

RENOVATIONS TO S & S FOOD STORE NO. 37

U.S. 441 & I-10

LAKE CITY, FLORIDA

CRAIG SALLEY AND ASSOCIATES
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
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Craig Salley
10/20/06

CRAIG SALLEY & ASSOCIATES
P.L.L.C. REG. NO. 4475
DATE
10/20/06
DRAWN
JM
APPROVED

0629

G-1

OF
SHEETS 3

ABBREVIATIONS (ARCHITECTURAL)

AB.	Anchor Bolt	F.V.	Field Ventry	PARTNS	Partitions
A/C	Air Conditioned	F.P.	Formed and Paired	PL	Plate
ALUM.	Aluminum	F.D.	Floor Drain	PLAS.	Plaster
AT.	Acoustical Tile	F.E.	Fire Extinguisher	PLUMB.	Plumbing
		FIN.	Finish	PLYND.	Plywood
BN.	Beam	FLR.	Floor	PORT.	Partials
BLDG.	Building	F.S.	Floor Shtk	P.T.D.	Paper Towel Dispenser
BRG.	Bearing	FND.	Foundation		
BOTT.	Bottom	FTG.	Footings	Q.T.	Quarry Tile
BUR.	Built Up Roof				
		GA.	Gauge	(R)	Relocated Item
CONC.	Concrete	G.B.	Grab Bar	R.D.	Roof Drain
CAB.	Cabinet	G.I.	Galvanized Iron	RECEP.	Receptacle
CBM.	Comms	GL.	Glass	REF.	Refrigerator
C.I.	Cast Iron	GR.	Grade	REG.	Reglet
C.S.	Corner Guard	GVL.	Gravel	REINF.	Reinforcing, Reinforced
C.J.	Control Joint	GYP.	Gypsum	REQD.	Required
C.L.	Chain Link			RK.	Room
CLO.	Closet	H/G, H.C.	Handicap	R.O.	Rough Opening
CLO.	Closet	H.M.	Hollow Metal		
CLR.	Clearance	HA.	Hardware	SCHED.	Schedule
C.M.U.	Concrete Masonry Unit	H.B.	Hose Bibb	S.D.	Soap Dispenser
COL.	Column	HORIZ.	Horizontal	SH.	Shelving, Shelf
CONT.	Continuous			SIM.	Similar
CONSTR.	Construction	LD.	Inside Diameter	S.M.	Sheet Metal
COORD.	Coordinate	INSUL.	Insulation	S.N.R.	Sanitary Napkin Receptacle
CPT.	Carpet	INT.	Interior	SPEC(S)	Specification(s)
CSK.	Countersunk	JT.	Joint	S + R	Shelf & Rod
C.T.	Ceramic Tile	K.P.	Kick Plate	STRUT.	Structural
CTR.	Counter			S.S.	Standing Seam
		LAV.	Lavatory	STL.	Steel
D.F.	Drinking Fountain	L.M.	Lightweight	S.V.	Screen Wall
DESIG.	Design			T.B.	Task board
DIA.	Diameter	MAS.	Masonry	TEL.	Telephone
DIAG.	Diagonal	MATL.	Material	TEMP.	Tempered
DIM.	Dimension	MAX.	Maximum	THK.D.	Thickened
DISP.	Dispenser	M.B.	Marker board	TOILT.	Toilet
D.S.	Downdraft	MECH.	Mechanical	T.L.T.	Toilet Paper Holder
DNGS.	Drawings	MET. MTL.	Metal	T.P.H.	Typical
		MFR.	Manufacturer	TYP.	Typical
EA.	Each	MIN.	Minimum	VERT.	Vertical
EB.	Expansion Bolts	MISC.	Miscellaneous	VEST.	Vestibule
ELEC.	Electrical	M.O.	Masonry Opening	V.T.	Vinyl Tile
ELEV.	Elevation	MOD.	Modified	V.T.R.	Vent Through Roof
E.L.	Expansion Joint	M.T.	Metal Threshold	V.P.B.	Veneer Plaster Board
EPY.	Epoxy Coating	MTD.	Mounted		
EQUIP.	Equipment			W.C.	Water Closet
(E) EX.	Existing	(N)	New	W.C.O.	Wall Cleanout
EXT.	Exterior	N.C.	Not in Contract	WC	Wheel Chair
E.M.C.	Electric Motor Cooler	NOM.	Nominal	WD.	Wood
EXP.	Exposed, Expansion	O.C.	On Center	WIN.	Window Dimension
		O.D.	Outside Diameter	W.P.	Waterproofing
		OPN.	Opening	WR.	Waste Receptacle
		OPP.	Opposite	WUM.	Welded Wire Mesh

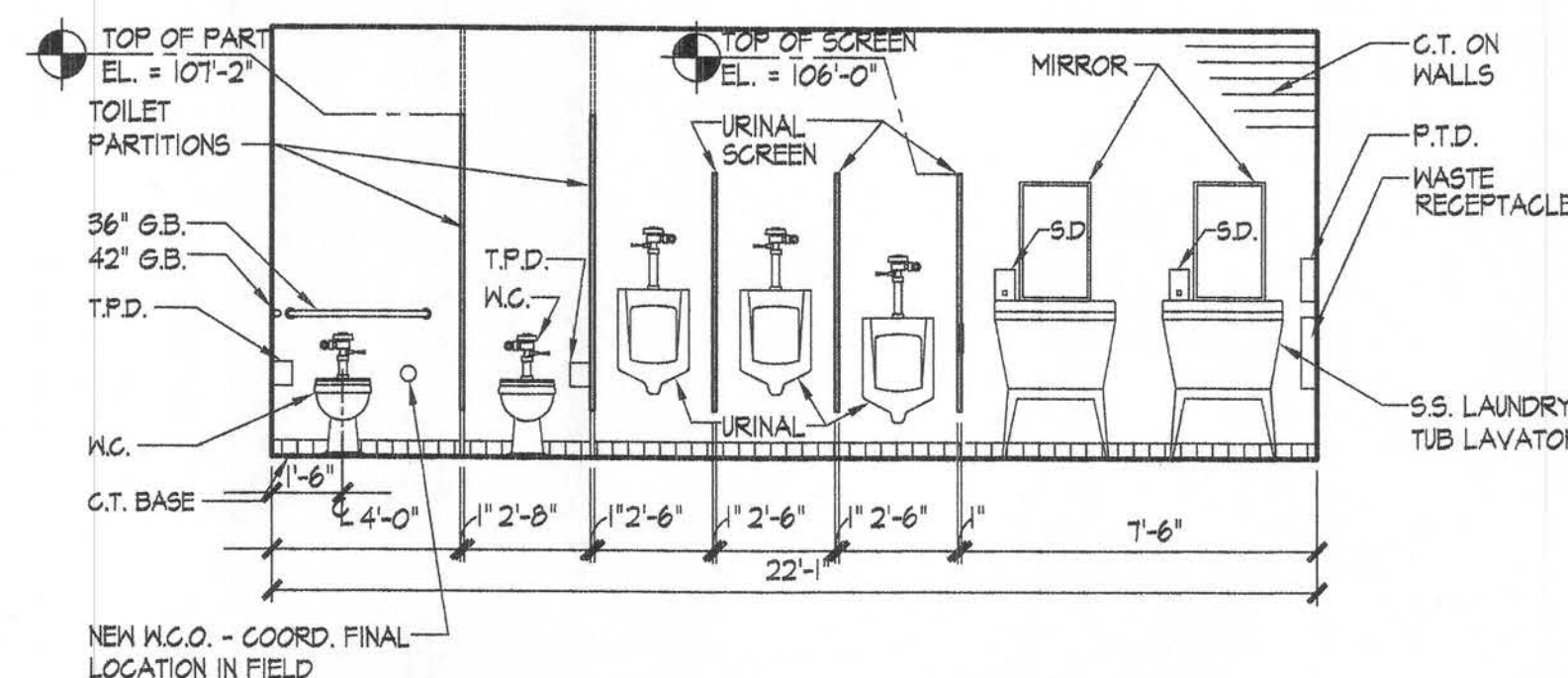
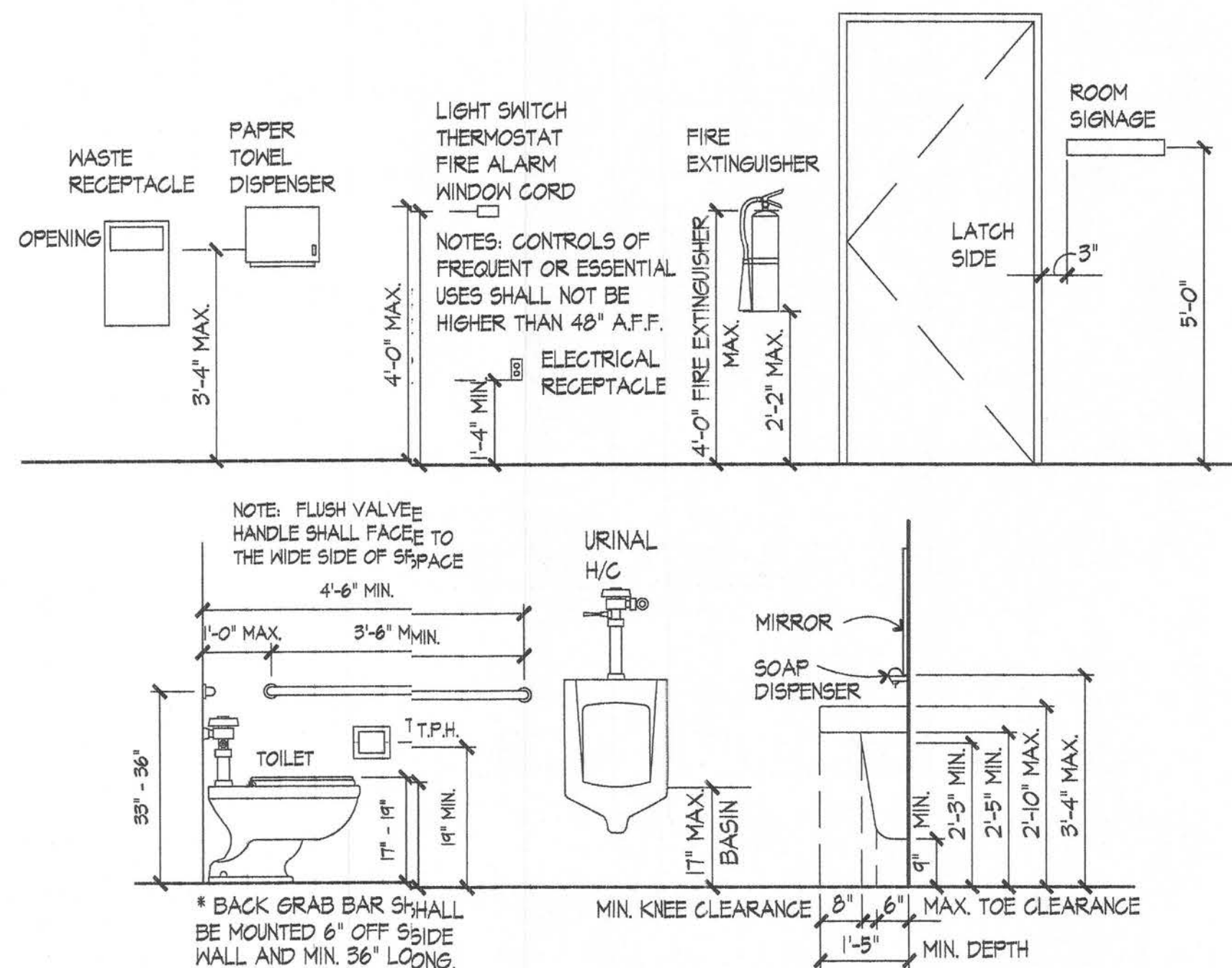
SYMBOLS LEGEND

	ROOM NUMBER DOOR IDENTIFICATION	DOOR MARK
	ROOM NUMBER	
	DETAIL MARK	
	TARGET SPOT ELEVATION	
	ELEVATION NUMBER SHEET NUMBER	INTERIOR ELEVATION MARK

SHEET INDEX

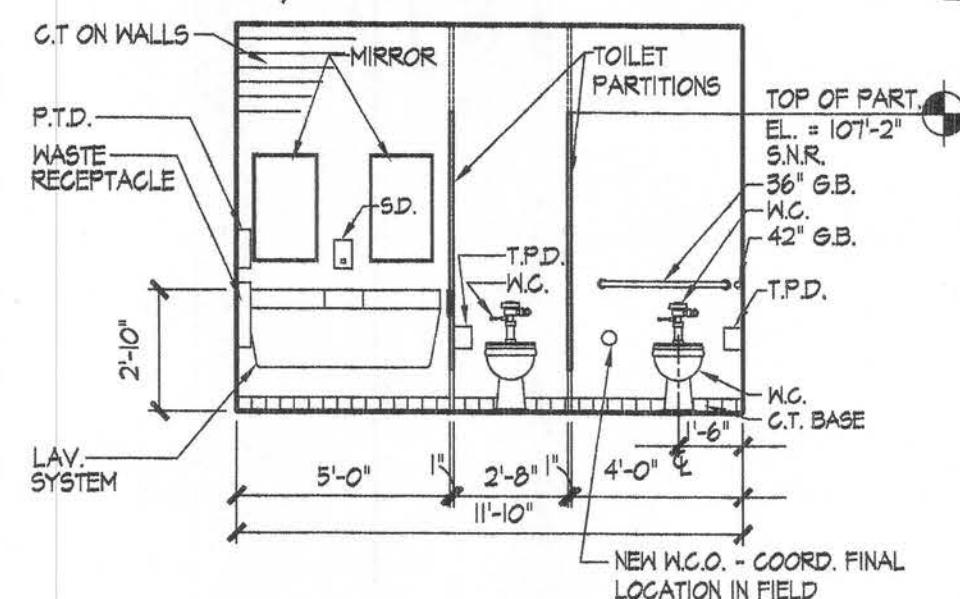
G-1	GENERAL COVER SHEET
A-1	DEMOLITION PLAN, RENOVATION PLAN AND REFLECTED CEILING PLAN
A-2	ARCHITECTURAL SPECIFICATIONS

STANDARD MOUNTING PER A.D.A. REQUIREMENTS



MEN'S RESTROOM

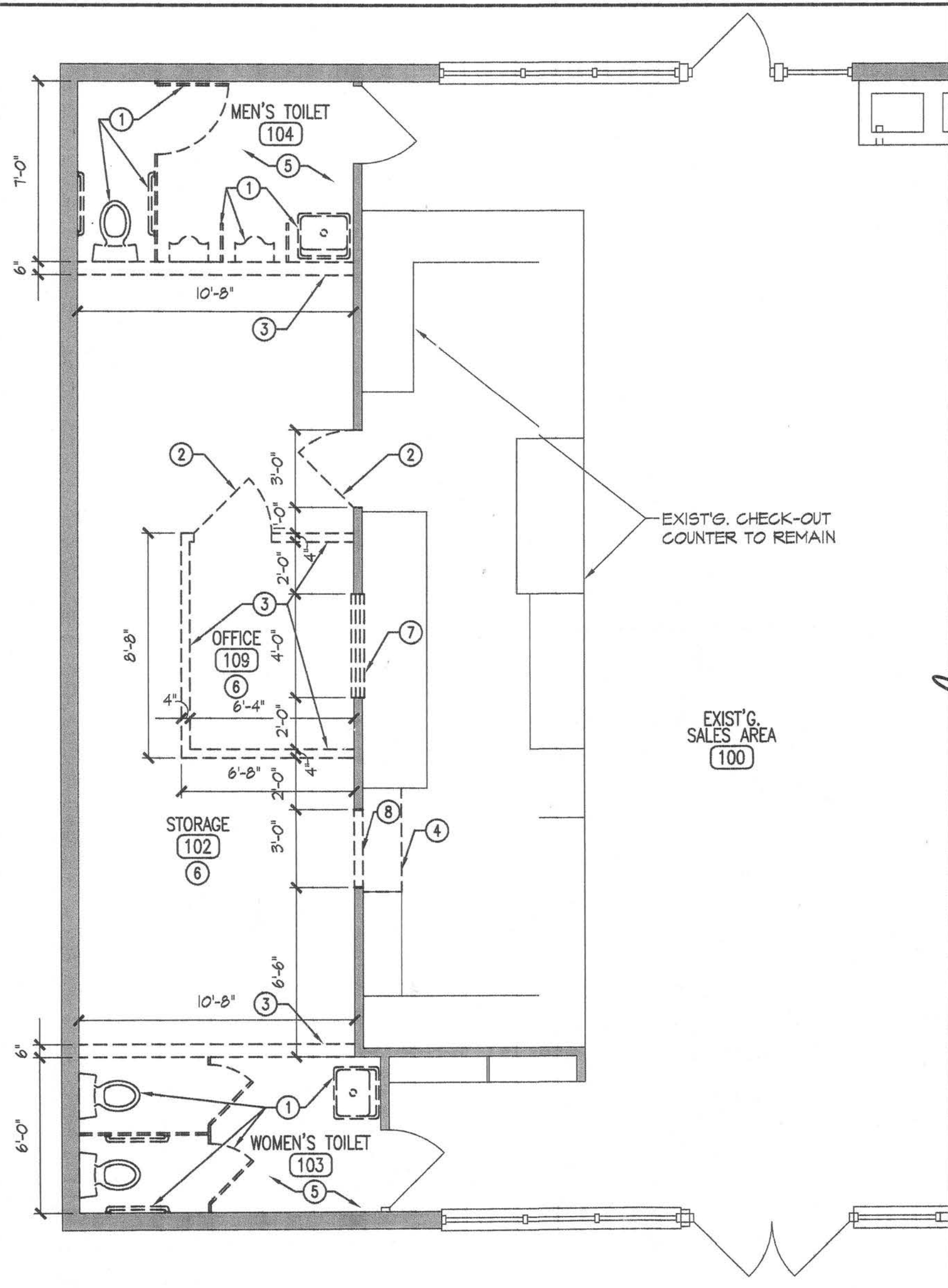
1/4" = 1'-0"



WOMEN'S RESTROOM

1/4" = 1'-0"

CONSTRUCTION DOCUMENTS



DEMOLITION PLAN
1/4" = 1'-0"

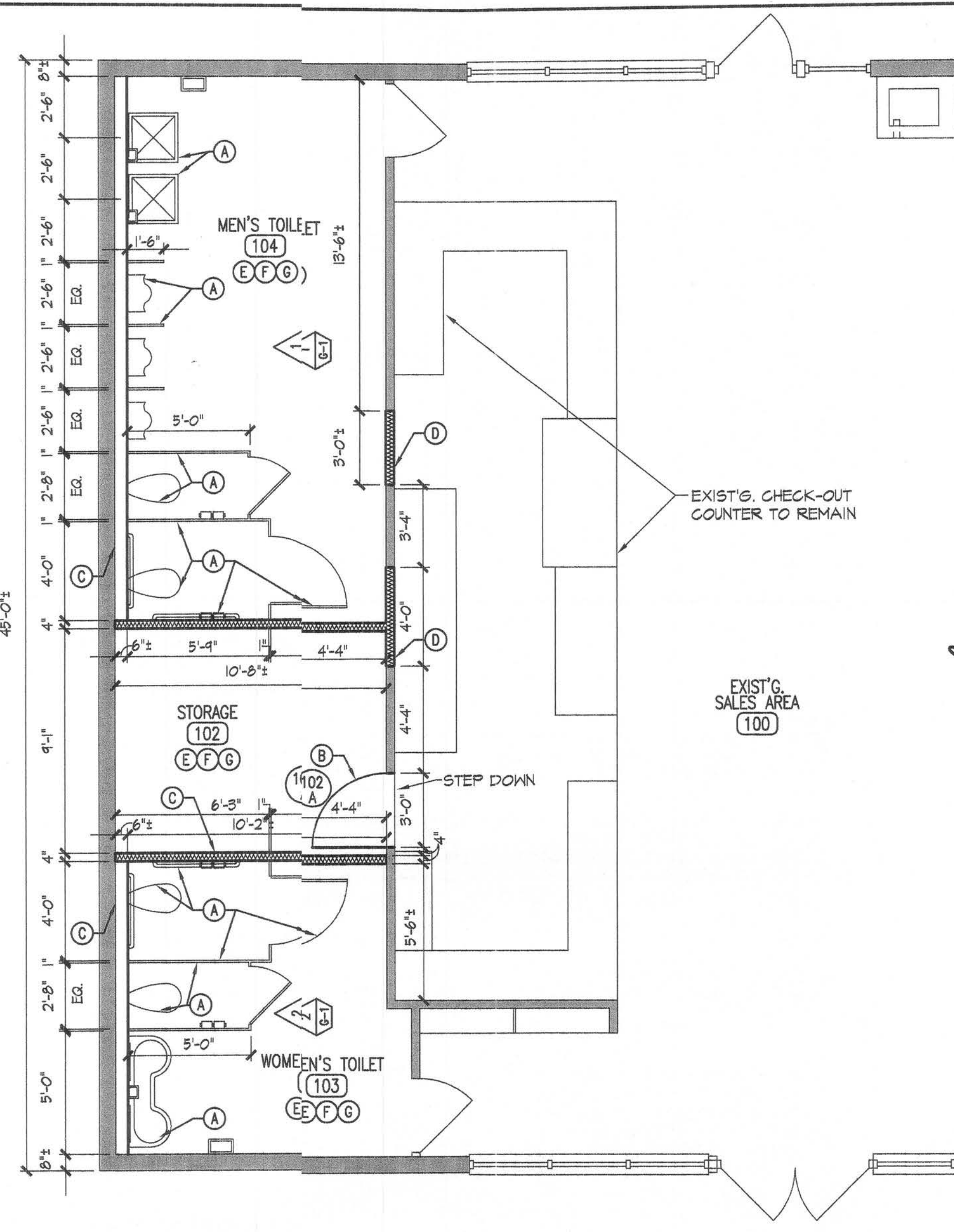
NOTE:
ALL DIMENSIONS ARE PLUS /
MINUS AND SHALL BE FIELD
VERIFIED

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL PATCH FLOOR SLAB, WALLS AND CEILINGS AS REQ'D. TO MATCH EXIST'G. OR IN PREPARATION FOR NEW CONSTRUCTION AND FINISHES - ANY DISCREPANCIES SHALL BE DISCUSSED WITH ARCHITECT PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING DEMOLITION - CONTRACTOR IS REQUIRED TO DO ALL DEMOLITION OF ALL ITEMS REQUIRED TO ACCOMPLISH THE NEW CONSTRUCTION IN THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL MATERIALS AS CALLED FOR IN THE CONTRACT DOCUMENTS.
- THE OWNER HAS FIRST RIGHT OF REFUSAL ON ALL SALVAGE EQUIPMENT, FIXTURES AND/OR MATERIALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL SHORING AS NECESSARY TO SHORE EXIST'G. LOAD BEARING STRUCTURES - ALL SHORING SHALL BE IN PLACE PRIOR TO REMOVAL OF PORTIONS OF LOAD BEARING WALLS.

DEMOLITION NOTES

- REMOVE EXISTING URINALS, WATER CLOSETS, TOILET PARTITIONS, GRAB BARS, TOILET PAPER DISPENSERS, LAVATORIES, COUNTERTOPS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, LIGHT FIXTURES, CEILINGS, DIFFUSERS, ETC. - PATCH AND PREPARE ALL SURFACES FOR NEW CONSTRUCTION AND FINISHES OR TO MATCH EXIST'G.
- REMOVE EXIST'G. DOOR AND FRAME - PATCH AND PREPARE ALL SURFACES FOR NEW CONSTRUCTION AND FINISHES OR TO MATCH EXIST'G.
- REMOVE EXIST'G. INTERIOR STUD WALLS - PATCH AND PREPARE ALL SURFACES FOR NEW CONSTRUCTION AND FINISHES OR TO MATCH EXIST'G.
- REMOVE EXIST'G. MILLWORK AND CASEWORK AS REQ'D. FOR NEW DOOR (102) - PATCH AND PREPARE ALL SURFACES FOR NEW FINISHES.
- REMOVE EXIST'G. FLOOR TILE TO EXIST'G. CONC. SLAB - PATCH AND PREPARE SLAB FOR NEW FINISH.
- REMOVE EXIST'G. FLOOR FIN. AND BASE - PATCH AND PREPARE ALL SURFACES FOR NEW CONSTRUCTION AND FINISHES OR TO MATCH EXIST'G.
- REMOVE VIEW WINDOW - PATCH AND PREPARE ALL SURFACES FOR NEW CONSTRUCTION AND FINISHES OR TO MATCH EXIST'G.
- CUT NEW OPENING IN EXISTING STUD WALL FOR NEW DOOR. SEE RENOVATION NOTE (B).



RENOVATION PLAN
1/4" = 1'-0"

RENOVATION NOTES

- PROVIDE NEW URINALS, WATER CLOSETS, TOILET PARTITIONS, GRAB BARS, WASTE RECEPTACLES, LAVATORIES, MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, ETC.
- PROVIDE NEW DOORS, FRAMES AND HARDWARE AS SHOWN AND SCHEDULED.
- NEW 3 5/8" OR 6" (SEE RENOV. PLAN) 20 GA. MT'L. STUDS AT 16" O.C. MAX. W/ FULL BATT INSUL. (WHERE SHOWN) AND 5/8" DUROCK AND CERAMIC TILE ON RESTROOM SIDE AND 5/8" VFB TYPE "X" OTHERWISE - EXTEND TIGHT TO UNDERSIDE OF STRUCT. ABV. - PROVIDE STUD SPACING AND FULL OUT STRENGTH REQ'D. AT ALL CHASE WALLS FOR LAVATORIES.
- INFILL OPENING W/ 20 GA. MT'L. STUDS AT 16" O.C. MAX. W/ FULL BATT INSUL. AND 5/8" DUROCK AND CERAMIC TILE ON RESTROOM SIDE AND 5/8" VFB OTHERWISE - SIZE AND/OR STAGGER STUDS AS REQ'D. TO MATCH WIDTH OF EXIST'G. WALL.
- PROVIDE NEW FLOOR TILE AND BASE.
- NEW HARD CEILING AND NEW LIGHT FIXTURES.
- PREPARE WALLS FOR NEW PAINT.

DOOR LEGEND:

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR AS SCHED.

WALL LEGEND:

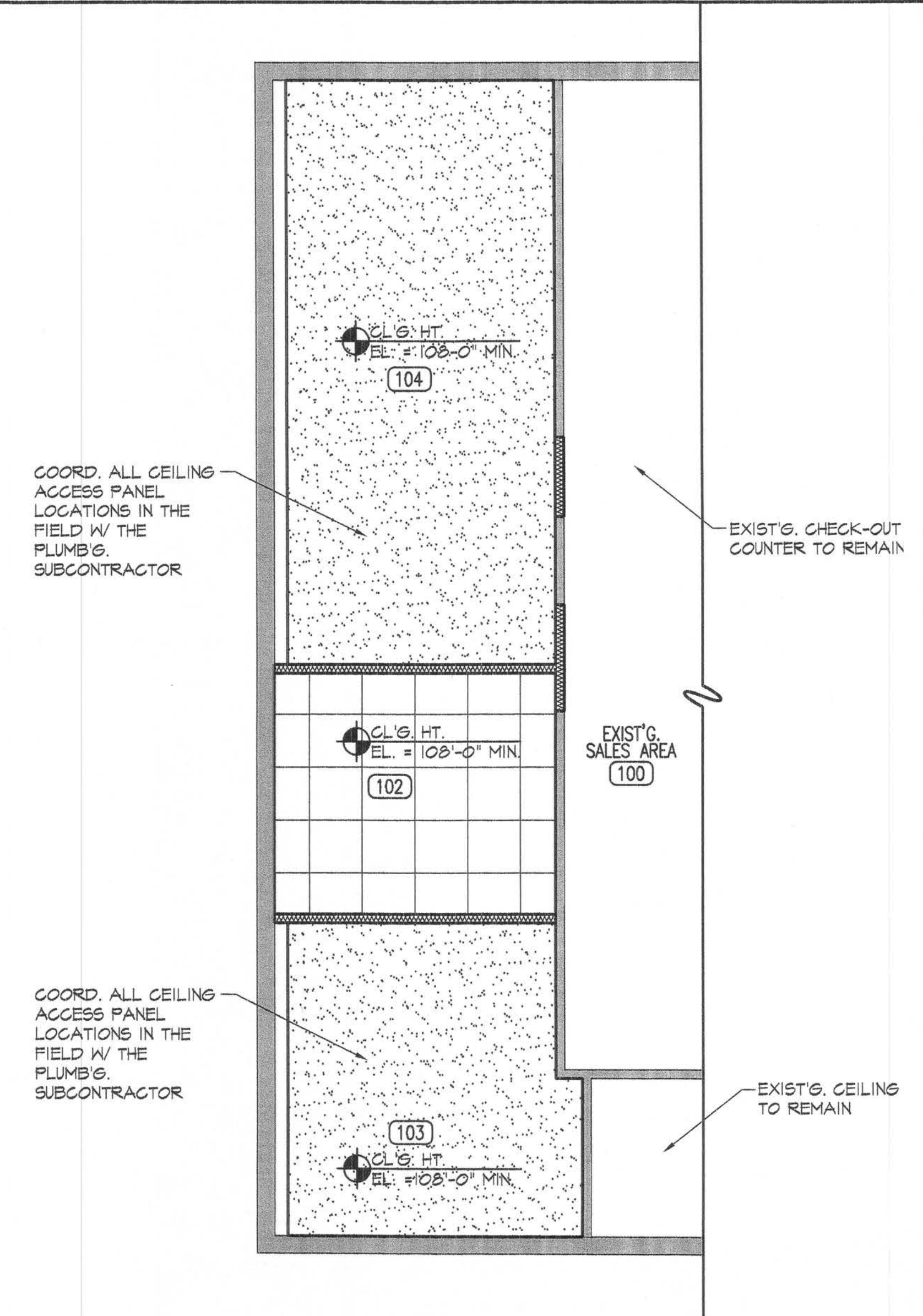
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW STUD WALLS W/ INSUL. WHERE SHOWN

RCP LEGEND

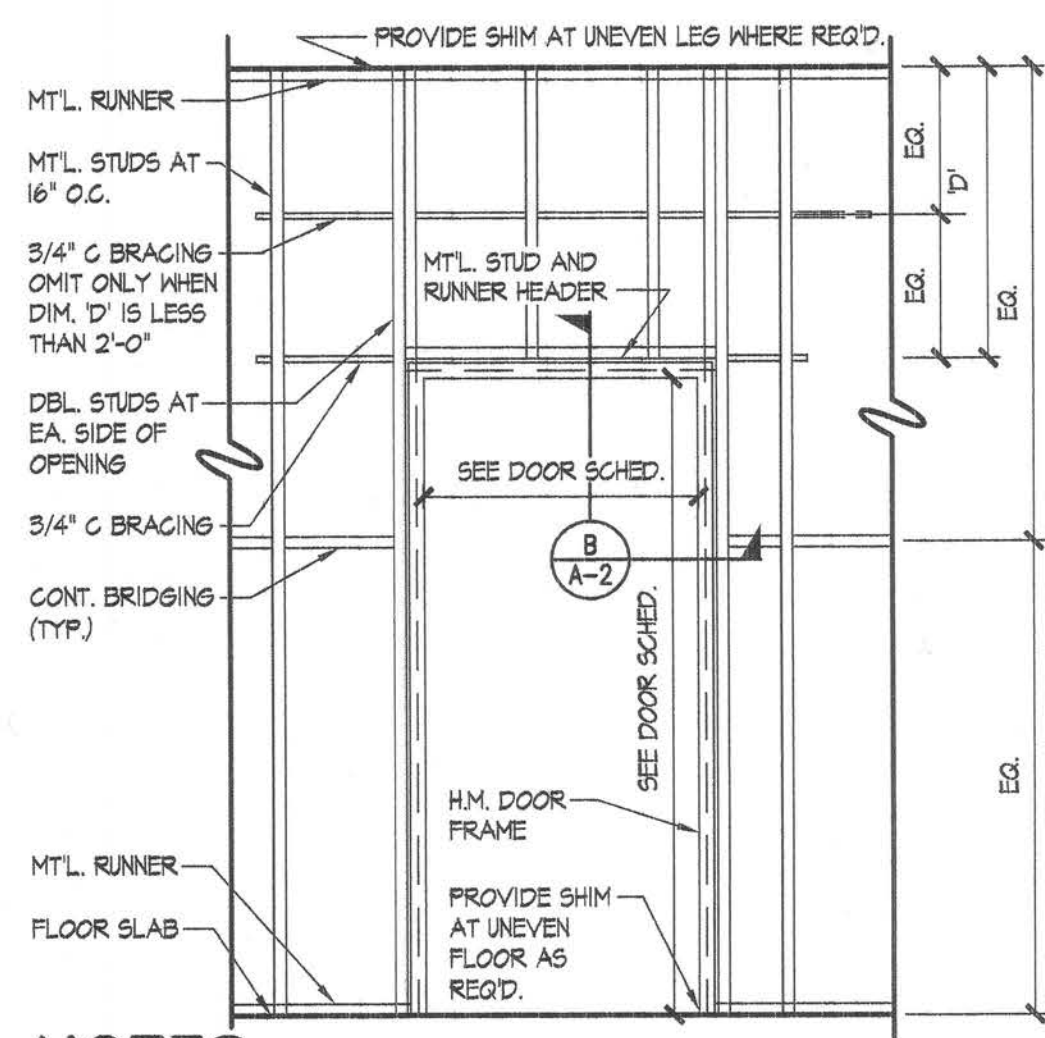
- NEW 2' X 2' ACOUSTICAL CEILING TILE
- MOISTURE RESISTANT 5/8" V.F.B. OVER 8" 18 GA. MT'L. STUDS AT 16" O.C. SUPPORTED FROM STRUCTURE ABOVE OR 3/4" MT'L. HAT CHANNELS AT 16" O.C. OVER 3/4" C.R. CHANNELS AT 4'-0" O.C. SUSPENDED FROM EXIST'G. STRUCTURE WITH UNISTRUT AS REQ'D. (CONTRACTOR'S OPTION)

REFLECTED CEILING PLAN NOTES

- AT SUSPENDED CEILINGS, ALL SUSPENSION SYSTEMS, INCLUDING LIGHT FIXTURES, SHALL BE SUSPENDED FROM STRUCTURE - PROVIDE UNISTRUT FRAMING OR METAL STUD FRAMING AS REQ'D. - LIGHT FIXTURES TO BE SUSPENDED SEPARATELY FROM GRID ON ALL CORNERS.
- INSTALL NEW CEILINGS AT HEIGHT AS DIRECTED BY THE OWNER.



REFLECTED CEILING PLAN
1/4" = 1'-0"

**NOTES:**

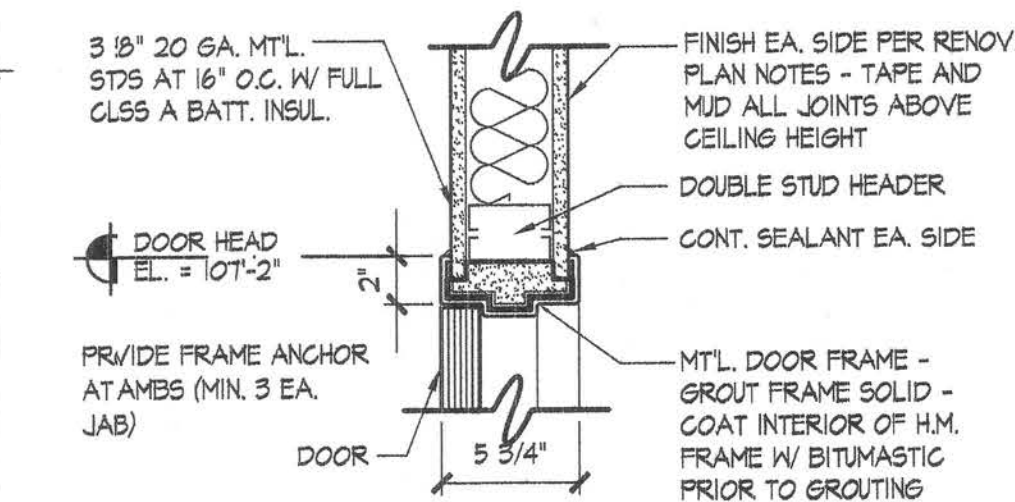
- ALL METAL STUDS AT FRAMES SHALL BE ANCHORED TOP AND BOTTOM.
- STUD AND RUNNER AT DOOR HEAD SHALL BE CUT, BENT AND FASTENED TO JAMB STUDS.

DOOR FRAMING DETAIL

N.T.S.

DOOR HEAD/JAMB DETAIL

1 1/2" = 1'-0"

**GENERAL NOTES:**

- ANY MENTION IN THESE SPECIFICATIONS OR INDICAION ON THE DRAWINGS OF ARTICLES, MATERIALS, OPERATIONS, METHODS, ETC REQUIRES THAT THE CONTRACTOR FURNISH EACH ITEM SO MENTIONED OR INDICATED, IF THE KIND, TYPE OR DESIGN AND QUALITY SPECIFIED OR SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPERVISION TO COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND INTENT OF THESE SPECIFICATIONS VEN THOUGH SUCH MENTION OF ARTICLES, MATERIALS, OPERATIONS, METHODS, QUALITY, QUALIFICATIONS OR CONDITIONS IN NOT EXPRESSED IN COMPLETE SENTENCES.
- WHERE DEVICES, ITEMS OR PARTS THEREOF, ARE REFERRED TO IN THE SINGULAR, IT IS INTENDED THAT SUCH REFERENCE SHALL APPLY TOAS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- SCHEDULES OF WORK INCLUDED IN THESE SPECIFICATIONS ARE GIVEN FOR CONVENIENCE AND SHALL NOT BE CONSIDERED ASA COMPREHENSIVE '1ST OF ITEMS NECESSARY TO COMPLETE THE WORK AS DESCRIBD, DRAWN AND SPECIFIED.
- THE CONTRACTOR SHALL COORDINATE THE WORK COVERED HEREAFTER DESCRIBED WITH THE WORK OF OTHERS INVOLVED IN THIS PROECT. THE NECESSARY INFORMATION AND THE ITEMS, MATERIALS AND EQUIPMENT SHALLBE DELIVERED WHEN REQUIRED IN ORDER TO PREVENT ANY DELAY IN THE PROGRESSAND COMPLETION OF WORK.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AN DETAILS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK MUST CONFORM TO THE REQUIREMENTS IF ALL STATE AND LOCAL GOVERNING AGENCIES AND CODES, INCLUDING THEFLORIDA BUILDING CODE, 2004 EDITION.
- CONTRACTOR SHALL PROVIDE TEMPORARY WATERPOWER AND TOILET FACILITIES AS REQUIRED BY CODE OR ORDINANCE.
- IF REQUIRED, CONSTRUCTION FENCING SHALL BE INTALLED BY THE CONTRACTOR IF REQUIRED BY THE GOVERNING AUTHORITY. NO SIGS OTHER THEN THOSE AUTHORIZED BY THE OWNER WILL BE PERMITTED ON THIS SITE.
- CONTRACTOR SHALL PAY FOR ALL CONSTRUCTIONRELATED PERMITS AND FEES REQUIRED TO CONSTRUCT THIS PROJECT.
- APPROVED CONSTRUCTION PERMIT DOCUMENTS SHLL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ON THE PREMISES AT ALL TIMES UNDER THE CARE OF HE SUPERINTENDENT, ONE COMPLETE SET OF PLANS, WITH ALL REVISIONS, ADDENDA, ASBUILT-CONDITIONS, AND CHANGE ORDERS POSTED. THE CONTRACTOR MUST TURN THS DRAWING SET OVER TO THE OWNER AT THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY AND CONFORM TO ALL REQUIREMENTS OF THE LOCAL UTILITY COMPANIES WHENEVER ANY MATERIAL, EQUIPMENT OR METHOD IS SPECIFIED OR INDICATED BY PROPRIETARY NAME OR MANUFACTURER. THE MATERIAL, EQUIPMENT, METHOD SO SPECIFIED OR INDICATED SHALL BE DEMED TO BE FOLLOWED BY THE WORDS "OR EQUAL" EXCEPT IN THOSE CASES WHERE ITEMS SPECIFIED BY NAME ARE MARKED "NO SUBSTITUTE."
- ALL WORK IS TO BE DONE IN THE BEST WORKMANLKE MANNER.
- ALL WORK SHALL BE GUARANTEED FOR A PERIODOF ONE (1) YEAR AFTER COMPLETION, EXCEPT AS OTHERWISE SPECIFIED. ALL WARRANTY REPAIRS, CORRECTIONS, DISCREPANCIES, ETC. MUST BE MAD WITHOUT ANY ADDITIONAL COST TO THE OWNER, AND WITHIN FIVE (5) DAYS AFTER WRITTEN NOTICE TO THE CONTRACTOR IS GIVEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE CONSTRUCTION IS IN PROGRESS AD UNTIL PROJECT IS COMPLETED.
- ALL DEBRIS SHALL BE REMOVED FROM PREMISESAND ALL AREAS SHALL BE KEPT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECUTIONS TO ENSURE THE SAFETY OF THE WORKERS AT ALL TIMES.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. FIELD VERIFY ALL EXISTING DIMENSIONS AND ADJUST NEW DIMENSION AS REQUIRED. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- ALL ITEMS MARKED "N.I.C." ARE NOT PART OF THISCONTRACT. CERTAIN ITEMS MAY BE SUPPLIED BY THE OWNER BUT INSTALLED BY TH CONTRACTOR. CAREFULLY REVIEW THE DRAWINGS AND SCHEDULES.
- ALL WORK SHALL BE CONSTRUCTED OR INSTALLEE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR RITTEN DIRECTIONS.
- REPAIR AND/OR REPLACE ANY AND ALL BROKEN ND DAMAGED CONCRETE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF LOCAL GOVERNING AGENCIES.

DEMOLITION - 02050

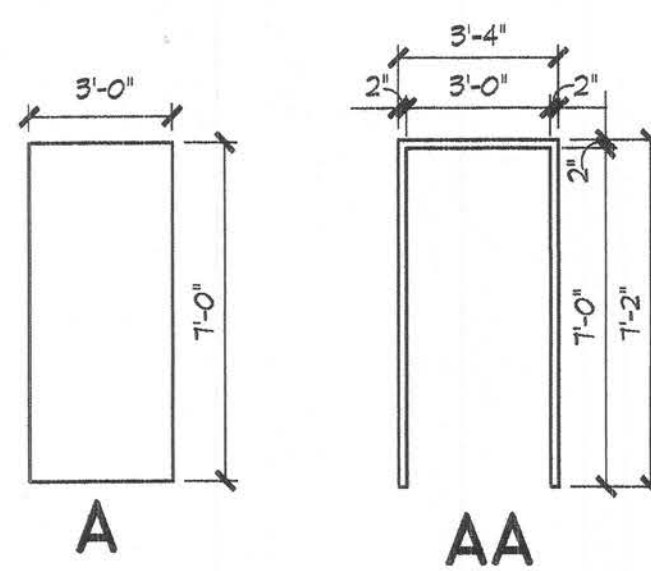
- THIS SECTION COVERS THE: WORK NECESSARY TO FURNISH ALL LABOR AND COMPLETE THE WRECKING OF ALL AREAS INDICATED AND INCLUDES THE REMOVAL AND DISPOSAL OF DEMOLISH MATERIALS AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO ACCOMPLISH ALL WORK AS INDICATED.
- THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED.
- SALVAGED ITEMS MUST BE: TRANSPORTED FROM THE SITE AS THEY ARE REMOVED.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, AND PERSONS.
- PROVIDE SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.
- PROMPTLY REPAIR DAMAGE TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
- PROTECT BUILDING INTERIOR AND ALL MATERIALS AND EQUIPMENT FROM THE WEATHER AT ALL TIMES. WHERE REMOVAL OF EXISTING ROOF AND WALLS IS NECESSARY TO ACCOMPLISH WORK, HAVE MATERIALS AND WORKMEN READY TO PROVIDE ADEQUATE AND APPROVED TEMPORARY COVERING OF EXPOSED AREAS AS APPLICABLE. TEMPORARY COVERINGS SHALL BE ATTENDED, AS NECESSARY, TO INSURE EFFECTIVENESS AND TO PREVENT DISPLACEMENT, OR ANY WATER DAMAGE.
- COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. CLEAN ADJACENT BUILDING AREAS AND STRUCTURES OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS, AS DIRECTED BY THE OWNER OR GOVERNING AUTHORITIES.
- ALL SURFACES OF EXISTING BUILDINGS OR STRUCTURES WHICH ARE DAMAGED DURING OPERATIONS, OR WHICH THE CONTRACTOR MAY IELECT TO REMOVE OR ALTER IN ORDER TO EXPEDITE OR SIMPLIFY OPERATIONS UNDER THE CONTRACT, SHALL BE REPAIRED (OR REPLACED IF REMOVED) TO THE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER. OBTAIN APPROVAL OF THE OWNER BEFORE PERFORMING ANY SUCH REMOVAL OR ALTERATION. REPAIR OR REPLACEMENT SHALL BE WITH MATERIALS EQUIVALENT TO THE ORIGINAL, AND SHALL INCLUDE ALL FINISHING AND PAINTING NECESSARY.
- WHERE EXISTING DAMAGED SURFACES REQUIRE REPAINTING, THE SAME TYPES AND GLOSS LEVELS OF PAINT FOR SIMILAR SURFACES AND AREAS OF THE NEW WORK SHALL BE USED, AND REPAINTED AREAS SHALL INCLUDE ALL CORRECTIVE WORK, SANDING AND PRIMING. REPAINTING SHALL BE OF AN EXTENT WHICH WILL REMOVE ANY "PATCHED" APPEARANCE WITHOUT THE VISIBLE JOINTS OR PERIMETERS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION AND COMPACT TO 95% DENSITY.
- REMOVE AND TRANSPORT DEBRIS AND RUBBISH TO AN APPROVED DUMP IN A MANNER THAT WILL PREVENT SPILLAGE ON STREETS OR ADJACENT AREAS. CLEANUP SPILLAGE FROM STREETS AND ADJACENT AREAS.
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL HAULING AND DISPOSAL REGULATIONS.

INSULATION - 07210

- WHERE CALLED FOR ON THE DRAWINGS, PROVIDE FIBERGLASS OR MINERAL WOOL BATTS CONFORMING TO FEDERAL SPECIFICATION HH-1-521, TYPE I, WITH VAPOR BARRIER, AND ANSI/NFPA NO. 101, "LIFE SAFETY CODE" NON COMBUSTIBLE CLASSIFICATION. FASTENERS SHALL BE CLASS "A" AND BE AS RECOMMENDED BY INSULATION MANUFACTURER FOR EACH CONDITION. INSULATION SHALL HAVE FLAME SPREAD RATINGS OF NOT MORE THAN 450. PROVIDE TABS TO FASTEN INSULATION TO METAL STUDS WHERE FINISH IS APPLIED TO ONLY ONE SIDE OF WALL.
- PROVIDE R-VALUE INDICATED ON THE DRAWINGS. IF R-VALUE NOT CALLED FOR, PROVIDE AS A MINIMUM, R-11 INSULATION. INSULATION IN STUD WALLS SHALL BE "FULL THICK".

DOOR SCHEDULE - 08000

OPEN'G. NO.	S.F.X	DOOR WIDTH	DOOR HT.	DOOR THK.	DOOR MT'L.	FRAME MT'L.	HEAD DET.	JAMB DET.	DR/FR ELEV.
102	A	3'-0"	7'-0"	1 3/4"	SCWD.	H.M.	B/A-2	B/A-2	A/AA

**DOOR AND FRAME ELEVATION**

1/4" = 1'-0"

STEEL FRAMES - 08111

- METAL DOOR FRAMES SHALL BE FORMED OF #16 U.S. STANDARD GAUGE STEEL FOR DOOR OPENINGS INDICATED. CORNERS SHALL BE MITERED, WELDED AND GRIND SMOOTH, COLD ROLLED ANNEALED STEEL. REINFORCE JAMBS FOR HARDWARE AND PROVIDE AS REQUIRED. COORDINATE CUTOUTS AND REINFORCING FOR HARDWARE WITH HARDWARE SUPPLIER. TEMPORARY STEEL ANGLE SPREADERS SHALL BE ATTACHED AT BOTTOM OF DOOR FRAMES TO ENSURE ALIGNMENT. FRAMES SHALL BE AS MANUFACTURED BY STEEL CRAFT, SECURITY, PIONEER OR APPROVED EQUAL.

WOOD DOORS - 8210

- DOORS SHALL BE 1 3/4" INCHES THICK W/ SOLID NON-RATED CORE COMPLYING W AWI SECTION 1300, FCS EXCEPT DOORS SHALL HAVE : 1 1/8" INCH MEDIUM WIDTH HARDWOOD STILES MATCHING FACE VENEER.
- VENEER TO BE "YELLOW BIRCH" NATURAL SPECIES, ROTARY SLICED. FACING QUALITY TO BE EQUAL TO AWI. PREMIUM GRADE.
- DOORS TO BE FACTORY MACHINE FOR HARDWARE, COORDINATE WITH FRAME SUPPLIER. SHOULD TRIMMING BE REQUIRED TRIM EQUALLY FROM OPPOSING SIDES.

- FACES, STILES AND BOTH RAILS TO BE SEALED (AFTER NECESSARY TRIMMING) PRIOR TO INSTALLATION. DO NOT SEAL DOORS UNTIL BUILDING HAS REACHED THE AVERAGE PREVAILING RELATIVE HUMIDITY OF LOCALITY.
- DELIVER DOORS TO PROJECT SITE AFTER MOISTURE PRODUCING OPERATIONS ARE COMPLETE AND BUILDING IS WEATHER TIGHT.
- PROVIDE WRITTEN GUARANTEE FROM DOOR MANUFACTURER STATING THAT DOORS WILL NOT DELAMINATE OR SHOW WARPAGE OF MORE THAN 1/4" FROM A TRUE PLANE FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. TELEGRAPHING OF TOP AND BOTTOM RAILS, INTERMEDIATE RAILS, REINFORCING OR STILES SHALL ALSO CONSTITUTE A FAILURE TO PERFORM UNDER THIS GUARANTEE.

FINISH HARDWARE - 08710

- PROVIDE ALL FINISH HARDWARE AS DIRECTED BY THE OWNER AND AS REQUIRED FOR A COMPLETE INSTALLATION. ALL HARDWARE SHALL BE COMMERCIAL GRADE.
- ALL HARDWARE SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS AFTER ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL PROVIDE WRITTEN GUARANTEE TO OWNER.
- ALL LOCKS SHALL BE CONSTRUCTION KEYED. ALL PERMANENT KEYS AND CONSTRUCTION KEY TOOL SHALL BE GIVEN TO OWNER ONLY. KEYING SHALL BE AS PER DIRECTION OF OWNER.

FINISH SCHEDULE - 09000

SPACE NO.	SPACE NAME	FLOOR	WALL FINISHES				BASE	C'L'G.
			NORTH	SOUTH	EAST	WEST		
102	STORAGE	V.T.	S.G.L.	S.G.L.	S.G.L.	S.G.L.	VINYL	A.T.
103	WOMEN'S RESTROOM	C.T.	C.T.	C.T.	C.T.	C.T.	C.T.	EP/V.P.B.
104	MEN'S RESTROOM	C.T.	C.T.	C.T.	C.T.	C.T.	C.T.	EP/V.P.B.

METAL STUD FRAMING SYSTEM - 09111

- REFER TO PLANS AND DETAILS FOR SIZE, SPACING, LOCATION AND DETAILS, TO DETERMINE WHERE METAL STUDS ARE USED.
- NON-LOAD BEARING TYPE INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF MINIMUM 20 GAUGE GALVANIZED STEEL STUDS. REFER TO DRAWINGS AND USE HEAVIER GAUGE STUDS WHERE CALLED FOR PROVIDE RUNNER (CHANNELS) AND REINFORCING AS INDICATED.
- STUDS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND PLANS. MAXIMUM SPACING SHALL NOT EXCEED 16" O.C. PROVIDED HORIZONTAL BRIDGING IN WALLS OVER 8'-0" HIGH. REFER TO DETAIL FOR BRACING AT DOOR FRAMES.

VENEER PLASTER SYSTEM - 09215

- ALL WALLS, PARTITIONS, CEILINGS AND OTHER SURFACES AS CALLED FOR SHALL BE COVERED WITH 5/8" TYPE X HIGH IMPACT VENEER PLASTER BOARD AS MANUFACTURED BY U.S.G. CO. VPB BOARD SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S LATEST SPECIFICATIONS INCLUDING ALL GALVANIZED METAL GROUNDS, BEADS, FURRING, ETC.
- ALL VPB SURFACES WHICH ARE TO REMAIN EXPOSED SHALL BE FINISH TAPED AND SANDED SMOOTH.
- USE DUROCK AT ALL WALLS AT RESTROOMS. USE MOISTURE RESISTANT V.P.B. AT RESTROOM CEILING.
- VENEER PLASTER TO CONFORM TO A.S.T.M. C587 MIX AND APPLICATION PER MANUFACTURERS RECOMMENDATIONS.

HARD TILE - 09300

- TILE TO BE STANDARD GRADE COMPLYING WITH THE CURRENT REQUIREMENTS OF THE TILE COUNCIL OF AMERICA (TCA) AND INSTALLED PER TCA AND THE TILE MANUFACTURER'S RECOMMENDATIONS.
- FINISH, COLOR, SIZE AND PATTERN OF TILE TO BE SELECTED BY THE OWNER. PROVIDE ALL REQUIRED TRIM PIECES FROM SAME MANUFACTURERS AS TILE, INCLUDING SANITARY COVE BASE, BULLNOSE TRIM, ETC.
- MANUFACTURES EQUAL TO DAL-TILE WILL BE CONSIDERED.
- GROUT AND SETTING BED COMPONENTS SHALL BE AS RECOMMENDED BY TILE MANUFACTURER.

SUSPENDED ACOUSTICAL CEILINGS - 09510

- CEILING PANELS SHALL BE "ACOUSTONE" CAST MINERAL BOARD 24 INCH X 24 INCH X 5/4 INCH STANDARD SQUARE EDGE (STANDARD GRID) ACOUSTONE FIGURED AS MANUFACTURED BY USS INTERIORS OR APPROVED EQUAL.
- METAL SUSPENSION SYSTEM SHALL BE AS MANUFACTURED BY ARMSTRONG, UNITED STATES GYPSUM, CHICAGO METALLIC OR, AN APPROVED EQUAL.
- PROVIDE ALL REQUIRED BRACING AND BACKING AS REQ'D.
- SUBMIT SAMPLES FOR OWNER'S APPROVAL.
- CONTRACTOR SHALL PROVIDE OWNER WITH ONE (1) EXTRA BOX OF EACH TYPE TILE USED ON THE PROJECT.

RESILIENT FLOORING - 09650

- BASE AND TILE BY TARKETT ARMSTRONGS, KENTILE OR EQUAL, 1/8" x 4" HIGH.

PAINTING - 09900

- ALL PAINT MATERIAL SHALL BE OF FIRST QUALITY AS MANUFACTURED BY SHERWIN- WILLIAMS, ICI-DEVCO OR PORTER.
- ALL HOLES, CRACKS, ETC. SHALL BE FILLED AND SANDED SMOOTH.
- HOLIDAYS, BRUSH MARKS AND PAINT SPOTTING IS NOT ACCEPTABLE AND SHALL BE CORRECTED.
- SURFACE PREPARATION AND APPLICATION OF PAINT AND STAIN MATERIALS SHALL BE DONE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.

TOILET ROOM ACCESSORIES - 10801

- PROVIDE AND INSTALL ALL TOILET ROOM ACCESSORIES, GRAB BARS, T.P. HOLDERS, MIRRORS, SOAP DISPENSERS, ETC. AS CALLED FOR ON DRAWINGS. MOUNTING HEIGHTS SHALL BE IN CONFORMANCE WITH A.D.A. CODE REQUIREMENTS IN THE 2004 EDITION OF THE FLORIDA BUILDING CODE. PROVIDE WOOD BLOCKING FOR ANCHORAGE IN STUD WALLS.

CONSTRUCTION DOCUMENTS