

DATE 05/21/2010

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction**PERMIT**
000028587

APPLICANT JUDY CLARK PHONE 623-4505
ADDRESS 604 SE ROLLING HILLS DRIVE LAKE CITY FL 32055
OWNER JUDY CLARK PHONE 623-4505
ADDRESS 604 SE ROLLING HILLS DRIVE LAKE CITY FL 32055
CONTRACTOR STEVEN COX PHONE 352 472-6562
LOCATION OF PROPERTY 41S, TL ON SR 238, TR OCTOBER RD, TL ROLLING HILLS
DRIVE, 3/4 MILE ON RIGHT, CORNER LOT ON RIGHT BEFORE TURN
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 02-6S-17-09553-010 SUBDIVISION ROLLING HILLS UNREC.
LOT 11 BLOCK PHASE UNIT TOTAL ACRES 3.80

IH0000875
Culvert Permit No. Culvert Waiver Contractor's License Number X J Clark Applicant/Owner/Contractor
EXISTING 10-227 BK HD
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD
STUP-1005-12, 5 YEAR PERMIT

Check # or Cash CASH**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 250.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 32.10 WASTE FEE \$ 83.75
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ **TOTAL FEE** 440.85
INSPECTORS OFFICE [Signature] CLERKS OFFICE [Signature]

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Office Use Only (Revised 1-10-08)

Zoning Official BLK 21-05-10 Building Official HD 5-20-10

1005-43

Date Received

5/19

By JW

Permit #

28587

Flood Zone

X

Development Permit

N/A

Zoning

A-3

Land Use Plan Map Category

A-3

Comments

FEMA Map# N/A Elevation N/A Finished Floor 1st floor River N/A In Floodway N/A☒ Site Plan with Setbacks Shown ☒ EH # 10-0227-M ☒ EH Release ☐ Well letter ☒ Existing well☒ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access☐ Parent Parcel # ☒ STUP-MH 1005-42 ☐ F W Comp. letter

IMPACT FEES: EMS

Fire

Corr

Road/Code

School

= TOTAL

SUSPENDEDLICProperty ID # 02-65-17-09553-010

Subdivision

Rolling Hills Unrec. Lot 11▪ New Mobile Home Used Mobile Home ☒ MH Size 16x80 Year 98▪ Applicant Kenny + Judy Clark Phone # 386-623-7659 386-623-4505▪ Address 487 SE Deer St Lake City FL 32025▪ Name of Property Owner Kenneth + Anita Clark Phone# 386-752-6905▪ 911 Address 603 SE rolling hills dr. Lake City FL 32025▪ Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress EnergyName of Owner of Mobile Home Judy Neville Clark Phone # 386-623-4505Address 604 SE Rolling Hills Dr. Lake City, FL 32055▪ Relationship to Property Owner daughter-in-law▪ Current Number of Dwellings on Property 1▪ Lot Size Total Acreage 3.8 acres▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)▪ Is this Mobile Home Replacing an Existing Mobile Home NO (owes)▪ Driving Directions to the Property 415 to State Road 238 - Left on 238 -
Right on October Rd (~1/2 mile) left on Rolling Hills Dr. (~1 mile)
go ~ 3/4 mile on right, corner lot on right▪ Name of Licensed Dealer/Installer Steven Cox Phone # 352 472 6800▪ Installers Address 1000 SE 43rd Ave Trenton FL 32069▪ License Number TH0000085 / NEW# Installation Decal # 10081025 399 / 1

PERMIT WORKSHEET

page 1 of 2

Installer Steven Clark License # TH0000825
 Manufacturer Fletcher Length x Width 15.6 x 76
 Name of Owner of this Mobile Home Lady Clark
 Address 604 SE Rolling Hills Dr Lake City FL 32055
 Phone 314-623-7659

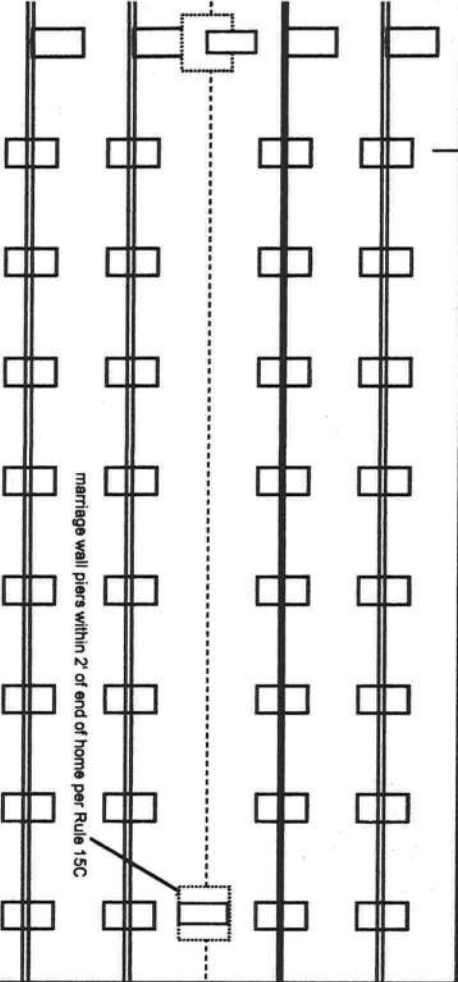
NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

[Signature]

Typical pier spacing 2' 5'
 lateral
 longitudinal
 Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



marriage wall piers within 2' of end of home per Rule 15C

New Home ☐ Used Home ☒ Year 1998
 Home installed to the Manufacturer's Installation Manual ☐
 Home is installed in accordance with Rule 15-C ☒
 Single wide ☒ Wind Zone II ☒ Wind Zone III ☐
 Double wide ☐ Installation Decal # 1008
 Triple/Quad ☐ Serial # 94FLW5A32051

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 dsf	3'	4'	4'	5'	6'	7'	8'
1500 dsf	4' 6"	6'	6'	7'	8'	8'	8'
2000 dsf	6'	8'	8'	8'	8'	8'	8'
2500 dsf	7' 6"	8'	8'	8'	8'	8'	8'
3000 dsf	8'	8'	8'	8'	8'	8'	8'
3500 dsf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

20x20

Perimeter pier pad size

16x16

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft

5 ft

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
 Manufacturer
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer

Sidewall
 Longitudinal
 Marriage wall
 Shearwall
 Number
200017
200017
200017
200017

WMLS

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil without testing.

x 1000

x 1000

x 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1000

x 1000

x 1000

TORQUE PROBE TEST

The results of the torque probe test is 275 inch pounds or check here if you are declaring 5" anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

5-14-10

Electrical

connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15A

Plumbing

connect all sewer drains to an existing sewer tap or septic tank. Pg. 15B

connect all potable water supply piping to an existing water meter, water tap, or other dependent water supply systems. Pg. 15C

Site Preparation

Debris and organic material removed Yes
Water drainage: Natural Swale Pad X Other

Fastening multi wide units

Floor: Type Fastener: N/A Length: N/A Spacing: N/A
Walls: Type Fastener: N/A Length: N/A Spacing: N/A
Roof: Type Fastener: N/A Length: N/A Spacing: N/A
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket N/A

Pg. _____

Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Yes Pg. _____
Siding on units is installed to manufacturer's specifications. Yes Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes Yes
Electrical crossovers protected. Yes Yes
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Date

5-14



COLUMBIA COUNTY BUILDING DEPARTMENT
 135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
 Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, [Signature], give this authority for the job address show below
Installer License Holder Name

only, 6124 SE Rolling Hills Dr Lake City FL 32055, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Kenny A. Clark	x [Signature]	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
Judy A. Clark	[Signature]	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

[Signature]
 License Holders Signature (Notarized)

TH0000875 5-14-10
 License Number Date

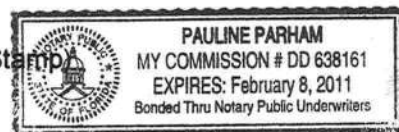
NOTARY INFORMATION:

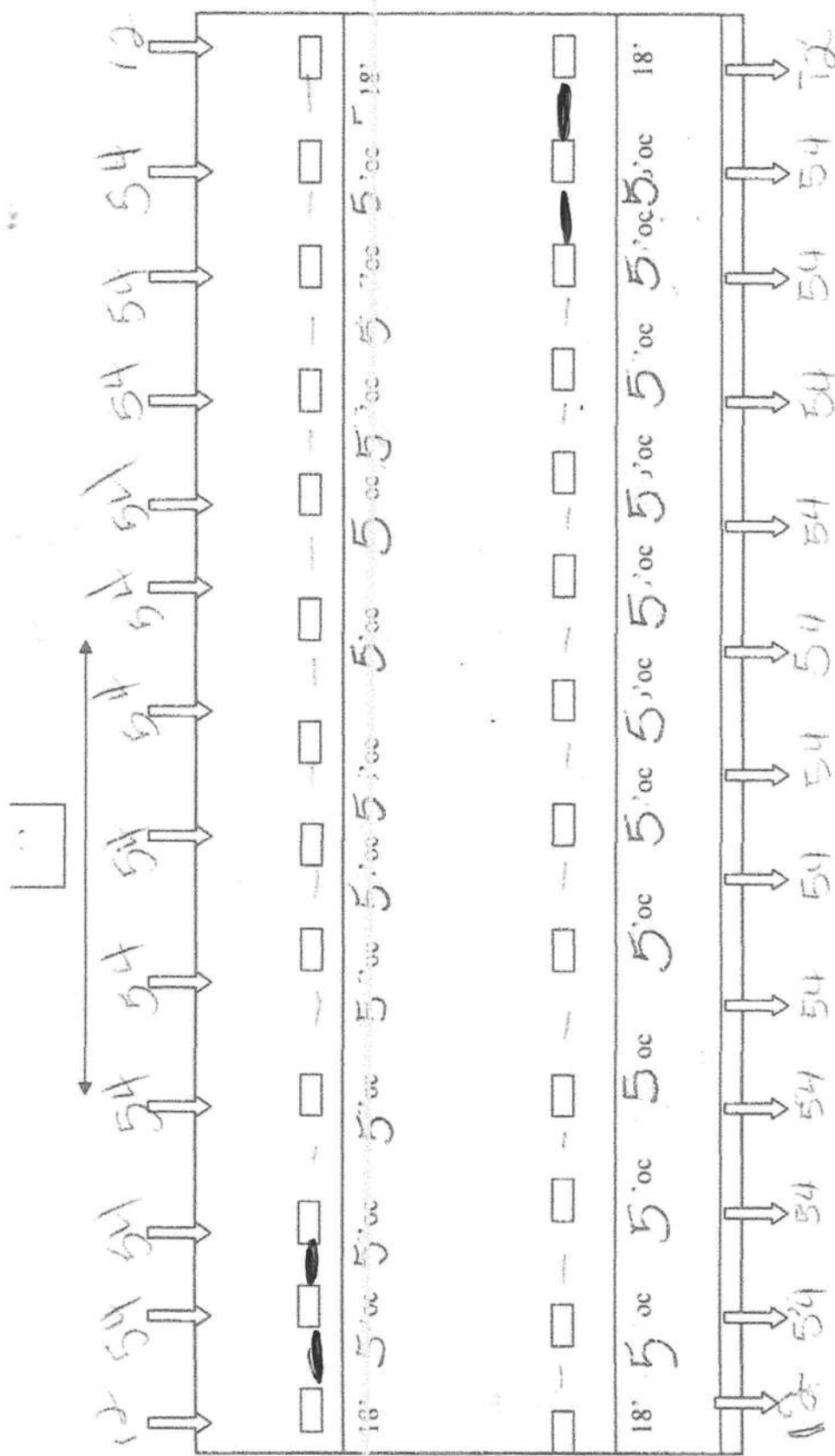
STATE OF: Florida COUNTY OF: gilchrist

The above license holder, whose name is Steven Corp, personally appeared before me and is known by me or has produced identification (type of I.D.) DL on this 14 day of May, 2010.

[Signature]
 NOTARY'S SIGNATURE

(Seal/Stamp)





↓ Anchors

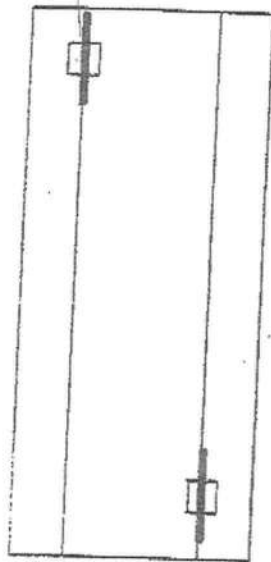
□ piers

MML — longitudinal stabilizing device

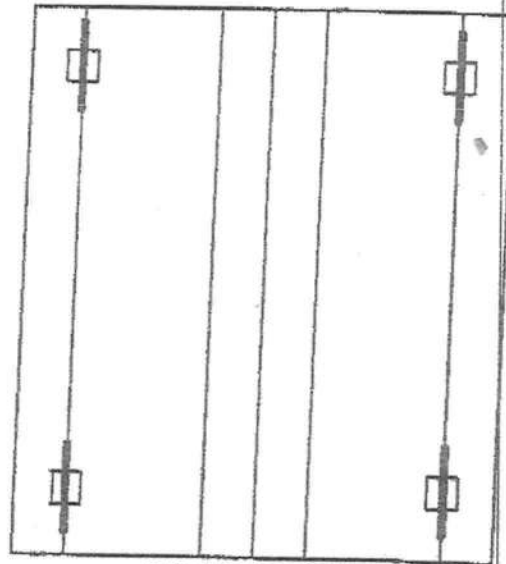
LONGITUDINAL BRACING SYSTEMS PLACEMENT FOR FLORIDA

Use 650 anchors and 180 square inch stabilizers with frame ties and vertical ties at maximum 5' -4" centers. Vertical ties must be used at all connection points furnished by the home manufacturer. Marriage wall anchors must be used in accordance with the home manufacturers instructions.

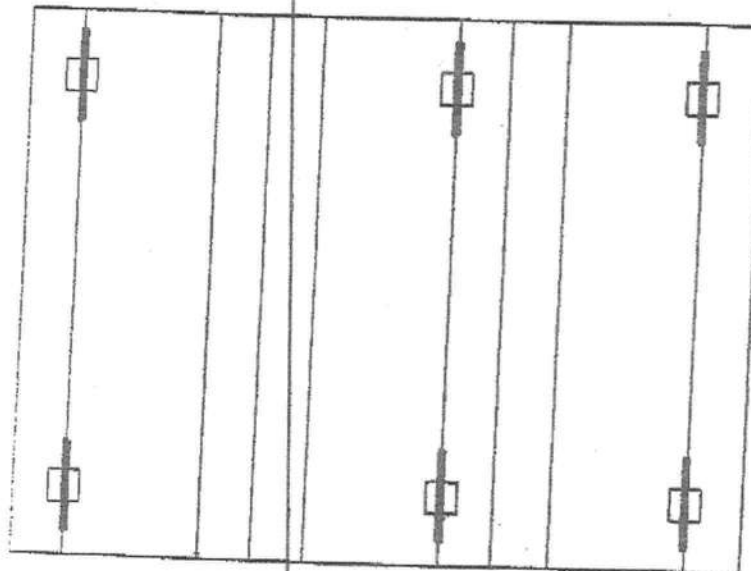
For Roof slopes up to 5/12 pitch
Systems must be placed no more than 16' from end of home



UP TO 16'
SINGLE WIDE



UP TO 32'
DOUBLE WIDE



UP TO 48' TRIPLE WIDE
OR DOUBLE WIDE WITH TAG

See Longitudinal and Lateral Bracing System detail assembly drawing.

Minute Man

Patent Pending
May 2002

anchors, Inc.

Installation Instructions for Model LLBS Longitudinal and Lateral Bracing System Approved for Florida

Revised: 6/17/02

Note: Your set must be designed by a Registered Professional Engineer if all or one of the following conditions occur:

Location is within 1,500 feet of Coast
Pier Height exceeds 48"
Sidewall height exceeds 96"

Roof eaves exceeds 16"
Main beam spacing exceeds 99.5"

1. Refer to the Home Manufacturer Installation Instructions for pier locations. 6" Disc anchors 48" long with vertical ties are required at maximum 5'-4" center along both sidewalls starting a maximum of 2'-0" in from each end of the home. Vertical ties must be used at all connection points furnished by the home manufacturer. Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs require a 5' anchor.
2. Refer to the Foundation Plans for the location of Longitudinal Lateral Bracing System.. (See Attached). Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location.
3. Remove turf to expose firm soil at each SD3 pad location.
4. Attach tube clip to SD3 pier pads (see Detail Assembly Drawing) center pad under beam, level pad. Angle Drive Pins may be driven vertically through four (4) slots in SD3 pier pad now or after home is totally set. Angle drive pins may be driven up to ten degrees (10) off of vertical. If you choose to drive pins after home is set, do not cover slots in pier pad.
5. Level home on concrete blocks or deluxe steel pier by Minute Man.
6. Install Longitudinal and Lateral Bracing in accordance with Foundation Plan and Detail Assembly Drawing.
7. Install vertical anchors, frame ties and stabilizers at each lateral arm system location..

Thank you for using Minute Man Products, Inc. If you have any questions, please call Toll Free at (800) 438-7277.

305 West King St. East Flat Rock, North Carolina 28726

FLORIDA ZONE II AND III LONGITUDINAL AND LATERAL BRACING SYSTEMS PLACEMENT

For 5/12 Roof Pitch

Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. Systems must be as evenly spaced as possible.

Revised: 6/17/2002

HOME DIMENSIONS REPRESENT BOX SIZE

LEGEND



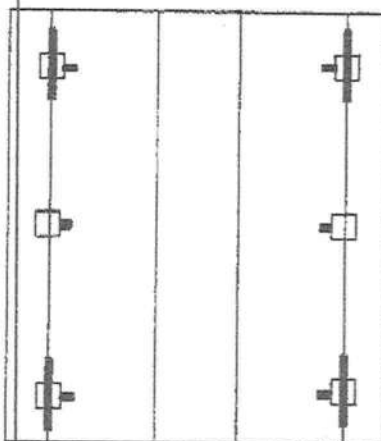
Longitudinal
Bracing System only



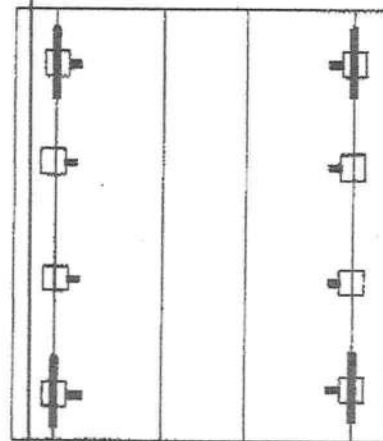
Longitudinal and Lateral
Bracing System



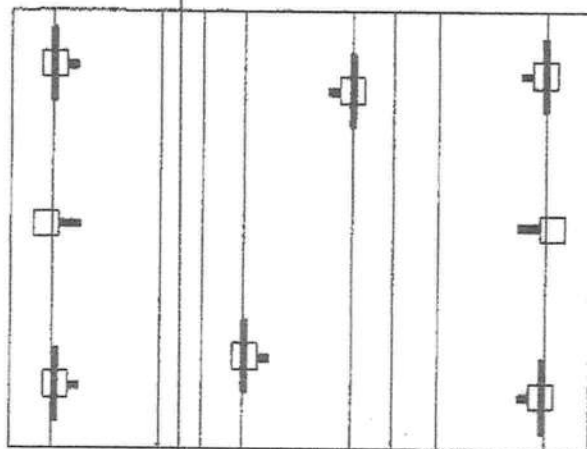
Lateral Bracing
System only



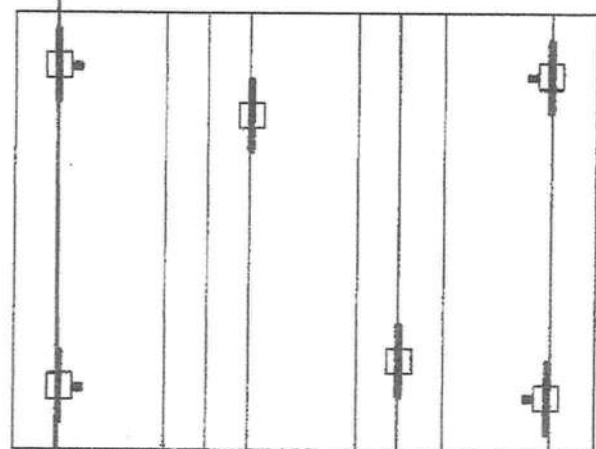
SINGLE AND DOUBLE WIDE
UP TO 32' WIDE AND 52' LONG
6 SYSTEMS
56' INCLUDING HITCH



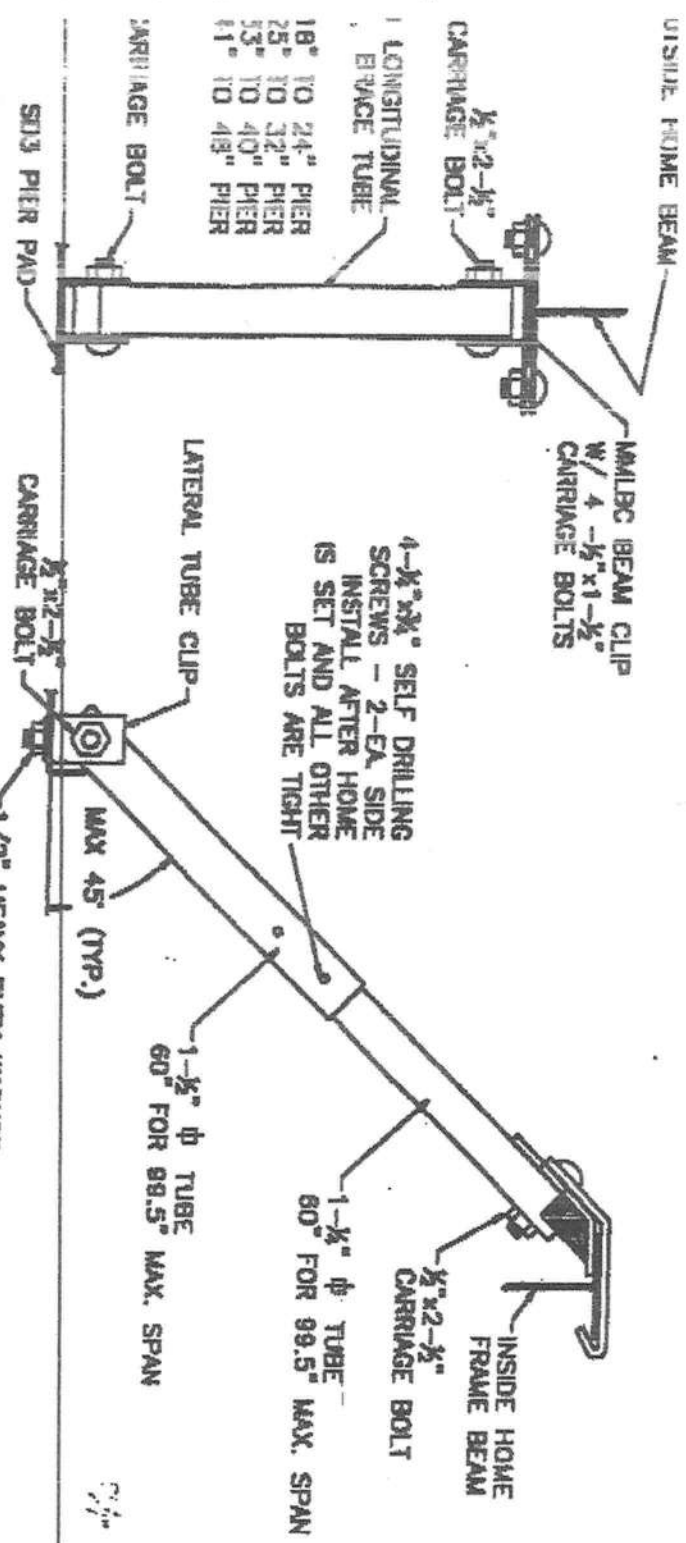
SINGLE AND DOUBLE WIDE
UP TO 32' WIDE AND 76' LONG
8 SYSTEMS
80' INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
8 SYSTEMS OVER 52' BOX/ 56' INCLUDING HITCH



FOR TRIPLE WIDE OR TAG UNITS-
6 SYSTEMS- UP TO
52' BOX/ 56' INCLUDING HITCH



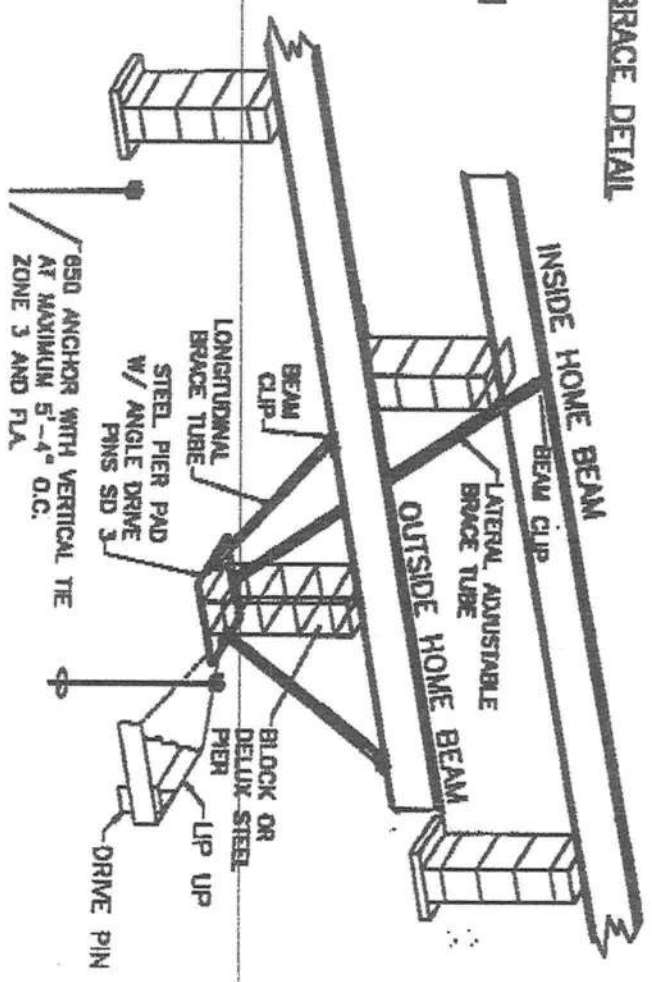
LONGITUDINAL BRACE DETAIL

LATERAL BRACE DETAIL

LONGITUDINAL & LATERAL BRACING SYSTEM
DETAIL ASSEMBLY DRAWING

UT 1/2" BOLTS ARE GRADE 5

ANCHORS
TO
RIE
5,
/02



SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1005-43CONTRACTOR STEVEN CoxPHONE 352-472-6562

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Kenneth Clark</u> License #: <u>/</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-7459</u>
MECHANICAL/ A/C	Print Name <u>Kenneth Clark</u> License #: <u>/</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-7459</u>
PLUMBING/ GAS	Print Name <u>Kenneth Clark</u> License #: <u>/</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-7459</u>
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Name: Kenneth & Anita Clark
Rt. 3, Box 254
Address: Lake City, Florida 32055

This Instrument Prepared By: Jack McCormack
Address: P. O. Box 1970, Chiefland, Florida 32644-1970

Property Appraisers Parcel Identification (Folio) Number(s): R-09553-018

Grantee(s) S.S. #(s):

Continental Payment Printing Co., Inc. 1987

96-0555

FILED AND RECORDED IN THE
RECORDS OF COLUMBIA COUNTY

1996 JUL 25 AM 11:58

REC'D
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY: [Signature]

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 14th day of JUNE A.D. 1996 by
SHARON YOUNG, P. O. Box 1970, Chiefland, Florida

hereinafter called the grantor, to KENNETH CLARK and ANITA CLARK, H/W

whose post office address is Rt. 3, Box 254, Lake City, Florida 32055

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Columbia County, State of Florida, viz: Parcel # R-09553-018

Commencing at the NW Corner of the NW 1/4 of the SE 1/4, Section 2, Township 6 South, Range 17 East, Columbia County, Florida, thence run S 2 deg. 46 min. E 210.0 feet to the center line of a 50 ft. road right-of-way; thence run N 88 deg. 3 min. E along the center line 1235 feet; thence S 2 deg. 47 min. E along the center line of another 50 ft. road right-of-way 210.0 feet to the Point of Beginning thence run S 88 deg. 3 min. W 395.0 feet; thence run S 2 deg. 46 min. E 210.0 feet thence run N 88 deg. 3 min. E 395.7 feet to the center line of the road thence run N 2 deg. 47 min. W up the center line 210 feet back to the Point of Beginning; Containing 2 acres more or less. Less and except a 25 foot strip along the East side of the Lot for road right-of-way Easement. Subject of outstanding oil, gas, and mineral rights of record.

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is fully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1996.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Signature: Jack McCormack

Printed Signature: Jack McCormack

Signature: Debbie G. Wilson

Printed Signature: Debbie G. Wilson

Signature: _____

Printed Signature: _____

Signature: _____

Printed Signature: _____

STATE OF Florida
COUNTY OF Levy

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared SHARON YOUNG

who executed the foregoing instrument and she acknowledged before me that she executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 14th day of JUNE A.D. 1996.

Affiant personally known to me - Debbie G. Wilson

NOTARY NOTARY SEAL
DEBBIE G. WILSON
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC370280
EXPIRATION DATE 12/31/98

Debbie G. Wilson

Printed Notary Signature

My Commission Expires: 6/2/98

Signature: Sharon Young

Printed Signature: Sharon Young

P. O. Box 1970, Chiefland, FL. 32644-1970

Post Office Address

Signature: _____

Printed Signature: _____

Post Office Address: _____

DOCUMENTARY STAMP \$5250
INTANGIBLE TAX
P. DEWITT CASON, CLERK OF
COURTS, COLUMBIA COUNTY
BY: [Signature]

Columbia County Property Appraiser

DB Last Updated: 3/29/2010

2009 Tax Roll Year

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

Parcel: 02-6S-17-09553-010

<< Next Lower Parcel

Next Higher Parcel >>

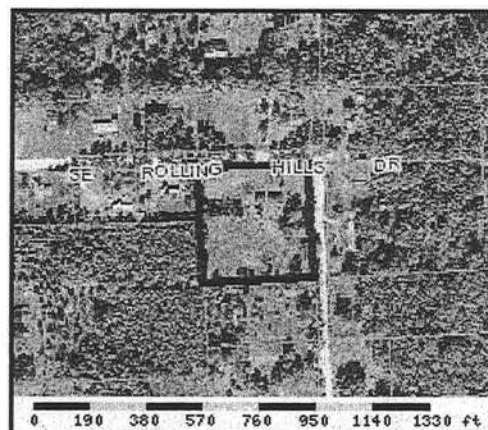
<< Prev

Search Result: 5 of 8

Next >>

Owner & Property Info

Owner's Name	CLARK KENNETH ROY & ANITA		
Mailing Address	602 SE ROLLING HILLS DR LAKE CITY, FL 32055		
Site Address	602 SE ROLLING HILLS DR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	2617
Land Area	3.800 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. BEG 210 FT S & 840 FT E OF NW COR OF SE1/4, RUN E 420 FT, S 210 FT, W 420 FT, N 210 FT TO POB. (AKA LOT 10 ROLLING GREEN HILLS S/D UNREC) ALSO COMM NW COR OF NW1/4 OF SE1/4, RUN S 210 FT TO C/L OF 50 FT RD, RUN E ALONG C/L 1235 FT, S 210 FT FOR POB, RUN W 395 FT, S 210 FT, E 395.7 FT TO C/L OF RD, N 210 FT TO POB, EX A 25 FT STRIP ON E SIDE FOR RD R/W. (AKA LOT 11 ROLLING HILLS S/D UNREC). ORB 40 ...more>>>		



Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$32,165.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$56,900.00
XFOB Value	cnt: (4)	\$2,800.00
Total Appraised Value		\$91,865.00
Just Value		\$91,865.00
Class Value		\$0.00
Assessed Value		\$63,491.00
Exempt Value	(code: HX)	\$38,491.00
Total Taxable Value	Cnty: \$25,000 Other: \$25,000 Schl:	\$38,491

2010 Working Values

NOTE:

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
6/14/1996	825/1463	WD	V	U	34	\$7,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1992	CEDAR (12)	1152	1152	\$55,052.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0070	CARPORT UF	1993	\$800.00	0000001.000	0 x 0 x 0	(000.00)
0296	SHED METAL	0	\$500.00	0000001.000	0 x 0 x 0	(000.00)

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 4/30/2010 DATE ISSUED: 5/3/2010

ENHANCED 9-1-1 ADDRESS:

604 SE ROLLING HILLS DR

LAKE CITY FL 32025

PROPERTY APPRAISER PARCEL NUMBER:

02-6S-17-09553-010

Remarks:

LOT 11 ROLLING HILLS S/D UNREC, 2ND LOC

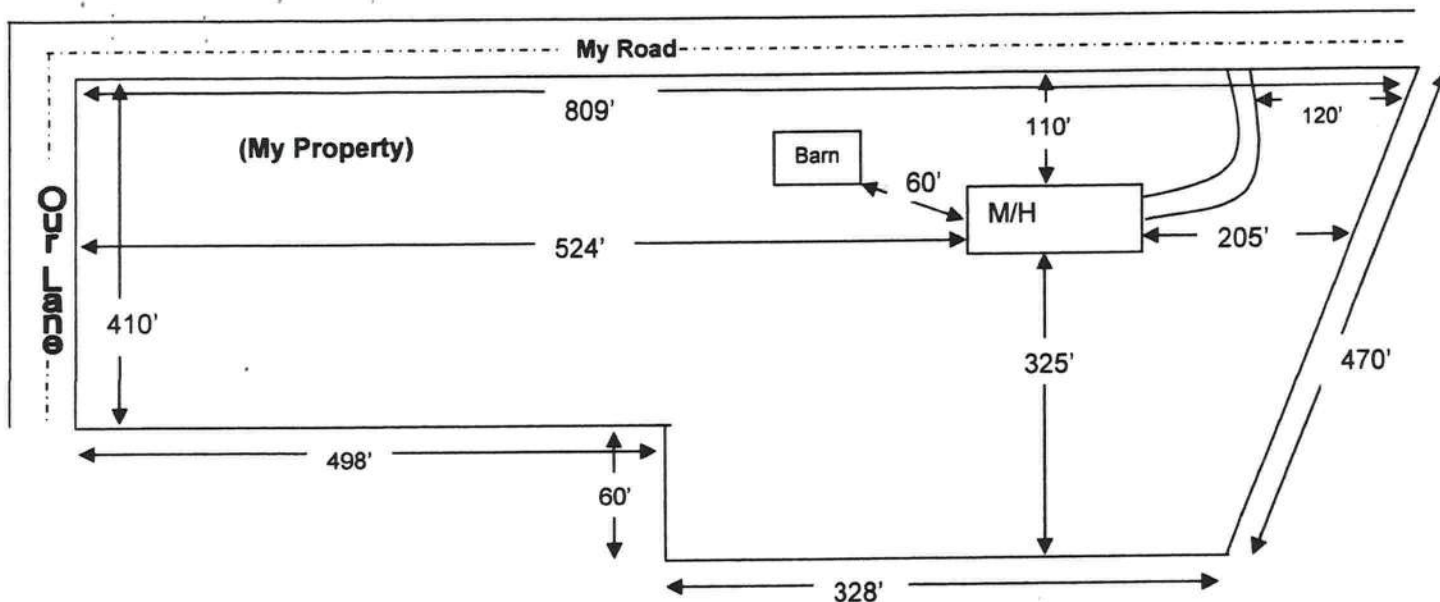
Address Issued By:



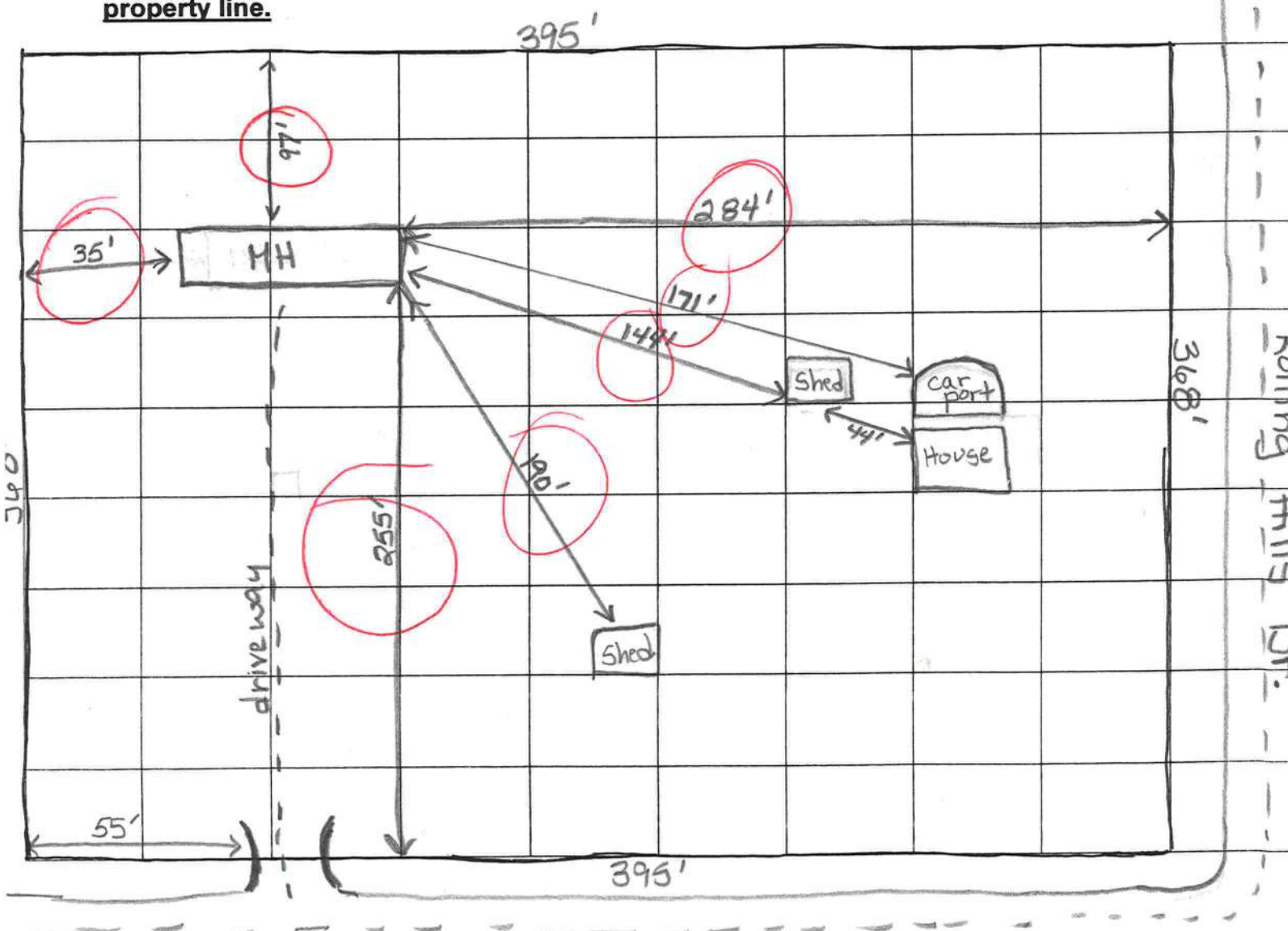
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them, Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
APPLICATION

Permit No. STUP - 1005-12 Date May 20, 2010

Fee \$450.00 Receipt No. 4062 Building Permit No. _____

Name of Title Holder(s) Kenneth and Anita Clark

Address 602 SE Rolling Hills Dr City Lake City

Zip Code 32055

Phone (386) 752-6905

NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator MUST be attached to this application at the time of submittal stating such appointment.

~~Title Holder(s)~~ Representative Agent(s) Kenny A. Clark or Judy A. Clark

Address 487 SE Deer St City Lake City

Zip Code 32025

Phone (386) 623-7659

Paragraph Number Applying for # 7

Proposed Temporary Use of Property Mobile Home for child (daughter)
IN-LAW

Proposed Duration of Temporary Use 5 yrs

Tax Parcel ID# 02-68-17-09553-010

Size of Property 3.8 acres

Present Land Use Classification A-3

Present Zoning District A-3

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or travel trailers used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or travel trailers used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.
7. In agricultural districts: In addition to the principal residential dwelling, two (2) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements. A temporary use permit for such mobile homes may be granted for a time period up to five (5) years. The permit is valid for occupancy of the specified family member as indicated on Family Relationship Affidavit and Agreement which shall be recorded in the Clerk of the Courts by the applicant.

The Family Relationship Affidavit and Agreement shall include but not be limited to:

- a. Specify the family member to reside in the additional mobile home;
- b. Length of time permit is valid;

- c. Site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building;
- d. Responsibility for non ad-valorem assessments;
- e. Inspection with right of entry onto the property by the County to verify compliance with this section. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section and;
- f. Shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
- g. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
- h. Requirements upon expiration of permit. Unless extended as herein provided, once a permit expires the mobile home shall be removed from the property within six (6) months of the date of expiration.

The property owner may apply for one or more extensions for up to two (2) years by submitting a new application, appropriate fees and family relationship residence affidavit agreement to be approved by the Land Development Regulations Administrator.

Previously approved temporary use permits would be eligible for extensions as amended in this section.

- 8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.
- 9. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.

- c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.

Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.

Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

Anita Clark, Kenneth Clark
Applicants Name (Print or Type)

Anita Clark
Applicant Signature

Kenneth Clark

5/19/10
Date

Approved X BZK 20.05.10 **OFFICIAL USE**

Denied _____

Reason for Denial _____

Conditions (if any) _____

AFFIDAVIT AND AGREEMENT OF SPECIAL
TEMPORARY USE FOR IMMEDIATE
FAMILY MEMBERS FOR
PRIMARY RESIDENCE

STATE OF FLORIDA
COUNTY OF COLUMBIA

Inst 201012008011 Date 5/20/2010 Time 9:04 AM
DC P DeWitt Cason Columbia County Page 1 of 2 B 1194 P 1930

BEFORE ME the undersigned Notary Public personally appeared.

Kenneth & Anita Clark, the Owner of the parcel which is being used to place an additional dwelling (mobile home) as a primary residence for a family member of the Owner, and Kenneth & Judy Clark, the Family Member of the Owner, who intends to place a mobile home as the family member's primary residence as a temporarily use. The Family Member is related to the Owner as child Son +, and both individuals being first duly sworn according to law, depose and say: Daughter-IN-LAW

1. Family member is defined as parent, grandparent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
2. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit and Agreement.
3. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference with the Columbia County Property Appraiser Tax Parcel No. 02-65-17-09553-010.
4. No person or entity other than the Owner claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
5. This Affidavit and Agreement is made for the specific purpose of inducing Columbia County to issue a Special Temporary Use Permit for a Family Member on the parcel per the Columbia County Land Development Regulations. This Special Temporary Use Permit is valid for 5 year(s) as of date of issuance of the mobile home move-on permit, then the Family Member shall comply with the Columbia County Land Development Regulations as amended.
6. This Special Temporary Use Permit on Parcel No. 02-65-17-09553-010 is a "one time only" provision and becomes null and void if used by any other family member or person other than the named Family Member listed above. The Special Temporary Use Permit is to allow the named Family Member above to place a mobile home on the property for his primary residence only. In addition, if the Family Member listed above moves away, the mobile home shall be removed from the property within 60 days of the Family Member departure or the mobile home is found to be in violation of the Columbia County Land Development Regulations.
7. The site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building.
8. The parent parcel owner shall be responsible for non ad-valorem assessments.

9. Inspection with right of entry onto the property, but not into the mobile home by the County to verify compliance with this section shall be permitted by owner and family member. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section.
10. The mobile home shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
11. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
12. Upon expiration of permit, the mobile home shall be removed from the property within six (6) months of the date of expiration, unless extended as herein provided by Section 14.10.2 (#7).
13. This Affidavit and Agreement is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the facts represented by us in this Affidavit are true and correct and we accept the terms of the Agreement and agree to comply with it.

Anita Clark, Kenneth Clark
Owner

Judy Clark, Kenneth Clark
Family Member

Anita Clark, Kenneth Clark
Typed or Printed Name

Judy Clark, Kenneth Clark
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 19 day of May, 20 10, by Anita Clark, Kenneth Clark (Owner) who is personally known to me or has produced FLC 462-013-63-528-0 (FLC 462-516-63-347-0) as identification.

Vicki G. Wilson
Notary Public



Subscribed and sworn to (or affirmed) before me this 19 day of May, 20 10, by Judy Clark (Family Member) who is personally known to me or has produced FLC 462-421-75-551-0 as identification. FLC 462-501-83-268-0

Vicki G. Wilson
Notary Public

COLUMBIA COUNTY, FLORIDA

By: Brian L. Kerner
Name: BRIAN L. KERNER
Title: LAND DEVELOPMENT REGULATION ADMINISTRATOR

Kirk Neville - landowner

CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORTPlease
Go After
3:30 pmDATE RECEIVED 4/30/10 BY G IS THE MH ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NoOWNERS NAME Judy Clark (sister) PHONE CELL 023-4505ADDRESS Deer St.MOBILE HOME PARK SUBC VISION DRIVING DIRECTIONS TO MOBILE HOME SR 100, TR Pernds Hammock,
TR Deer St, 6th on right, across from
open field.MOBILE HOME INSTALLER Steven Cox PHONE CELL

MOBILE HOME INFORMATION

MAKE Fleetwood YEAR 1998 SIZE 16 x 80 COLOR BeigeSERIAL No. GAFLW75A32751WIND ZONE II Must be wind zone II or higher NC WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

\$50.00

☒ SMOKE DETECTOR ☐ OPERATIONAL ☐ MISSINGDate of Payment: 4/30/10☒ FLOORS ☐ SOLID ☐ WEAK ☐ HOLES DAMAGED LOCATION Paid By: Judy Clark☒ DOORS ☐ OPERABLE ☐ DAMAGEDNotes: NO APP.☒ WALLS ☐ SOLID ☐ STRUCTURALLY UNSOUNDSubmitted☒ WINDOWS ☐ OPERABLE ☐ INOPERABLE☒ PLUMBING FIXTURES ☐ OPERABLE ☐ INOPERABLE ☐ MISSING☒ CEILING ☐ SOLID ☐ HOLES ☐ LEAKS APPARENT☒ ELECTRICAL (FIXTURES/OUTLETS) ☐ OPERABLE ☐ EXPOSED WIRING ☐ OUTLET COVERS MISSING ☐ LIGHT
FIXTURES MISSING

EXTERIOR:

☒ WALLS / SIDING ☐ LOOSE SIDING ☐ STRUCTURALLY UNSOUND ☐ NOT WEATHERTIGHT ☐ NEEDS CLEANING☒ WINDOWS ☐ CRACKED / BROKEN GLASS ☐ SCREENS MISSING ☐ WEATHERTIGHT☒ ROOF ☐ APPEARS SOLID ☐ DAMAGED

STATUS

APPROVED ☒ WITH CONDITIONS: NOT APPROVED NEED RE-INSPECTION FOR FOLLOWING CONDITIONS SIGNATURE Scott S. PaulID NUMBER 402 DATE 5-3-10



STATE OF FLORIDA
DEPARTMENT OF HEALTH

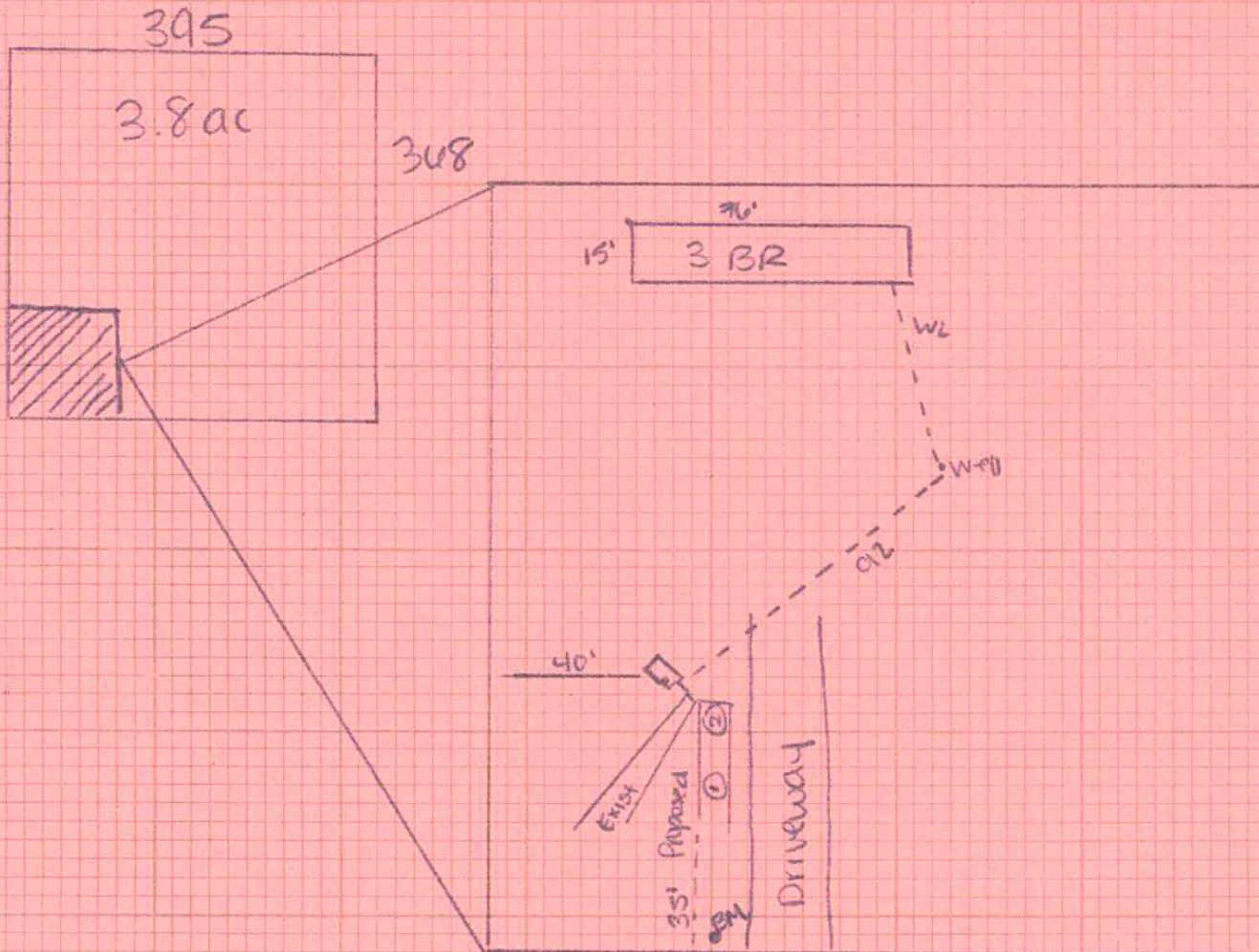
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 10-227-M

#28587

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



1 ac of 3.8

Notes: _____

Site Plan submitted by: J. Clavel Signature

Plan Approved ☒ Not Approved _____

By Sabri Ford - EH Director County Health Department

Agent Title
Date 6-2-10

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT