

DATE 03/29/2004

Columbia County Building Permit

PERMIT New 000021664

This Permit Expires One Year From the Date of Issue

APPLICANT WILLIAM JOHNSON

PHONE 752-3518

ADDRESS 371 NW LAKE VALLEY TERRACE

LAKE CITY

FL 32055

OWNER WILLIAM JOHNSON

PHONE 752-3518

ADDRESS 371 NW LAKE VALLEY TERRACE

LAKE CITY

FL 32055

CONTRACTOR OWNER BUILDER

PHONE

LOCATION OF PROPERTY LAKE JEFFREY ROAD, TL INTO WOODBOROUGH, TR ON LAKE VALLEY

TER, 7TH LOT ON LEFT

TYPE DEVELOPMENT SFD, UTILITY

ESTIMATED COST OF CONSTRUCTION 111900.00

HEATED FLOOR AREA 2238.00

TOTAL AREA 3888.00

HEIGHT .00

STORIES 1

FOUNDATION CONC

WALLS FRAMED

ROOF PITCH 8/12

FLOOR SLAB

MAX. HEIGHT 27

LAND USE & ZONING RSF-2

STREET-FRONT 25.00

REAR 15.00

SIDE 10.00

NO. EX.D.U. 0

FLOOD ZONE X

DEVELOPMENT PERMIT NO.

PARCEL ID 22-3S-16-02269-124

SUBDIVISION WOODBOROUGH

TOTAL ACRES

LOT 24

BLOCK

PHASE

UNIT

000000250

Culvert Permit No.

N

Contractor's License Number

BK

Applicant/Owner/Contractor

Y

Driveway Connection

Septic Tank Number

04-0340-N

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: FLOOR HEIGHT LETTER RECEIVED, SURVEY SHOWING SFD OUT OF FLOOD ZONE

NOC ON FILE

Check # or Cash 1006

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power

date/app. by

Foundation 04/14/2004

RK

Monolithic

(Footer/Slab)

Under slab rough-in plumbing 04/27/2004

HD

Slab

date/app. by

Sheathing/Nailing

date/app. by

Framing

date/app. by

Heat & Air Duct

date/app. by

Perit. beam (Lintel)

date/app. by

Permanent power

date/app. by

C.O. Final

date/app. by

Culvert

date/app. by

M/H tie downs, blocking, electricity and plumbing

date/app. by

Pump pole

date/app. by

Utility Pole

date/app. by

M/H Pole

date/app. by

Travel Trailer

date/app. by

Re-roof

date/app. by

BUILDING PERMIT FEE \$ 560.00

CERTIFICATION FEE \$ 19.44

SURCHARGE FEE \$ 19.44

MISC. FEES \$.00

ZONING CERT. FEE \$ 50.00

FIRE FEE \$

WASTE FEE \$

TOTAL FEE 723.88

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE. PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

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ADDRESS 371 NW LAKE VALLEY TERRACE
PHONE 752-3518
LOCATION OF PROPERTY LAKE JEFFREY ROAD, TL INTO WOODBOROUGH, TR ON LAKE VALLEY
TERMINAL, 7TH LOT ON LEFT

TYPE DEVELOPMENT SFD, UTILITY
HEATED FLOOR AREA 2238.00
TOTAL AREA 3888.00
HEIGHT .00
STORIES 1
FOUNDATION CONC
WALLS FRAMED
ROOF PITCH 8/12
FLOOR SLAB
LAND USE & ZONING RSF-2
MAX. HEIGHT 27
Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE 0
PARCEL ID 22-35-16-02269-124 SUBDIVISION WOODBOROUGH

LOT 24 BLOCK PHASE UNIT TOTAL ACRES
PERMIT 04-0340-N
Culvert Permit No. N
Culvert Waiver
Contractor's License Number
BK
LU & Zoning checked by JK
Approved for Issuance Y
New Resident
COMMENTS: ~~THIS FLOOD ELEVATION REQUIRED~~

Check # or Cash 1006

FOR BUILDING & ZONING DEPARTMENT ONLY
Temporary Power date/app. by
Under slab rough-in plumbing date/app. by
Framing date/app. by
Electrical rough-in date/app. by
Permanent power date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by
M/H Pole date/app. by
Pump pole date/app. by
Utility Pole date/app. by
Re-roof date/app. by
Foundation date/app. by
Slab date/app. by
Sheathing/Nailing date/app. by
Monolithic (Footer/Slab) date/app. by
Heat & Air Duct date/app. by
C.O. Final date/app. by
Culvert date/app. by
Perf. beam (Lintel) date/app. by
Pool date/app. by

BUILDING PERMIT FEE \$ 560.00
CERTIFICATION FEE \$ 19.44
SURCHARGE FEE \$ 19.44
MISC. FEES \$.00
ZONING CERT. FEE \$ 50.00
FIRE FEE \$ 50.00
CULVERT FEE \$ 25.00
TOTAL FEE 723.88
INSPECTORS OFFICE
CLERKS OFFICE

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The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

FLOOR ELEVATION CERTIFICATION

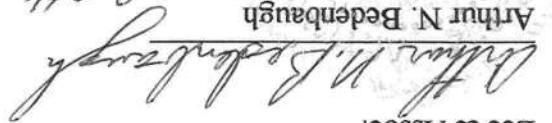
PROPERTY DESCRIPTION: Lot 24, Lake Valley in Woodborough, Phase 7

PROJECT REQUIREMENTS: For protection against water damage, the minimum finish floor elevation shall be the higher of elevation 135.50 or a minimum of 12 inches above the highest adjacent existing ground elevation at the proposed building site.

The lot shall be graded to direct all runoff around and away from all points on exterior of the proposed building without changing direction, final destination, or quantity of runoff leaving the site.

A 100-year flood elevation of 125.0 was set by Mr. E. S. Colson, P.E. in this area under modification to SRWMD permit 4-87-00116. The 100-year flood is the flood having a 1% chance of being exceeded in any year.

Attached is a topographic survey of Lot 24, Lake Valley in Woodborough, Phase 7 by Donald F. Lee & Assoc.


Arthur N. Bedenbaugh
P.E. No. 9162
4-29-04

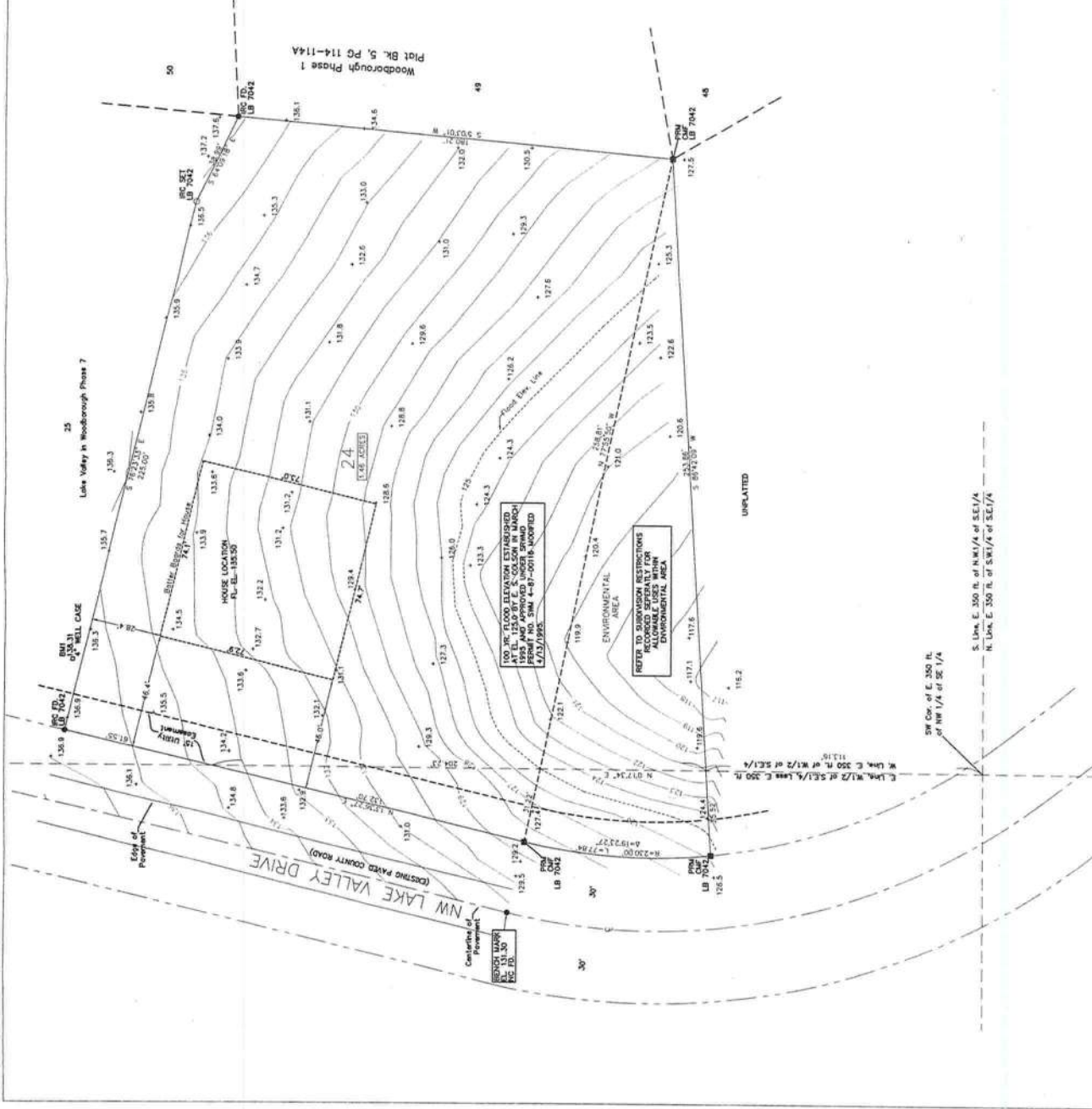


TOPOGRAPHIC SURVEY

LOT 24, LAKE VALLEY IN WOODBOROUGH PHASE 7
COLUMBIA COUNTY, FLORIDA



PREPARED: 04/12/2004
CAD FILE: 43597.DWG

[illegible]

Rec. 10.50

THIS INSTRUMENT WAS PREPARED BY:

TERRY MCDAVID 04-19
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:
TERRY MCDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Property Appraiser's
Parcel Identification No.: R02269-124

WARRANTY DEED

THIS INDENTURE, made this 12th day of March, 2004, between
WOODBOROUGH CORPORATION, a corporation existing under the laws of
the State of Florida, whose post office address is 1306 NW Scenic
Lake Drive, Lake City, FL 32055 and having its principal place of
business in the County of Columbia, State of Florida, party of the
first part, and WILLIAM R. JOHNSON and KIMBERLY W. JOHNSON, Husband
and wife whose post office address is Route 10, Box 432, Lake City,
FL 32025, of the County of Columbia, State of Florida, parties of
the second part,

WITNESSETH: that the said party of the first part, for and in
consideration of the sum of Ten Dollars (\$10.00), to it in hand
paid, the receipt whereof is hereby acknowledged, has granted,
bargained, sold, aliened, remised, released, conveyed and
confirmed, and by these presents doth grant, bargain, sell, alien,
remise, release, convey and confirm unto the said party of the
second part, and its heirs and assigns forever, all that certain
parcel of land lying and being in the County of Columbia and State
of Florida, more particularly described as follows:

Lot 24, LAKE VALLEY IN WOODBOROUGH, phase 7, a subdivision
according to the plat thereof as recorded in Plat Book 7, Page
123 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding
mineral rights of record, if any, and taxes for the
current year.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belong or in anywise appertaining:

TO HAVE AND TO HOLD the same in fee simple forever. And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, the day and year above written.

Signed, sealed and delivered in our presence:

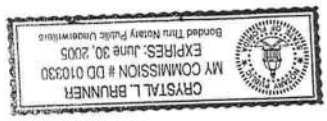
WOODBOROUGH CORPORATION
By: William C. Rowan WILLIAM C. ROWAN, President

Witness: Crystal L. Brunner
Witness: Terry McDavid

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 12th day of March 2004, by WILLIAM C. ROWAN, President of WOODBOROUGH CORPORATION, a State of Florida corporation, on behalf of the corporation. He is personally known to me and did not take an oath.

Notary Public
My Commission Expires:



Columbia County

Building Permit Application

250/21644

Application No. 0403-68

Date 08/22/04

Applicants Name & Address

William R. Johnson

Phone

752-3518

Owners Name & Address

Sumr

Phone

Fee Simple Owners Name & Address

Sumr

Phone

Contractors Name & Address

Sumr

Phone

Legal Description of Property

4 5/8 lying in the SE 1/4 of NE 1/4, T16R13E, R13E, S16T24N, Lot # 24

Location of Property

371 NW Lake Valley Farm, Lake City, FL 32035

Driving Directions

Lake Valley N - Left into Woodbury, S/D - Right on Lake Valley T - Lot # 24

Type of Development

Residential Low Density

Comprehensive Plan Map Category

RSF.2

Building Height

27.5'

Distance From Property Lines (Set Backs)

Front 66' Side 60' Rear 105'

Flood Zone

AE per plat

Bonding Company Name & Address

N/A

Architect/Engineer Name & Address

Mr. J. Humphries 7532 2404 St. Ocean, FL 32071

Mortgage Lenders Name & Address

First Federal Bank -

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner or Agent (including contractor)

Will R. Johnson

Contractor

Contractor License Number

STATE OF FLORIDA

COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this day of

Sworn to (or affirmed) and subscribed before me

COUNTY OF COLUMBIA

STATE OF FLORIDA

Personally Known OR Produced Identification

Personally Known OR Produced Identification

Notice of Treatment			
Applicator Florida Pest Control & Chemical Co.		10836	
Address 536 SE Bay A Ave		LC	
City		Phone 9521703	
Site Location Subdivision		Woodbourne	
Lot# 24		Block# 21664	
Address 391 NW Lake Valley Terrace			
AREAS TREATED			
Area Treated	Date	Time	Gal.
Main Body	4/29/04		000612
Patio/s #			
Stoop/s #			
Porch/s #			
Brick Veneer			
Extension Walls			
A/C Pad			
Walk/s #			
Exterior of Foundation			
Driveway Apron			
Out Building			
Tub Trap/s			
(Other)			
Name of Product Applied Dursban TC			
Remarks Exterior wall & grade			
% 100%			

Columbia County Building Department

Culvert Permit

Culvert Permit No. 000000250

DATE 03/29/2004 PARCEL ID # 22-3S-16-02269-124

APPLICANT WILLIAM JOHNSON PHONE 752-3518

ADDRESS 371 NW LAKE VALLEY TERRACE LAKE CITY FL 32055

OWNER WILLIAM JOHNSON PHONE 752-3518

ADDRESS 371 NW LAKE VALLEY TERRACE LAKE CITY FL 32055

CONTRACTOR OWNER BUILDER PHONE

LOCATION OF PROPERTY LAKE JEFFREY, TL INTO WOODBOROUGH, TR ON LAKE VALLEY TERR.

7TH ON LEFT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT WOODBOROUGH 24

SIGNATURE

William Johnson

INSTALLATION REQUIREMENTS

Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.

Culvert installation shall conform to the approved site plan standards.

Department of Transportation Permit installation approved standards.

Other

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED DURING THE INSTALLATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055

Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



OWNER AGENT: _____ DATE: _____ PREPARED BY: <u>W. J. [Signature]</u> DATE: <u>7/12/04</u> Review of plans and specifications covered by the calculation are in compliance with the Florida Energy Code.	BUILDING OFFICIAL: _____ DATE: _____ Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F. S.
--	--

1.	2.	3.	4.	5.	6.	7.	8a.	8b.	9.	10a.	10b.	10c.	10d.	10e.	11a-1	11a-2	11b-1	11b-2	12a.	12b.	13.	14a.	14b.	14c.	15a.	15b.	15c.	16a.	16b.																														
1.	Compliance package chosen (A-F)	2.	New construction or addition	3.	Single family detached or Multifamily attached	4.	If Multifamily—No. of units covered by this submission	5.	Is this a worst case? (yes / no)	6.	Conditioned floor area (sq. ft.)	7.	Predominant eave overhang (ft.)	8.	Glass type and area :	9.	a. Clear glass b. Tint, film or solar screen	9.	Percentage of glass to floor area	10.	Floor type, area or perimeter, and insulation:	11.	a. Slab on grade (R-value) b. Wood, raised (R-value) c. Wood, common (R-value) d. Concrete, raised (R-value) e. Concrete, common (R-value)	11.	Wall type, area and insulation:	12.	a. Exterior: 1. Masonry (Insulation R-value) 2. Wood frame (Insulation R-value)	12.	Ceiling type, area and insulation:	13.	a. Under attic (Insulation R-value) b. Single assembly (Insulation R-value)	13.	Air Distribution System: Duct insulation, location	14.	Cooling system (Types: central, room unit, package terminal A.C., gas, none)	15.	Heating system: (Types: heat pump, elec. strip, nat. gas, L.P. gas, gas h.p., room or PTAC, none)	16.	Hot water system: (Types: elec., nat. gas, L.P. gas, solar, heat rec., ded. heat pump, other, none)																				
1.	A	2.	New	3.	Single family	4.	1	5.	no	6.	2238	7.	2'	8a.	Single Pane	8b.	14	9.	14	10a.	R=0	10b.	R=	10c.	R=	10d.	R=	10e.	R=	11a-1	R=	11a-2	R=13	11b-1	R=	11b-2	R=	12a.	R=30	12b.	R=	13.	R=6	14a.	Type: Central	14b.	SEER/EER: 12.0	14c.	Capacity: 3 1/2 ton	15a.	Type: Heat pump	15b.	HSPF/COP/AFUE:	15c.	Capacity: 42,000 BTU	16a.	Type: Electric	16b.	EF: .88

1. New construction including additions which incorporates any of the following features cannot comply using this method: steel stud walls, single assembly
2. Choose one of the component packages "A," through "E" from Table 68-1, by which you intend to comply with the code. Circle the column of the package
3. Fill in all the applicable spaces of the "To Be Installed" column on Table 68-1 with the information requested. All "To Be Installed" values must be equal
4. Complete page 1 based on the "To Be Installed" column information.
5. Read Minimum Requirements for All Packages, Table 68-2 and check each box to indicate your intent to comply with all applicable items.
6. Read, sign and date the "Prepared By" certification statement at the bottom of page 1. The owner or owner's agent must also sign and date the form.

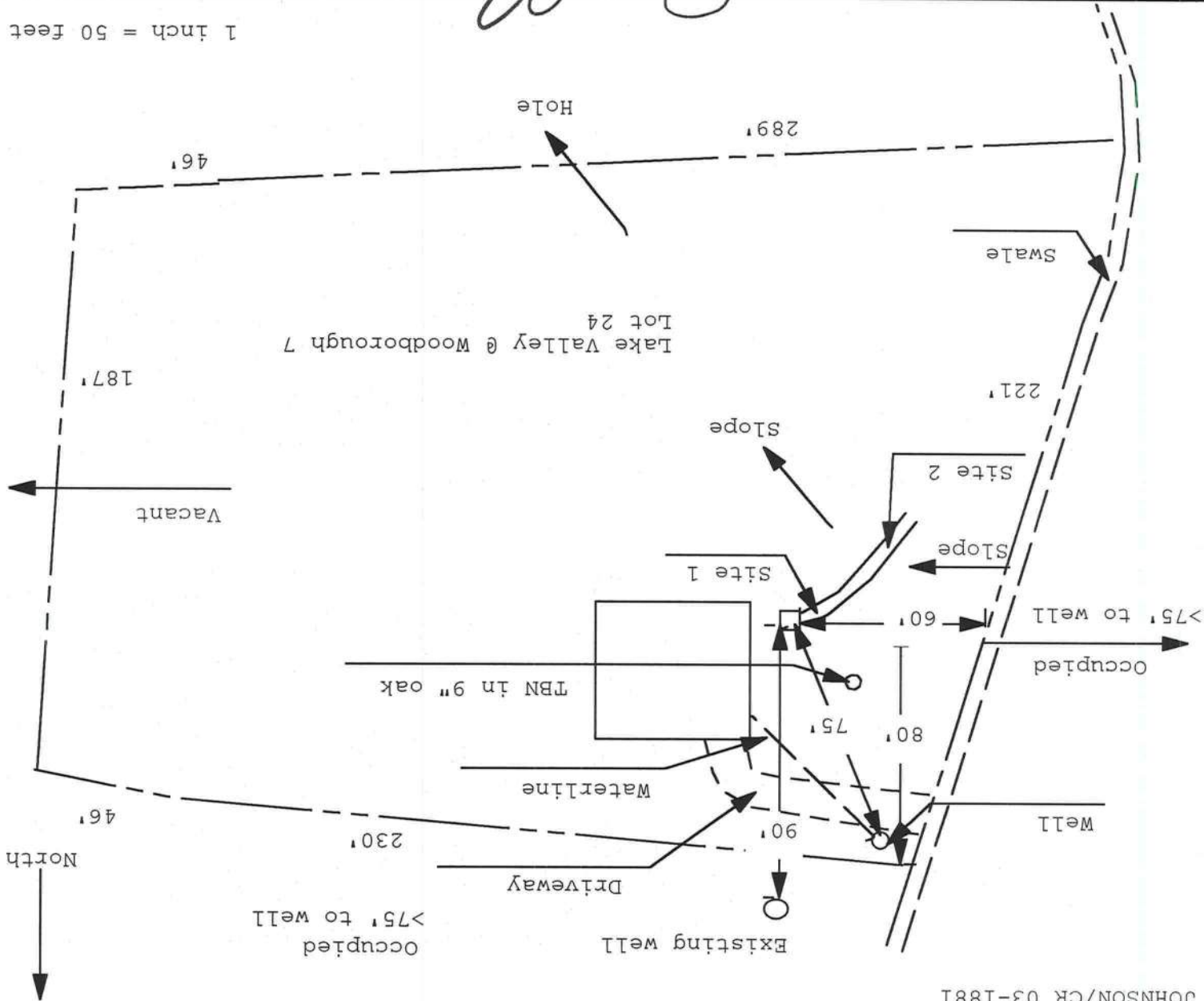
PROJECT NAME:		JOHNSON		BUILDER: WILLIAM JOHNSON		CLIMATE		1 ☐ 2 ☐ 3 ☒		AND ADDRESS:		LOT 24 LAKE VALLEY		PERMITTING		OFFICE: COLUMBIN		OWNER:		WILLIAM JOHNSON	
												IN WOODBROUGH FIRST						PERMIT NO.: 21664		JURISDICTION NO.: 221800	

Compliance with Method B Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600B for single and multifamily residences of 3 stories or less in height, and additions to existing residential buildings. To comply, a building must meet or exceed all of the energy efficiency prescripts in any one of the prescriptive component packages and comply with the prescriptive measures listed in Table 6B-1 of this form. An alternative method is provided for additions of 600 square feet or less by use of Form 600C. If a building does not comply with this method, it may still comply under other sections in Chapter 6 of the Code.

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan
Permit Application Number: 04-034011

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

JOHNSON/CR 03-1881



1 inch = 50 feet

Site Plan Submitted By James L. Johnson Date 3/22/04
Plan Approved Not Approved Date 3/22/04
By CPHU 3-26-04

Notes:

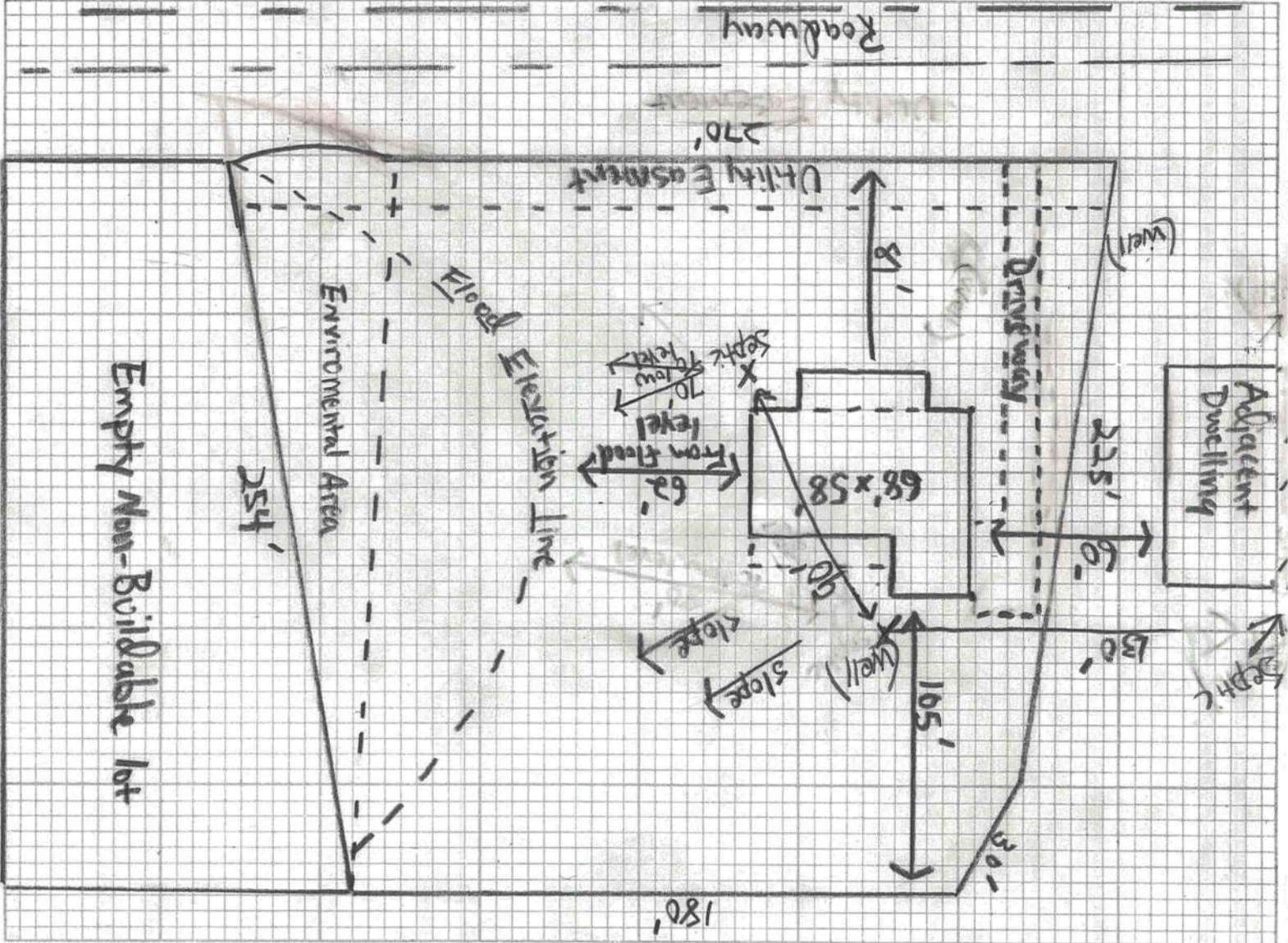


STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Approx 90' from well to septic - 70' from septic to low area.

Site Plan submitted by: X Will R. Jr. Signature
Plan Approved _____ Not Approved _____
By _____ County Health Department
Date _____

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Print Key Output
5722SS1 V5R1M0 010525
S109D45B

02/10/04 13:22:00

Display Device WA
User JUDY

CAM112M01 S Camasa Appraisal System
2/10/2004 13:21 Legal Description Maintenance
Year T Property
2004 R 22-3S-16-02268-530
WOODBOROUGH PHASE 7
WOODBOROUGH PHASE 7

Columbia County
Land 000
AG 000
Bldg 000
Xfea 000
TOTAL
B

1 A S/D LYING IN THE SE1/4 OF NE1/4. (PL BK 6 PG 131)

3
5
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28

F1=Task F3=Exit F4=Prompt F10=GoTo PGUP/PGDN F24=MoreKeys
Mnt 9/04/1998 TERR
No prior legal descriptions

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

☒ Single Family Dwelling

☐ Farm Outbuilding

☐ Two-Family Residence

☐ Other

NEW CONSTRUCTION OR IMPROVEMENT

☒ New Construction ☐ Addition, Alteration, Modification or other Improvement

I William R. Johnson, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss. 489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Signature

William R. Johnson

Date

3-15-04

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).
Date 3-15-04 Building Official/Representative David P. Miller

THIS INSTRUMENT WAS PREPARED BY:
FIRST FEDERAL SAVINGS BANK OF FLORIDA
4705 WEST U.S. HIGHWAY 90
P.O. BOX 2029
LAKE CITY, FLORIDA 32056

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF Columbia

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: Lot 24, LAKE VALLEY IN WOODBOROUGH, Phase 7, a subdivision according to the plat thereof as recorded in Plat Book 7, Page 123 of the public records of Columbia County, Florida.
2. General description of improvement: Construction of Dwelling

3. Owner information:
a. Name and address: William R. Johnson and Kimberly W. Johnson, Husband and Wife, Route 10, Box 432, Lake City, FL 32025-9181 Phone No. (386) 752-3518
b. Interest in property: Fee Simple
c. Name and address of fee simple title holder (if other than Owner): NONE

4. Contractor (name and address): William R. Johnson and Kimberly W. Johnson, Post Office Box 1972, Lake City, Florida 32056 (386) 752-3518
5. Surety:
a. Name and address:
b. Amount of bond:
6. Lender: FIRST FEDERAL SAVINGS BANK OF FLORIDA
4705 WEST U.S. HIGHWAY 90
P.O. BOX 2029
LAKE CITY, FLORIDA 32056



7. Persons within the State of Florida designated by Owner upon whom notices of document may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes.
8. In addition to himself, Owner designates PAULA HACKER of FIRST FEDERAL SAVINGS BANK OF FLORIDA, 4705 West U.S. Highway 90 / P.O. Box 2029, Lake City, Florida 32056 to receive a copy of the Lender's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

Borrower Name: William R. Johnson
Co-Borrower Name: Kimberly W. Johnson

The foregoing instrument was acknowledged before me this 12th day of March 2004, by WILLIAM R. JOHNSON and KIMBERLY W. JOHNSON, who is personally known to me or who has produced driver's license for identification.

Notary Public
My Commission Expires:



**CERTIFICATE OF
OCCUPANCY**

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 22-3S-16-02269-124

Building permit No. 000021664

Use Classification SFD, UTILITY

Fire: 68.00

Permit Holder OWNER BUILDER

Waste: 147.00

Owner of Building WILLIAM JOHNSON

Total: 215.00

Location: 371 NW LAKE VALLEY TERRACE, LAKE CITY, FL

Date: 10/28/2004

Gary Dickson

Building Inspector

**POST IN A CONSPICUOUS PLACE
(Business Places Only)**



THIS INSTRUMENT WAS PREPARED BY:

Rec. 10.50

TERRY MCDAVID 04-19

POST OFFICE BOX 1328

LAKE CITY, FL 32056-1328

RETURN TO:

TERRY MCDAVID

POST OFFICE BOX 1328

LAKE CITY, FL 32056-1328

Property Appraiser's

Parcel Identification No.: R02269-124

WARRANTY DEED

THIS INDENTURE, made this 12th day of March, 2004, between

WOODBOROUGH CORPORATION, a corporation existing under the laws of the State of Florida, whose post office address is 1306 NW Scenic Lake Drive, Lake City, FL 32055 and having its principal place of business in the County of Columbia, State of Florida, party of the first part, and WILLIAM R. JOHNSON and KIMBERLY W. JOHNSON, Husband and wife whose post office address is Route 10, Box 432, Lake City, FL 32025, of the County of Columbia, State of Florida, parties of the second part,

WITNESSETH: that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part, and its heirs and assigns forever, all that certain parcel of land lying and being in the County of Columbia and State of Florida, more particularly described as follows:

Lot 24, LAKE VALLEY IN WOODBOROUGH, Phase 7, a subdivision according to the plat thereof as recorded in Plat Book 7, Page 123 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belong or in anywise appertaining:

TO HAVE AND TO HOLD the same in fee simple forever.

And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, the day and year above written.

Signed, sealed and delivered
in our presence:

Witness: Crystal L. Brunner

Witness: Terry McDavid

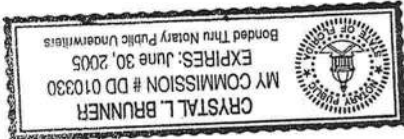
WOODBOROUGH CORPORATION

By: William C. Roman President

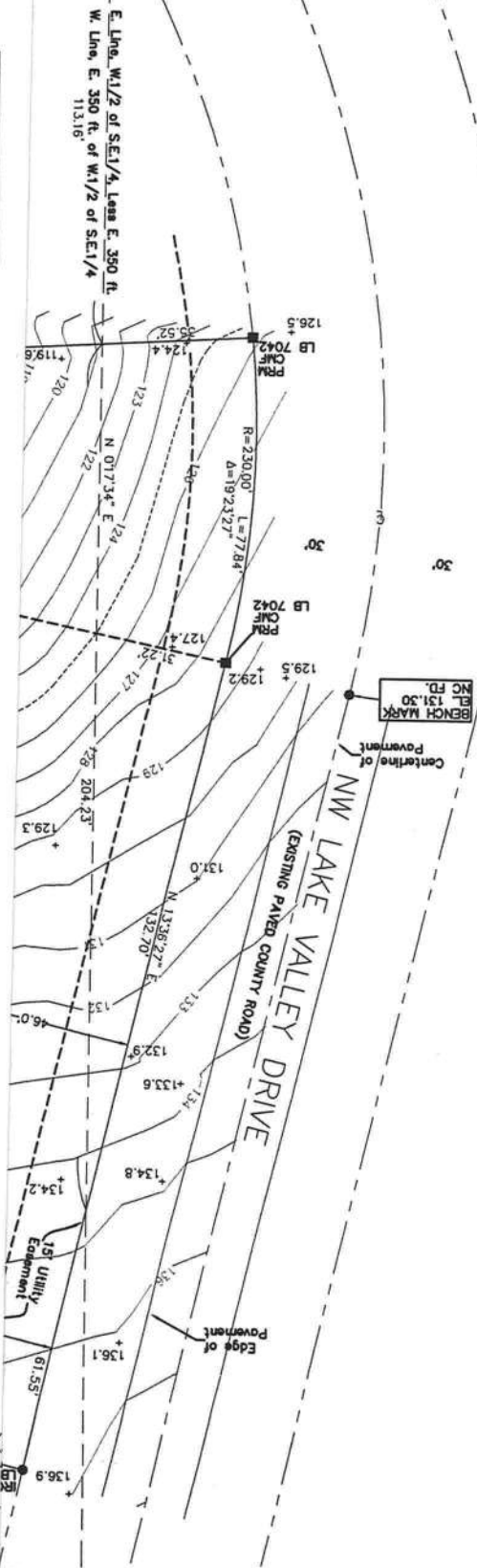
The foregoing instrument was acknowledged before me this 12th day of March 2004, by WILLIAM C. ROMAN, President of WOODBOROUGH CORPORATION, a State of Florida corporation, on behalf of an oath.

Notary Public

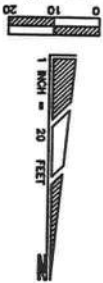
My Commission Expires:



LAKE VALLEY IN WOODBOROUGH PHASE7
COLUMBIA COUNTY, FLORIDA



PREPARED: 04/12/2004
CAD FILE: 4359T.DWG

[illegible]

APPLICANT

WILLIAM JOHNSON

32055

FL

752-3518

PHONE

OWNER

NW LAKE VALLEY TERRACE

32055

FL

752-3518

PHONE

OWNER

WILLIAM JOHNSON

32055

FL

752-3518

PHONE

CONTRACTOR

OWNER BUILDER

32055

FL

752-3518

PHONE

LOCATION OF PROPERTY

LAKE JEFFREY ROAD, TL INTO WOODBOROUGH, TR ON LAKE VALLEY

TER, 7TH LOT ON LEFT

TYPE DEVELOPMENT

SFD, UTILITY

ESTIMATED COST OF CONSTRUCTION

111900.00

HEATED FLOOR AREA

2238.00

TOTAL AREA

3888.00

HEIGHT

.00

STORIES

1

FOUNDATION

CONC

WALLS FRAMED

ROOF PITCH

8/12

FLOOR SLAB

LAND USE & ZONING

RSF-2

MAX. HEIGHT

27

Minimum Set Back Requirements:

STREET-FRONT

25.00

REAR

15.00

SIDE

10.00

NO. EX.D.U.

0

FLOOD ZONE

X

DEVELOPMENT PERMIT NO.

PARCEL ID

22-35-16-02269-124

SUBDIVISION

WOODBOROUGH

LOT 24

BLOCK

PHASE

UNIT

TOTAL ACRES

0000000250

N

CONTRACTOR'S License Number

Applicant/Owner/Contractor

JK

Y

PERMIT

04-0340-N

BK

LU & Zoning checked by

Approved for Issuance

New Resident

Driveway Connection

FLOOR HEIGHT LETTER RECEIVED, SURVEY SHOWNG SFD OUT OF FLOOD ZONE

NOC ON FILE

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power

Foundation 04/14/2004

RK

Monolithic

(Footer/Slab)

Under slab rough-in plumbing

04/27/2004

HD

Slab

Sheathing/Nailing

Framing

date/app. by

Rough-in plumbing above slab and below wood floor

date/app. by

Electrical rough-in

date/app. by

Heat & Air Duct

date/app. by

Permanent power

date/app. by

C.O. Final

date/app. by

M/H tie downs, blocking, electricity and plumbing

date/app. by

Culvert

date/app. by

Reconnection

date/app. by

Pump pole

date/app. by

M/H Pole

date/app. by

Travel Trailer

date/app. by

date/app. by

Re-roof

date/app. by

BUILDING PERMIT FEE \$

560.00

CERTIFICATION FEE \$

19.44

SURCHARGE FEE \$

19.44

MISC. FEES \$

.00

ZONING CERT. FEE \$

50.00

FIRE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

25.00

TOTAL FEE

723.88

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Notice of Treatment

10836

Florida Pest Control & Chemical Co.

Address

536 SE Baya Ave

City

LC Phone 7521703

Site Location

Subdivision Woodbourne

Lot# Block#

Permit# 21664

Address

391 NW Lake Valley Terrace

AREAS TREATED

Print Technician's

Name

Gunny

Area Treated

Date

4/23/04

Time

Gal.

000 612

Main Body

Patio/s #

Sloop/s #

Porch/s #

Brick Veneer

Extension Walls

A/C Pad

Walk/s #

Exterior of Foundation

Driveway Apron

Out Building

Tub Trap/s

(Other)

Name of Product Applied

Dursban TC

Remarks

Exterior not to be treated

Applicator - White • Permit File - Canary •