

DATE 08/25/2004

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022237

APPLICANT SAMMY KEEN

PHONE 961-1725

ADDRESS 764 SW RIVERSIDE AVE

FT. WHITE

FL 32038

OWNER ROBERT & BILLY JANE KLUG

PHONE 497-3123

ADDRESS 218 SW LIBERTY GLEN

FT. WHITE

FL 32038

CONTRACTOR SLK CONSTRUCTION

PHONE

LOCATION OF PROPERTY 47S, TR ON CR238, TL ON CENTERVILLE, TR ON LIBERTY GLEN RD,

LAST LOT ON LEFT, WITH BARN

TYPE DEVELOPMENT AG

ESTIMATED COST OF CONSTRUCTION 76250.00

HEATED FLOOR AREA 1525.00

TOTAL AREA 2325.00

HEIGHT .00 STORIES 1

FOUNDATION CONC

WALLS FRAMED

ROOF PITCH 6/12

FLOOR SLAB

LAND USE & ZONING A-3

MAX. HEIGHT 21

Minimum Set Back Requirments: STREET-FRONT 30.00

REAR 25.00 SIDE 25.00

NO. EX.D.U. 0

FLOOD ZONE X

DEVELOPMENT PERMIT NO.

PARCEL ID 20-6S-16-03890-004

SUBDIVISION

LOT

BLOCK

PHASE

UNIT

TOTAL ACRES 5.10

CBC050690

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

04-0830-N

BK

RJ

Y

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 7313

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

date/app. by

Pool

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$ 385.00

CERTIFICATION FEE \$ 11.63

SURCHARGE FEE \$ 11.63

MISC. FEES \$.00

ZONING CERT. FEE \$ 50.00

FIRE FEE \$

WASTE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

TOTAL FEE 458.26

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 048-25 Date Received 8/4/04 By JW Permit # 22237
 Application Approved by - Zoning Official LH Date 8-25-04 Plans Examiner RJ Date 8-25-04
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
 Comments *NOC NEEDED - N/A Plan for E. N. N. N. N.

Applicants Name SLK Construction Inc. Phone 386-961-1725
 Address 764 SW Riverside Ave Ft White FL 32038
 Owners Name Robert + Billie Jane Klug. Phone 386 497-3123
 911 Address 218 Liberty Glen SW Ft White FL 32038
 Contractors Name SLK Construction Inc. Phone 386-961-1725
 Address 764 SW Riverside Ave Ft White FL 32038
 Fee Simple Owner Name & Address Marloue + Ivey
 Bonding Co. Name & Address none
 Architect/Engineer Name & Address Mark Dissway P.E. POB 868 Lake City FL 32056
 Mortgage Lenders Name & Address Marloue + Ivey

Property ID Number 20 65-16-03890-004 Estimated Cost of Construction 145000.00
 Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions 47 South to CR 238 Right to Centerville Left to
Liberty Glen Rd. Right down to last lot on left. with Barn.

Type of Construction New Home Number of Existing Dwellings on Property 0
 Total Acreage 5.10 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 185' Side 200' Side 420' Rear 100'
 Total Building Height 21'5" Number of Stories 1 Heated Floor Area 1525 Roof Pitch 3/12 / 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

SLK Construction Inc. Aug 2 2004 SLK Construction Inc.
 Owner Builder or Agent (Including Contractor) Contractor Signature

STATE OF FLORIDA
 COUNTY OF COLUMBIA



Sworn to (or affirmed) and subscribed before me
 this 4th day of August 20 04.
 Personally known ✓ or Produced Identification _____

NOTARY STAMP/SEAL

Mildred J. King
 Notary Signature

Contractors License Number CB050690
 Competency Card Number 102-000054



DEPARTMENT OF HEALTH

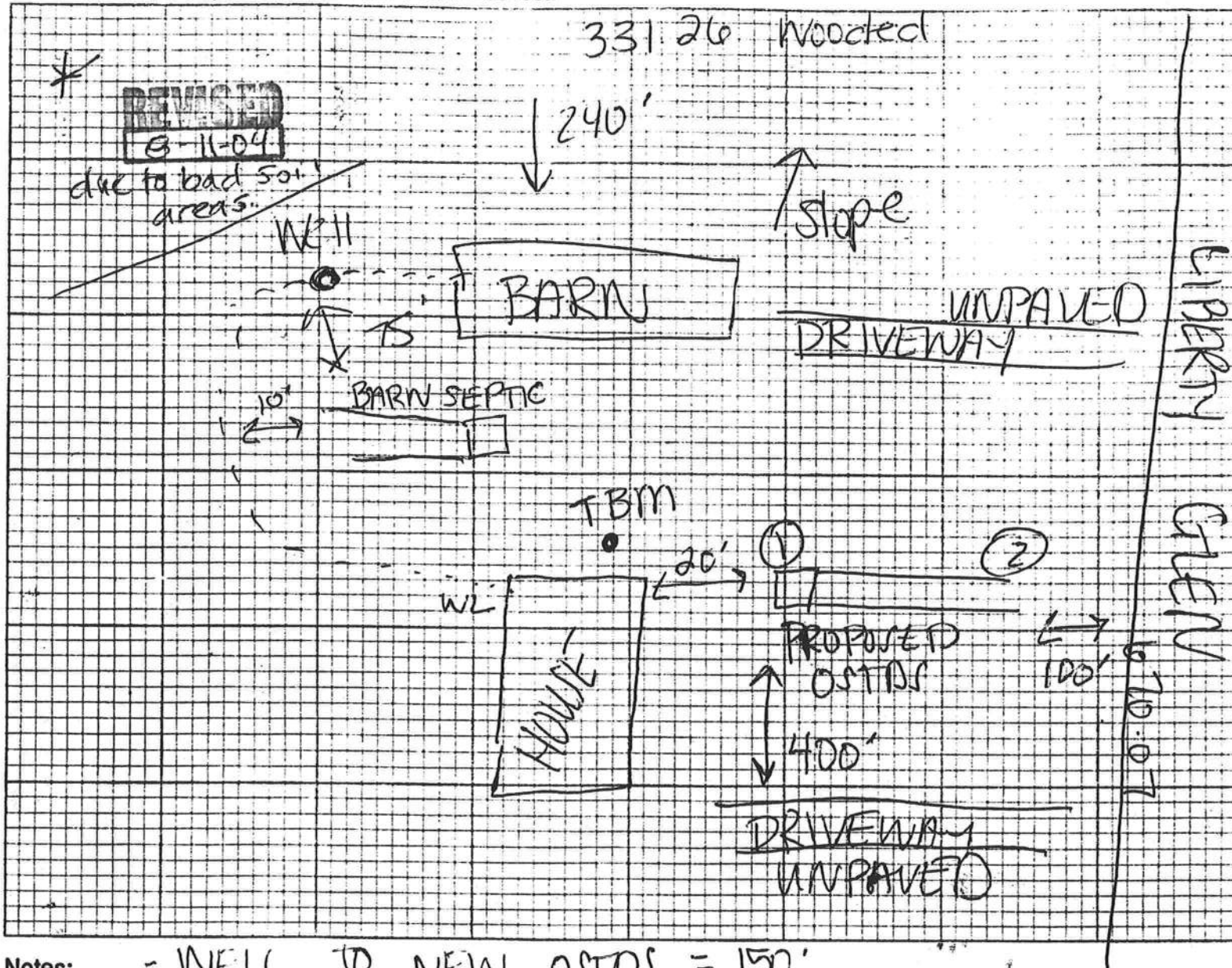
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

SLK Const. / Chug Permit

Permit Application Number 04-0030-N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: - WELL TO NEW OSTDS = 150'
- WATERLINE TO NEW OSTDS = 50'

Site Plan submitted by:

Plan Approved ☒

By

Salhi A. Maddy, ESI, COLUMBIA

Signature

Not Approved

Agent

Title

Date

8-4-04

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Home

Property Search

Agriculture Classification

Amendment 10

Exemptions

Tangible Property Tax

Tax Rates

Report & Map Pricing

Important Dates

Office Directory

E-mail us Comments

Parcel ID: 20-6S-16-03890-004

Columbia County Property Appraiser

Owner & Property Info

Owner's Name	KLUG ROBERT MICHAEL & BILLIE J
Site Address	
Mailing Address	37 CITRUS DRIVE PALM HARBOR, FL 34684
Brief Legal	W1/2 OF S1/2 OF S1/2 OF NE1/4 OF NE1/4: MORE PARTICULARLY DESC: COMM SE COR OF NE1/4 OF

Show **Tax Info** | **GIS Map** |
Property Card

Use Desc. (code)	NO AG ACRE (009900)
Neighborhood	20616.00
Tax District	3
UD Codes	
Market Area	02
Total Land Area	5.090 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$20,360.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$20,360.00

Just Value	\$20,360.00
Class Value	\$0.00
Assessed Value	\$20,360.00
Exempt Value	\$0.00
Total Taxable Value	\$20,360.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
9/24/2001	936/2011	WD	V	Q		\$27,000.00
2/20/2001	920/2164	WD	V	U	08	\$15,000.00
10/4/1999	890/2337	WD	V	U	02	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	5.090 AC	1.00/1.00/1.00/1.00	\$4,000.00	\$20,360.00

Columbia County Property Appraiser

DB Last Updated: 06/18/2003

1 of 1

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: cc911add@isgroup.net

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: July 23, 2003

ENHANCED 9-1-1 ADDRESS:

218 SW LIBERTY GLN (FORT WHITE, FL 32038)

Addressed Location 911 Phone Number: ~~NOT AVAILABLE~~ 386-497-3123

OCCUPANT NAME: ~~Not Avail.~~ Robert + Billy Jane Klug

OCCUPANT CURRENT MAILING ADDRESS: 218 SW Liberty Gln
Ft White FL 32038

PROPERTY APPRAISER MAP SHEET NUMBER: 30


PROPERTY APPRAISER PARCEL NUMBER: 20-6S-16-03890-004

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

ADDRESSING DEPARTMENT ID#: 10405
(Addressing Department Use Only, THIS IS NOT AN ADDRESS)

Remarks: _____

Address Issued By: 
Columbia County 9-1-1 Addressing Department

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 20 65 16-03890-004

1. Description of property: (legal description of the property and street address or 911 address)

218 S.W. Liberty Glen Ft. White FL 32038

20 65 16-03890-004

Inst: 2004019617 Date: 08/25/2004 Time: 13:38

SLK DC, P. DeWitt Cason, Columbia County B:1024 P:1181

2. General description of improvement: New Home

3. Owner Name & Address Robert Michael Klug or Billie Jane Klug

Interest in Property owner

4. Name & Address of Fee Simple Owner (if other than owner): None

5. Contractor Name SLK Construction Phone Number 386-961-1725

Address 764 SW Riverside Ave Ft White FL 32038

6. Surety Holders Name None

Phone Number

Address

Amount of Bond

7. Lender Name Mercantile Bank

Phone Number 813 287 8372

Address 7515 West University Ave GV FL 32607

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____ Phone Number _____

Address _____

9. In addition to himself/herself the owner designates SLK Construction Inc. of

_____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee 386-961-1725

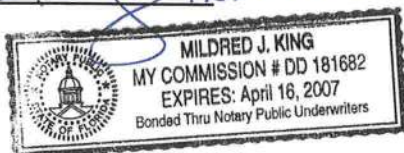
10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____)

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Billie Jane Klug FOL-K420-723-44-136-0

Billie Jane Klug = FOL-K420-070-46-594-0
Signature of Owner



Sworn to (or affirmed) and subscribed before
day of 25th Aug., 2004

NOTARY STAMP/SEAL

Mildred J. King
Signature of Notary

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **404283KlugRes.**
Address: **218 liberty Glen**
City, State: **Ft. White, FL 32038-**
Owner: **Mike & Janet Klug**
Climate Zone: **North**

Builder: **SLK**
Permitting Office:
Permit Number: **22237**
Jurisdiction Number: **221000**

- | | | |
|--|--------------------------------|-----------------------|
| 1. New construction or existing | New | ___ |
| 2. Single family or multi-family | Single family | ___ |
| 3. Number of units, if multi-family | 1 | ___ |
| 4. Number of Bedrooms | 3 | ___ |
| 5. Is this a worst case? | No | ___ |
| 6. Conditioned floor area (ft ²) | 1525 ft ² | ___ |
| 7. Glass area & type | Single Pane | Double Pane |
| a. Clear glass, default U-factor | 0.0 ft ² | 211.0 ft ² |
| b. Default tint | 0.0 ft ² | 0.0 ft ² |
| c. Labeled U or SHGC | 0.0 ft ² | 0.0 ft ² |
| 8. Floor types | | ___ |
| a. Slab-On-Grade Edge Insulation | R=0.0, 161.0(p) ft | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 9. Wall types | | ___ |
| a. Concrete, Int Insul, Exterior | R=3.0, 1194.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| d. N/A | | ___ |
| e. N/A | | ___ |
| 10. Ceiling types | | ___ |
| a. Under Attic | R=30.0, 1601.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 11. Ducts | | ___ |
| a. Sup: Unc. Ret: Unc. AH: Interior | Sup. R=6.0, 150.0 ft | ___ |
| b. N/A | | ___ |

- | | |
|-------------------------|--|
| 12. Cooling systems | |
| a. Central Unit | Cap: 43.0 kBtu/hr
SEER: 12.20 |
| b. N/A | ___ |
| c. N/A | ___ |
| 13. Heating systems | |
| a. Electric Heat Pump | Cap: 43.0 kBtu/hr
HSPF: 7.70 |
| b. N/A | ___ |
| c. N/A | ___ |
| 14. Hot water systems | |
| a. Electric Resistance | Cap: 40.0 gallons
EF: 0.93 |
| b. N/A | ___ |
| c. Conservation credits | (HR-Heat recovery, Solar
DHP-Dedicated heat pump) |
| 15. HVAC credits | (CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating) |

Glass/Floor Area: 0.14

Total as-built points: 24309

Total base points: 24393

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Evan Beamsley

DATE: 5/3/04 *Evan Beamsley*

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

BASE				AS-BUILT								
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Type/SC Overhang Ornt Len Hgt Area X SPM X SOF = Points								
.18	1525.0	20.04	5501.0	Double, Clear	S	9.5	7.0	30.0	35.87	0.48	519.2	
				Double, Clear	S	9.5	8.5	30.0	35.87	0.50	542.1	
				Double, Clear	S	9.5	6.0	16.0	35.87	0.47	268.4	
				Double, Clear	W	1.5	10.0	16.0	38.52	0.98	603.4	
				Double, Clear	W	1.5	11.0	6.0	38.52	0.99	227.9	
				Double, Clear	W	1.5	13.0	15.0	38.52	0.99	574.8	
				Double, Clear	N	9.5	7.0	60.0	19.20	0.67	767.8	
				Double, Clear	E	1.5	11.0	30.0	42.06	0.99	1243.3	
				Double, Clear	E	1.5	12.0	8.0	42.06	0.99	333.5	
				As-Built Total:		211.0				5080.3		
WALL TYPES Area X BSPM = Points				Type		R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Concrete, Int Insul, Exterior			3.0	1194.0	1.30	1552.2		
Exterior	1194.0	1.70	2029.8									
Base Total:		1194.0	2029.8	As-Built Total:		1194.0				1552.2		
DOOR TYPES Area X BSPM = Points				Type		Area X SPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated				14.0	4.10	57.4		
Exterior	44.0	6.10	268.4	Exterior Insulated				10.0	4.10	41.0		
				Exterior Insulated				20.0	4.10	82.0		
Base Total:		44.0	268.4	As-Built Total:		44.0				180.4		
CEILING TYPES Area X BSPM = Points				Type		R-Value		Area X SPM X SCM = Points				
Under Attic	1525.0	1.73	2638.3	Under Attic			30.0	1601.0	1.73 X 1.00	2769.7		
Base Total:		1525.0	2638.3	As-Built Total:		1601.0				2769.7		
FLOOR TYPES Area X BSPM = Points				Type		R-Value		Area X SPM = Points				
Slab	161.0(p)	-37.0	-5957.0	Slab-On-Grade Edge Insulation			0.0	161.0(p)	-41.20	-6633.2		
Raised	0.0	0.00	0.0									
Base Total:		-5957.0		As-Built Total:		161.0				-6633.2		
INFILTRATION Area X BSPM = Points				Area X SPM = Points								
		1525.0	10.21					1525.0	10.21	15570.3		
		15570.3										

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

BASE				AS-BUILT									
Summer Base Points: 20050.7				Summer As-Built Points: 18519.7									
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Cooling Points
							(DM x DSM x AHU)						
20050.7		0.4266	8553.6	18519.7		1.000	(1.090 x 1.147 x 0.91)	0.280		1.000		5894.4	
				18519.7		1.00	1.138	0.280		1.000		5894.4	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	1525.0	12.74	3497.1	Double, Clear	S	9.5	7.0	30.0	13.30	3.17	1263.5
				Double, Clear	S	9.5	8.5	30.0	13.30	2.92	1166.1
				Double, Clear	S	9.5	6.0	16.0	13.30	3.34	710.2
				Double, Clear	W	1.5	10.0	16.0	20.73	1.01	333.6
				Double, Clear	W	1.5	11.0	6.0	20.73	1.00	124.9
				Double, Clear	W	1.5	13.0	15.0	20.73	1.00	311.5
				Double, Clear	N	9.5	7.0	60.0	24.58	1.02	1506.7
				Double, Clear	E	1.5	11.0	30.0	18.79	1.01	569.6
				Double, Clear	E	1.5	12.0	8.0	18.79	1.01	151.6
				As-Built Total:				211.0	6137.7		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Concrete, Int Insul, Exterior	3.0		1194.0	7.30		8716.2	
Exterior	1194.0	3.70	4417.8								
Base Total:				As-Built Total:		1194.0		8716.2			
DOOR TYPES Area X BWPM = Points				Type			Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Exterior Insulated			14.0	8.40		117.6	
Exterior	44.0	12.30	541.2	Exterior Insulated			10.0	8.40		84.0	
				Exterior Insulated			20.0	8.40		168.0	
Base Total:				As-Built Total:		44.0		369.6			
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	1525.0	2.05	3126.3	Under Attic	30.0		1601.0	2.05 X 1.00		3282.0	
Base Total:				As-Built Total:		1601.0		3282.0			
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	161.0(p)	8.9	1432.9	Slab-On-Grade Edge Insulation	0.0		161.0(p)	18.80		3026.8	
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:		161.0		3026.8			
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
1525.0 -0.59 -899.7				1525.0 -0.59 -899.7							

WINTER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

BASE				AS-BUILT									
Winter Base Points: 12115.5				Winter As-Built Points: 20632.6									
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	= Heating Points
12115.5		0.6274	7601.3	20632.6		1.000		(1.069 x 1.169 x 0.93)		0.443		1.000	10619.2
				20632.6		1.00		1.162		0.443		1.000	10619.2

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit = Total Multiplier
3		2746.00	8238.0	40.0	0.93	3		1.00	2598.37
				As-Built Total:					7795.1

CODE COMPLIANCE STATUS													
BASE					AS-BUILT								
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points
8554		7601		8238		24393	5894		10619		7795		24309

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 218 liberty Glen, Ft. White, FL, 32038-

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 83.2

The higher the score, the more efficient the home.

Mike & Janet Klug, 218 liberty Glen, Ft. White, FL, 32038-

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 43.0 kBtu/hr ___
3. Number of units, if multi-family	1	___		SEER: 12.20 ___
4. Number of Bedrooms	3	___	b. N/A	___
5. Is this a worst case?	No	___	c. N/A	___
6. Conditioned floor area (ft ²)	1525 ft ²	___		___
7. Glass area & type	Single Pane	Double Pane		___
a. Clear - single pane	0.0 ft ²	211.0 ft ²	13. Heating systems	
b. Clear - double pane	0.0 ft ²	0.0 ft ²	a. Electric Heat Pump	Cap: 43.0 kBtu/hr ___
c. Tint/other SHGC - single pane	0.0 ft ²	0.0 ft ²		HSPF: 7.70 ___
d. Tint/other SHGC - double pane			b. N/A	___
8. Floor types			c. N/A	___
a. Slab-On-Grade Edge Insulation	R=0.0, 161.0(p) ft	___		___
b. N/A		___	14. Hot water systems	
c. N/A		___	a. Electric Resistance	Cap: 40.0 gallons ___
9. Wall types				EF: 0.93 ___
a. Concrete, Int Insul, Exterior	R=3.0, 1194.0 ft ²	___	b. N/A	___
b. N/A		___	c. Conservation credits	___
c. N/A		___	(HR-Heat recovery, Solar	
d. N/A		___	DHP-Dedicated heat pump)	
e. N/A		___	15. HVAC credits	___
10. Ceiling types			(CF-Ceiling fan, CV-Cross ventilation,	
a. Under Attic	R=30.0, 1601.0 ft ²	___	HF-Whole house fan,	
b. N/A		___	PT-Programmable Thermostat,	
c. N/A		___	MZ-C-Multizone cooling,	
11. Ducts			MZ-H-Multizone heating)	
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 150.0 ft	___		
b. N/A		___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

EnergyGauge® (Version: FLRCSB v3.30)

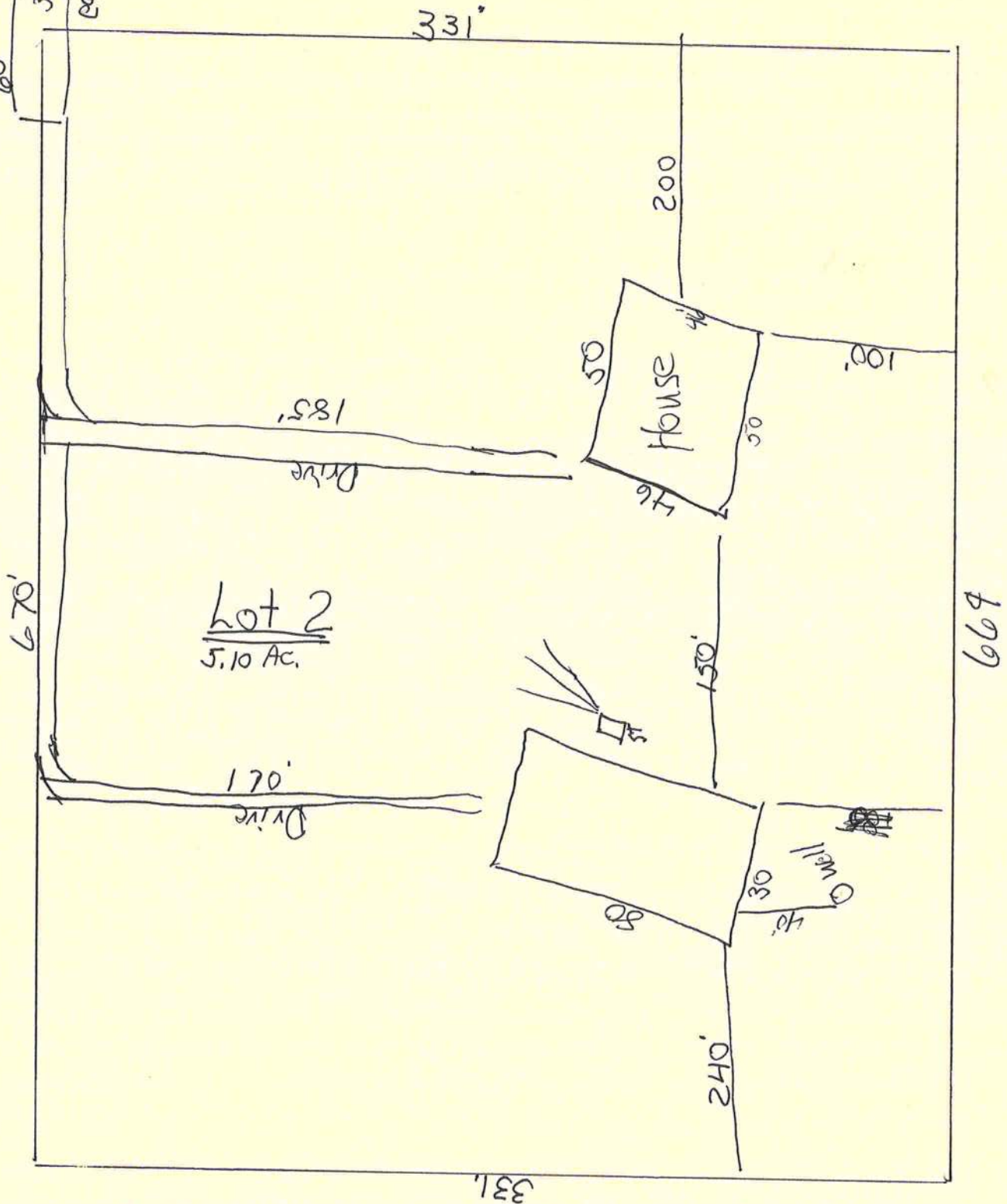


S.L.K. Construction, Inc.

CB-C050690

Commercial • Residential • Remodeling

Klug Job Site Plan.



COLUMBIA COUNTY ON OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 20-6S-16-03890-004

Building permit No. 000022237

Use Classification SFD, UTILITY

Fire: 28.35

Permit Holder SLK CONSTRUCTION

Waste: 61.25

Owner of Building ROBERT & BILLY JANE KLUG

Total: 89.60

Location: 218 SW LIBERTY GLEN, FT. WHITE, FL

Date: 04/20/2005



Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

Notice of Treatment

11223

Applicator Florida Pest Control & Chemical Co.

Address 536 SE BAY A DR.

City Lake City **Phone** (386) 752-1703

Site Location **Subdivision** _____

Lot# _____ **Block#** _____ **Permit#** 22237

Address 218 SW Liberty Gl. Fort White

AREAS TREATED

Area Treated	Date	Time	Gal.	Print Technician's
				Name
<u>Main Body</u>	<u>11-03-04</u>	<u>3:48</u>	<u>440</u>	<u>R.D. Crawford</u>
<u>Patio/s #</u>				
<u>Stoop/s #</u>				
<u>Porch/s #</u>				
<u>Brick Veneer</u>				
<u>Extension Walls</u>				
<u>A/C Pad</u>				
<u>Walk/s #</u>				
<u>Exterior of Foundation</u>				
<u>Driveway Apron</u>				
<u>Out Building</u>				
<u>Tub Trap/s</u>				
<u>(Other)</u>				

Name of Product Applied Dursban TC .05 %

Remarks _____