




REVISIONS SCHEDULE	
May 1st, 2019	ORIGINAL DRAWINGS
June 23rd, 2019	PERMIT DRWGS

RIMERT RESIDENCE
LOT 4, COVE AT ROSE CREEK S/D, COLUMBIA COUNTY, FLORIDA 32024



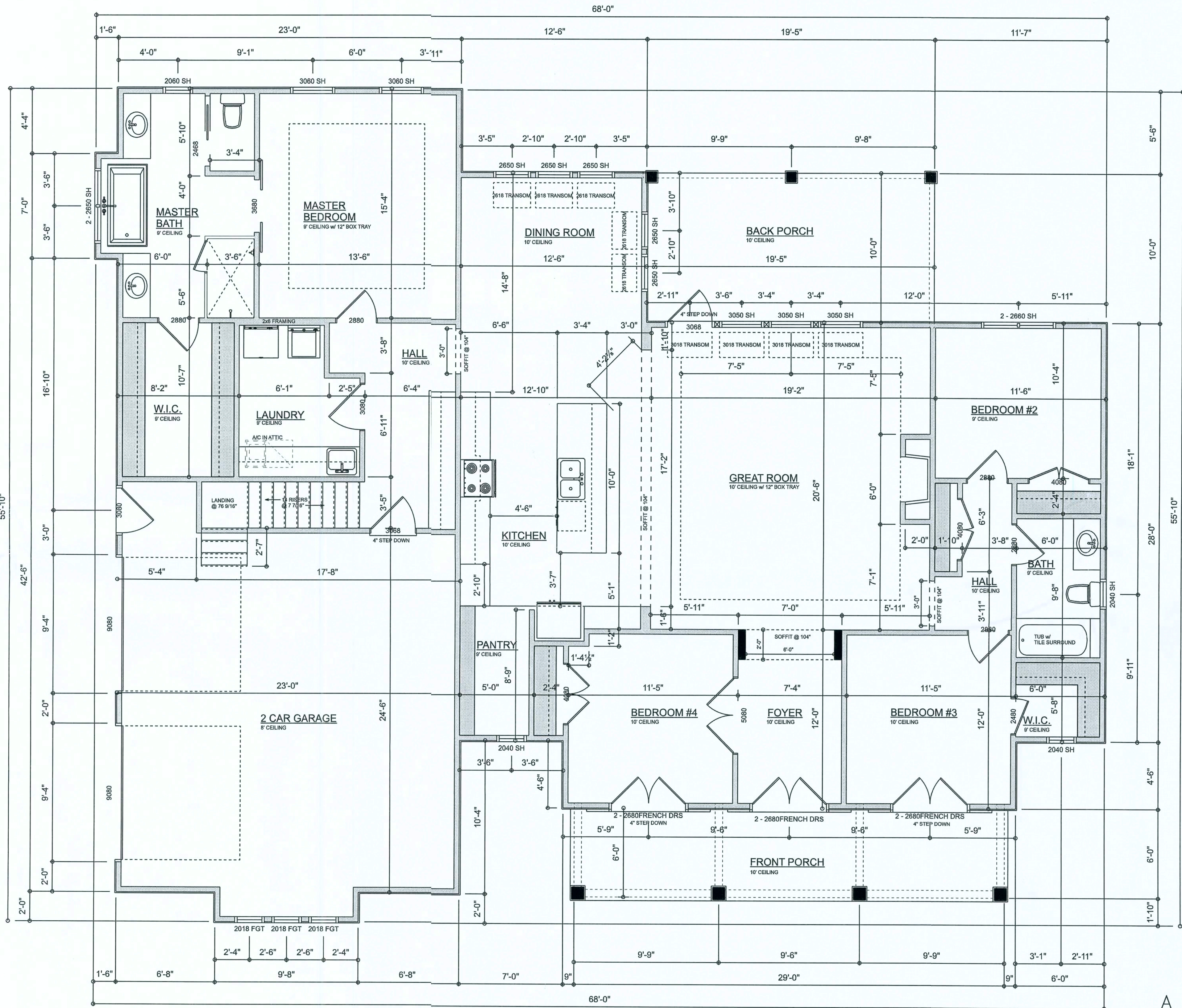
**RIDGEPOINT
DESIGN**
818 WEST DUVAL STREET, LAKE CITY, FLORIDA 32055
P: 386-288-1188
E: RIDGEPOINTDESIGN@GMAIL.COM

SHEET NUMBER
COVER
OF 3 SHEETS

- Garage fire separations shall comply with the following:
1. The private garage shall be separated from the dwelling unit and its attic area by means of a minimum 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch Type X gypsum board or equivalent. Door openings between a private garage and the dwelling unit shall be equipped with either solid wood doors, or solid or honeycomb core steel doors not less than 13/8 inches (34.9 mm) thick, or doors in compliance with Section 715.3.3. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.
 2. Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48 mm) sheet steel and shall have no openings into the garage.
 3. A separation is not required between a Group R-3 and U carport provided the carport is entirely open on two or more sides and there are not enclosed areas above.
 4. When installing an attic access and/or pull-down stair unit in the garage, devise shall have a minimum 20 min. fire rating.

DIMENSIONED FLOOR PLAN

SCALE: 1/4" = 1'-0"



OVERHANG SECTIONS

SCALE: 1/4" = 1'-0"

AREA SUMMARY

FIRST FLOOR AREA	2,152	S.F.
FRONT PORCH	172	S.F.
BACK PORCH	194	S.F.
2 CAR GARAGE	603	S.F.
TOTAL UNDER ROOF	3,121	S.F.

TOTAL CUBIC FOOTAGE OF CONDITIONED SPACE IS: 20,988

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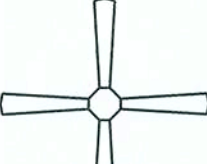



















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SHEET NUMBER

A.3

OF 3 SHEETS

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
CEILING FAN	5	
CAN LIGHT 4inch	5	
CAN LIGHT 6inch	29	
CHANDELIER	3	
FLUORESCENT LIGHT 1x4	4	
PENDANT LIGHT	3	
MOTION SECURITY LIGHT	5	
ELECTRIC METER	1	
ELECTRIC PANEL	2	
CABLE TV OUTLET	4	
EXHAUST FAN	2	
OUTLET	45	
OUTLET 220v	2	
OUTLET GFI	12	
OUTLET WP	10	
SMOKE DETECTOR	6	
STANDARD LIGHT	2	
SWITCH	23	
SWITCH 3 WAY	28	
VANITY BAR LIGHT - 3SMALL	3	

ELECTRICAL PLAN NOTES:

INSTALLATION SHALL BE PER 2017 NAT'L ELECTRIC CODE.

WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT PER MANUF. SPECIFICATIONS

CONSULT WITH THE OWNER FOR THE NUMBER OF SEPERATE TELEPHONE LINES TO BE NSTALLED

ALL SMOKE DETECTORS SHALL BE 120v W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER. INSTALL INSIDE AND NEAR ALL BEDROOMS

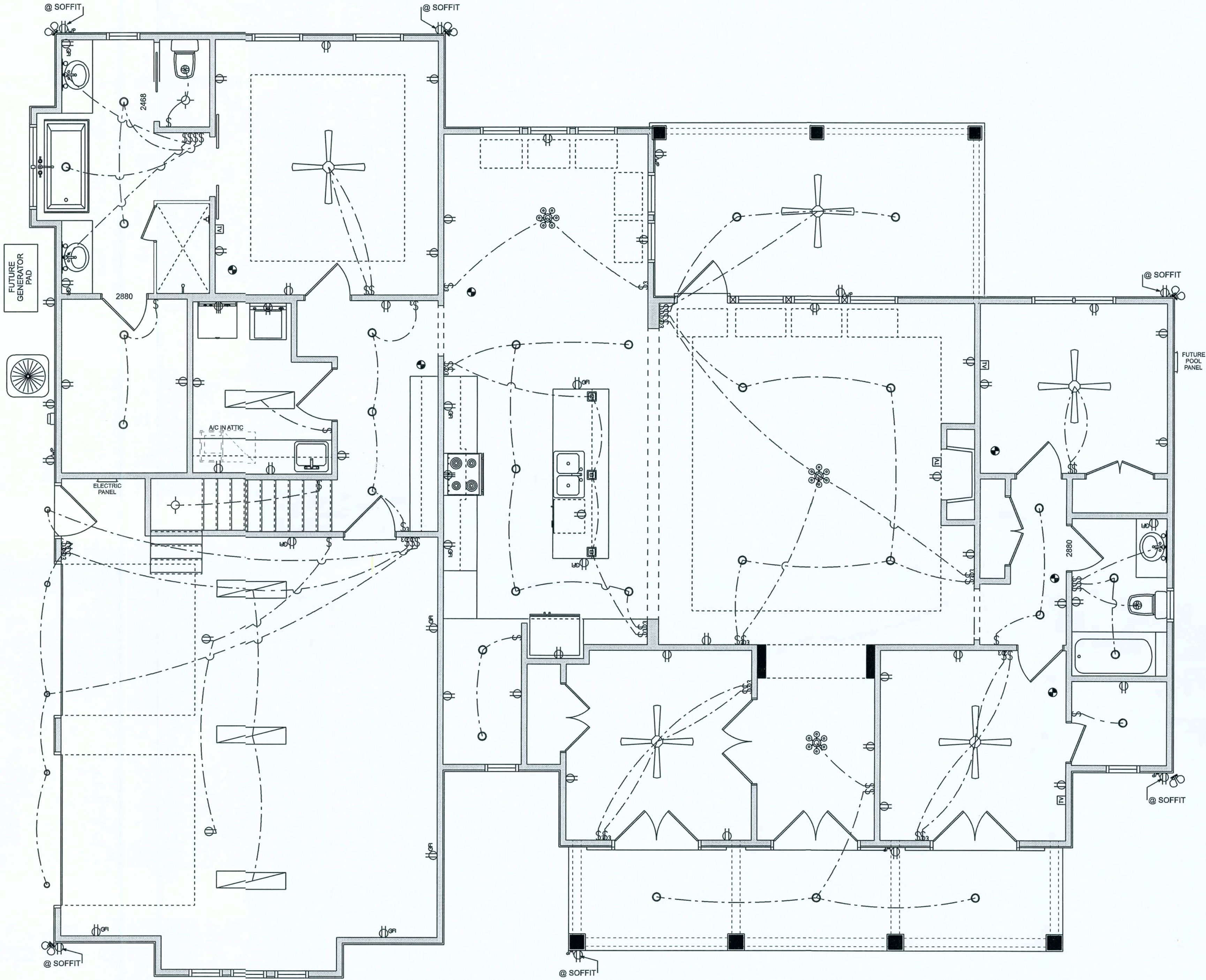
TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNER'S DIRECTIONS, & IN ACCORANCE W/ APPLICABLE SECTIONS OF NEC-LATEST EDITION.

ALL RECEPTICALS, NOT O'HERWISE NOTED, SHALL BE ARC FAULT INTERRUPTER TYPE, EXCEPT DEDICATED OUTLETS

ALL RECEPTICALS IN WETAREAS SHALL BE GROUND FAULT INTERRUPTER TYPE (GFI)

ALL EXTERIOR RECEPTICALS SHALL BE WEATHERPROOF GROUD FAULT INTERRUPTER TYPE (WP/GFI)

NOTE:
ELECTRICAL CONTR SHALL PREPARE "AS-BUILT" SHOP DWGS INDICATING ALL ELECTRICAL WORK, INCLUDING ANY CHANGES TO THE ELEC. PLAN, ADD'NS TO THE ELEC. PLAN, RISER DIAGRAM, AS-BUILT PANEL SCHEDULE W/ ALL CKTS IDENTIFIED W/ CKT N°. DESCRIPTION & BRKR. SERVICE ENT. & ALL UNDERGROUND WIRE LOCATIONS/ROUTING / DEPTH. RISER DIA. SHALL INCLUDE WIRE SIZES/TYPE & EQUIPMENT TYPE W/ RATINGS & LOADS.
CONTRACTOR SHALL PROVIDE 1 COPY OF AS-BUILT DWGS TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY

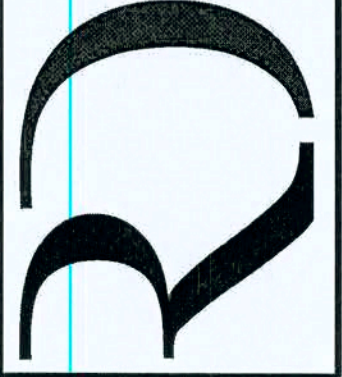


ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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DESIGN

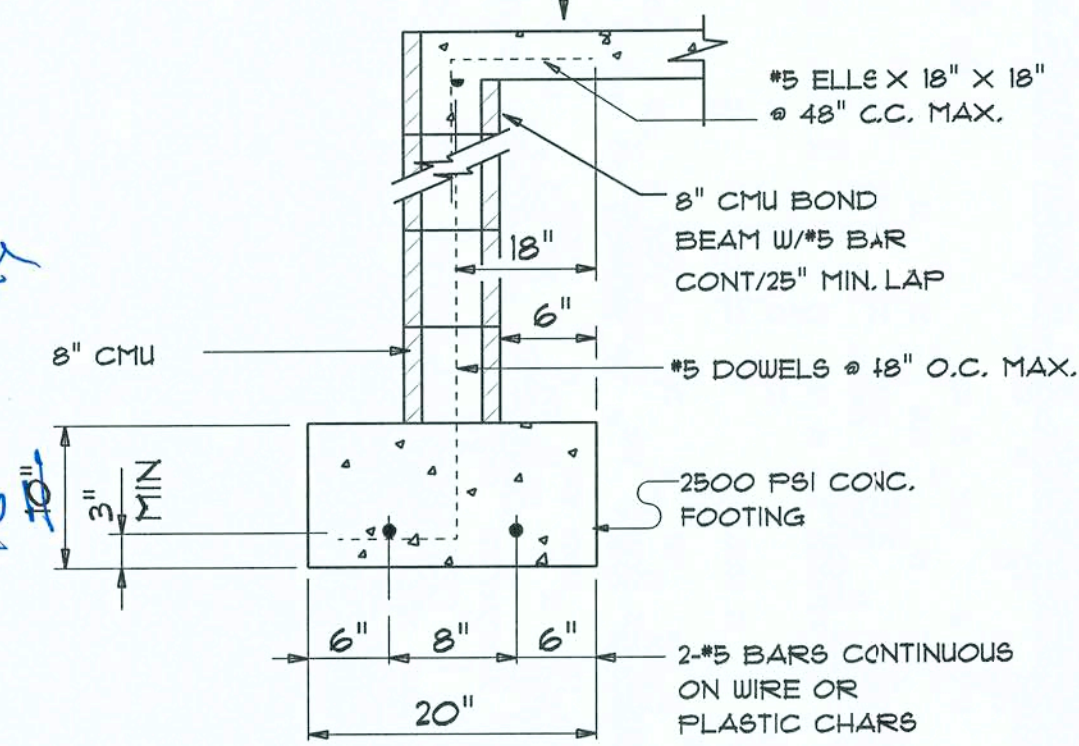
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SHEET NUMBER

A.4

OF 3 SHEETS

4" THK. 3000 PSI CONCRETE SLAB
W/ FIBERMESH CONCRETE ADDITIVE,
OVER TREATED, CLEAN COMPACTED FILL

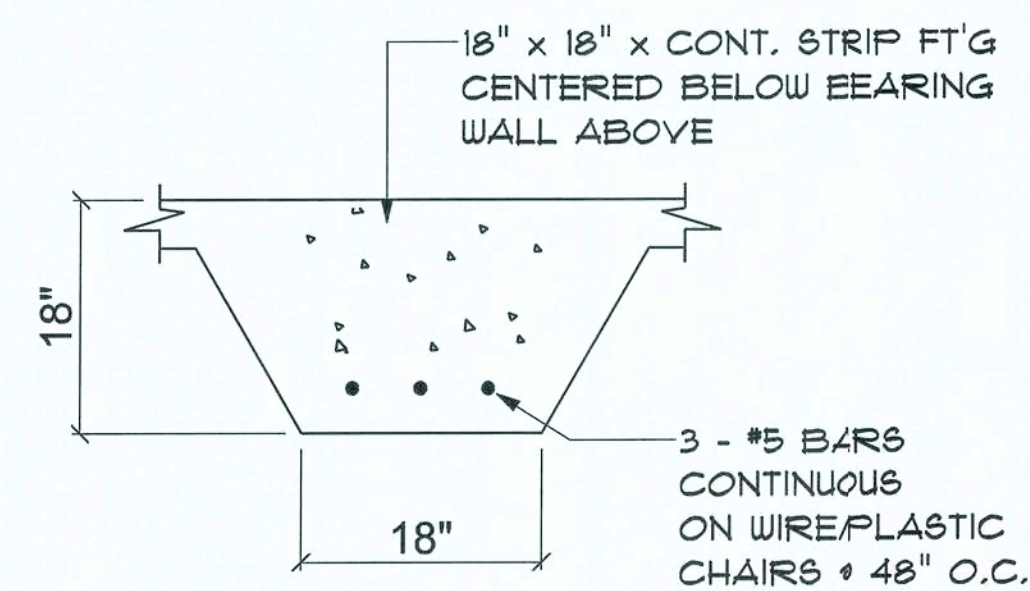


STEMWALL SECTION

SCALE: NONE

CONCRETE / MASONRY /
METALS GENERAL NOTES:

1. DESIGN SOIL BEARING PRESSURE: 1500 PSF.
2. EXPANSIVE SOILS: WHERE DIRECTED BY THE SOILS ENGINEER, SOIL AUGMENTATION PER THE SOILS ENGINEER'S SPECIFICATIONS SHALL BE IMPLEMENTED PRIOR TO PLACING ANY FOUNDATIONS - TESTS AS SPECIFIED SHALL BE PERFORMED TO DETERMINE THE SUITABILITY OF THE SUB-GRADE TO SUPPORT THE DESIGN LOADS.
3. CLEAN SAND FILL OVER STRIPPED AND COMPACTED EXISTING GD. SHALL BE PLACED IN 12" LIFTS. BOTH SUB-SOIL AND FILL COMPACTION SHALL BE NOT LESS THAN 95% AS MEASURED BY A MODIFIED PROCTOR TEST AT THE RATE OF ONE TEST FOR EACH 1500 SF OF BUILDING PAD AREA, OR FRACTION THEREOF, FOR EACH 12" LIFT.
4. REINFORCING STEEL SHALL BE GRADE 40 AND MEET THE REQUIREMENTS OF ASTM A615, ALL BENDS SHALL BE MADE COLD.
5. WELDED WIRE MESH SLAB REINFORCING SHALL MEET THE REQUIREMENTS OF ASTM A103 - MIN. YIELD STRESS = 85 KSI.
6. CONCRETE SHALL BE STANDARD MIX F'c = 3000 PSI FOR ALL FTGS, SLABS, COLUMNS AND BEAMS OR SHALL BE STANDARD PUMP MIX F'c = 3000 PSI. STRENGTH SHALL BE ATTAINED WITHIN 28 DAYS OF PLACEMENT. MIXING, PLACING AND FINISHING SHALL BE AS PER ACI STANDARDS.
7. CONCRETE BLOCK SHALL BE AS PER MANUFACTURER'S PRODUCT GUIDE FOR ASTM C-90 REQUIREMENTS WITH MEDIUM SURFACE FINISH - F'm = 1500 PSI.
8. MORTAR SHALL BE TYPE "M" OR "N" FOR ALL MASONRY UNITS.
9. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 STANDARDS FOR STRENGTH, BOLTS SHALL BE ASTM A307 / GRADE 1 CR A325, AS PER PLAN REQUIREMENTS.
10. WELDS SHALL BE AS PER "AMERICAN WELDING SOCIETY" STANDARDS FOR STRUCTURAL STEEL APPLICATIONS.

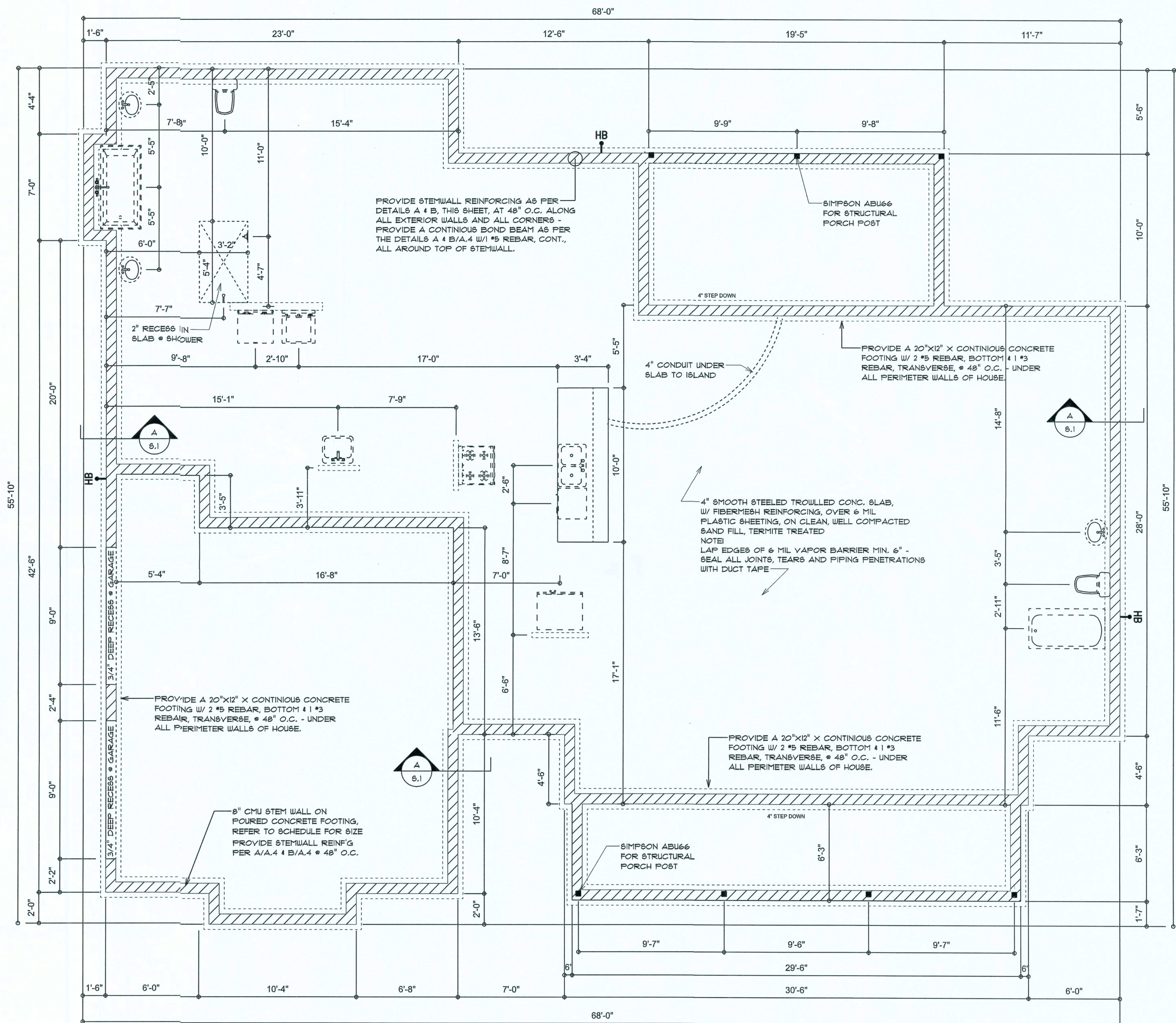


SECTION @
INTERIOR BEARING

SCALE: not to scale

NOTE:
THE DESIGN WIND SPEED FOR THIS
PROJECT IS 130 MPH PER FBC 1609
AND LOCAL JURISDICTION REQUIREMENTS

NOTE:
ADDED FILL SHALL BE APPLIED IN 8" LIFTS -
EA. LIFT SHALL BE COMPACTED TO 95% DRY
COMPACTION PER THE "MODIFIED PROCTOR"
METHOD.



FOUNDATION PLAN

SCALE: $1/4" = 1'-0"$

REVISIONS
JUNE 23rd, 2019

RIMERT RESIDENCE
LOT 4, COVE AT ROSE CREEK S/D, COLUMBIA COUNTY, FLORIDA 32024

**NICHOLAS
PAUL
GEISLER
ARCHITECT**
A.C.A.R.B. Certified

1750 NW
Lakes Circle
(386) 751-1111

N.C.A.R.B. Certified ■ (386) 755-9021

SHEET NUMBER

S.1

F 4 SHEETS

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Diagram illustrating the construction details of a roof ridge. The diagram shows a cross-section of the roof structure, including the ridge, rafters, and various layers of roofing materials. Key components and their specifications are labeled:

- CONT. RIDGE VENT AS PER "GAF" "COBRA RIGID RIDGE VENT II" W/ SHINGLE COVERING**
- SHINGLE ROOFING AS PER SCHEDULE ON PLANS - SEE ROOFING NOTES**
- 1/2" CDX PLYWOOD OR 7/16" O.S.B. SHEATHING AS PER NAILING SCHEDULE ON PLANS**
- FRAMING AS PER ROOF FRAMING PLAN (TRUSSES OR LUMBER)**

A vertical dimension line on the left indicates a height of **2"** for the ridge vent assembly.

Ridge Vent DETAIL

C



Roofing/Flashing DETS.

D

0'-0" UP TO 6'-0" OPENINGS

6'-0" UP TO 9'-0" OPENINGS

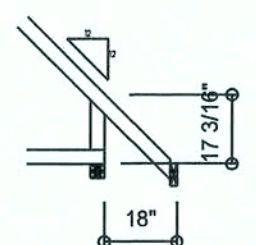
9'-0" UP TO 16'-0" OPENINGS (INCLUDING GARAGE DOORS.)

OPENINGS WITH GIRDER TRUSSES ABOVE & OPTIONAL GARAGE DOOR OPENINGS

ROOF PLAN NOTES

- NOTE
ANCHOR GIRDER TRUSS(ES) TO HEADER
WITH 2 "SIMPSON" LGT(2, 3 OR 4),
ANCHOR HEADER TO KING STUDS W/
2 "SIMPSON" ST22 EA. END - TYP., T.O.

2X6 SUB-FASCIA, TYPICAL @ ALL
TRUSS EAVES & GABLE ENDS



OVERHANG SECTIONS

ROOF FRAMING PLAN

GENERAL TRUSS NOTES:


- WOOD STRUCTURAL NOTES

1. TEMPORARY BRACING OF THE STRUCTURE DURING ERECTION, REQUIRED FOR SAFE AND STABLE CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR SO ENGAGED, TEMPORARY & PERMANENT BRACING OF ROOF TRUSSES SHALL BE AS PER THE STANDARD GUIDELINES OF THE "TRUSS PLATE INSTITUTE".
2. ALL TRUSSES SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER & SHALL BE SIGNED AND SEALED BY SAME. TRUSS DESIGN SHALL INCLUDE LAYOUT & DETAILING OF TRUSS DETAILS, TRUSS TO TRUSS CONNECTIONS & THE STANDARD SPECIFICATIONS & RECOMMENDATIONS OF INSTALLATION OF THE "TRUSS PLATE INSTITUTE".
3. WOOD STUDS IN EXTERIOR WALLS & INTERIOR BEARING WALLS SHALL BE NOT LESS THAN N:2 HEM-FIR OR BETTER.
4. CONNECTORS FOR WOOD FRAMING SHALL BE GALVANIZED METAL OR BLACK METAL AS MANUFACTURED OR AS CALLED FOR IN THE PLANS AND BE OF A DESIGN SUITABLE FOR THE LOADS AND USE INTENDED, REFER TO THE JOINT REINFORCEMENT SCHEDULE FOR PRINCIPLE CONNECTIONS.

REVISIONS
JUNE 23rd, 2019

RIMERT RESIDENCE

LOT 4, COVEAT ROSE CREEK 3RD, COLUMBIA COUNTY, FLORIDA 32024



**NICHOLAS
PAUL**

ARCHITECT ■ **LAKES CITY, FL 32055**
■ **(386) 755-9021**

SHEET NUMBER

S.2

F 4 SHEETS

)

FLORIDA BUILDING CODE	
Compliance Summary	
TYPE OF CONSTRUCTION	
Roof:	Hip Construction, Wood Trusses @ 24" O
Walls:	2x4 Wood Studs @ 16" O.C
Floor:	4" Thk. Concrete Slab w/ Fibermesh Concrete Additive
Foundation:	Continuous Footer/stem Wall
ROOF DECKING	
Material:	1/2" CD Plywood or 1 1/8" O.S.B.
Sheet Size:	48"x96" Sheets Placed Perpendicular to Roof Framing
Fasteners:	8d Common Nails per schedule on sheet A.1
SHEARWALLS	
Material:	1/2" CD Plywood or 1 1/8" O.S.B.
Sheet Size:	48"x96" Sheets Placed Vertical
Fasteners:	8d Common Nails @ 4" O.C. Edges @ 8" O.C. Interior
Dragstrut:	Double Top Plate (h.Y.F.) w/ 16d Nails @ 12" O.C.
Wall Studs:	2x4 Studs @ 16" O.C
HURRICANE UPLIFT CONNECTORS	
Truss Anchors:	SIMPSON H2.5a @ Ea. Truss End (Typ. U.O.N.)
Wall Tension:	Wall Sheathing Nailing is Adequate - 8d @ 4" O.C. Top @ Bot.
Anchor Bolts:	1/2" A307 Bolts @ 48" O.C. - 1st Bolt 12"-16" from corner
Corner Hold-down Device:	(1) HD5a @ each corner
Porch Column Base Connector:	Simpson ABU66 @ each column
Porch Column to Beam Connector:	Simpson EPC66/PC66 @ each column
FOOTINGS AND FOUNDATIONS	
Footings:	20"x10" X CONT., CONCRETE FOOTING w/ 2 #5 REBAR.

STRUCTURAL DESIGN CRITERIA:

1. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE - SECTION 1609 AND OTHER REFERENCED CODES AND SPECIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL BE LATEST EDITION AT TIME OF PERMIT.

2. WIND LOAD CRITERIA: RISK CATAGORY: 2, EXPOSURE: "C"

BASED ON ANSI/ASCE 7-10, 2017 FBC 1609.4 WIND VELOCITY: V_{ULT} = 130 MPH
 V_{ASD} = 101 MPH

3. ROOF DESIGN LOADS:
SUPERIMPOSED DEAD LOADS: 2c PSF
SUPERIMPOSED LIVE LOADS: 20 PSF

4. FLOOR DESIGN LOADS:
SUPERIMPOSED DEAD LOADS: 25 PSF
SUPERIMPOSED LIVE LOADS:
RESIDENTIAL 40 PSF
BALCONIES 60 PSF

5. WIND NET UPLIFT: ARE AS INDICATED ON PLANS

TERMITE PROTECTION NOTES:

SOIL CHEMICAL BARRIER METHOD:

- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR REINSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL. FBC 104.2.6
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS. FBC 1503.4.4
- IRRIGATION/SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" FROM BUILDING SIDE WALLS. FBC 1503.4.4
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, BETWEEN WALL COVERINGS AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6". EXCEPTION: PAINT AND DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL. FBC 1403.1.6
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE. FBC 1816.1.1
- SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED. FBC 1816.1.2
- BOXED AREAS IN CONCRETE FLOOR FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. FBC 1816.1.3
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. FBC 1816.1.4
- CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. FBC 1816.1.5
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS. FBC 1816.1.6
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED. FBC 1816.1.6
- ALL BUILDINGS ARE REQUIRED TO HAVE PER-CONSTRUCTION TREATMENT. FBC 1816.1.7
- A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES". FBC 1816.1.7
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL. FBC 2303.1.3
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING. FBC 2303.1.4

FRAMING ANCHOR SCHEDULE

APPLICATION	MANUF'R/MODEL	CAP.
TRUSS TO WALL:	SIMPSON H2.5a or SDUC15600	600*
GIRDER TRUSS TO POST/HEADER:	SIMPSON LGT, W/ 28 - 16d NAILS	1785*
HEADER TO KING STUD(S):	SIMPSON ST22	1370*
PLATE TO STUD:	NO CONNECTION REQ. WHEN USING WINDSTORM BOARD	
STUD TO SILL:	NO CONNECTION REQ. WHEN USING WINDSTORM BOARD	
PORCH BEAM TO POST:	SIMPSON PC66/EPC66	1700*
PORCH POST TO FND.:	SIMPSON ABU66	2200*
MISC. JOINTS	SIMPSON A34	315*/240*

NOTE:
ALL ANCHORS SHALL BE SECURED w/ NAILS AS PRESCRIBED BY THE MANUFACTURER FOR MAXIMUM JOINT STRENGTH, UNLESS NOTED OTHERWISE.

NOTE:
REFER TO THE INCLUDED STRUCTURAL DETAILS FOR ADDITIONAL ANCHORS/ JOINT REINFORCEMENT AND FASTENERS.

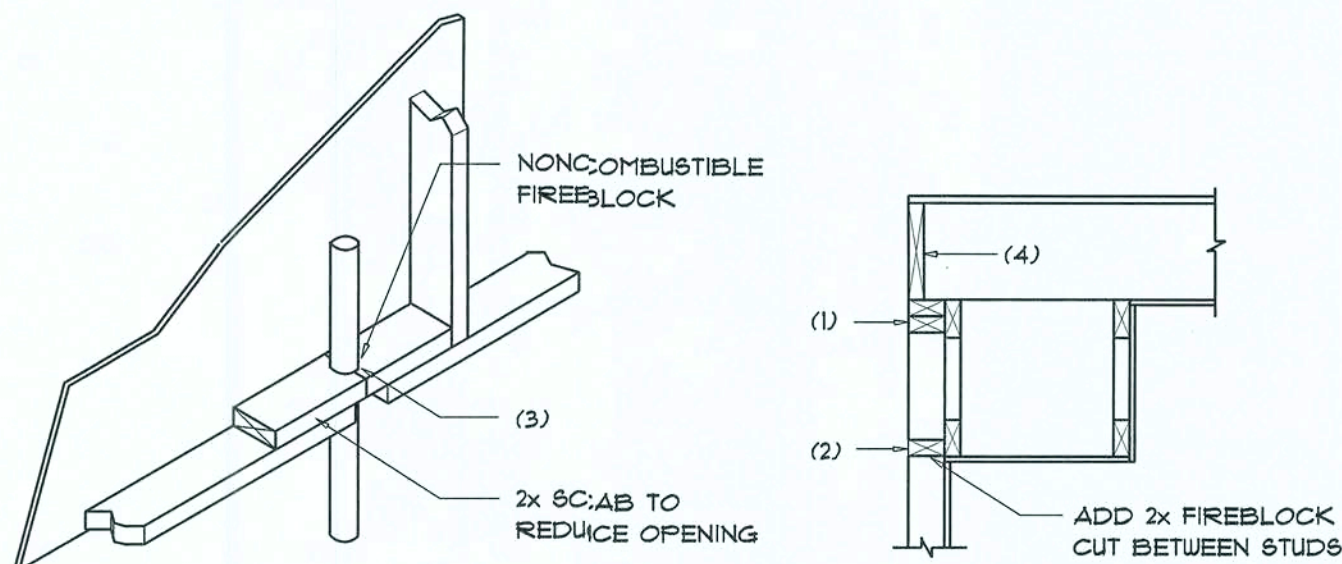
NOTE:
ALL UNLISTED JOINTS IN THE LOAD PATH SHALL BE REINFORCED WITH SIMPSON A34 FRAMING ANCHORS, TYPICAL T.O.

NOTE:
"SEMCO" PRODUCT APPROVAL:
MIAMI/DADE COUNTY REPORT #35-0818.15

NOTE:
"SIMPSON" PRODUCT APPROVALS:
MIAMI/DADE COUNTY REPORT #ST-0107.05, #36-1126.11, #99-0623.04
SBCCI NER-443, NER-393

		45°		27°		T		O	
		W	H	Vult	Vult	Vult	Vult	Vult	Vult
		NO	10	110 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH
ROOF TO JOIST	1	10	12.0 / -18.9	14.9 / -23.7	17.5 / -27.8	20.3 / -32.3			
	1	20	11.4 / -18.4	13.6 / -23.0	16.0 / -27.0	18.5 / -31.4			
	1	30	10.0 / -18.6	11.9 / -22.2	13.9 / -26.0	16.1 / -30.2			
	2	10	12.5 / -34.7	14.9 / -41.3	17.5 / -48.4	20.3 / -56.2			
	2	20	11.4 / -31.9	13.6 / -38.0	16.0 / -44.6	18.5 / -51.7			
	2	30	10.0 / -28.2	11.9 / -33.6	13.9 / -39.4	16.1 / -45.7			
	3	10	12.5 / -51.3	14.9 / -61.0	17.5 / -71.6	20.3 / -83.1			
	3	20	11.4 / -47.9	13.6 / -57.1	16.0 / -67.0	18.5 / -77.7			
	3	30	10.0 / -43.5	11.9 / -51.8	13.9 / -60.8	16.1 / -70.5			
	4	10	21.8 / -23.6	25.9 / -34.7	30.4 / -33.0	35.3 / -38.2			
	4	20	20.8 / -22.6	24.7 / -26.3	29.0 / -31.6	33.7 / -36.7			
	4	30	19.5 / -21.3	23.2 / -25.4	27.2 / -29.8	31.6 / -34.6			
WALL	5	10	21.8 / -29.1	25.9 / -34.7	30.4 / -40.7	35.3 / -47.2			
	5	20	20.8 / -27.2	24.7 / -32.4	29.0 / -38.0	33.7 / -44.0			
	5	30	19.5 / -24.6	23.2 / -29.3	27.2 / -34.3	31.6 / -39.8			

HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENTS FOR BUILDING COMPONENTS & CLADDING			
BLDG HEIGHT	EXPOSURE "B"	EXPOSURE "C"	EXPOSURE "D"
15	1.00	1.21	1.47
20	1.00	1.29	1.55
25	1.00	1.35	1.61
30	1.00	1.40	1.66



PENETRATIONS

SOFFIT/DROPPED CLG.

FIREBLOCKING NOTES:

FIREBLOCKING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS WITH "PYRO PANEL MULTIFLEX SEALANT"
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIREBLOCKING SHALL BE PROVIDED FOR THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.

Fire Stopping DETAILS

SCALE: NONE

A

General Roofing NOTES:

DECK REQUIREMENTS:
ASPHALT SHINGLES SHALL BE FASTENED TO SOLIDLY SHEATHED DECKS.

SLOPE:
ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF 2:12 OR GREATER. FOR ROOF SLOPES FROM 2:12 TO 4:12, DBL. UNDERLAYMENT IS REQUIRED.

UNDERLAYMENT:
UNLESS OTHERWISE NOTED, UNDERLAYMENT SHALL CONFORM w/ ASTM D 226, TYPE I, OR ASTM D 4869, TYPE I.

SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET:
SELF ADHERING POLYMER MODIFIED BITUMEN SHALL COMPLY w/ ASTM D 1970.

ASPHALT SHINGLES:
ASPHALT SHINGLES SHALL HAVE SELF SEAL STRIPS OR BE INTERLOCKING, AND COMPLY WITH ASTM D 225 OR ASTM D 3462.

FASTENERS:
FASTENERS FOR ASPHALT SHINGLES SHALL BE GALVANIZED, STAINLESS STEEL, ALUMINUM OR COPPER ROOFING NAILS. MINIMUM 12 GAUGE SHANK WITH A MINIMUM 3/8 INCH DIAMETER HEAD, OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIAL AND A MINIMUM 3/4" INTO THE ROOF SHEATHING. WHERE THE SHEATHING IS LESS THAN 3/4" THICK, THE NAILS SHALL PENETRATE THROUGH THE SHEATHING.

ATTACHMENT:
ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE. WHERE ROOFS LOCATED IN BASIC WIND SPEED OF 110 MPH OR GREATER, SPECIAL METHODS OF FASTENING ARE REQUIRED. UNLESS OTHERWISE NOTED, ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH ASTM D 3161 OR M-DC FA 107-85.

UNDERLAYMENT APPLICATION:
FOR ROOF SLOPES FROM 2:12 TO 4:12, UNDERLAYMENT SHALL BE A MINIMUM OF TWO LAYERS APPLIED AS FOLLOWS:

- STARTING AT THE EAVE, A 19 INCH STRIP OF UNDERLAYMENT SHALL BE APPLIED PARALLEL WITH THE EAVE AND FASTENED SUFFICIENTLY TO STAY IN PLACE.
- STARTING AT THE EAVE, 36 INCH WIDE STRIPS OF UNDERLAYMENT FELT SHALL BE APPLIED OVERLAPPING SUCCESSIVE SHEETS 19 INCHES AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

FOR ROOF SLOPED 4:12 AND GREATER, UNDERLAYMENT SHALL BE A MINIMUM OF ONE LAYER OF UNDERLAYMENT FELT APPLIED AS FOLLOWS:
STARTING AT THE EAVE, UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION PARALLEL TO THE EAVE, LAPPED 2 INCHES, AND FASTENED SUFFICIENTLY TO STAY IN PLACE.

BASE AND CAP FLASHINGS:
BASE AND CAP FLASHING SHALL BE INSTALLED IN ACCORDANCE w/ MFGR'S INSTALLATION INSTRUCTIONS. BASE FLASHING SHALL BE OF EITHER CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS 0.019 INCH OR MINERAL SURFACE ROLL ROOFING WEIGHING A MINIMUM OF 71 LBS PER 100 SQUARE FEET. CAP FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM NOMINAL THICKNESS OF 0.019 INCH.

VALLEYS:
VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE w/ MANUFACTURER'S INSTALLATION INSTRUCTIONS BEFORE APPLYING ASPHALT SHINGLES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED.

- FOR OPEN VALLEYS LINED WITH METAL, THE VALLEY LINING SHALL BE AT LEAST 16" WIDE AND OF ANY OF THE CORROSION RESISTANT METALS IN FBC TABLE 1507.3.2.
- FOR OPEN VALLEYS, VALLEY LINING OF TWO PLYS OF MINERAL SURFACE ROLL ROOFING SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18 INCHES AND THE TOP LAYER A MINIMUM OF 36 INCHES WIDE.
- FOR CLOSED VALLEYS VALLEY LINING SHALL BE ONE OF THE FOLLOWING:
 - BOTH TYPES 1 AND 2 ABOVE, COMBINED.
 - ONE PLY OF SMOOTH ROLL ROOFING AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM D 224.
 - SPECIALTY UNDERLAYMENT AT LEAST 36 INCHES WIDE AND COMPLYING WITH ASTM D 1970.

NOTE !!!
ROOF SHINGLES SHALL BE AS MANUFACTURED BY "TAMKO ROOFING PRODUCTS" OF THE FOLLOWING MODELS:

GLASS-SEAL AR
ELITE GLASS-SEAL AR
HERITAGE 30 AR
HERITAGE 40 AR
HERITAGE 50 AR

THESE SHINGLES MEET THE REQUIREMENTS OF ASTM D-3161 TYPE I MODIFIED TO 130 MPH WINDS & FBC TAB 100, USING 4 NAILS/SHINGLE

REVISIONS
JUNE 23rd, 2019

RIMERT RESIDENCE

LOT 4, COVE AT ROSE CREEK S/D, COLUMBIA COUNTY, FLORIDA 32024

N3

NICHOLAS PAUL GEISLER ARCHITECT

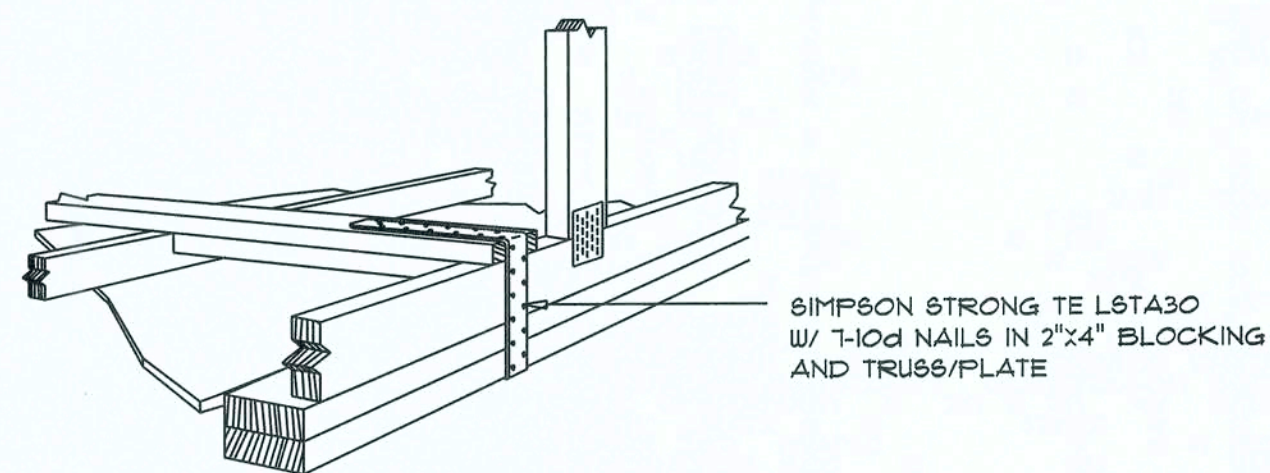
1756 N.W. Brown Rd.
Lake City, FL 32055
(386) 755-9021
N.C.A.R.B. Certified

SHEET NUMBER

S.3

OF 4 SHEETS

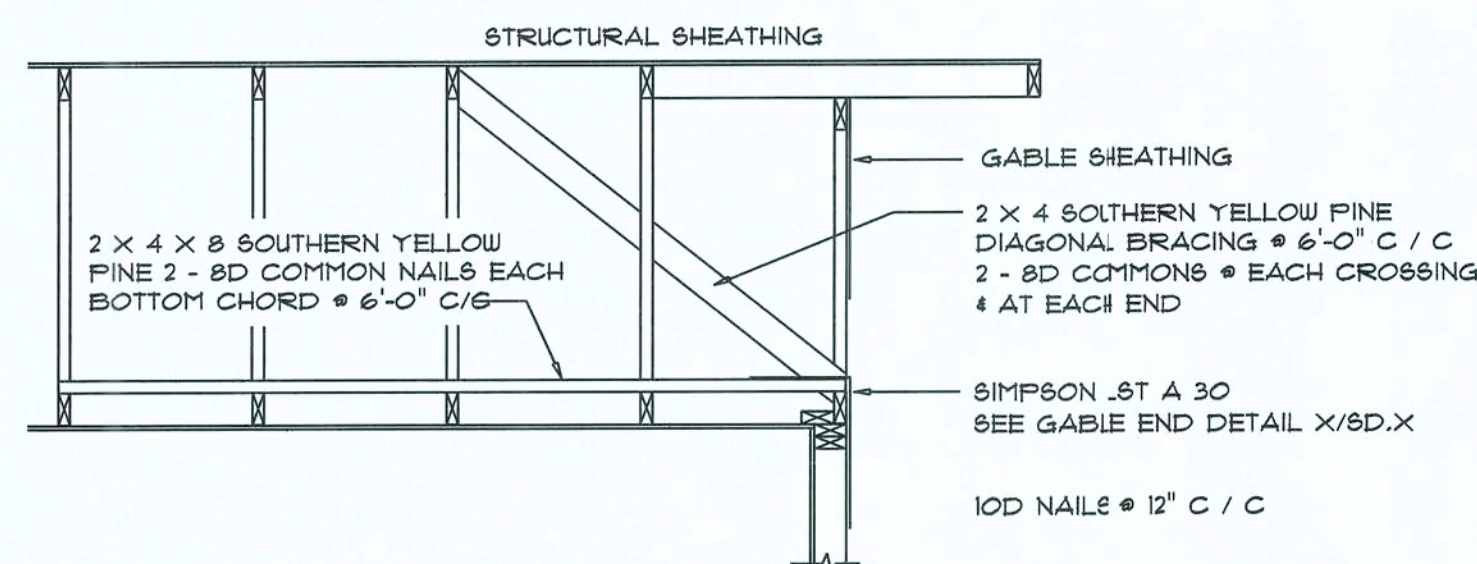
AR0007005



GABLE END GYPSUM DIAPHRAGM
HOLDOWN CONNECTOR

SCALE: NONE

A.1



END WALL BRACING FOR
CEILING DIAPHRAGM

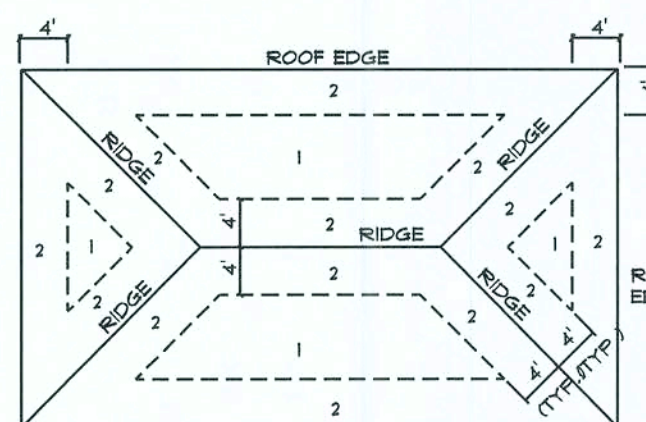
NTS

(ALTERNATIVE TO BALLOON FRAMING)

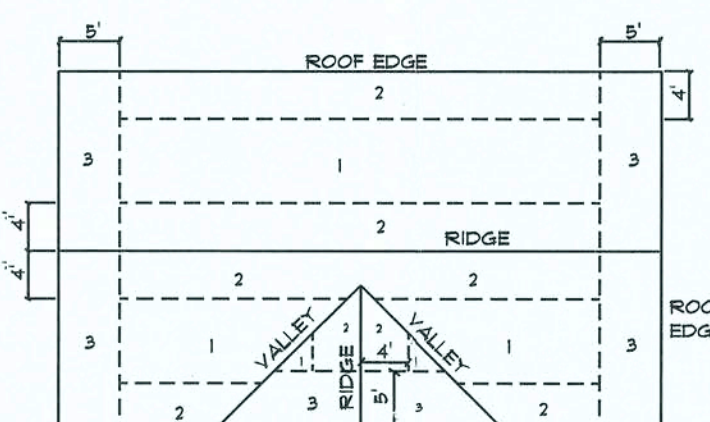
NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

A

ROOF SHEATHING FASTENINGS			
NAILING ZONE	SHEATHING TYPE	FASTENER	SPACING
1			6 in. O.C. EDGE 12 in. O.C. FIELD
2	7/16" O.S.B. OR 15/32 CDX	.113 RING SHANKED NAILS	6 in. O.C. EDGE 6 in. O.C. FIELD
3			4 in. O.C. GABLE ENDWALL OR GABLE TRUSS 6 in. O.C. EDGE 6 in. O.C. FIELD



ROOF SHEATHING NAILING ZONES
(HIP ROOF)

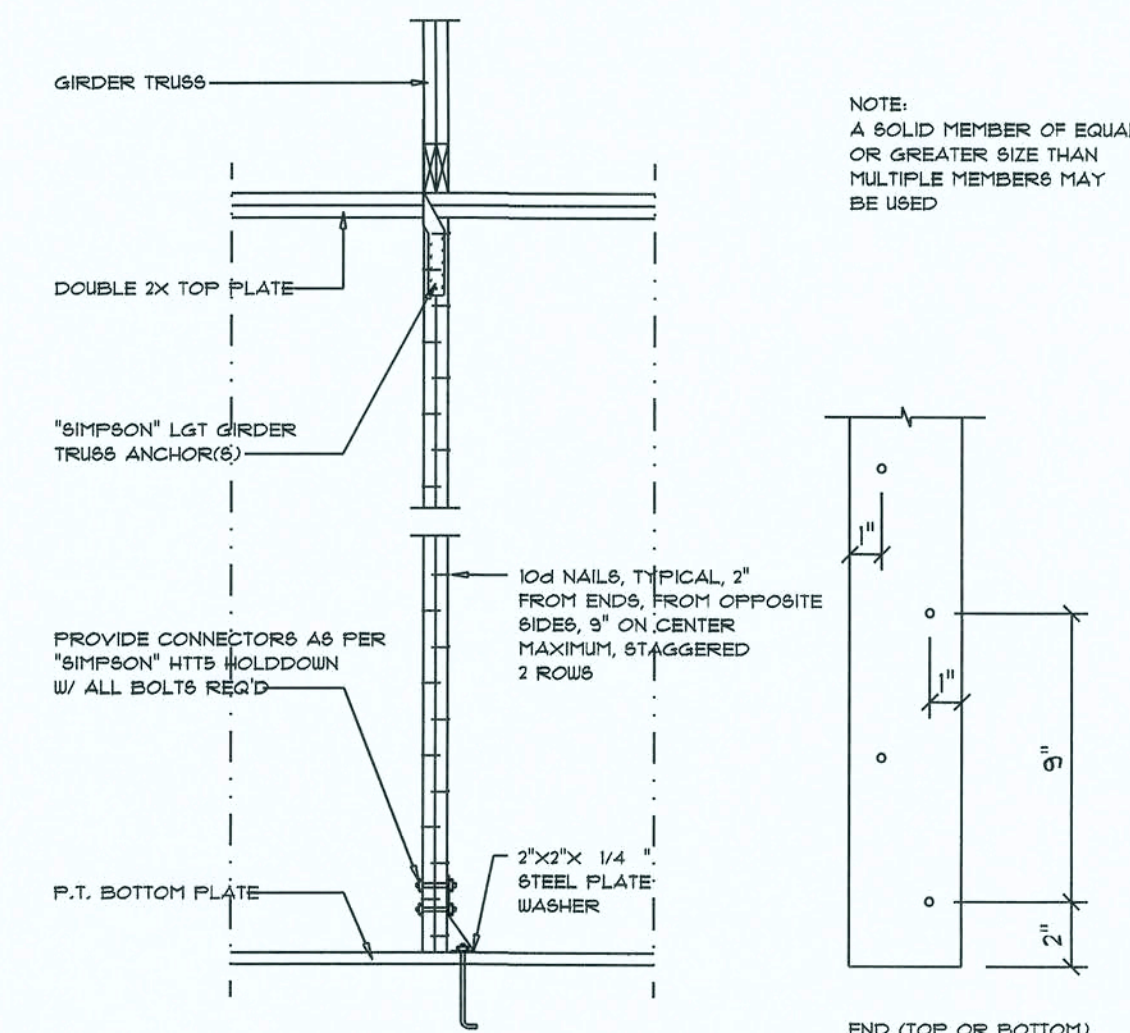


ROOF SHEATHING NAILING ZONES
(GABLE ROOF)

Roof Nail Pattern DET.

SCALE: NONE

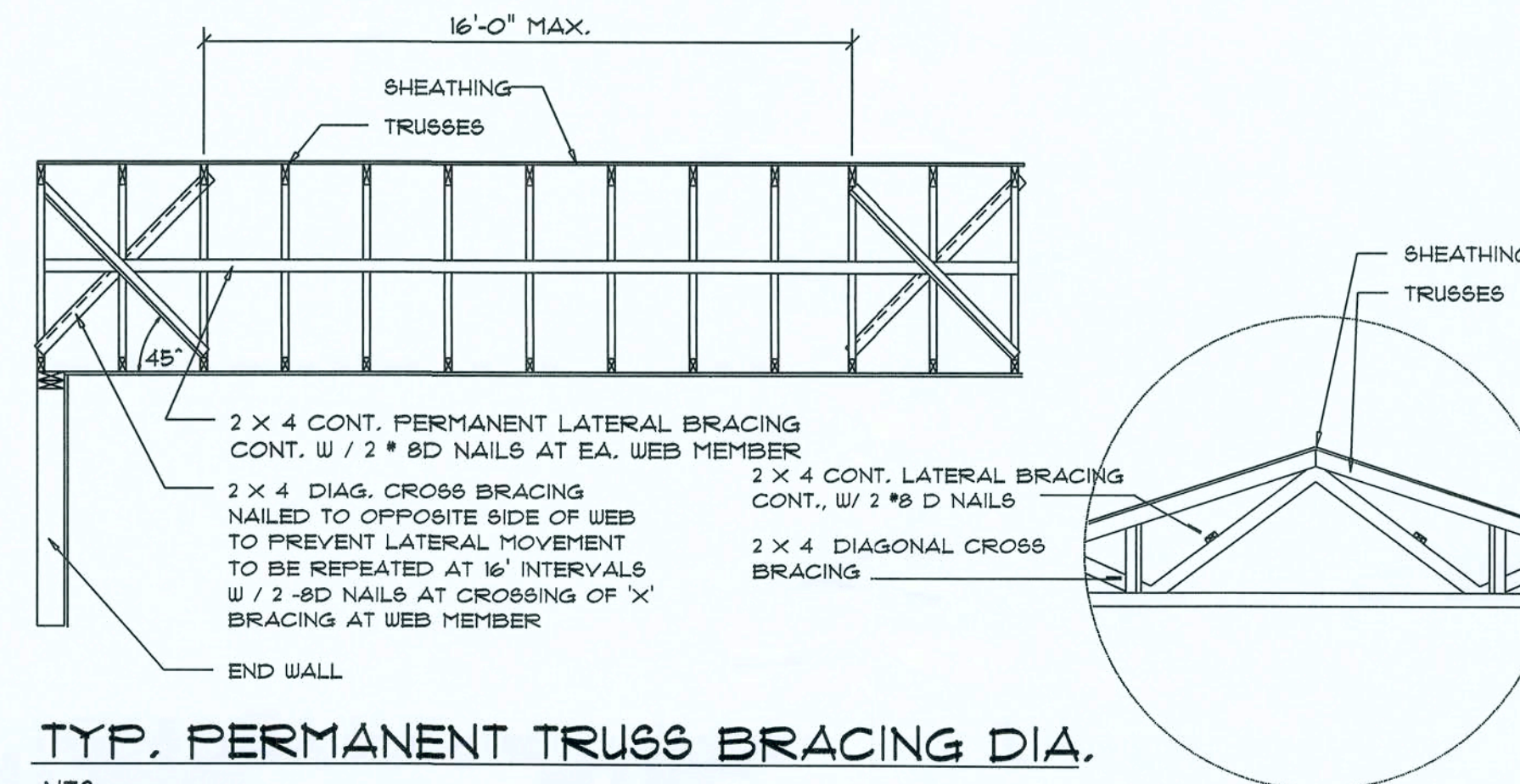
B



Girder Truss Column DET.

SCALE: 1/2" = 1'-0"

C



TYP. PERMANENT TRUSS BRACING DIA.

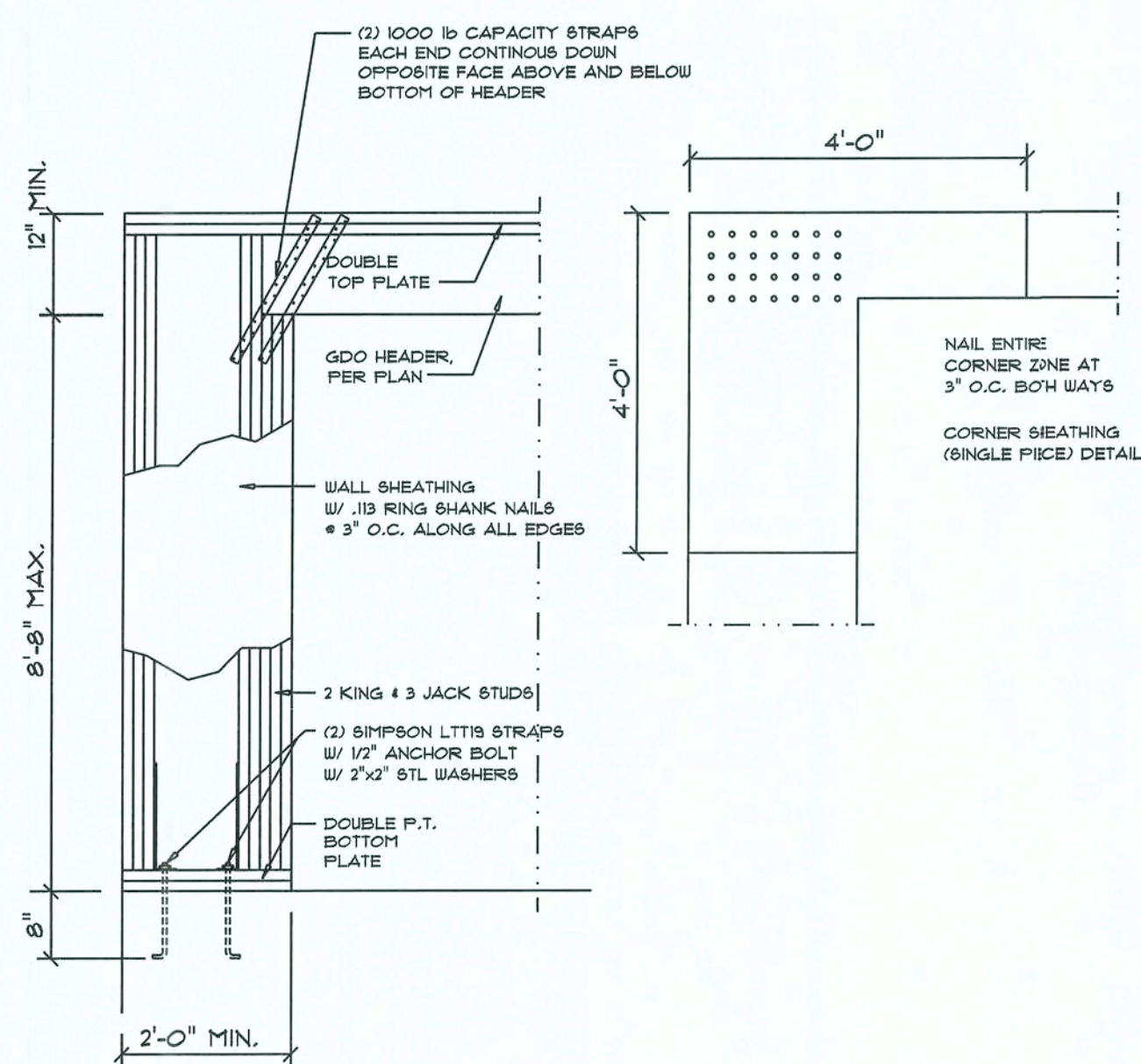
NTS

NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

Truss Bracing DETAILS

SCALE: AS NOTED

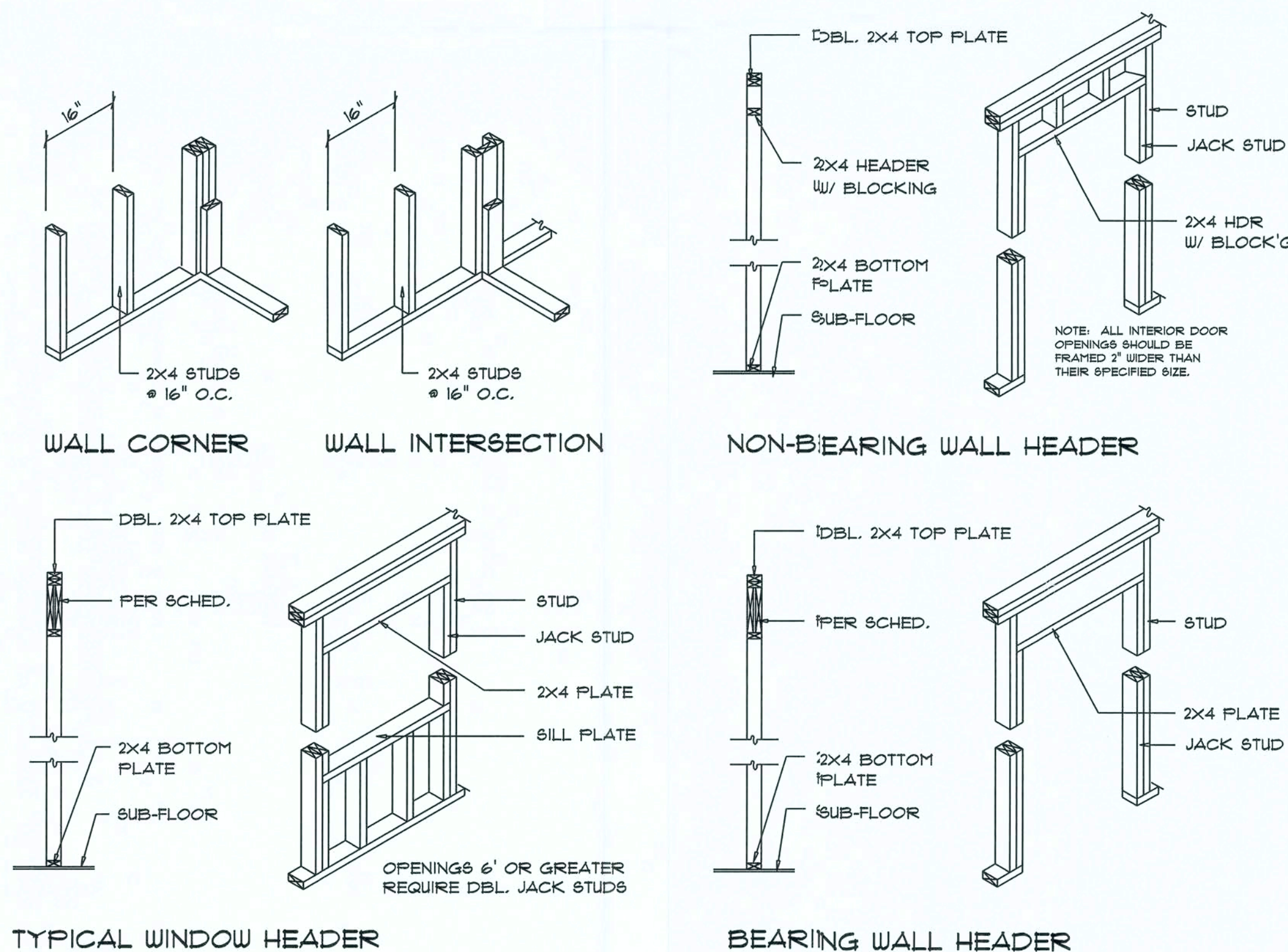
D



Garage End Wall DETAILS

SCALE: 1/2" = 1'-0"

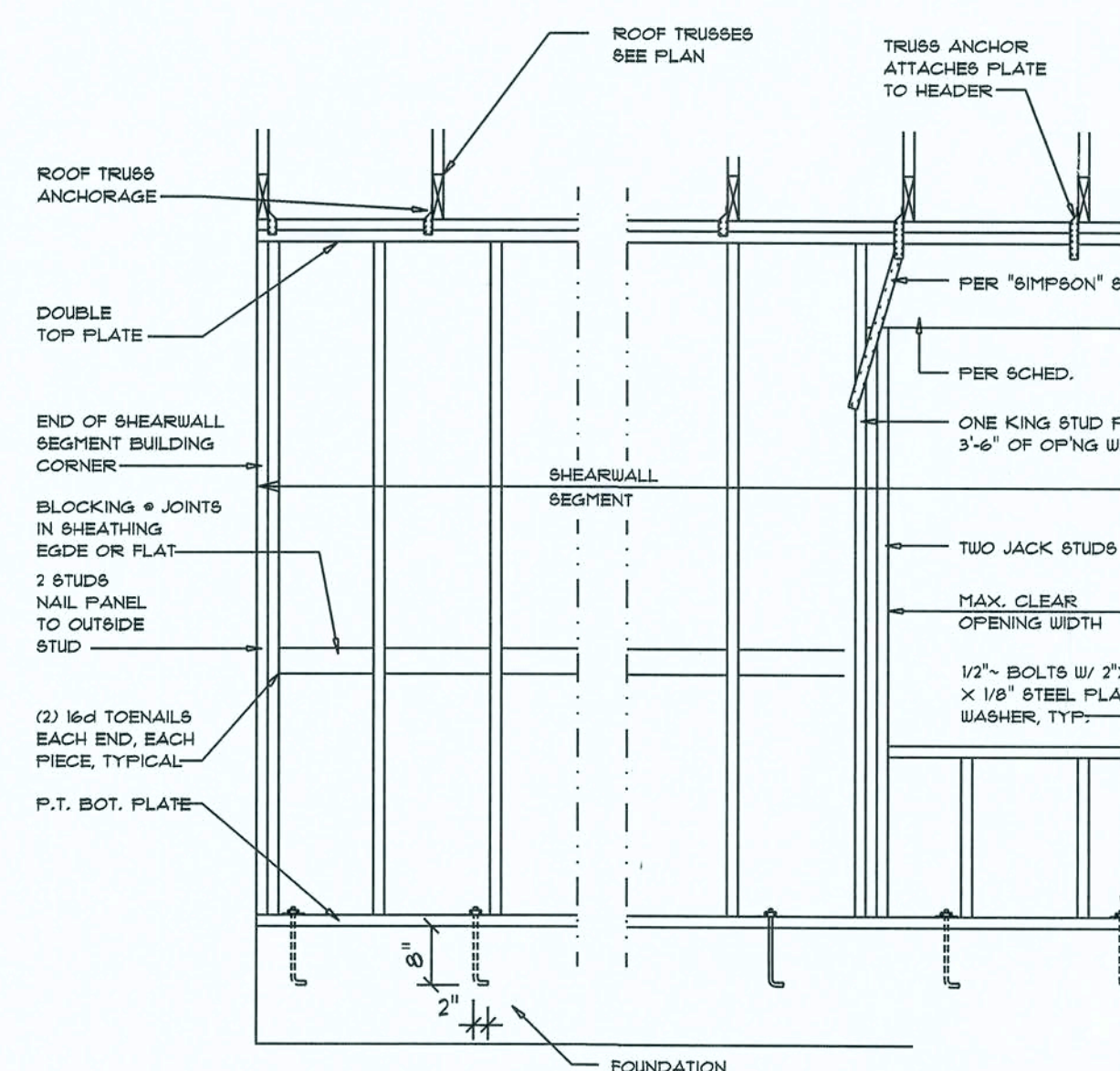
G



Wall Framing/Header DETAILS

SCALE: NONE

F



Shear Wall DETAILS

SCALE: NONE

E

- SHEARWALL NOTES:**
- ALL SHEARWALLS SHALL BE TYPE 2 SHEARWALLS.
 - THE WALL SHALL BE ENTIRELY SHEATHED WITH 1/2" WINDSTORM BD INCLUDING AREAS ABOVE AND BELOW OPENINGS.
 - ALL SHEATHING SHALL BE ATTACHED TO FRAMING ALONG ALL FOUR EDGES WITH JOINTS FOR ADJACENT PANELS OCCURRING OVER COMMON FRAMING MEMBERS OR ALONG BLOCKING.
 - NAIL SPACING SHALL BE 6" O.C. EDGES AND 12" O.C. IN THE FIELD.
 - TYPE 2 SHEARWALLS ARE DESIGNED FOR THE OPENING IT CONTAINS. MAXIMUM HEIGHT OF OPENING SHALL BE 5/6 TIMES THE WALL HEIGHT. THE MINIMUM DISTANCE BETWEEN OPENINGS SHALL BE THE WALL HEIGHT/3.5 FOR 8'-0" WALLS (2'-3").

OPENING WIDTH	5/8" PLATES	16d TOE NAILS EACH END
UP TO 6'-0"	(1) 2x4 OR (1) 2x6	1
6' TO 8'-0"	(2) 2x4 OR (1) 2x6	2
8' TO 12'-0"	(3) 2x4 OR (2) 2x6	3

REVISIONS
JUNE 23rd, 2019

RIMERT RESIDENCE

LOT 4, COVE AT ROSE CREEK S/D, COLUMBIA COUNTY, FLORIDA 32024

NICHOLAS PAUL GEISLER ARCHITECT
1155 NW Brown Rd.,
Lake City, FL 32055
(386) 755-9021
N.C.A.R.B. Certified

SHEET NUMBER
S.4
OF 4 SHEETS

APR0007005
1/2" x 1/4" = 1' x 10'