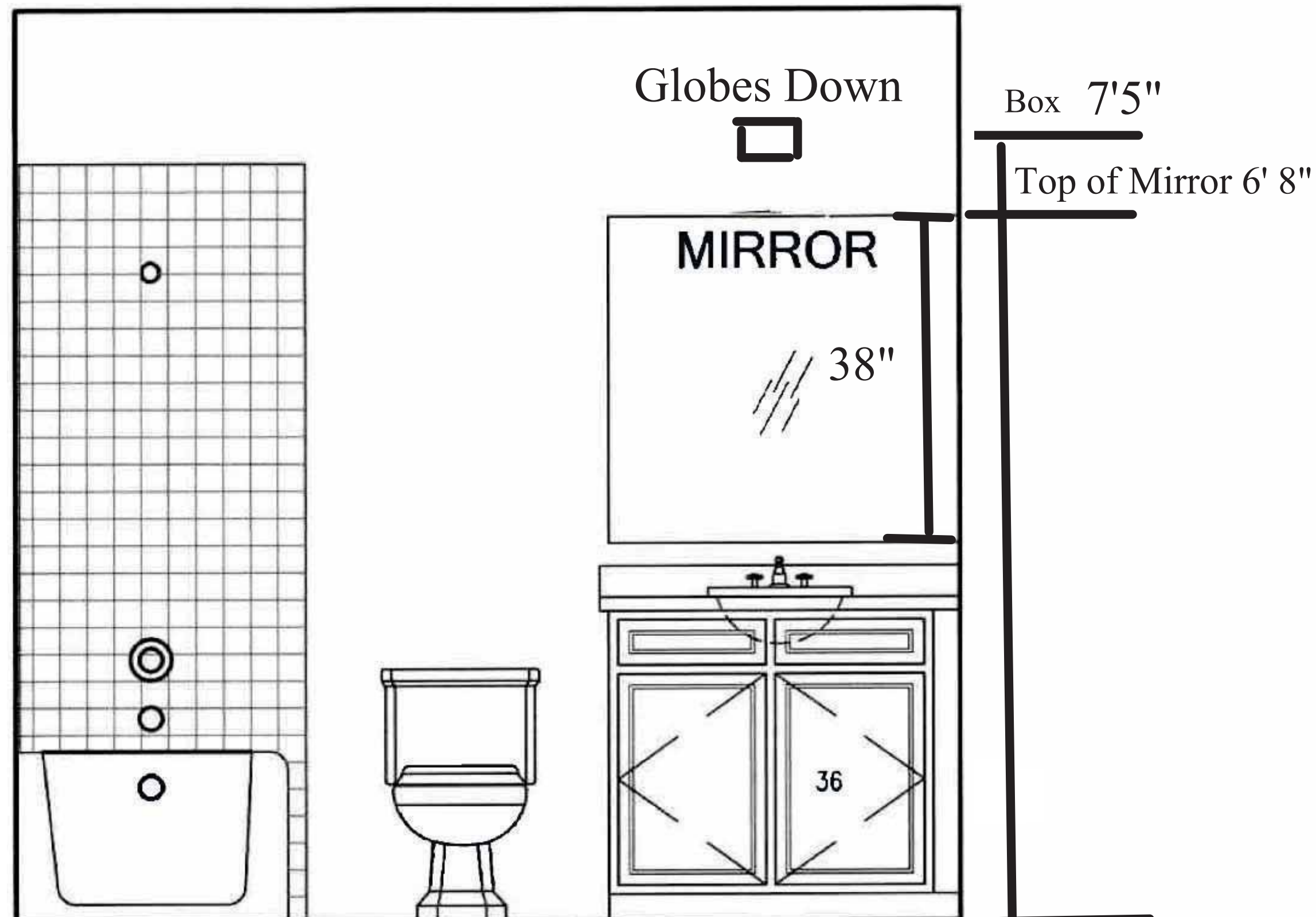


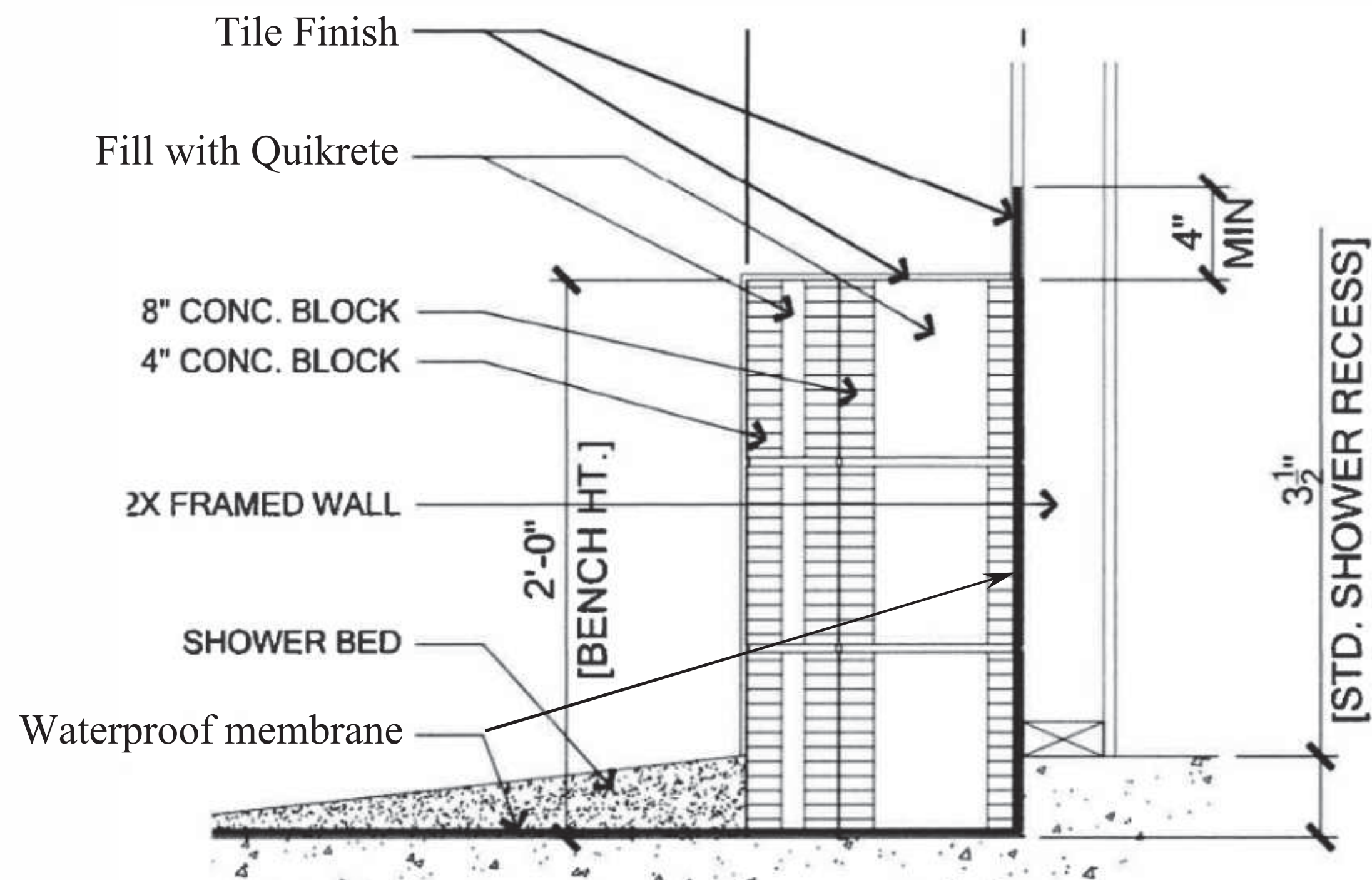
Figure 3.5 Framing the Fireplace



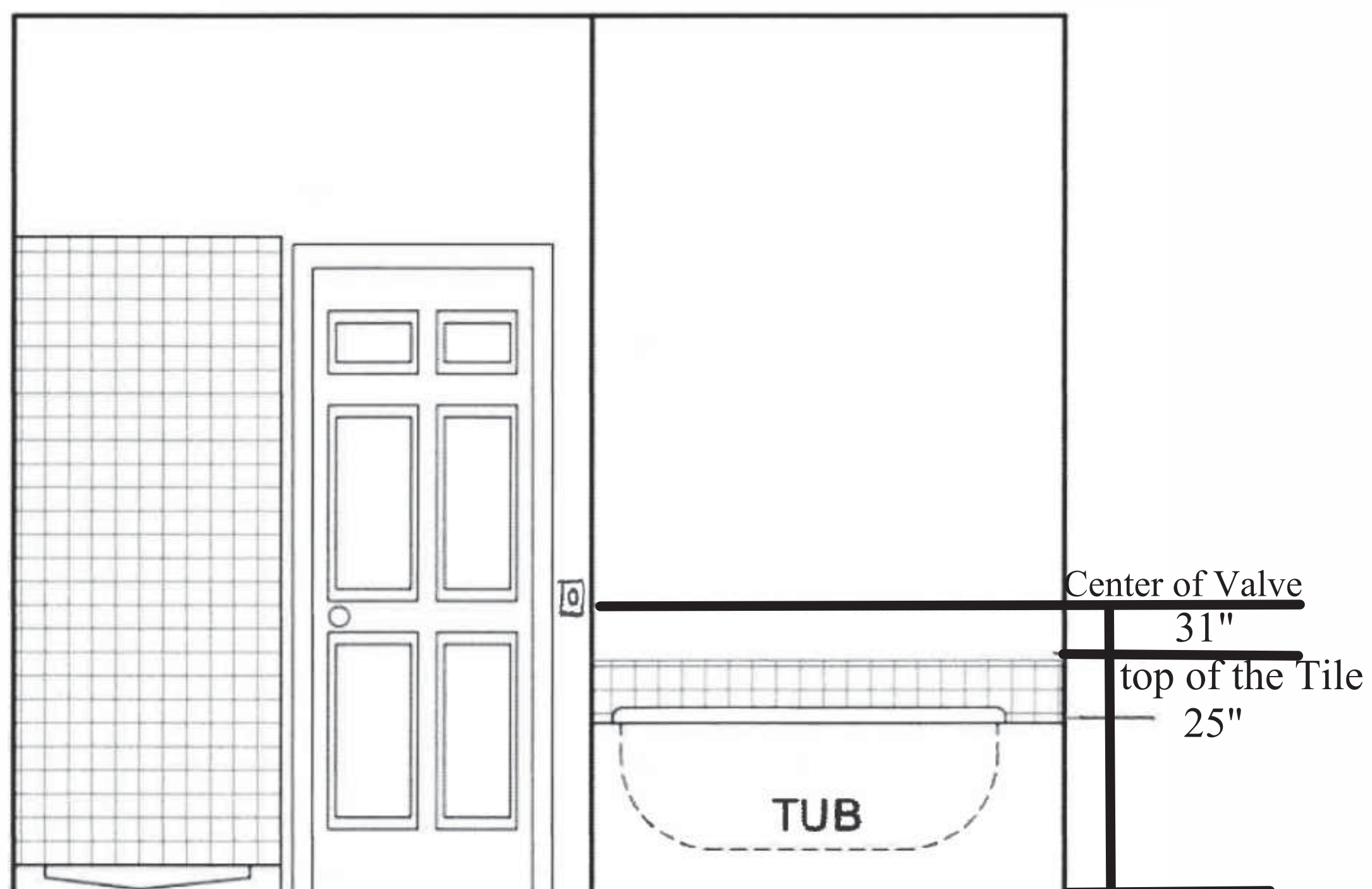
Double Vanity Light Box detail



Single Vanity Light Box detail



Shower Bench Detail



Master Bath Luxury Tub
Tile and Valve Detail

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

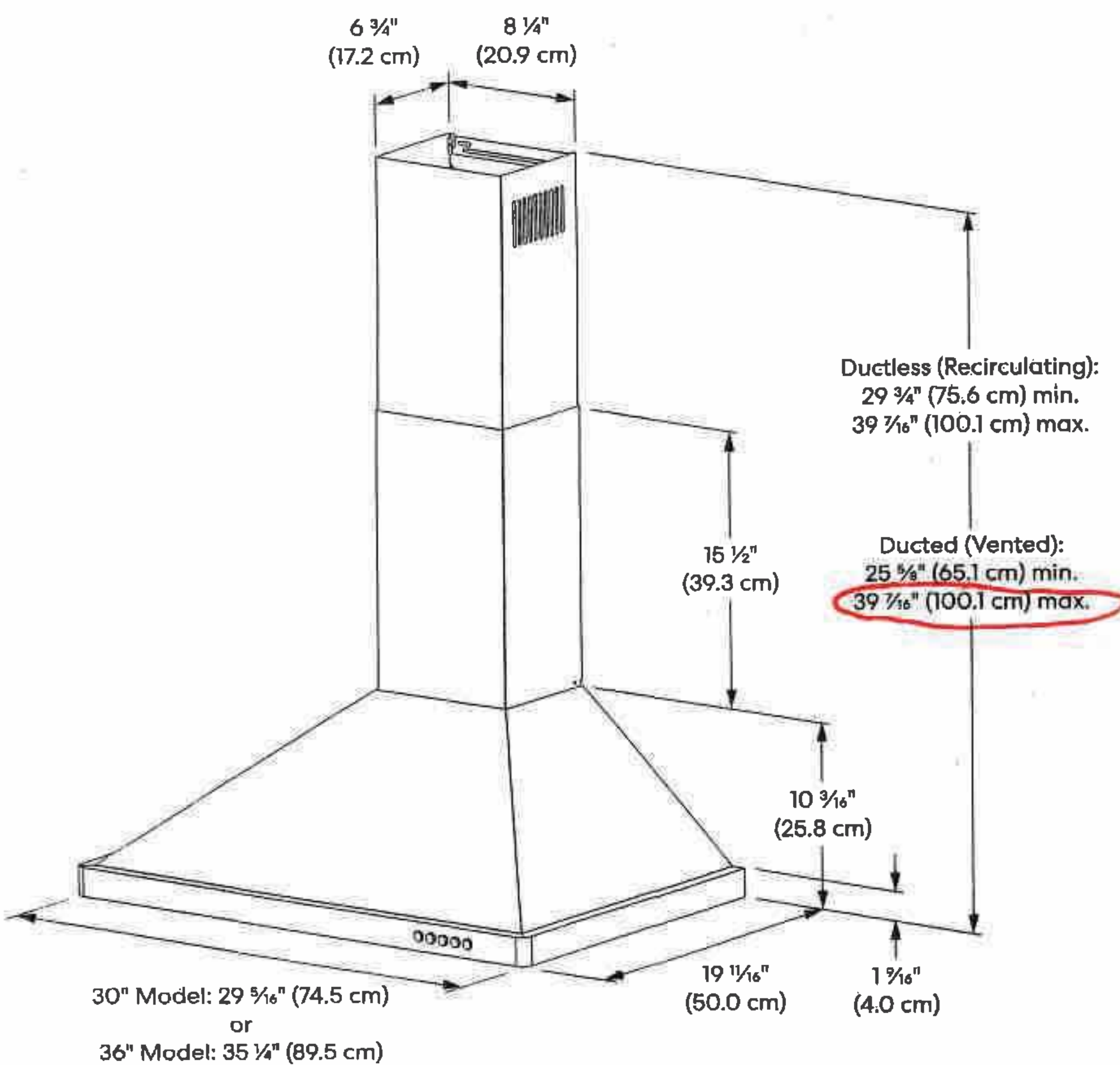


Product Dimensions

631 SERIES

30" Model: COS-63175 / 63175S

36" Model: COS-63190 / 63190S



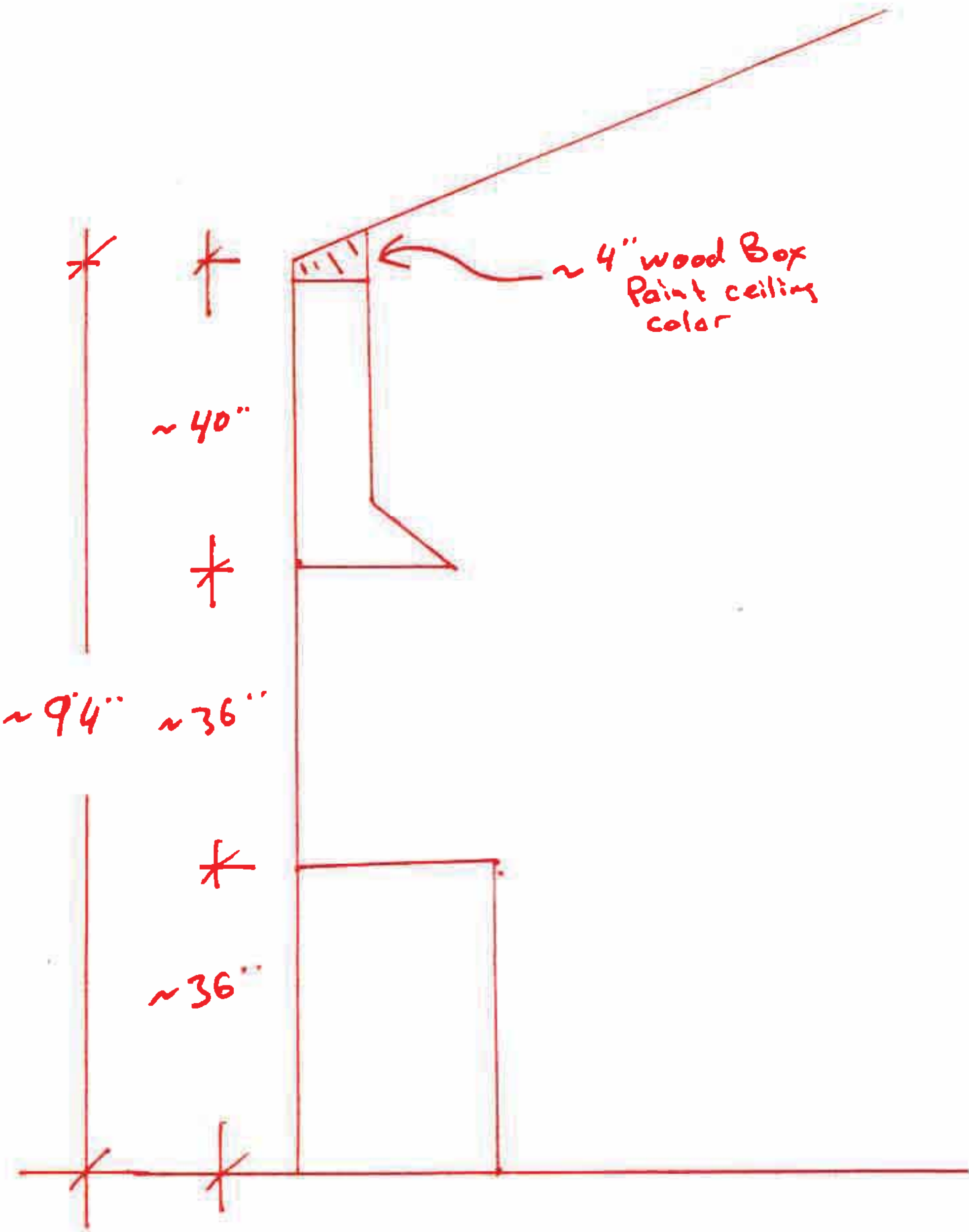
Cabinet Clearances

Given dimensions are minimum clearances.

Wall Mount Range Hood



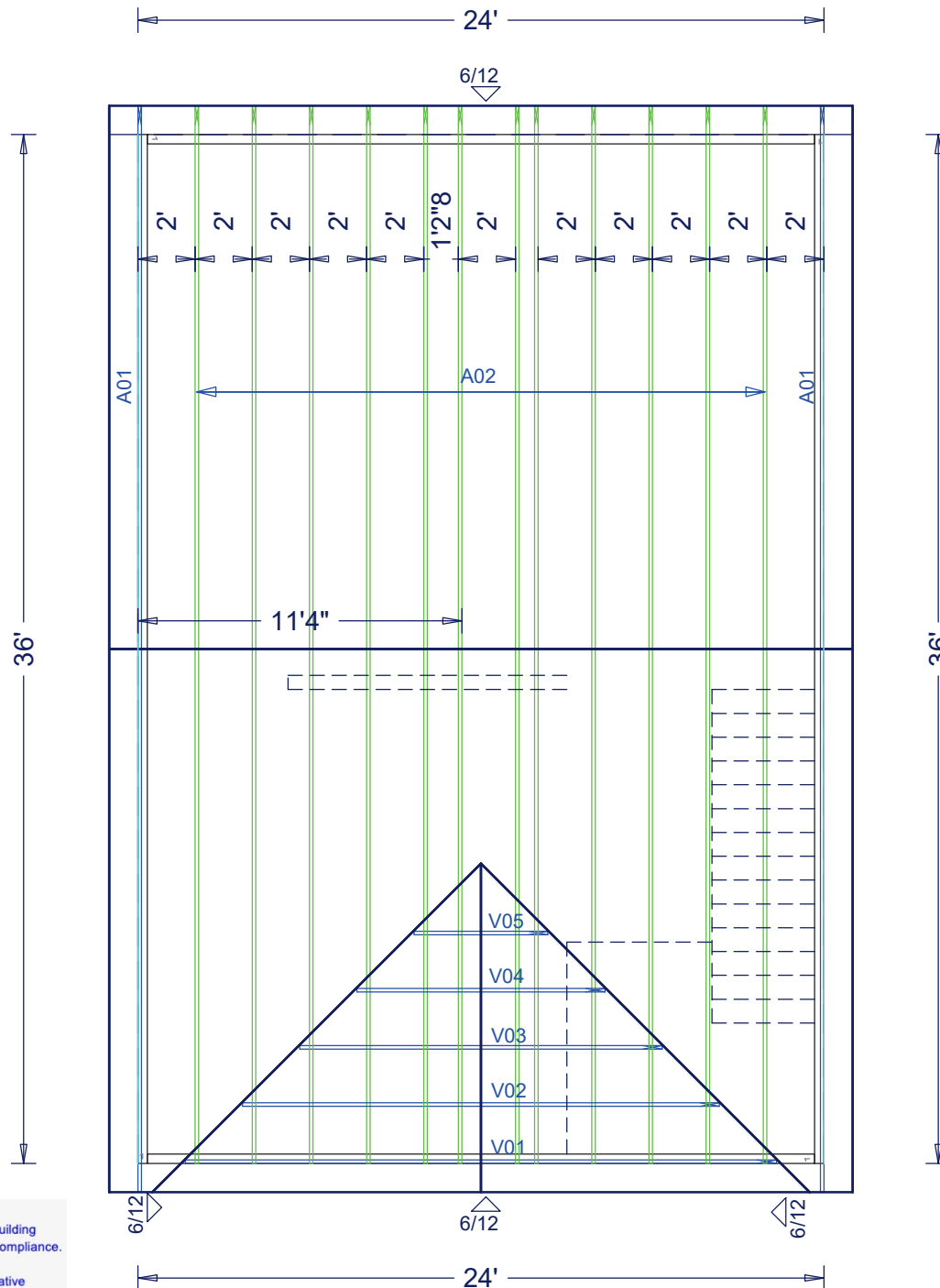
Model	A
24" Model: COS-6324EWH	23 7/16" (59.5 cm)
30" Model: COS-668A750, COS-668AS750 COS-668WRC75, COS-668WRCS75 COS-63024P, COS-63175, COS-63175S	29 5/16" (74.5 cm)
36" Model: COS-668A900, COS-668AS900 COS-668WRC90, COS-668WRCS90 COS-63190, COS-63190S	35 7/16" (90.0 cm)



IMPORTANT:

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building
Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way

FREEDOM
CODE COMPLIANCE



Private Provider Michael Williams
Plan reviewed for compliance with Florida Building Code not including zoning, fire, or public works compliance.
Licenses: BU2215, PX4929, BN7822
Or Associated Duly Authorized Representative
Plan Not Altered in Any Way



JOB #: 25-2836

Job Name: Clemons - Brighton C
Customer: Red Door Homes
Designer: Fill in later
ADDRESS: TBD
Salesman: RL
: 07-02-2025

JOB NO:
25-2836

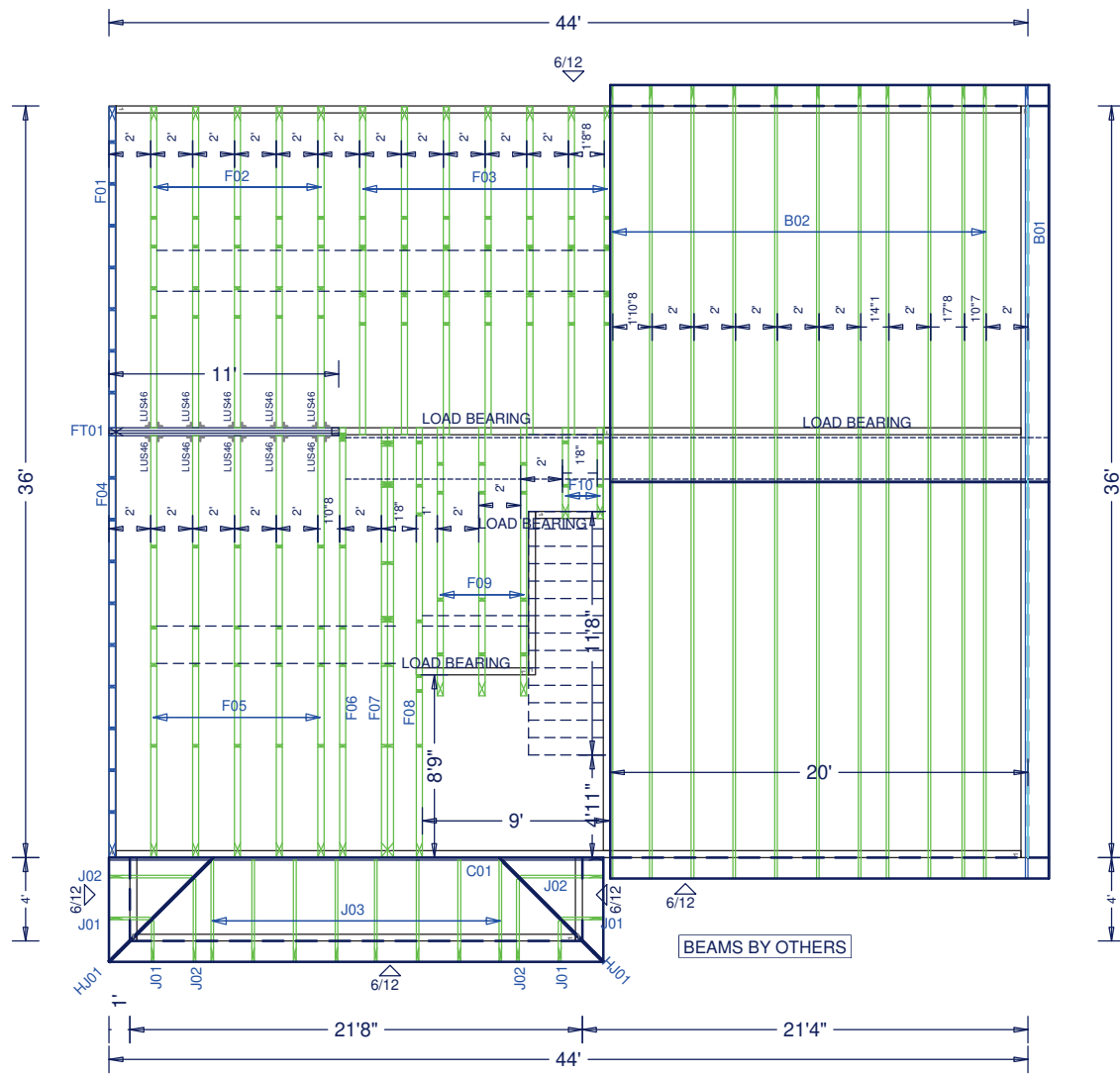
PAGE NO:
1 OF 1



W.B. Howland Truss Co.
610 11th St. SW
Live Oak, FL 32064
(386) 362-1235
(386) 362-7124 (Fax)
truss@howlandtruss.com
truss@wbhowland.com

HANGER CHART

Symbol	Name	Qty	Manufacturer
= LUS46		10	Simpson



1st Floor

Private Provider Michael Williams
Plan reviewed for compliance with Florida Building Code not including zoning, fire, or public works compliance.
License: BU2215, PK4929, BN7822
Or Associated Duty Authorized Representative
Plan Not Altered in Any Way

FREEDOM
FROM DISCRIMINATION

JOB #: 25-2836

Job Name: Clemons - Brighton C
Customer: Red Door Homes
Designer: Fill in later
ADDRESS: TBD
Salesman: RL
: 07-03-2025

JOB NO:
25-2836

PAGE NO:
1 OF 1

GENERAL NOTES:

- THE CONTRACTOR/OWNER IS TO VERIFY ALL SITE CONDITIONS, PROPERTY DIMENSIONS, AND PRODUCT AVAILABILITY, OPENINGS FOR WINDOWS AND DOORS AND ATTACHMENT REQUIREMENTS, DIMENSIONS OF PRODUCTS, INCLUDING APPLIANCES ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- ALL STRUCTURAL DESIGN HAS BEEN CARRIED OUT PER THE PROVISIONS OF CHAPTER 16 OF THE BUILDING CODE, AS WELL AS ASCE 7.
- ENGINEERING DESIGNS PROVIDED IN THESE DETAIL SPECIFICATIONS REPRESENT THE MINIMUM DESIGN CRITERIA FOR CONSTRUCTION TO THE CODES IDENTIFIED ABOVE.
- ANY PRODUCT OR MATERIAL SUBSTITUTION IS PERMITTED AS LONG AS THE SUBSTITUTION IS EQUAL TO OR GREATER THAN THE ORIGINAL SPECIFIED PRODUCT ALL TESTING DATA OR PRODUCT VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR THE ENGINEER HAS NOT PROVIDED REVIEW OF SUCH MATERIAL UNLESS OTHERWISE SPECIFIED.
- THE PRESUMPTIVE LOAD-BEARING VALUES OF THE FOUNDATION SOIL IS TO BE 2000PSF BASED ON THE TABLE R401.4.1, OF THE BUILDING CODE.
- ENGINEER HAS NOT PROVIDED ANY JOB SITE INSPECTIONS UNLESS SPECIFICALLY ARRANGED.
- CLADDING PRODUCTS ARE TO BE INSTALLED TO THE MANUFACTURERS SPECIFICATIONS, AND TO COMPLY WITH THE BUILDING CODE, AND ASCE7 THE CONTRACTOR IS TO PROVIDE ANY INSTALLATION GUIDELINES OR PRODUCT TESTING REQUIRED BY THE BUILDING OFFICIAL IF REQUESTED.
- ALL CONSTRUCTION WORK AND DESIGN IS SUBJECT TO THE REVIEW AND INTERPRETATION OF THE BUILDING OFFICIALS. CONTRACTOR ACKNOWLEDGES THAT ADDITIONAL ENGINEERING DETAILS, AND/OR REQUIREMENTS MAY BE REQUESTED/REQUIRED BY THE PERMITTING AUTHORITY HAVING JURISDICTION, AND SUCH REQUIREMENTS MAY ALTER THE ORIGINAL PROPOSED DESIGN THESE ADJUSTMENTS COULD SUBJECT THE CONTRACTOR TO ADDITIONAL EXPENSES AND ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- HOMEOWNER ASSOCIATION, DEED RESTRICTIONS AND ZONING REQUIREMENTS, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR AND NO VERIFICATION OR COMPLIANCE IS EXPRESSED OR IMPLIED BY THE ENGINEER
- THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE WHEN CONSTRUCTION IS COMPLETE THE CONTRACTOR IS RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCE OF SUCH TO PROVIDE SAFETY OF WORKERS, THE BUILDING AND ALL COMPONENTS OF THE BUILDING ALL TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE POSITIVE DRAINAGE FROM THE STRUCTURE OR BUILDING TO ALL APPLICABLE CODES AND ORDINANCES. SITE DRAINAGE IS ALSO THE CONTRACTORS RESPONSIBILITY THE ENGINEER HAS ACKNOWLEDGED NO REVIEW, COMMENT OR COMPLIANCE.
- NO ENVIRONMENTAL STUDIES HAVE BEEN PERFORMED BY THE ENGINEER, AND IF REQUIRED ARE THE RESPONSIBILITY OF THE CONTRACT.
- THE DESIGN OF ALL PRE-ENGINEERED ROOF TRUSSES INCLUDING GIRDERS FLOOR TRUSSES, AND ALL BEAMS ARE TO BE DESIGNED TO MEET THE BUILDING CODE WITH SUPPLEMENTS, AND ASCE 7. THE DESIGN IS TO INDICATE THE ENGINEER OF RECORD AND BEAR THE SEAL OF SUCH ENGINEER. ALL LATERAL AND CROSS BRACING REQUIRED IS TO BE SPECIFIED BY THE DESIGNER. THE TRUSS OR FLOOR SYSTEM DESIGN SHALL NOT EXERT LATERAL LOADS ON ANY WALL SYSTEM, INTERIOR OR EXTERIOR. THE DESIGN IS TO ALSO INDICATE THE MAGNITUDE OF THE LOADS AND ANY PROVISIONS REQUIRED. THE CONTRACTOR ASSUMES THE RESPONSIBILITY OF REVIEW OF THE PRE-ENGINEERED SYSTEMS AND ANY COMPLIANCE NECESSARY. ANY DEVIATION FROM THE PROPOSED DESIGNS MAY REQUIRE ADDITIONAL REVIEW AND MODIFICATION.
- ALL PERMANENT TRUSS BRACING, IN ADDITION TO TRUSS BRACING SPECIFIED BY THE TRUSS ENGINEER SHALL BE INSTALLED PER THE DETAIL IN THESE SHEETS, AND IN ACCORDANCE TO BWT-76 AND HIB-91
- ALL MATERIAL INSTALLATIONS ARE TO BE PER THE CODES AND STANDARDS REFERENCED

FASCIA & SOFFIT VENTING:

- MINIMUM 2"x4" SUB FASCIA NAILED TO TRUSS TAILS W/(2) 16D NAILS AT EACH TRUSS - (EACH PLY WHEN MULTIPLE TRUSS.
- TYPICAL DRIP EDGE & SOFFIT FASCIA INSTALLED TO MFG. SPECIFICATIONS
- SEE ALUMINUM ENGINEERING SPECIFICATIONS SUPPLIED BY OTHERS FOR FASCIA OR OVERHANG REQUIREMENTS WHEN SCREEN ENCLOSURES OR STRUCTURAL GUTTERS ARE DESIGNED TO BE ATTACHED TO FASCIA. NO VENTING IF USING SPRAY FOAM INSULATION
- SOFFITS SHALL BE CAPABLE OF RESISTING THE DESIGN PRESSURES SPECIFIED IN TABLE R301.2(2).
- ENTRY LANAI CEILING SPECIFICATION OPTIONS:
 - 1" SAG RESISTANT GYPSUM BOARD OVER 1"x4" P.T. FURRING STRIPS NAILED @ 16" O.C. W/ (2) 8D NAILS EACH TRUSS
 - 3/4" NOMINAL PLYWOOD OR OSB FASTENED W/ 8D NAILS 6" O.C. OR 3/8" X 1 1/2" STAPLES 4" O.C.
 - 5/8" SAG RESISTANT EXTERIOR DRYWALL.

GENERAL STRUCTURAL NOTES:

- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF THE TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING WORK. THE ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, SAFETY, DESIGN ADEQUACY AND INSPECTION OR ERECTION BRACING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OR PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, THE STANDARD DETAILS CONTAINED IN THE ENGINEER OF RECORD DETAIL SHEETS SHALL BE USED.
- LOADING APPLIES TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THE LIVE LOAD USED IN THE DESIGN OF THIS STRUCTURE ARE INDICATED IN THE "DESIGN CRITERIA NOTES". DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL THE STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE.
- GARAGE TO LIVING DOOR TO BE SOLID W/ 20 MINUTE FIRE RATING & SELF CLOSING HINGES.
- GARAGE TO DWELLING SEPARATION TO HAVE 3/4" GYPSUM BOARD ON GARAGE SIDE WALLS & 5/8" TYPE "X" ON CEILINGS W/ HABITABLE ROOMS ABOVE PER FBC 2023 R302.6.
- WALL SECTIONS 4 FOOT OR GREATER IN LENGTH W/ VERTICAL REBAR IN A FILLED CELL AT EACH END SHALL BE CONSIDERED A SHEAR WALL. FILLED CELLS ARE REQUIRED W/ VERTICAL #5 REBAR ON EACH SIDE OF WINDOWS, DOORS & OPENINGS ALSO AT ALL CORNERS & UNDER ALL GIRDER TRUSSES & BEAMS.

SITE PREPARATION NOTES:

- THE BUILDING SHALL BE PREPARED AND TESTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- IF THE SITE PREPARATION REQUIREMENTS ARE NOT SPECIFIED BY A GEOTECHNICAL REPORT THE FOLLOWING PROCEDURES SHOULD BE USED AS A MINIMUM.
 - WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVEMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL
 - THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY
 - FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL PLACE IN 8-INCH LIFTS AND COMPACT TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY BASED ON THE MODIFIED PROCTOR TEST
 - ALL CONTROLLED FILL MATERIAL SHALL BE A SELECT GRANULAR MATERIAL FREE FROM ALL ORGANICS OR OTHERWISE DELETERIOUS MATERIAL
 - PROVIDE FILED DENSITY TESTS FOR EACH 1,500 SF OF BUILDING AREA FOR EACH LIFT OF CONTROLLED FILL

APPLICABLE CODES :

2023 FLORIDA BUILDING CODE, 8th EDITION
2023 FLORIDA BUILDING CODE, 8th EDITION, BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION, RESIDENTIAL
2023 FLORIDA BUILDING CODE, 8th EDITION, EXISTING BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION, MECHANICAL
2023 FLORIDA BUILDING CODE, 8th EDITION, PLUMBING
2023 FLORIDA BUILDING CODE, 8th EDITION, FUEL GAS
2023 FLORIDA BUILDING CODE, 8th EDITION, ACCESSIBILITY CODE
2023 FLORIDA BUILDING CODE, 8th EDITION, ENERGY CONSERVATION
2020 NATIONAL ELECTRIC CODE
2023 FPPC 8th EDITION
2021 NFPA 101-LIFE SAFETY CODE

APPLICABLE STANDARDS:

ASCE 7-22: MIN. DESIGN LOADS ON BUILDINGS AND OTHER STRUCTURES
ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
AISC STEEL CONSTRUCTION MANUAL (LATEST EDITION)
TMS 402/602-16: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES
AWC 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD W/ ALL SUPPLEMENTS
AWC 2018 SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC W/ COMMENTARY
AWS D1.1 STRUCTURAL WELDING CODE FOR STEEL (2020)
ALUMINUM DESIGN MANUAL 2020

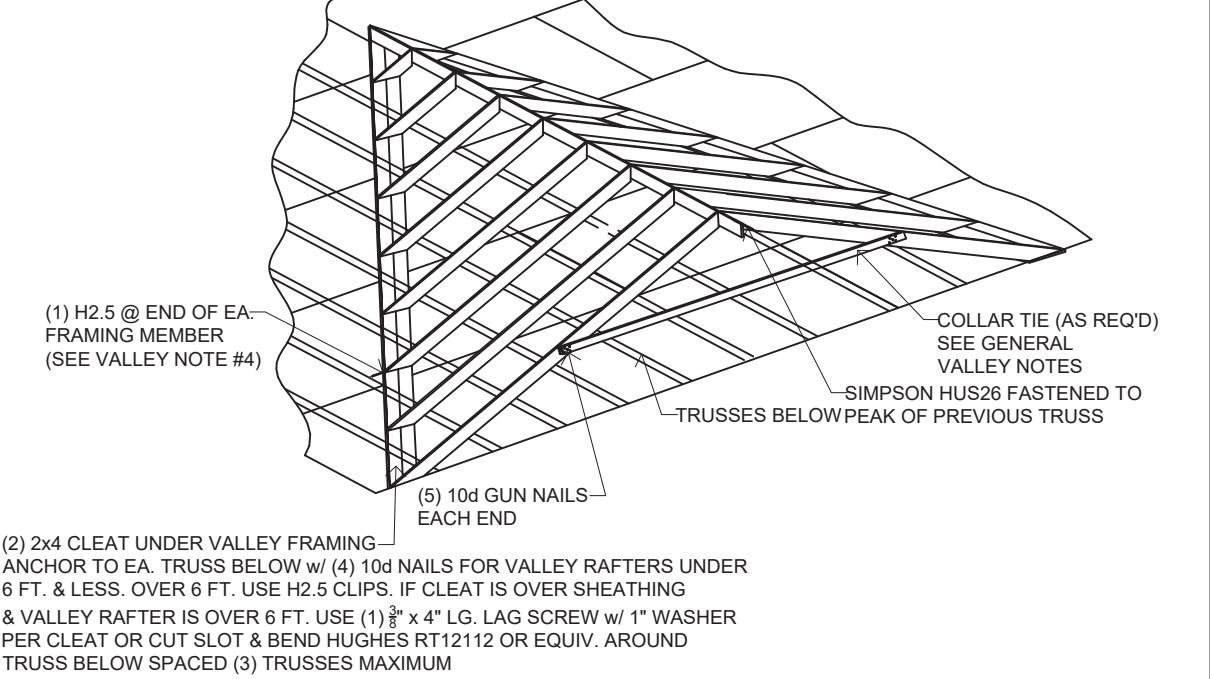
TRUSS CONNECTION NOTES:

TRUSS TO MASONRY w/ UPLIFT UP TO 1,810# USE (1) SIMPSON HETA20 OR EQ. U.N.O.
TRUSS TO MASONRY w/ UPLIFT FROM 1,811# TO 2,365# USE (2) SIMPSON HETA20 OR EQ. U.N.O.
GIRDER TO MASONRY USE (2) SIMPSON HETA20 OR EQ. UNLESS NOTED OTHERWISE
TRUSS TO WOOD w/ UPLIFT UP TO 1,310# USE (1) SIMPSON HTS20 OR EQ. U.N.O.
TRUSS TO WOOD w/ UPLIFT FROM 1,311# TO 2,620# USE (2) SIMPSON HTS20 OR EQ. U.N.O.
***IF HETA20 IS MISSED OR SKIPPED ON MASONRY, (2) HTSM20 MAY BE USED.

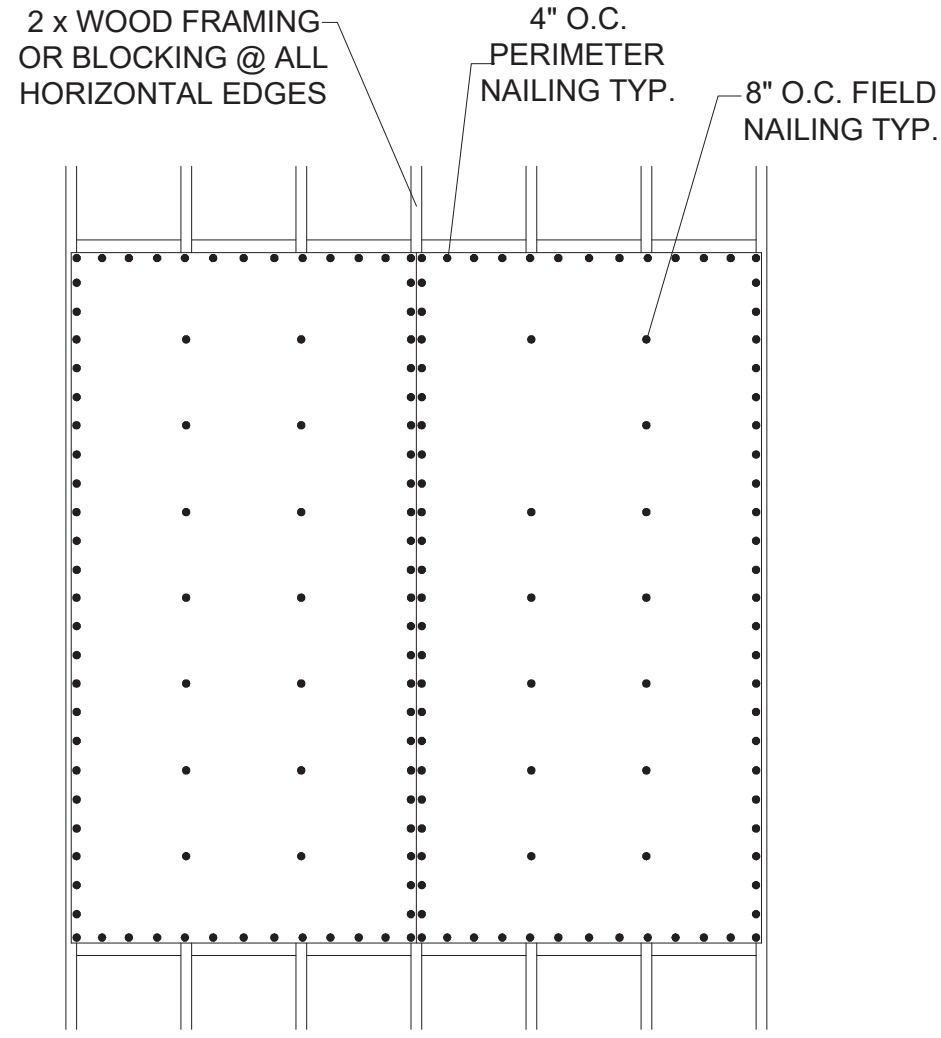
GENERAL VALLEY NOTES:

- RAFTERS TO BE 2x4 SPACED 24" O.C. UP TO 8 FT., USE 2x6 UP TO 12 FT.
- RAFTER LENGTHS (FROM RIDGE TO CLEAT) OVER 12'-0" TO HAVE 2x4 COLLAR TIE OR KICKER @ 1/3 RAFTER SPAN (UP TO 24 FT. MAX. RAFTER LENGTH)
- TRUSS TO WOOD w/ UPLIFT UP TO 1,310# USE (1) SIMPSON HTS20 OR EQ. U.N.O.
- TRUSS TO WOOD w/ UPLIFT FROM 1,311# TO 2,620# USE (2) SIMPSON HTS20 OR EQ. U.N.O.

***IF HETA20 IS MISSED OR SKIPPED ON MASONRY, (2) HTSM20 MAY BE USED.



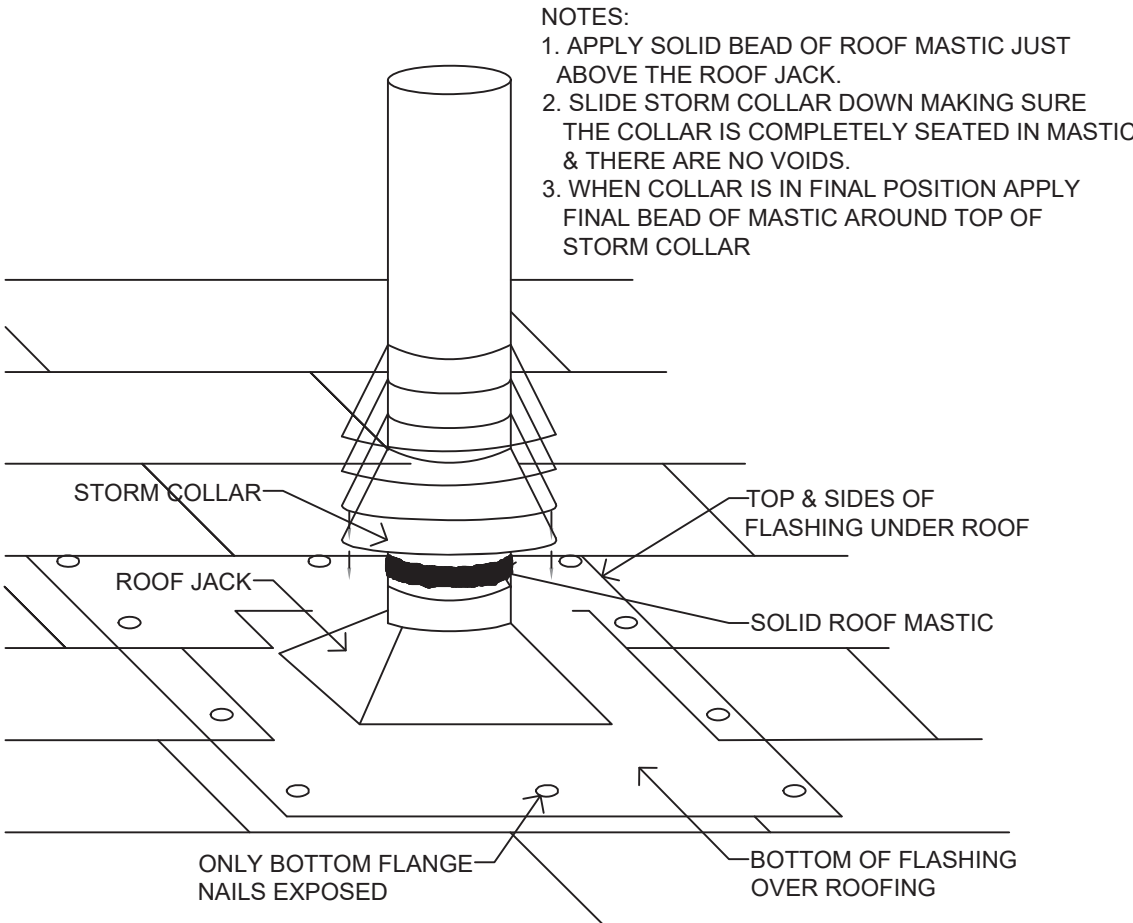
VALLEY FRAMING DETAIL
SCALE: N.T.S.



- PROVIDE MIN. 7/16" SHEATHING w/ 8d COMMON NAILS @ 4" & 8" SPACING.
- SHEATHING SHALL BE INSTALLED W/ FACE GRAIN PARALLEL TO STUDS.
- ALL HORIZONTAL JOINTS SHALL BE INSTALLED OVER FRAMING OR BLOCKING.
- SINGLE STORY APPLICATION: SHEATHING SHALL BE ATTACHED TO BOTTOM PLATE & TOP MEMBER OF DOUBLE TOP PLATE.

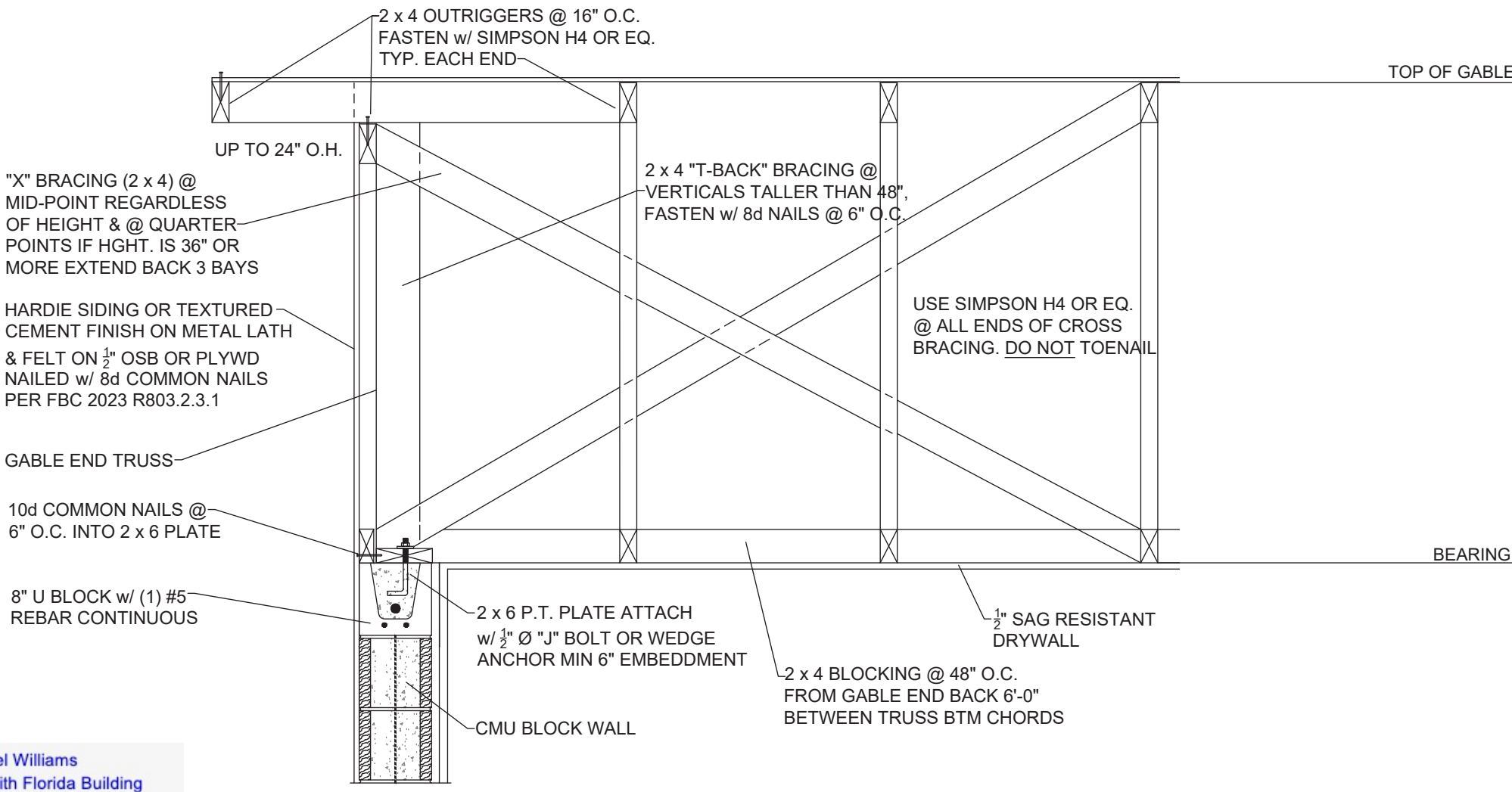
NOTE:
WALL SHEATHING TO BE USED AS SHEAR WALL & UPLIFT RESISTANCE.
SEE FLOOR PLANS FOR SHEAR WALL SEGMENT ANCHOR REQUIREMENTS.

TYPE II WALL SHEATHING
NAILING REQUIREMENTS
SCALE: N.T.S.



VENT PIPE PENETRATION
SCALE: N.T.S.

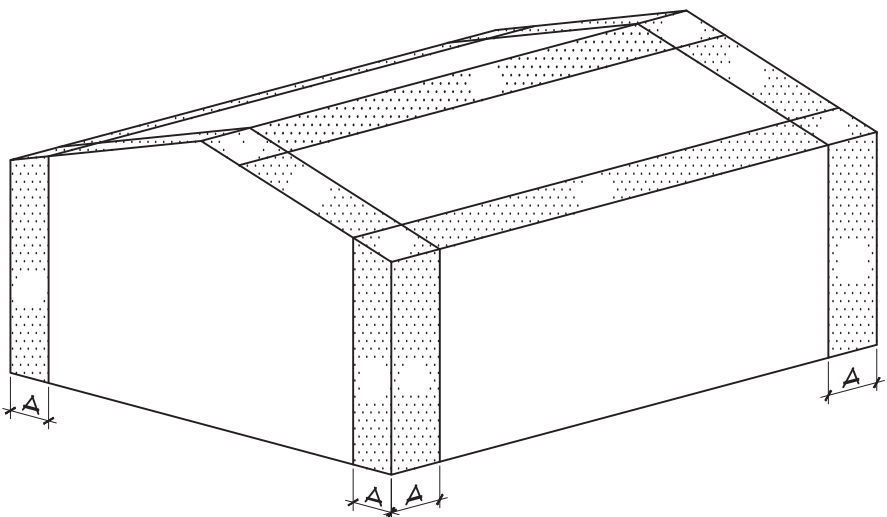
ALL STRUCTURAL LUMBER TO BE SYP NO 2 OR BETTER



GABLE END CONNECTION
N.T.S.

ROOF PLAN NOTES

- MINIMUM PRE-FABRICATED ROOF TRUSS DESIGN LOADS TO BE:
TOP CHORD LIVE LOAD: 20 P.S.F.
TOP CHORD DEAD LOAD: 20 P.S.F.
BOTTOM CHORD: 10 P.S.F.
TOTAL OF 50 P.S.F.
- TRUSS ENGINEER IS RESPONSIBLE FOR THE DESIGN OF TRUSS SYSTEM, ROOF FRAMING PLAN & MUST PROVIDE ENGINEERING FOR ALL TRUSSES, TRUSS TO TRUSS CONNECTORS, BEAM BUCKETS/HANGER & UPLIFT DESIGN LOADS. ALL OF WHICH SHALL BE CLEARLY & COMPLETELY SPECIFIED ON TRUSS MANUFACTURER'S ENGINEERING DOCUMENTS.
- ALL FLASHING & EAVE METAL TO BE 26 GAUGE, G-90 GALV. STEEL. FLASHING TO BE INSTALLED AT ALL WALL/ ROOF INTERSECTIONS, GUTTERS (IF APPLICABLE) WHEREVER THERE IS A CHANGE IN ROOF SLOPE / DIRECTION EXCEPT HIP & RIDGE JUNCTIONS & ALL AROUND ROOF OPENINGS.



FOR COMPONENT AND CLADDING PRESSURE ZONES, REFER TO FBC2023 8TH EDITION R301.2(7).

ATTIC VENTILATION REQUIREMENTS

1/300 RATIO REQUIRED ATTIC VENTILATION 50% OF REQUIRED VENTS TO BE PLACED IN UPPER PORTION OF ATTIC AT LEAST 3 FT. ABOVE EAVE VENTS.

- RIDGE VENT & OFF RIDGE VENTS ARE TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS WITH 2x4 BLOCKING BETWEEN TRUSSES AT EACH SIDE OF VENT.
- BLOCKING NAILED W/ (2) 16d NAILS AT EACH END, EACH PIECE TYPICAL
- OFF RIDGE VENT INSTALLED A MINIMUM OF 12" FROM ROOF PEAK
- RIDGE BLOCKING IS NOT REQUIRED WHEN A MINIMUM 24/16 SHEETING.

R905.1.1 UNDERLAYMENT.

UNDERLAYMENT FOR ROOF SLOPES 2:12 AND GREATER SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869, D6757, OR ASTM D8257, SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED. UNDERLAYMENT FOR ROOF SLOPES 2:12 AND GREATER SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH SECTION R905.1.1.1 OR R905.1.1.2 AS APPLICABLE.

TABLE R803.2.2 MINIMUM ROOF SHEATHING THICKNESS

RAFTER/TRUSS SPACING 24" O.C	WIND SPEED (MPH)							
	115	120	130	140	150	160	170	180
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE B	7/16 (24/16)	7/16 (24/16)	7/16 (24/16)	7/16 (24/16)	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE C	7/16 (24/16)	7/16 (24/16)	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	23/32 (48/24)
MIN. SPAN SHEATHING THICKNESS, INCHES (PANEL SPAN RATING) EXPOSURE D	15/32 (32/16)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	19/32 (40/20)	23/32 (48/24)	23/32 (48/24)

WOOD STRUCTURAL PANEL SHEATHING SHALL BE FASTENED TO ROOF FRAMING IN ACCORDANCE WITH TABLE R803.2.3.1. SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRs-03 (21/2" x 0.131" x 0.281 HEAD DIAMETER) NAILS EXCEPT THAT ASTM F1667 RSRs-01 (23/8" x 0.113") NAILS OR ASTM F1667 RSRs-04 (3" x 0.120" x 0.281 HEAD DIAMETER) NAILS SHALL BE PERMITTED WHERE SHEATHING THICKNESS IS 15/32 INCHES AND LESS. RSRs-01, RSRs-03 AND RSRs-04 ARE RING SHANK NAILS MEETING THE SPECIFICATIONS IN ASTM F1667.

TABLE R803.2.3.1 ROOF SHEATHING ATTACHMENT^{a,b}

RAFTER/TRUSS SPACING 24" O.C	WIND SPEED (MPH)															
	115		120		130		140		150		160		170		180	
	E	F	E	F	E	F	E	F	E	F	E	F	E	F	E	F
	EXPOSURE B															
RAFTER/TRUSS SG = 0.42	6	6	6	6	6	6	6	6	6	6	4	4	4	4	4	4
RAFTER/TRUSS SG = 0.49	6	12	6	12	6	6	6	6	6	6	6	6	6	6	6	6
	EXPOSURE C															
RAFTER/TRUSS SG = 0.42	6	6	6	6	6	6	4	4	4	4	4	4	4	3	3	3
RAFTER/TRUSS SG = 0.49	6	6	6	6	6	6	6	6	6	6	6	6	4	4	4	4
	EXPOSURE D															
RAFTER/TRUSS SG = 0.42	6	6	6	6	4	4	4	4	4	4	3	3	3	3	3	3
RAFTER/TRUSS SG = 0.49	6	6	6	6	6	6	4	4	4	4	4	4	4	4	4	4

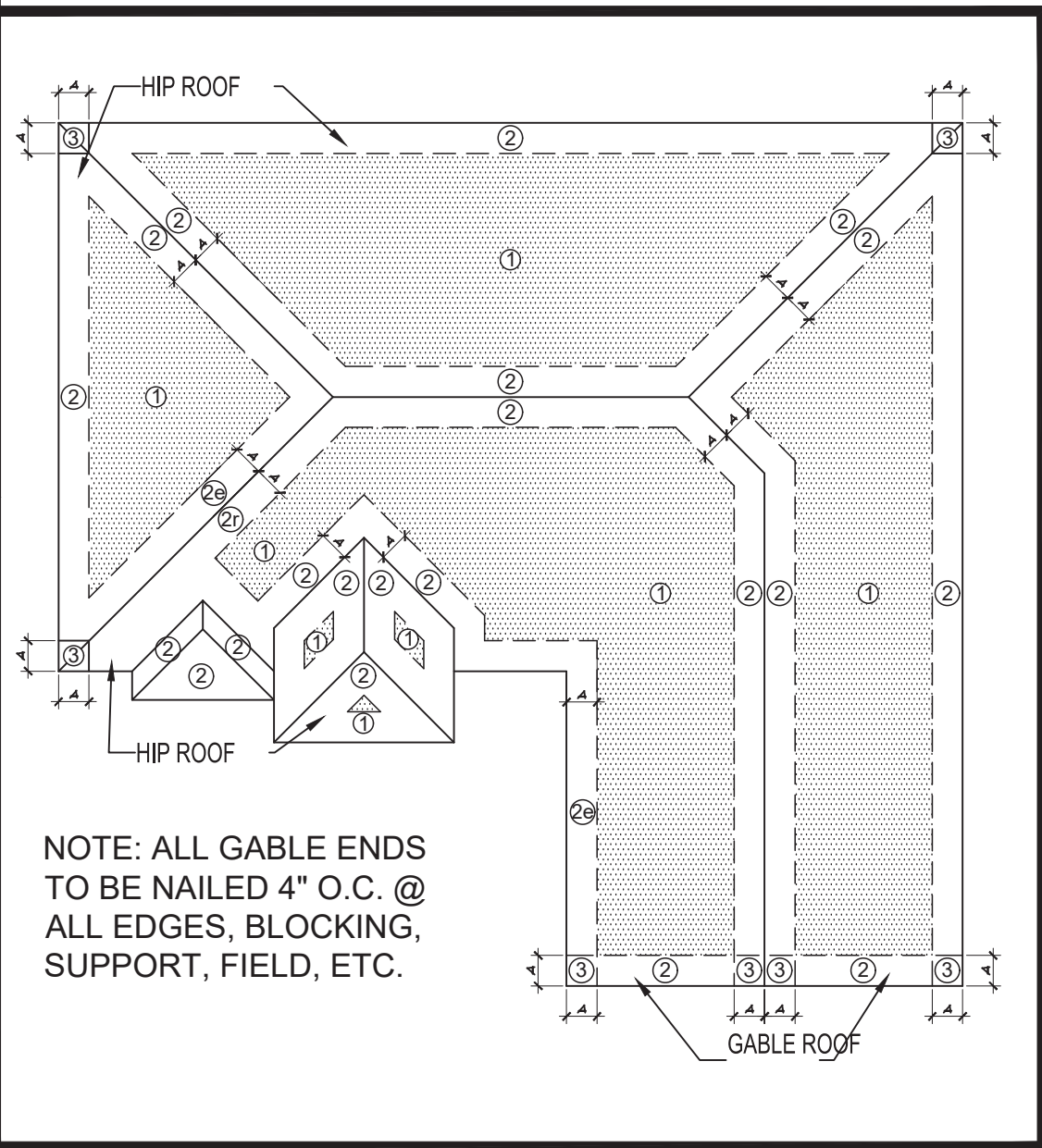
E = NAIL SPACING ALONG PANEL EDGES (INCHES)

F = NAIL SPACING ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD (INCHES)

A. FOR SHEATHING LOCATED A MINIMUM OF 4 FEET FROM THE PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH SIDE OF RIDGES AND HIPS, NAIL SPACING IS PERMITTED TO BE 6 INCHES ON CENTER ALONG PANEL EDGES AND 6 INCHES ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD.

B. WHERE RAFTER/TRUSS SPACING IS LESS THAN 24 INCHES ON CENTER OR FOR SPECIFIC GRAVITIES (SG) OTHER THAN THOSE SHOWN, ROOF SHEATHING FASTENING IS PERMITTED TO BE IN ACCORDANCE WITH THE AWC WFCM OR THE AWC NDS PROVIDED NAIL SPACING DOES NOT EXCEED 6 INCHES ON CENTER ALONG PANEL EDGES AND 12 INCHES ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE PANEL FIELD.

THE ENGINEER OF RECORD MUST REVIEW AND APPROVE TRUSS PLANS PRIOR TO THE START OF ANY CONSTRUCTION. FOUNDATION, BEARING WALLS, BEAMS, POSTS & TRUSS CONNECTORS ARE SUBJECT TO CHANGE BASED ON FINAL TRUSS PLANS



ALL THE DESIGN AND DETAILS ON THIS PLAN ARE THE PROPERTY OF FLORIDA ENGINEERING, LLC AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FLORIDA ENGINEERING, LLC.

Florida Engineering, LLC
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33304
PH: 954-391-6960
FAX: 954-391-6915



I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF RECORD THAT THE DESIGN AND DETAILS ON THIS PLAN ARE THE PROPERTY OF FLORIDA ENGINEERING, LLC AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FLORIDA ENGINEERING, LLC.

THIS PLAN HAS BEEN PREPARED IN COMPLIANCE WITH THE 2023 8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

S-2

Private Provider Michael Williams

Plan reviewed for compliance with Florida Building Code not including zoning, fire, or public works compliance.

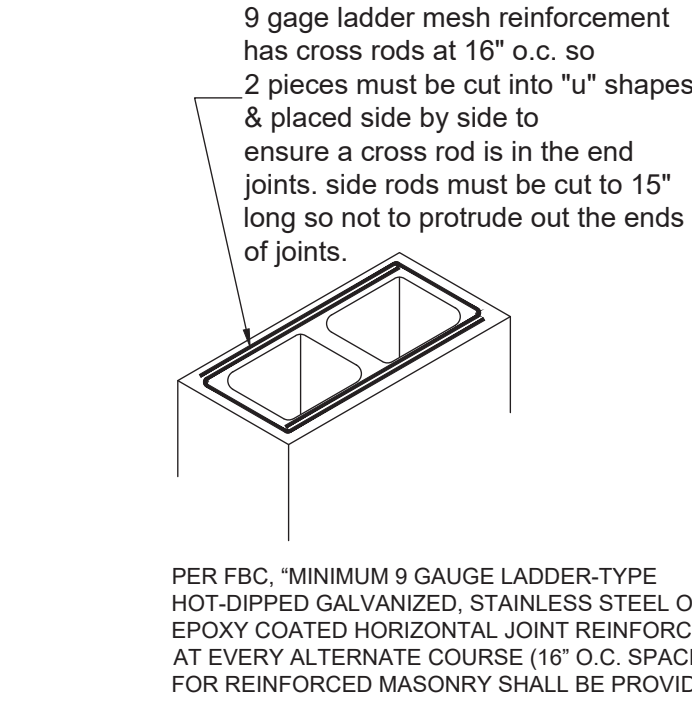
Licenses: BU2215, PX4929, BN7822

Or Associated Duly Authorized Representative

Plan Not Altered in Any Way



REFER TO FOUNDATION PLAN FOR SIZE AND REINFORCEMENT OF ALL FOUNDATIONS INCLUDING STEM WALLS, MONOLITHIC, AND INTERIOR BEARING FOOTERS.



Notes and assumptions

All stem walls to be restrained by slab
3000 psi conc. Used for all footers
4" soil over top of toe
CMU stem centered over footer

Courses	Height (in ft)	Reinforcing size	Spacing	Grout Spacing	Footer depth	Footer width	Footer reinforcement	Max. Factored Load (plf)
4	2.667	#5	48" O.C	48" O.C	16"	16"	#5 @ 8" O.C / (2) #5	2400
6	4.000	#5	32" O.C	32" O.C	16"	30"	#5 @ 8" O.C / (3) #5	3000
8	5.333	#5	32" O.C	32" O.C	20"	42"	#5 @ 8" O.C / (3) #5	4000

DESIGN DATA								
DESIGN CRITERIA:					2023 FBC-R, SEC R301.2			
ULTIMATE DESIGN WIND SPEED (MPH) V_{ULT} =					130			
NOMINAL DESIGN WIND SPEED (MPH) V_{ASD} =					101			
EXPOSURE CATEGORY:					C			
MEAN BUILDING HEIGHT (FT) =					28.00			
END ZONE DIMENSION (FT) a =					4.00			
ROOF STYLE:					HIP ROOF			
ROOF PITCH:					4.5 TO 6			
RISK CATEGORY:					II			
OCCUPANCY CLASSIFICATION:					ENCLOSED / PARTIALLY OPEN			
INTERNAL PRESSURE COEFFICIENT =					+/-0.18			
HEIGHT & EXPOSURE ADJUSTMENT FACTOR =					1.38			
ADJUSTED C & C WIND PRESSURES (ASD) (PSF)								
ROOF	EWA = 10 FT ²		EWA = 20 FT ²		EWA = 50 FT ²		EWA = 100 FT ²	
Zone 1'	NA	NA	NA	NA	NA	NA	NA	NA
Zone 1	18.8	-33.7	16.2	-29.9	12.9	-24.8	10.3	-20.9
Zone 2	18.8	-46.6	16.2	-40.1	12.9	-31.7	10.3	-25.2
Zone 3	18.8	-46.6	16.2	-40.1	12.9	-31.7	10.3	-25.2
WALL	EWA = 10 FT ²		EWA = 20 FT ²		EWA = 50 FT ²		EWA = 100 FT ²	
Zone 4	25.2	-27.4	24.1	-26.3	22.5	-24.8	21.4	-23.6
Zone 5	25.2	-33.7	24.1	-31.5	22.5	-28.5	21.4	-26.3
GARAGE DOOR			FLOOR LIVE LOAD = 40 PSF					
9 X 7	22.3	-25.2	ROOF LIVE LOAD = 20 PSF					
16 X 7	21.4	-23.8	SOIL BEARING CAPACITY = 2000 PSF					

ROOF TRUSS CONNECTORS		
CONNECTOR	MAX. UPLIFT (LBS)	NOTES
HETA16/20	1810	TRUSS TO CONCRETE BEAM
DETAL20	2480	TRUSS TO CONCRETE BEAM
HTSM20	955	TRUSS TO CONCRETE BEAM RETROFIT
(2) VGT	7185	2-PLY GIRDER TO MASONRY/WOOD
(2) VGT	8890	3-PLY GIRDER TO MASONRY/WOOD
FGTR	8885	GIRDER TO MASONRY RETROFIT
HGT-2	10345	2-PLY GIRDER TO WOOD COLUMN
HGT-3	10440	3-PLY GIRDER TO WOOD COLUMN
LGUM26-2-SDS	1430	2 PLY GIRDER TO MASONRY FACE MOUNTED
H2.5A	595	TRUSS TO DBL TOP PLATE
HTS 16/20	1310	TRUSS TO WOOD BEAM/HEADER
H10A	1040	TRUSS TO DBL TOP PLATE
HUS26	1320	TRUSS TO LEDGERBOARD FACE MOUNTED
(2) HTSM20	1850	USE IN LIEU OF MISSED HETA20

ALL THE DESIGN AND DETAILS ON THIS PLAN ARE THE PROPERTY OF FLORIDA ENGINEERING, LLC, AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF FLORIDA ENGINEERING, LLC.

Florida Engineering, LLC

209
PORT CHARLOTTE, FL 33680
PH: 841-391-6960
FAX: 841-391-6125



FLORIDA ENGINEERING

I HEREBY CERTIFY AS THE BUILDING DESIGN ENGINEER OF THE STATE OF FLORIDA THAT THE DESIGN AND CONSTRUCTION OF THE PROJECTS SHOWN ON THESE PLANS AND AS ACCOMPANIED BY DESIGN & SUPPORT DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. THE CERTIFICATION DOES NOT MAKE A GOOD TRUSS COMPONENTS OF WHICH THE TRUSS DESIGN ENGINEER IS THE DESIGNER. THIS PLAN HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2023 8th EDITION FLORIDA BUILDING CODE WITH SUPPLEMENTS.

SEE COVER SHEET

PROJECT NAME & ADDRESS:

No.	Description	Date
	X	X
	X	X
	X	X

DRAWN BY: CG

REVIEWED BY:

PROJECT NO:

SCALE: PER PLAN

SHEET TITLE:

STRUCTURAL DETAILS

SHEET NUMBER:

S-3