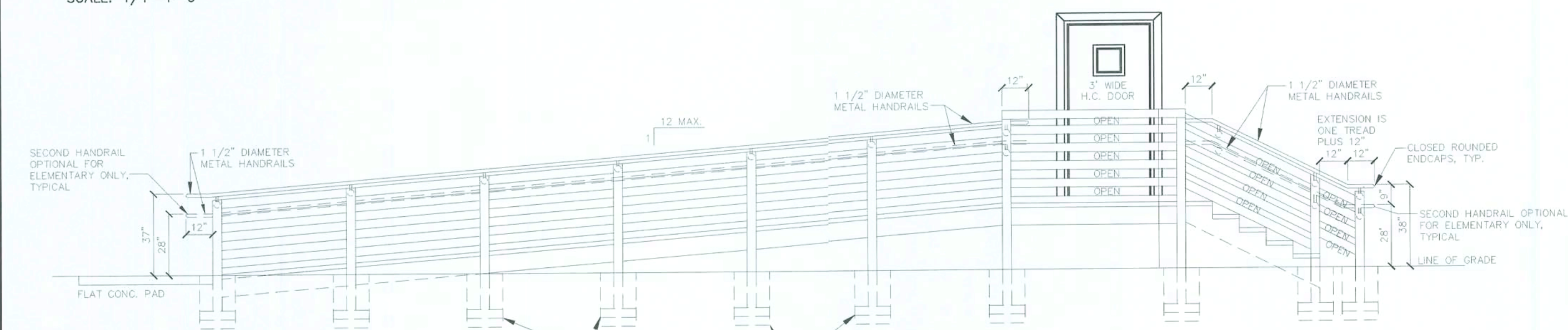


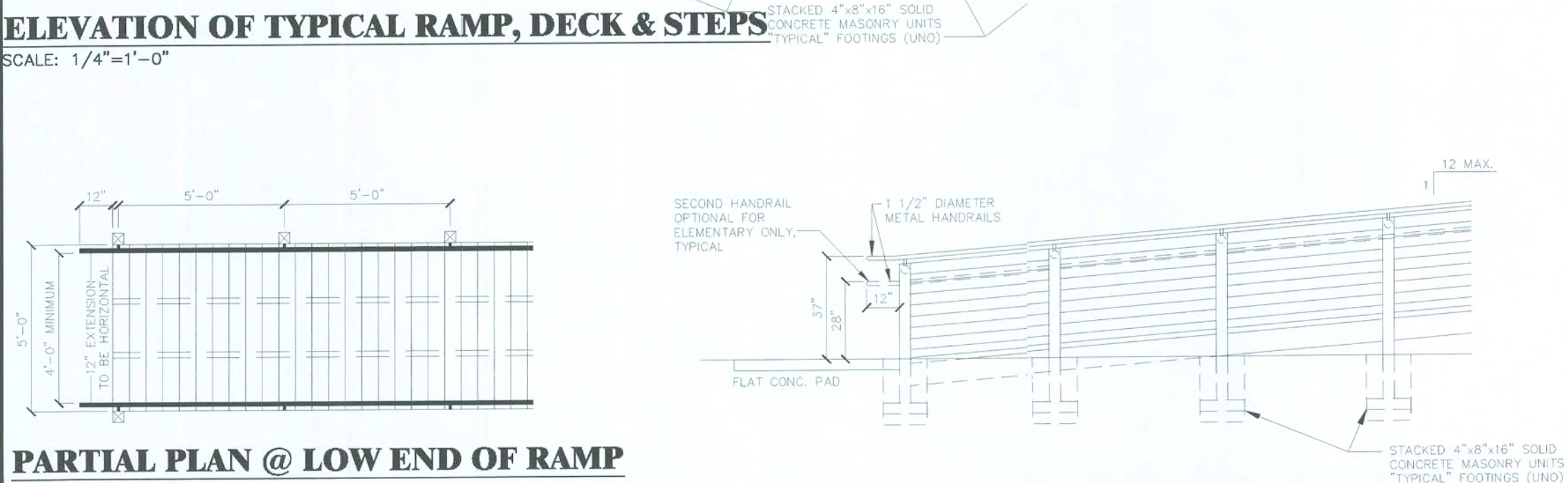
PLAN OF TYPICAL RAMP, DECK & STEPS

SCALE: 1/4"=1'-0"



ELEVATION OF TYPICAL RAMP, DECK & STEPS

SCALE: 1/4"=1'-0"



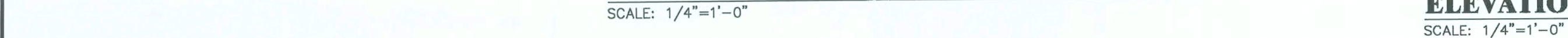
PARTIAL PLAN @ LOW END OF RAMP

SCALE: 1/4"=1'-0"



PARTIAL ELEVATION @ LOW END OF RAMP

SCALE: 1/4"=1'-0"



ELEVATION @ LOW END OF RAMP

SCALE: 1/4"=1'-0"



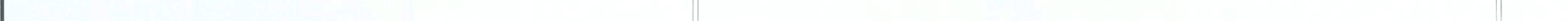
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PARTIAL PLAN

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PARTIAL PLAN

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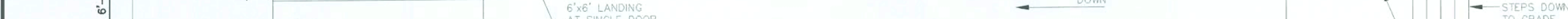
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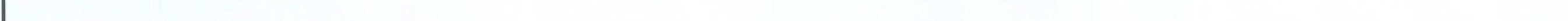
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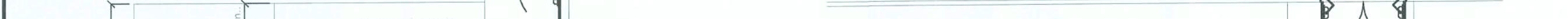
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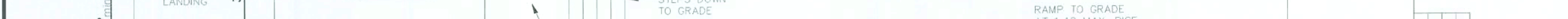
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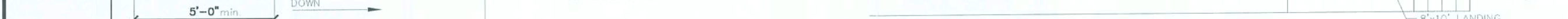
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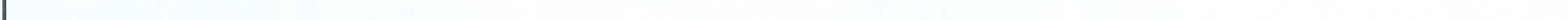
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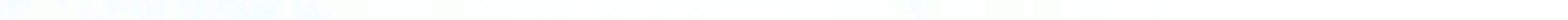
PARTIAL PLAN

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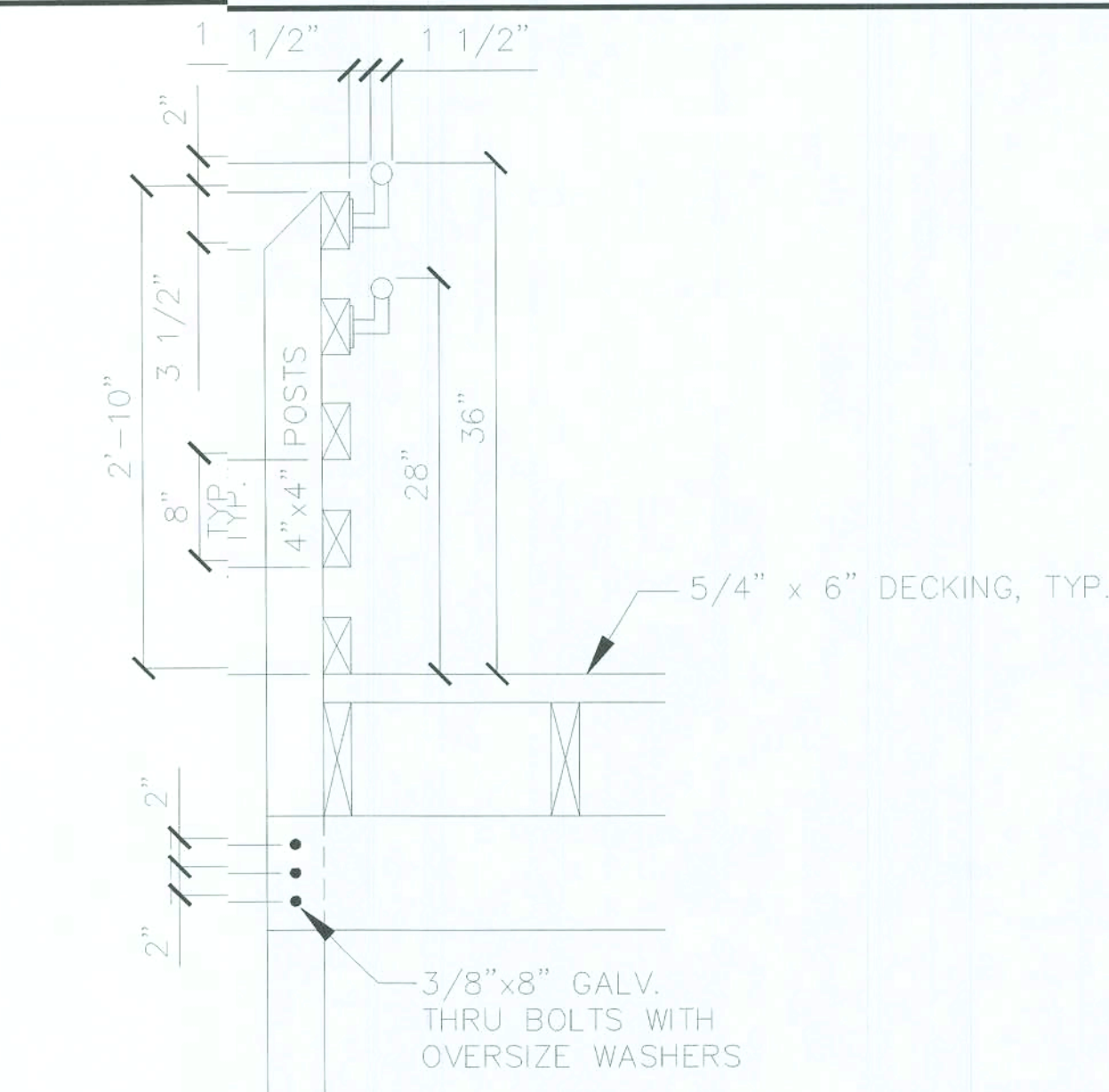
PARTIAL PLAN

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PARTIAL PLAN

SCALE: 1/4"=1'-0"



RAILING DETAIL

SCALE: 1/2"=1'-0"



RAILING DETAIL

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RAILING DETAIL

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GENERAL NOTES:

- ALL WOOD FRAMING AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE "NATIONAL SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS." STRUCTURAL WOOD MEMBERS SHALL CONFORM TO THE FOLLOWING FOR SPECIES:  
EXTERIOR USE - NO.2 SOUTHERN YELLOW PINE - TREATED FOR ON GRADE USE: (AWPA .40 RETENTION)
- ALL BOLTED CONNECTIONS ARE TO BE WITH A-325 HIGH STRENGTH BOLTS.
- DESIGN CRITERIA: 100 PSF LL.
- FOUNDATIONS DESIGNED WITH A PRESUMPTIVE BEARING CAPACITY OF 2000 P.S.F. IF EXISTING CONDITIONS MAKE IT NECESSARY TO REVISE STRUCTURAL DETAILS, ADVISE ARCHITECT BEFORE PRECEEDING WITH ANY CHANGE.
- REFER TO DRAWING NUMBER D2.01 FOR THE FOLLOWING:  
POST AND COLUMN LOCATIONS  
FLOOR DECK FRAMING SYSTEM  
LOCATION AND CONSTRUCTION OF RAMPS AND STEPS
- MATERIAL PROPERTIES:  
CONCRETE - NORMAL WEIGHT FC = 3000  
WOOD - #2 SOUTHERN YELLOW PINE  
USE TREATED WOOD BELOW CEILINGS
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND SHALL AT ALL TIMES TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF ITS EMPLOYEES ON THE PROJECT, AND SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF FEDERAL, STATE AND MUNICIPAL SAFETY LAWS AND BUILDING CONSTRUCTION CODES.
- THIS DRAWING SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH ARCHITECTURAL DRAWINGS AND OTHER CONTRACT DOCUMENTS.

STRUCTURAL DESIGN CRITERIA:

ROOF LIVE LOAD: 20 PSF  
FLOOR LIVE LOAD: 100 PSF  
FOOTING SIZE: 18" DIA X 2'-6" DEEP AT ROOF ASSEMBLIES  
DESIGN SHALL BE FOR 100 MPH WIND LOAD PER ASCE 7  
SEISMIC = ZONE 2, Av = 0.125, I=1.0  
CLASS D SEISMIC CONDITION - EXPOSURE GROUP C

LEGEND

BMS = BEAMS  
DBL = DOUBLE  
O.C. = ON CENTER  
P.T. = PRESSURE TREATED  
STRGS = STRINGERS  
TYP = TYPICAL  
U.O.N. = UNLESS OTHERWISE NOTED

FLORIDA FISH AND WILDLIFE  
OFFICE OF RECREATION SERVICES  
TALLAHASSEE, FL  
TYPICAL DECKS AND RAMP SYSTEM

Date: 09/22/08  
Salesperson: RANDY SWARTZ  
Scale: AS NOTED  
Building Number: FL FISH & WILDLIFE  
Engineering: CHR

1 OF 1

CORPORATE OFFICE  
100 Lindenwood Dr.  
Suite 200  
Valverme, PA 19355  
888-650-8742  
RANDY SWARTZ  
V.P. Major Projects Division  
Tallahassee, FL 32309  
(904) 833-0777 (FAX 833-0881)

VANGUARD  
MODULAR BUILDING SYSTEMS

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NOTE: THIS PAGE REPRESENTS TYPICAL CONSTRUCTION OF DECKS AND RAMPS. ALL CONSTRUCTION OF DECKS AND RAMPS WILL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES.

10/2/08



# FLORIDA FISH AND WILDLIFE REGIONAL OFFICE SITE PLAN — PHASE II

## NORTH CENTRAL COLUMBIA COUNTY LAKE CITY, FL.

GOVERNING STANDARDS AND SPECIFICATIONS:  
FLORIDA DEPARTMENT OF TRANSPORTATION,  
DESIGN STANDARDS DATED 2008,  
AND STANDARD SPECIFICATIONS FOR ROAD AND  
BRIDGE CONSTRUCTION DATED 2007,  
AS AMENDED BY CONTRACT DOCUMENTS.

### SCOPE OF WORK

PROVIDE ALL NECESSARY MATERIALS, EQUIPMENT, SKILLED  
LABOR, AND SUPERVISION TO CONSTRUCT A GRAVEL ENTRY  
ROAD, GRAVEL PARKING, ADA CONCRETE PARKING,  
CONCRETE SIDEWALK, GRAVEL SIDEWALK, ADARAMP,  
DECKS, SOD AND ALL UTILITIES (SEWER, WATER,  
ELECTRICAL, GAS, TELEPHONE, INTERNET), MANUFACTURED  
BUILDING, INCLUDING GRADING AND ALL ASSOCIATED SITE  
WORK.

#### Additional Item #1:

Item 1.1 Optional Frame

Item 1.2 Optional Joists

Item 1.3 Optional Footer for Foundation Design

#### Additional Item #2:

Item 2.1 Optional Interior Ceiling

Item 2.2 Optional Interior Doors

Item 2.3 Optional Exterior Wall Siding (to include matching skirting)

#### Additional Item #3:

Item 3.1 Optional Roof Mansard

#### Additional Item #4:

Item 4.1 Optional Exterior Doors

Item 4.2 Optional Windows

Item 4.3 Optional Communications Outlets

Item 4.4 Optional Floor decking

#### Additional Item #5:

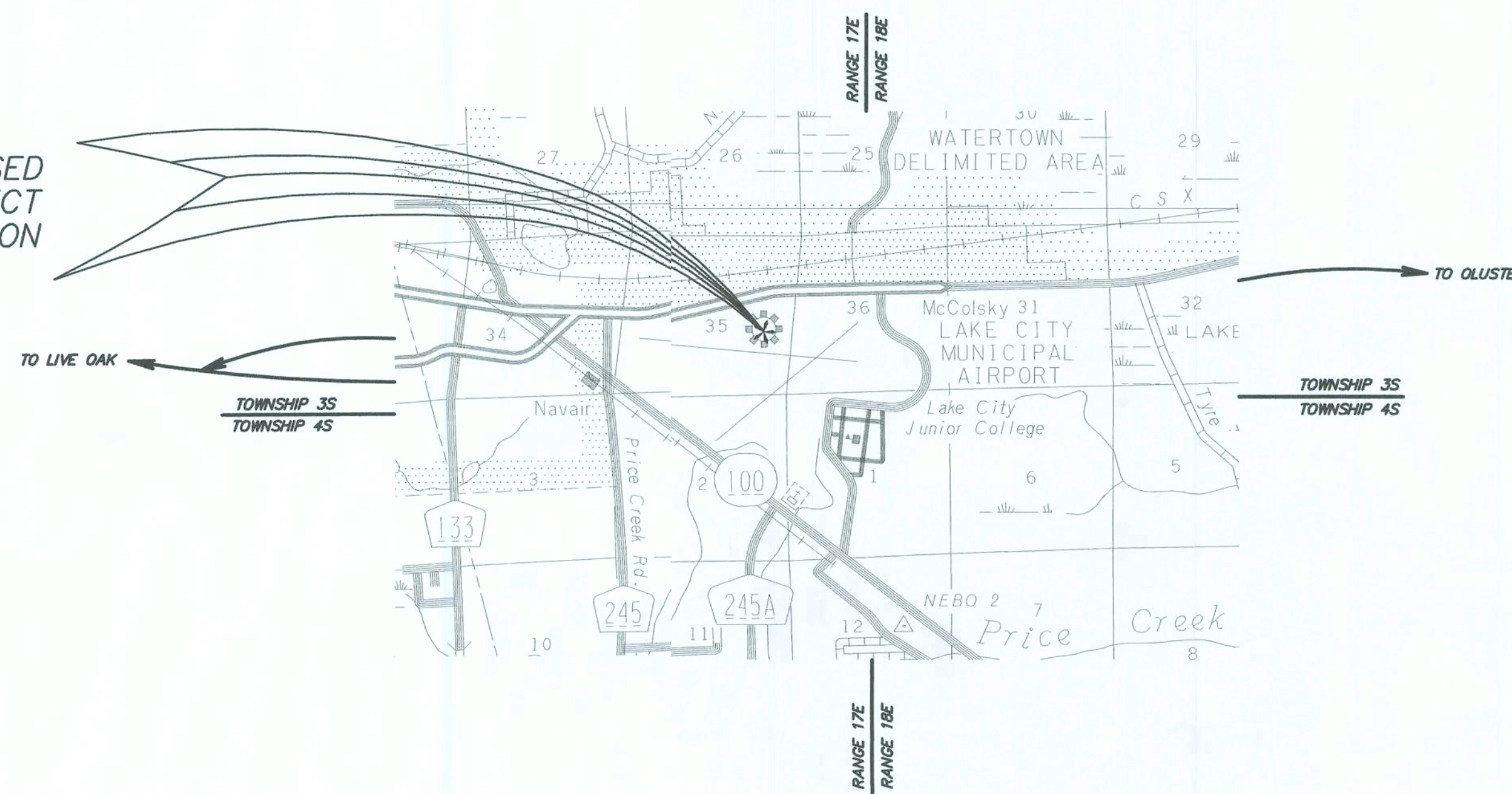
Item 5.1 Optional Exterior Wall Studs

#### Additional Item #6:

Item 6.1 Optional Electric Switches

Item 6.2 Optional HVAC

PROPOSED  
PROJECT  
LOCATION

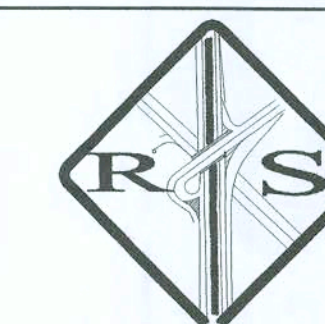


PROPOSED  
PROJECT  
LOCATION

### INDEX OF DRAWINGS

- G100 COVER SHEET
- G101 GENERAL NOTES
- C100 EXISTING CONDITIONS
- C101 EROSION CONTROL, DEMOLITION PLAN AND STORMWATER POLLUTION PREVENTION PLAN AND DETAILS.
- C102 TYPICAL ROADWAY/ PARKING SECTION
- C103 PROPOSED SITE LAYOUT AND GRADING PLAN (SCOPE OF WORK)
- C104 UTILITY LAYOUT
- C105 PROFILE AND CROSS SECTIONS (SCOPE OF WORK)
- C106 MISC. DETAILS
- C107 UTILITY DETAILS
- \*A101 EXTERIOR BUILDING ELEVATIONS AND MATERIAL SCHEDULE
- \*A102 BUILDING CROSS SECTION AND DETAILS
- \*A103 ELECTRICAL PLAN
- \*A104 FLOOR PLAN AND DETAILS
- \*A105 FOUNDATION PLANS

\* NOT INCLUDED IN THIS SUBMITTAL



**REGISTE, SLIGER ENGINEERING, INC.**  
CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
1427 N. Bronough Street - Tallahassee, FL 32303  
PHONE: (850) 894-4521 - FAX: (850) 224-0505

**JOHN F. SLIGER II**

DESIGNER

**P.E. # 55550**

**MAY 15, 2008**

INITIAL ISSUE DATE

**AUG. 19, 2008**

LATEST REVISION DATE



*[Signature]*  
30 OCT 08

REGIONAL OFFICE SITE PLAN  
PHASE II



GENERAL NOTES:

1. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH ALL F.W.C. REQUIREMENTS, AASHTO STANDARDS AND SPECIFICATIONS, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND ROADWAY DESIGN STANDARDS (CURRENT EDITION). ALL TESTING SHALL BE PAID FOR BY THE CONTRACTOR AND RESULTS PROVIDED TO THE OWNER.
2. CONTRACTOR SHALL COORDINATE ALL WORK WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES LOCATED WITHIN OR ADJACENT TO THE PROJECT AND THE MAKING OF ADJUSTMENTS TO SAME, IF THEY ARE REQUIRED.
3. CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL (NO CUTS) AT 1-800-4324770 2 BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL PUBLIC LAND CORNERS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED, AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHOUT DELAY. ANY MONUMENT OTHERWISE DESTROYED, DURING CONSTRUCTION WILL BE RESET BY A FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
5. STAKED HAY BALES AND SILT FENCE ARE REQUIRED FOR THE PREVENTION, CONTROL, AND ABATEMENT OF EROSION AND WATER POLLUTION AND ARE TO BE USED AT LOCATIONS DEEMED NECESSARY BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER. THESE LOCATIONS ARE IN ADDITION TO THE LOCATIONS SHOWN ON THE PLANS WHICH ARE CONSIDERED MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL STATE AND LOCAL POLLUTION CONTROL CRITERIA ARE MET. ALL PENALTIES AND FINES INCURRED DURING CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL UTILITIES INFORMATION WAS SUPPLIED BY LAKE CITY REGIONAL UTILITIES. EXACT LOCATION OF EACH UTILITY SHALL BE DETERMINED IN THE FIELD AND/OR MARKED PRIOR TO CONSTRUCTION TO AVOID DAMAGE.
7. TOPOGRAPHIC SURVEY AND HORIZONTAL CONTROL PROVIDED BY BAILEY BISHOP & LANE, INC. AT 1-386-752-5640.
8. STATIONS AND OFFSETS ARE REFERENCED FROM THE CENTERLINE OF CONSTRUCTION.
9. CENTERLINE OF CONSTRUCTION IS CENTERLINE OF ROADWAY.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL WORK UNDER IMPROVEMENT, AT HIS COST, UNTIL SUCH TIME AS THE OWNER ISSUES A CERTIFICATE OF SUBSTANTIAL COMPLETION.
11. APPROXIMATE 100 YEAR FLOOD ELEVATION = (NO BASE FLOOD ELEVATIONS DETERMINED).
12. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
13. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF POND (S), UTILITY STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
14. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND CLEARED TREES FROM SITE AND DISPOSE OF IN A LEGAL MANNER. BURNING SHALL NOT BE ALLOWED.
15. ALL ASPECTS OF THE STORMWATER COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
16. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH F.W.C. AND COLUMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
17. ALL SOD AND SEED SHALL BE BAHIA.

MAINTENANCE OF TRAFFIC GENERAL NOTES:

1. DURING NON-WORK HOURS, NO EQUIPMENT, VEHICLES OR MATERIAL SHALL BE STORED WITHIN THE EXISTING ROADWAY OR PARKING AREAS. ALL STORAGE AND/OR STAGING AREAS USED SHALL BE APPROVED BY F.W.C.

SEQUENCE OF CONSTRUCTION

1. INSTALL SEDIMENT AND EROSION CONTROL
2. CLEAR AND GRUB
3. INSTALL UTILITIES
4. CONSTRUCT ROADWAY AND PARKING LOTS
5. STABILIZE SHOULDERS
6. REMOVE SEDIMENT AND EROSION CONTROL DEVICES

UTILITY CONNECTION PROCEDURE:

1. CONTRACTOR SHALL OBTAIN A COPY OF THE LAKE CITY UTILITY STANDARDS HANDBOOK.
2. CONTRACTOR SUBMITS CAPACITY APPLICATION FORMS AS PROVIDED BY THE CITY.
3. CONTRACTOR SUBMITS FINAL PLANS AND SPECIFICATIONS TO CITY AS DESCRIBED IN THE LAKE CITY UTILITY STANDARDS HANDBOOK FOR REVIEW AND APPROVAL.
4. ALL REQUIRED CONNECTION FEES AND ADMINISTRATIVE FEE DUE TO CITY WILL BE PAID BY THE CONTRACTOR.
5. ALL REQUIRED ADJUSTMENTS TO CONNECTION FEES DUE TO CITY WILL BE PAID PRIOR TO CONSTRUCTION.
6. CONTRACTOR PROVIDES CITY WITH CONSTRUCTION SCHEDULE.
7. AFTER RECEIPT OF REGULATORY PERMITS AND COPIES DELIVERED TO CITY, CONSTRUCTION FORCES MAY BEGIN WORK.
8. ALL TAPPING OPERATIONS SHALL BE OBSERVED BY A LAKE CITY UTILITIES INSPECTOR.
9. CONTRACTOR WILL MAKE REQUIRED CONNECTIONS, TIE-INS, AND NOTIFY LAKE CITY UTILITIES IMMEDIATELY UPON COMPLETION.
10. WATER METER TO BE PROVIDED BY CONTRACTOR AND INSTALLED BY THE CITY. CONTRACTOR SHALL BE REQUIRED TO PAY ALL INSTALLATION COSTS.

EROSION CONTROL NOTES:

1. THE PURPOSE OF EROSION CONTROL IS TO PREVENT DAMAGE TO ADJACENT PROPERTY, SITE PROPERTY AND WORK IN PROGRESS.
2. CONTRACTOR SHALL TAKE ALL PRACTICAL MEASURES TO PROTECT AGAINST WIND AND STORM WATER RUNOFF EROSION, I.E., STAKED HAY BALES, SILT FENCE, ETC. EROSION CONTROL SHALL BE IN PLACE PRIOR TO ANY LAND ALTERATION AND MAINTAINED UNTIL SOILS ARE STABILIZED.
3. ALL EROSION AND SILTATION MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSPECT ALL EROSION CONTROL DEVICES PERIODICALLY AND AFTER ANY RAINFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY. SILT FENCE AND FILTER FABRIC MUST BE ENTRENCHED.
5. POST FOR SILT FENCES SHALL BE EITHER 2.5 X 2 INCH DIAMETER SOFT WOOD OR 125 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POST SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
6. WIRE FENCE REINFORCEMENT FOR SILT FENCES USING STANDARD STRENGTH FILTER CLOTH SHALL BE A MINIMUM OF 42 INCHES IN HEIGHT, A MINIMUM OF 14 GAUGE AND SHALL HAVE A MAXIMUM MESH SPACING OF 6 INCHES.
7. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MIN. OF 12 INCHES) WHEN EXTRA STRENGTH FABRIC IS USED. WITHOUT THE WIRE SUPPORT FENCE, POSTS SHALL NOT EXCEED 6 FEET.
8. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POST.
9. SEDIMENT MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
10. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE PROPOSED AND EXISTING GRADES, PREPARED AND SEEDED.
11. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT OR AT A TIME DIRECTED BY THE OWNER. IF THE OWNER FEELS IT IS NECESSARY FOR THE SILT FENCE TO REMAIN IN PLACE FOR SOME GIVEN TIME AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL LEAVE IT IN PLACE, IN THE PROPERLY INSTALLED WAY, AND WILL, AT THE DIRECTION OF THE OWNER, REMOVE IT AT NO ADDITIONAL COST TO THE OWNER WHEN THE OWNER DEEMS IT APPROPRIATE.
12. ALL SIDE SLOPES CREATED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SHOWN ON PLANS AT THE EARLIEST POSSIBLE DATE TO AVOID EROSION.
13. ANY DISTURBED AREA WHICH WILL NOT BE PAVED, SODDED OR BUILT UPON SHALL HAVE A MINIMUM OF 80% VEGETATIVE COVER PRIOR TO FINAL INSPECTION, AND IN THE OPINION OF THE ENGINEER, WILL BE MATURE ENOUGH TO CONTROL SOIL EROSION AND SURVIVE SEVERE WEATHER CONDITIONS.
14. AREAS TO BE SODDED SHALL BE RAKED OR OTHERWISE CLEARED OF STONES LARGER THAN 2 INCHES (50 MM) IN ANY DIAMETER, STICKS, STUMPS, AND OTHER DEBRIS THAT MIGHT INTERFERE WITH SODDING. GROWTH OF GRASSES, OR SUBSEQUENT MAINTENANCE OF GRASS-COVERED AREAS. IF ANY DAMAGE BY EROSION OR OTHER CAUSES OCCURS AFTER GRADING OF AREAS AND BEFORE BEGINNING THE APPLICATION OF FERTILIZER AND GROUND LIMESTONE, THE CONTRACTOR SHALL REPAIR SUCH DAMAGE.
15. THE SOD SHALL BE DELIVERED ALIVE, FRESH AND UNINJURED, AND SHALL BE TRANSPLANTED WITHIN 24 HOURS OF THE TIME IT WAS CUT. THE CONTRACTOR SHALL WATER THE SOD DAILY UNTIL ROOTS HAVE BEEN ESTABLISHED. DEAD SOD SHALL BE REPLACED AND MAINTAINED AT NO COST TO THE OWNER. THE SOD SHALL HAVE A SOIL MAT OF SUFFICIENT THICKNESS ADHERING FIRMLY TO THE ROOTS TO WITHSTAND ALL NECESSARY HANDLING. IN ADDITION, SOD SHALL BE SUFFICIENTLY THICK TO SECURE A DENSE STAND OF LIVE GRASS.

SANITARY SEWER CONNECTION NOTES

1. CONTRACTOR SHALL COORDINATE INSTALLATION OF SANITARY SEWERS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. NO SANITARY SEWER CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWING SUBMITTALS HAVE BEEN APPROVED.
3. A PRE CONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY LAKE CITY REGIONAL UTILITIES 72 HRS PRIOR TO COMMENCEMENT OF CONSTRUCTION. UTILITY COMPANY REPRESENTATIVES MUST WITNESS ALL TIES TO EXISTING LINES AND TESTS OF NEW LINES.
4. LOCATOR BALLS AS MANUFACTURED BY 3M PART NO. 1404 TO BE PLACED ON NORTH SIDE OF ALL MANHOLES NOT WITHIN PAVED AREAS. MANHOLES OUTSIDE OF PAVED AREAS SHALL BE CONSTRUCTED WITH TOP 6" ABOVE GRADE.
5. ALL GRAVITY SEWER SHALL BE VISUALLY INSPECTED (I.E. LAMPED) BY LAKE CITY REGIONAL UTILITIES PRIOR TO FINAL ACCEPTANCE.
6. MIN. SERVICE SLOPE: 4" = 1/4" PER FOOT, 6" = 1/8" PER FOOT.
7. USE 6" SERVICES FOR MULTI FAMILY AND COMMERCIAL CONNECTIONS.
8. INSTALL 12 GAUGE LOCATOR WIRE AROUND ALL SERVICES AND MAINS.
9. A 4" BALL MARKER AS MANUFACTURED BY 3M PART NO. 1404 SHALL BE PLACED ABOVE AND AT THE END OF ALL SEWER LATERALS.
10. LOCATIONS OF SERVICE STUB TO BE MARKED BY THE LETTER "S" SCRIBED A MINIMUM OF 2" HIGH & 1/4" DEEP IN CURB.
11. IF NO CURBING IS INSTALLED A "3" SQUARE STEEL TAG INSCRIBED WITH A 2" LETTER "S" IS TO BE ATTACHED TO STREET PAVEMENT.
12. EXTEND SERVICE CONNECTION A SUFFICIENT DISTANCE BEYOND CLEAN-OUT TO ALLOW FOR FUTURE CONNECTION TO THE STUB OUT WITHOUT UNDERMINING THE CLEAN-OUT ASSEMBLY.
13. SERVICE TRENCHING TO CONFORM TO LAKE CITY REGIONAL UTILITIES STANDARD (CURRENT EDITION).
14. ALL SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH LAKE CITY REGIONAL UTILITIES STANDARDS.
15. SEWER SERVICE TAPPING OPERATIONS SHALL BE OBSERVED BY LAKE CITY REGIONAL UTILITIES INSPECTOR. CALL KEITH HAMPTON AT 386-719-5758 FOR INSPECTION 3 BUSINESS DAYS PRIOR TO CONSTRUCTION. NO TAPS SHALL BE APPROVED WITHOUT LAKE CITY REGIONAL UTILITIES AUTHORIZATION.

POTABLE WATER SERVICE CONNECTION CONSTRUCTION

1. CONTRACTOR SHALL COORDINATE INSTALLATION OF POTABLE WATER MAINS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. HYDROSTATIC TESTS, LEAKAGE TESTS, DISINFECTION, AND BACTERIOLOGICAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATION OF LAKE CITY REGIONAL UTILITIES AND ALL APPLICABLE F.W.C. AND AWWA REQUIREMENTS.
3. NO POTABLE WATER MAIN CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWINGS HAVE BEEN APPROVED AND A PRECONSTRUCTION CONFERENCE HELD WITH REGIONAL UTILITIES STAFF.
4. PROVIDE LOCKS, IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATIONS OF REGIONAL UTILITIES, ON ALL CURB STOPS.
5. CONTRACTOR SHALL INSTALL NUMBER 12 WIRE AROUND ALL PIPE AND SERVICES. CONTRACTOR MUST PROVIDE ENOUGH WIRE TO EXTEND TWO FEET ABOVE GROUND AT ALL VALVE AND METER BOXES.
6. IT IS REQUIRED THAT ALL NEW AND RELOCATED WATER SERVICES AND PLUMBING SHALL BE IN CONFORMANCE WITH STATE AND FEDERAL REGULATIONS PERTAINING TO THE CONTROL OF LEAD AND COPPER.
7. CONTRACTOR SHALL PROVIDE A PRECAST CONCRETE METER BOX WITH A CAST IRON LID AT THE CURB STOP OF ALL WATER SERVICES AS SHOWN IN THE TYPICAL WATER METER INSTALLATION DETAIL. MATERIAL BALL SHALL BE IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS OF REGIONAL UTILITIES. METER IS TO BE SET BY REGIONAL UTILITIES.
8. CONTRACTOR SHALL PROVIDE 8 COPIES OF AS-BUILT DRAWINGS IN ACCORDANCE WITH REGIONAL UTILITIES SPECIFICATIONS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL SURVEYOR AND MAPPER.
9. THE LOCATION OF ALL WATER SERVICE STUBS ARE TO BE MARKED BY THE LETTER "W" SCRIBED A MINIMUM OF 2" HIGH AND 1/4" DEEP IN CURB. IF NO CURBING IS INSTALLED A 3" SQUARE STEEL TAG INSCRIBED WITH A 2" LETTER "W" IS TO BE ATTACHED TO THE STREET PAVEMENT.
10. A 4" WATER BALL MARKER, AS MANUFACTURED BY 3M PART NO. 1403, SHALL BE PLACED AT ALL INLINE VALVES ALONG WATERMAIN AND AT ALL METER BOX LOCATIONS.
11. ALL MECHANICAL JOINTS SHALL USE MEGA-LUG RESTRAINT TYPE RETAINING GLANDS.
12. MINIMUM SEPARATION BETWEEN WATER OR SEWER AND ELECTRICAL CONDUITS OR ELECTRICAL LINES SHALL BE 10' MINIMUM HORIZONTAL & 18" VERTICAL WITH ELECTRICAL BEING BELOW THE WATER AND SEWER LINES. IN CASES WHERE 18" VERTICAL SEPARATION CAN NOT BE MET, 10' OF HORIZONTAL SEPARATION SHALL BE REQUIRED.
13. ALL WATER SERVICE LINES SHALL BE REQUIRED TO HAVE A BACK FLOW DEVICE PURSUANT TO LAKE CITY REGIONAL UTILITIES SPECIFICATIONS.
14. ALL BACK FLOW PREVENTORS SHALL BE OF THE TYPE REQUIRED BY F.W.C., AWWA AND NFPA CODES AND MUST BE PER LAKE CITY REGIONAL UTILITIES STANDARDS (CURRENT EDITION).
15. ALL SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH LAKE CITY REGIONAL UTILITIES STANDARDS.
16. WATER SERVICE TAPPING OPERATIONS SHALL BE OBSERVED BY LAKE CITY REGIONAL UTILITIES INSPECTOR. CALL KEITH HAMPTON AT 386-719-5758 FOR INSPECTION 3 BUSINESS DAYS PRIOR TO CONSTRUCTION. NO TAPS SHALL BE APPROVED WITHOUT LAKE CITY REGIONAL UTILITIES AUTHORIZATION.

ELECTRICAL SERVICE CONNECTION CONSTRUCTION

1. CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE CONNECTION PER F.W.C. AND F.P.L. REQUIREMENTS.
2. ALL ASSOCIATED FEES SHALL BE PAID BY THE CONTRACTOR.

C

C



REGISTE, SLIGER ENGINEERING, INC.  
CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
1427 N. Bronough Street - Tallahassee, FL 32303  
PHONE: (850) 894-4521 - FAX: (850) 224-0505

FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION

620 South Meridian Street  
Tallahassee, FL 32399-1600

INITIAL	ISSUE DATE	5/15/08
SYMBOL	REVISION	DATE
A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL	6/18/08
C	LAKE CITY UTILITIES	8/19/08

DESIGNER :  
J.S.  
DRAWN BY:  
B.W.  
COMP. FILE No.  
XXXXXX  
STATE PROJECT No.

PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 55550  
30 OCT 08

LAKE CITY FLORIDA

SHEET TITLE

GENERAL NOTES

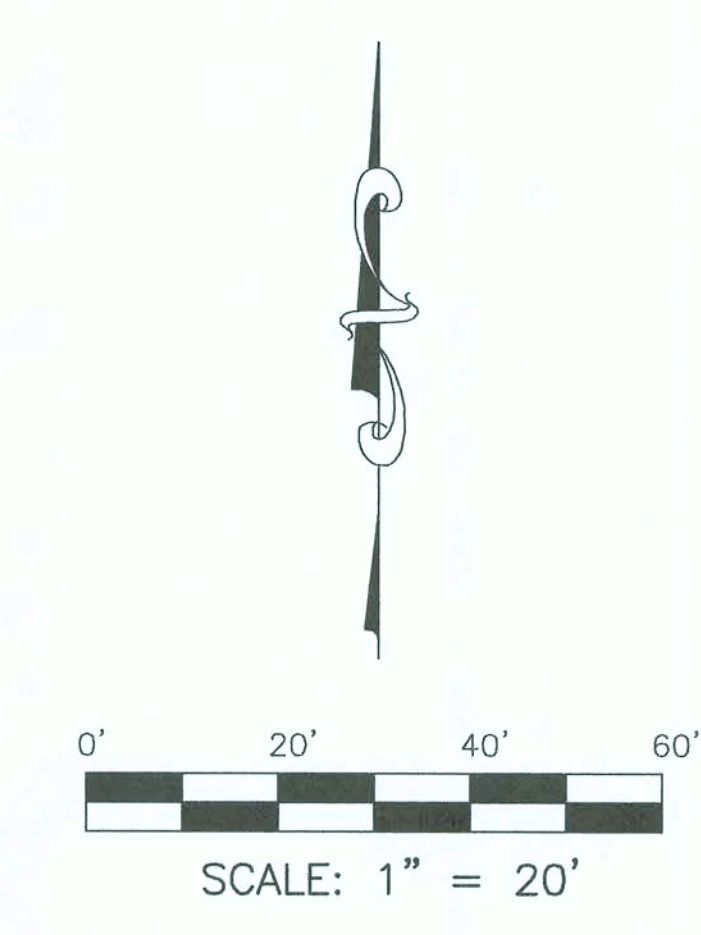
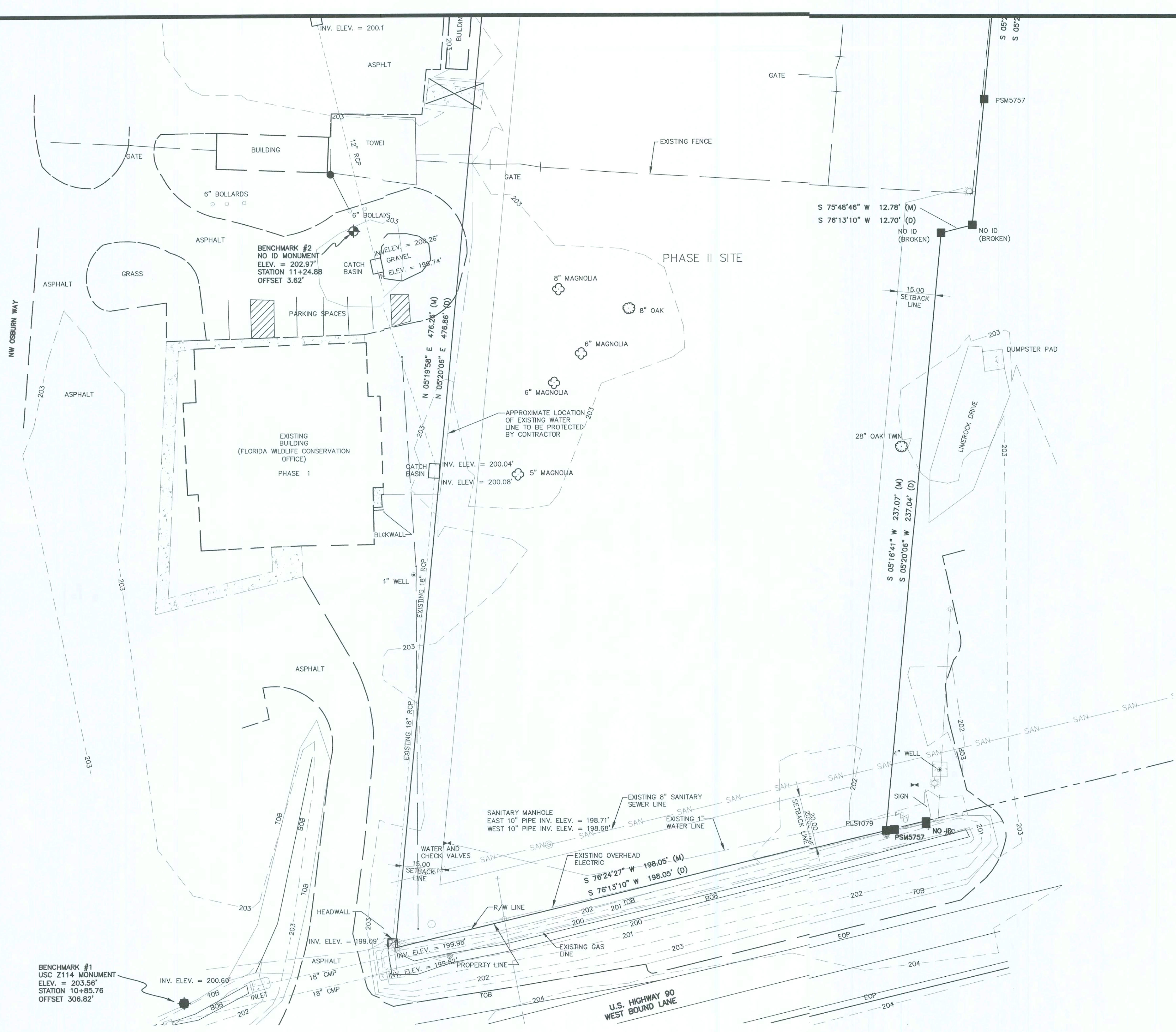
PROJECT TITLE

FWC REGIONAL OFFICE SITE PLAN - PHASE II

SHEET NO.

G101





**TOPOGRAPHIC LEGEND**

	FH = FIRE HYDRANT
	LIGHT POLE
	POWER POLE
	GUY ANCHOR
	TRAFFIC SIGN
	ELECTRIC (OVERHEAD)
	FIBER OPTIC LINE
	GAS LINE
	SANITARY SEWER LINE
	TELEPHONE LINE
	WATER LINE
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	TELEPHONE PEDISTAL
	GAS WARNING POST
	OAK TREE
	MAGNOLIA TREE
	WATER METER
	WATER VALVE

TOPOGRAPHIC SURVEY PROVIDED BY:  
BAILEY BISHOP & LANE, INC.  
PHONE # 386-752-5640

A

**FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION**  
**OFFICE OF RECREATION SERVICES**  
**PLANNING AND DESIGN SITION**  
620 South Meridian Street  
Tallahassee, FL 32399-1600

INITIAL ISSUE DATE		5/15/08
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A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL	6/18/08

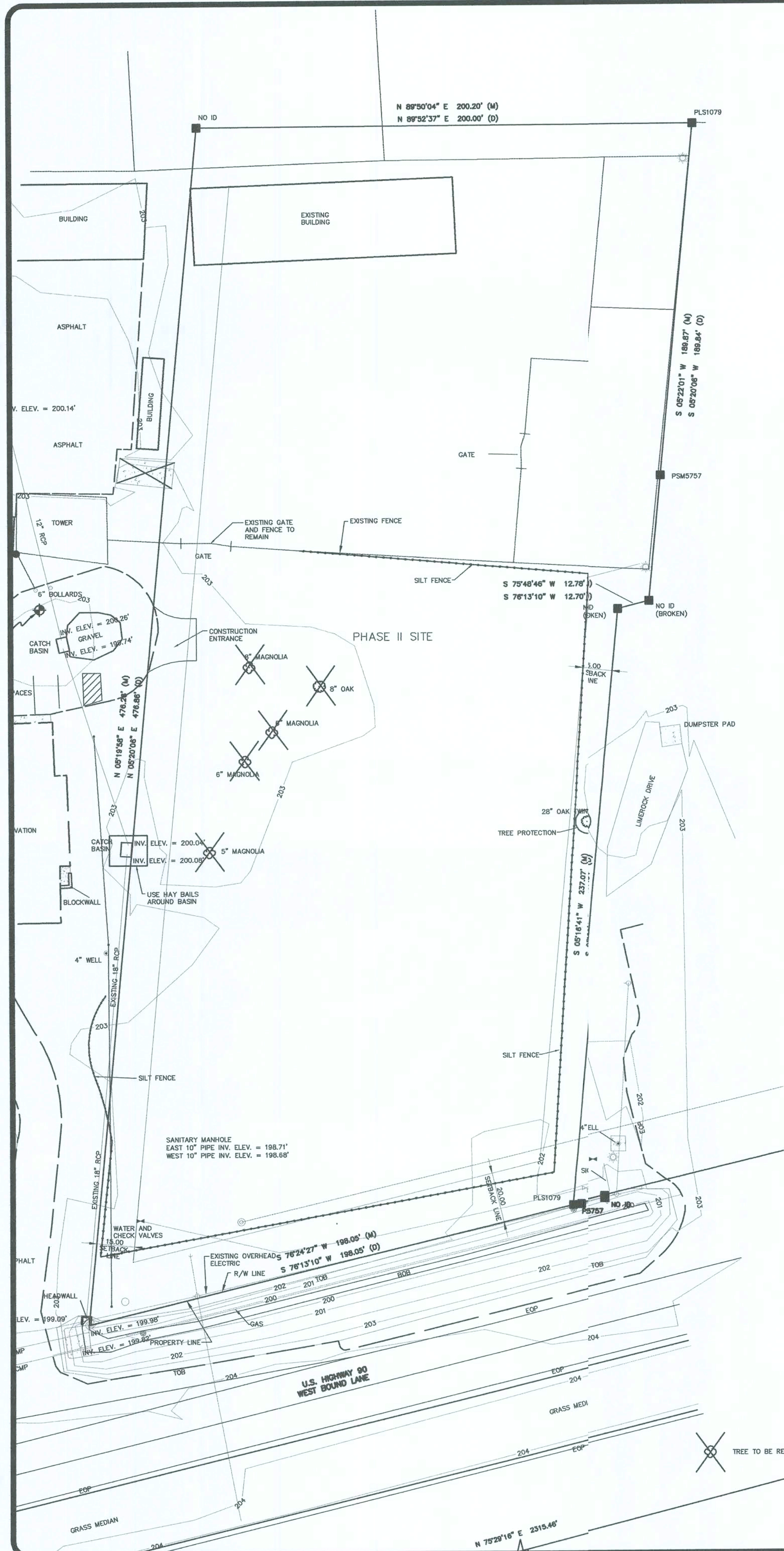
DESIGNER :  
J.S.  
DRAWN BY:  
B.W.  
COMP. FILE No.  
XXXXXX  
STATE PROJECT No.

PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 55550  
*[Signature]*  
30 OCT 08

**REGISTE, SLIGER ENGINEERING, INC.**  
CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
1427 N. Bronough Street - Tallahassee, FL 32303  
PHONE: (850) 894-4521 - FAX: (850) 224-0505

LAKE CITY FLORIDA	
EXISTING CONDITIONS	
PROJECT TITLE	FWC REGIONAL OFFICE SITE PLAN - PHASE II
SHEET NO.	C130





## 1. SITE DESCRIPTION

### 1.A. NATURE OF CONSTRUCTION ACTIVITY:

CONSTRUCTION ACTIVITY: THIS PROJECT CONSIST OF CONSTRUCTING A 24' FEET WIDE DRIVEWAY, PARKING SPACES, A STORMWATER MANAGEMENT FACILITY ALONG WITH ONE BUILDING IN LAKE CITY, FLORIDA. THE CONSTRUCTION ACTIVITIES INVOLVE GRADING, DRIVEWAY SURFACING, STORMWATER MANAGEMENT FACILITIES, SIDEWALKS, AND STANDARD BUILDING OPERATIONS.

### 1.B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

MAJOR SOIL DISTURBING ACTIVITIES: SOIL DISTURBING ACTIVITIES WILL GENERALLY BE ASSOCIATED WITH CLEARING AND GRUBBING, AND EARTHWORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR MINIMIZING EROSION POTENTIAL BY PROVIDING TEMPORARY SEEDING AND WATER FOR AREAS THAT HAVE BEEN CLEARED AND WILL REMAIN INACTIVE FOR A PERIOD GREATER THAN 14 CALENDAR DAYS.

### 2. EARTHWORK ASSOCIATED WITH SIDEWALK, DRIVEWAY, AND BUILDING CONSTRUCTION.

### 1.C. AREA ESTIMATION:

TOTAL PROJECT AREA: 87142 SF (2.00 ACRES)  
TOTAL AREA TO BE DISTURBED: 53036.82 SF (1.2 ACRES)

### 1.D. RUNOFF DATA:

CURRENT RUNOFF COEFFICIENT = 0.60  
DURING RUNOFF COEFFICIENT = 0.70  
(VARIES DEPENDING ON CONSTRUCTION COMPLETENESS.)  
POST CONSTRUCTION RUNOFF COEFFICIENT = 0.8

DESCRIPTION OF SOIL: SOIL DATA WAS OBTAINED FROM THE SOIL SURVEY BY ASC GEOSCIENCES INC., MAY 7, 2008. SOILS WITHIN THE PROJECT LIMITS VARY BY NOMENCLATURE, BUT CONSIST OF SOMEWHAT POORLY DRAINED, VERY RAPIDLY PERMEABLE SANDS AND HAVE AN USCS SOILS CLASSIFICATION OF SP (POORLY GRADED SAND).

### OUTFALL INFORMATION: TO FOOT RIGHT OF WAY DITCH

DESCRIPTION: SIZE: 1.2 ACRES  
NAME OF RECEIVING BODY OF WATER: RUNOFF WILL TRAVEL AS SHEET FLOW TO SWALE DURING EXTREME CASES ONLY.

WETLANDS AREAS: THERE ARE NO WETLANDS WITHIN THE PROJECT LIMITS

### 1.E. SITE MAP:

THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE INDICATED ON THE KEY SHEET OF THE CONSTRUCTION PLANS. APPROXIMATE SLOPES: THE SLOPES OF THE SITE CAN BE SEEN IN THE PLAN AND PROFILE SHEETS. AREAS OF SOIL DISTURBANCE: THE AREAS TO BE DISTURBED ARE INDICATED ON THE TYPICAL SECTION AND THE PLAN AND PROFILE SHEETS. ANY AREAS WHERE PERMANENT FEATURES ARE SHOWN TO BE CONSTRUCTED WILL BE DISTURBED.

AREAS NOT TO BE DISTURBED: THE AREAS NOT TO BE DISTURBED CAN BE SEEN ON THE LIMITS OF CONSTRUCTION SHEET.

LOCATION OF CONTROLS: THESE ARE SHOWN ON THE SITE PLAN SHEET.

SURFACE WATERS: NONE

DISCHARGE POINT TO DITCH: OVERLAND FLOW

1.F. RECEIVING WATERS: US 90 ROADSIDE DITCH

## 2. CONTROLS

2.A. NARRATIVE SEQUENCE OF ACTIVITIES: IMPLEMENTATION OF CONTROLS: THIS PROJECT CONSISTS OF CONSTRUCTING A DRIVEWAY AND PARKING SPACES. THE SEQUENCE OF CONSTRUCTION WILL BE IN ACCORDANCE AS REPRESENTED IN THE PLANS. ALL ITEMS REPRESENTED IN THE FOLLOWING DISCUSSION ARE TREATED IN DETAIL IN THE "FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2006)" OR WILL BE IMPLEMENTED BY THE PROJECT ENGINEER IN A MANNER APPROPRIATE TO ENVIRONMENTALLY SENSITIVE CONSTRUCTION PRACTICES.

THE ACTUAL CONSTRUCTION SCHEDULE WILL BE COMPILED BY THE CONTRACTOR AND SUBMITTED TO THE DEPARTMENT FOR CONCURRENCE. THE CONTRACTOR MUST SUPPLY THE DEPARTMENT WITH "PLAN CHANGES" SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER FOR IMPLEMENTATION OF ALTERNATIVE CONTROL MEASURES WITHIN THE PROJECT LIMITS. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE EROSION CONTROL IN ACCORDANCE WITH THE "FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2006)". THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DRAINAGE THROUGHOUT THE DURATION OF THE PROJECT AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR WILL INSTALL AND MAINTAIN SEDIMENT AND EROSION CONTROL MEASURES AT THE DIRECTION OF THE ENGINEER THROUGHOUT THE DURATION OF THE PROJECT.

THE CONTRACTOR WILL PROVIDE POLLUTION CONTROL BY IMPLEMENTING DUST CONTROL DURING THESE OPERATIONS. WATER TRUCKS WILL BE MADE AVAILABLE AND THE PROJECT WILL BE WETTED AS NEEDED AS DETERMINED BY THE ENGINEER. ADDITIONALLY, ROADWAY SWEEPERS WILL BE USED TO CLEAN THE TRAIL AND ROADWAYS AS NEEDED. THE COST OF WATER TRUCK AND SWEEPER SHALL BE INCLUDED IN THE LUMP SUM BID.

2.A.1. STABILIZATION PRACTICES: THE CONTRACTOR WILL BE RESPONSIBLE FOR MINIMIZING EROSION POTENTIAL BY PROVIDING TEMPORARY SEEDING AND WATER FOR AREAS THAT HAVE BEEN CLEARED AND WILL REMAIN INACTIVE FOR A PERIOD GREATER THAN 14 CALENDAR DAYS.

### 3.4.0 STRUCTURAL PRACTICES: TEMPORARY EROSION CONTROL.

SILT FENCE (FT) 645.0

THE DEVICES ITEMIZED ABOVE WILL BE IMPLEMENTED ACCORDING TO THE NARRATIVE, STANDARD SPECIFICATIONS, AND THE ROADWAY AND TRAFFIC DESIGN STANDARDS.

### 4.4.0 OTHER CONTROLS

4.4.A. WASTE DISPOSAL: THE CONTRACTOR WILL PROVIDE LITTER CONTROL AND COLLECTION WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION ACTIVITIES. ALL FERTILIZER, HYDROCARBON, OR OTHER CHEMICAL CONTAINERS SHALL BE DISPOSED OF BY THE CONTRACTOR ACCORDING TO EPA'S STANDARD PRACTICES AS DETAILED BY THE MANUFACTURER.

4.4.B. SANITARY WASTE: ANY FIELD OFFICES WILL HAVE CONNECTION TO MUNICIPAL SEWAGE TREATMENT OR THE CONTRACTOR WILL PROVIDE PERMITS FOR SEWAGE TREATMENT IN ACCORDANCE WITH FAC 10-16 "STANDARDS FOR ON-SITE SEWAGE DISPOSAL SYSTEMS".

4.4.C. FERTILIZERS AND PESTICIDES: FERTILIZERS WILL BE USED ON THIS PROJECT IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2006) SECTION 902. FERTILIZERS WILL NOT BE USED WITHIN 50 FT OF ANY SURFACE WATERS. SOIL STERILIZERS WILL BE USED IN ACCORDANCE WITH SECTION 339 OF THE STANDARD SPECIFICATIONS.

## 4.D. NON-STORMWATER DISCHARGES

THE CONTRACTOR WILL PROVIDE THE F.W.C. DEPARTMENT WITH AN EROSION CONTROL PLAN INCORPORATING THE CONSTRUCTION SCHEDULE THAT WILL INCLUDE SPILL REPORTING AND RESPONSE. IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED, THE DEPARTMENT WILL BE CONTACTED.

4.E. CONTRACTOR SHALL MINIMIZE OFF SITE VEHICLE TRACKING OF SEDIMENTS AND GENERATED DUST. ACTIVITIES CAN INCLUDE BUT ARE NOT LIMITED TO COVERING LOADED HAUL TRUCKS WITH TARPULINS, REMOVING EXCESS DIRT FROM ROADS DAILY, AND USING ROADWAY SWEEPERS DURING DUST GENERATING ACTIVITIES SUCH AS EXCAVATION.

### 5. INSPECTIONS

QUALIFIED PERSONAL SHALL INSPECT THE FOLLOWING ITEMS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 25 INCHES OR GREATER. TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAGES AND RECORD DAILY RAINFALL WHERE SITES HAVE BEEN PERMANENTLY STABILIZED. INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH THE CONTRACTOR SHALL ALSO INSPECT THAT INSTALLED IN THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN.

### NOTES:

1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.

2. ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH F.D.O.T. INDEX #102. FILTER FABRIC IN ACCORDANCE WITH SECTION 985 OF THE F.D.O.T. STANDARD SPECIFICATIONS.

### EROSION CONTROL NOTES:

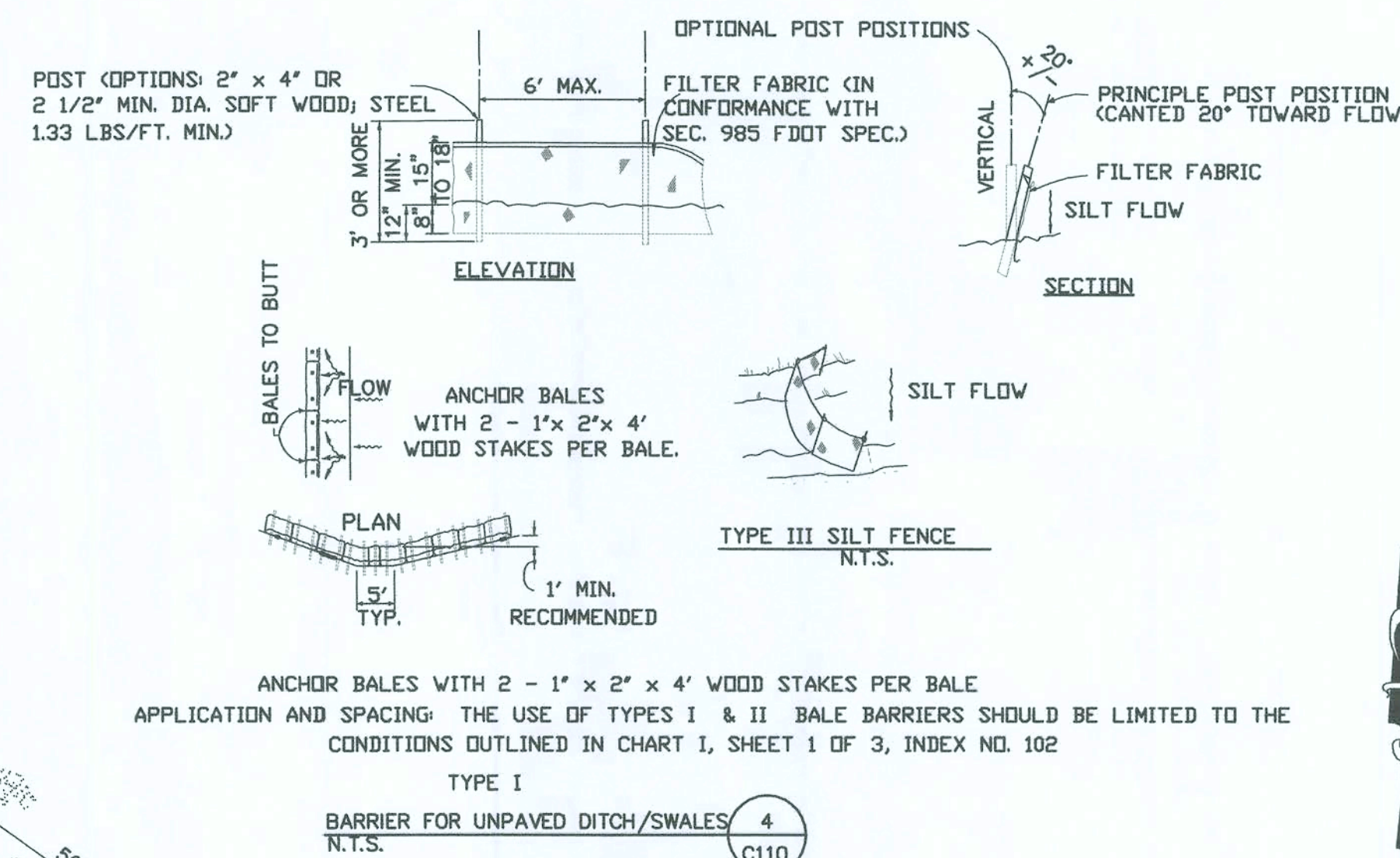
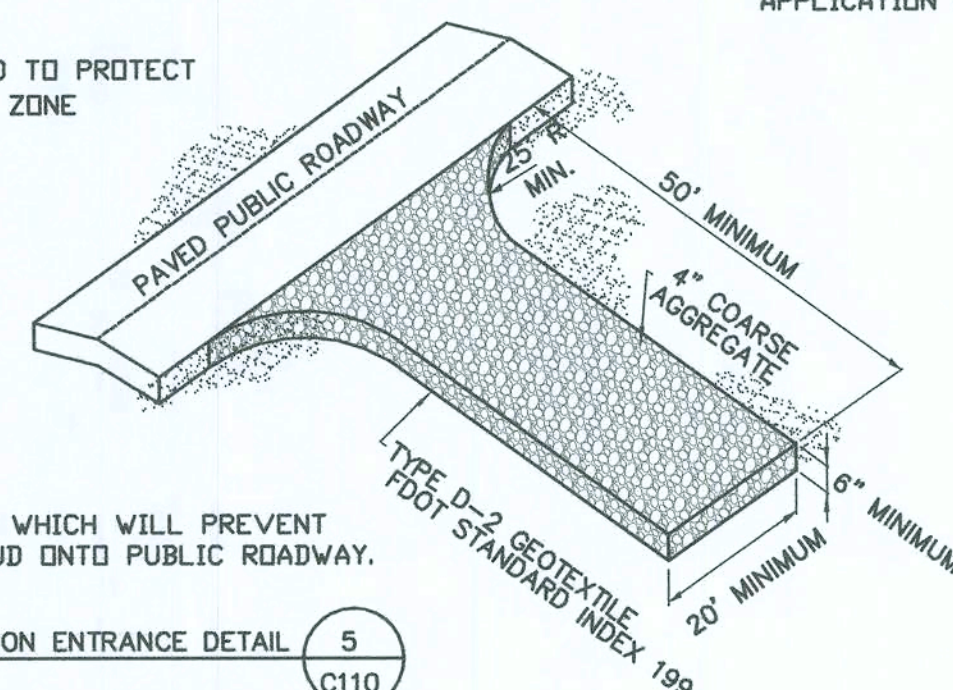
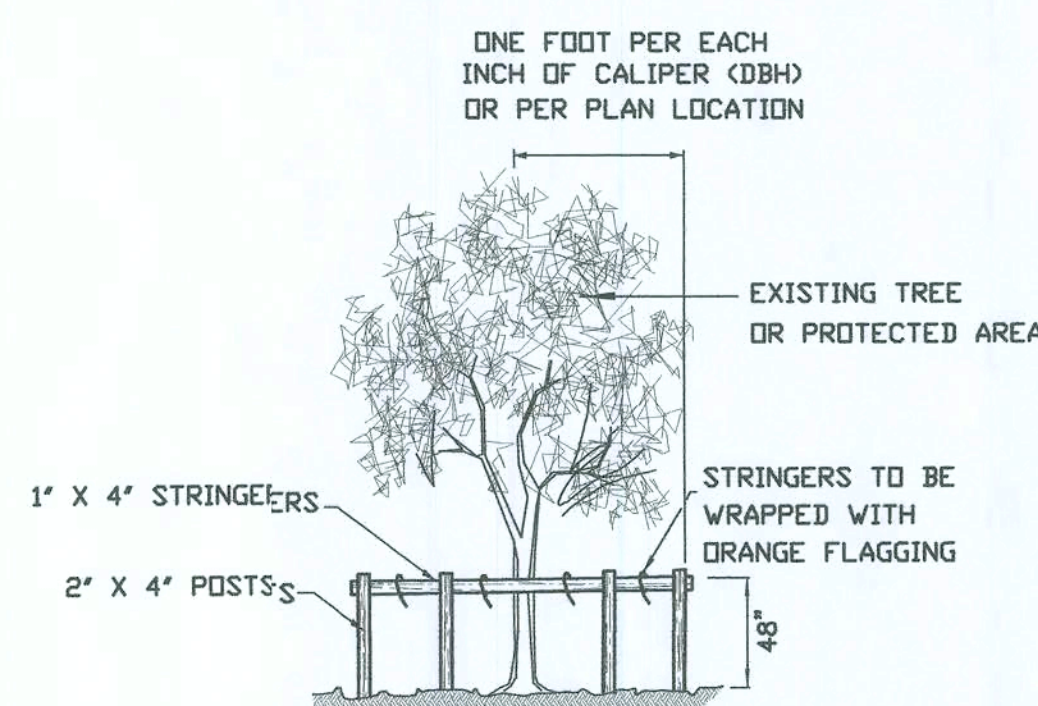
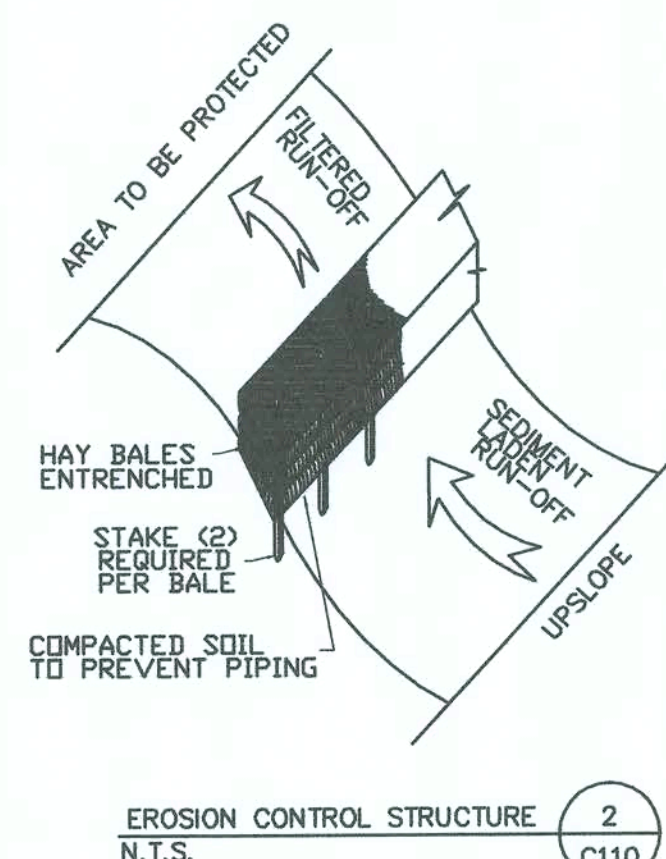
1. THE PURPOSE OF EROSION CONTROL IS TO PREVENT DAMAGE TO ADJACENT PROPERTY, SITE PROPERTY AND WORK IN PROGRESS.

2. CONTRACTOR SHALL TAKE ALL PRACTICAL MEASURES TO PROTECT AGAINST WIND AND STORM WATER RUNOFF EROSION, I.E., STAKED HAY BALES, SILT FENCE, ETC. EROSION CONTROL SHALL BE IN PLACE PRIOR TO ANY LAND ALTERATION AND MAINTAINED UNTIL SOILS ARE STABILIZED.

3. ALL EROSION AND SILTATION MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.

4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSPECT ALL EROSION CONTROL DEVICES PERIODICALLY AND AFTER ANY RAINFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

S.W.P.P. AND EROSION CONTROL NOTES 1  
C110



FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION

620 South Meridian Street  
Tallahassee, FL 32399-1600

SYMBOL	REVISION	DATE
A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL	6/18/08

DESIGNER: J.S.  
DRAWN BY: B.W.  
COMP. FILE NO: XXXXXX  
STATE PROJECT NO.

PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 55550



REGISTE, SLIGER ENGINEERING, INC.

CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
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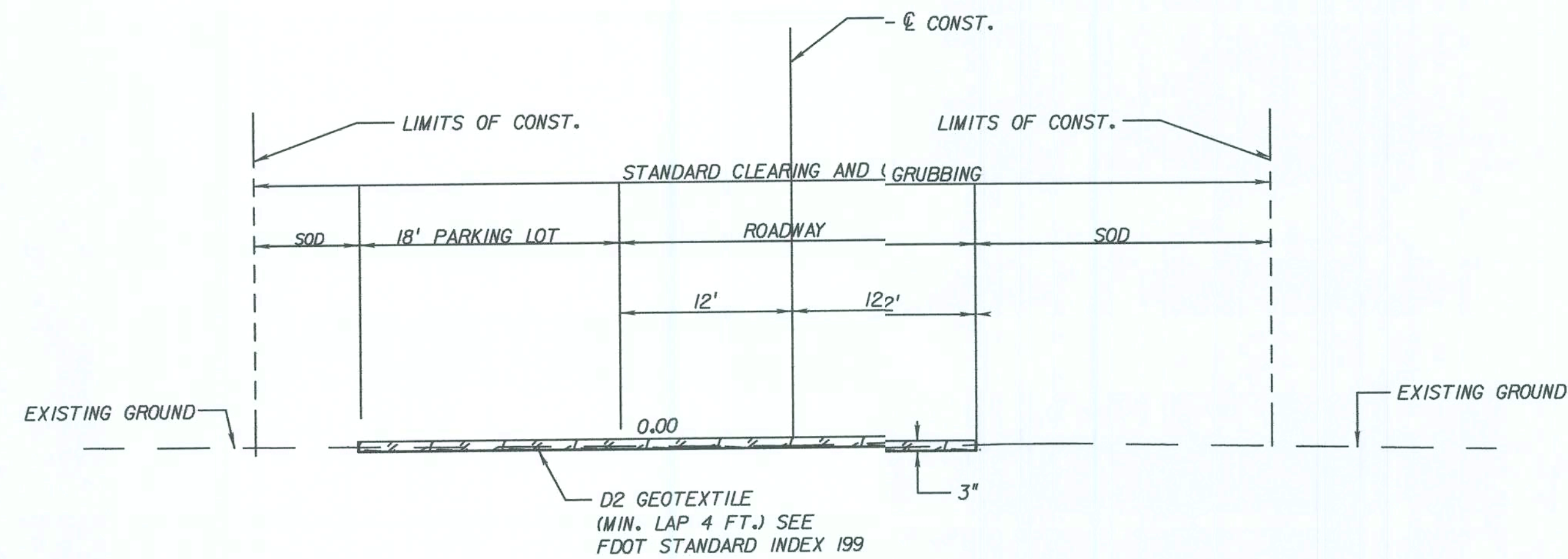
LAKE CITY FLORIDA

EROSION CONTROL, DEMOLITION PLAN AND  
STORMWATER POLLUTION PREVENTION PLAN AND DETAILS

FWC REGIONAL OFFICE SITE PLAN - PHASE II

SHEET NO.  
C101





TYPICAL SECTION (SCOPE OF WORK)  
STA. 11+67.40 TO STA. 14+65.00

NEW CONSTRUCTION  
3" THICK #67 GRANITE STONE (2" ABOVE EXISTING GRADE)

SCOPE OF WORK LAYOUT TABLE

VARIABLE	STATION	OFFSET	SIDE	PRO - ELEV
R1	11+78.59	32.88	L	202.91
R2	11+98.33	33.49	L	202.71
R3	12+09.43	22.00	L	203.00
R4	12+09.43	12.00	L	203.11
R5	12+09.43	30.00	L	202.92
R6	12+78.20	35.57	L	202.76
R7	12+91.17	31.15	L	202.81
R8	13+07.97	31.12	L	202.76
R9	13+20.59	35.24	L	202.73
R10	13+44.56	30.00	L	202.58
R11	13+54.56	30.00	L	202.45
R12	13+99.56	30.00	L	202.32
R13	14+04.41	17.00	L	202.40
R14	14+35.00	0.00		202.28
R15	14+04.41	17.00	R	202.55
R16	12+01.70	32.00	R	203.40
R17	11+74.70	32.00	R	203.50
R18	12+01.69	37.00	R	203.40
R19	11+79.75	37.00	R	203.50
R20	11+74.69	37.00	R	203.49
R21	11+85.65	110.62	R	203.16
R22	11+90.60	109.88	R	203.12
R23	11+78.58	63.07	R	204.30
R24	11+83.52	62.34	R	204.30
R25	13+54.56	12.00	R	202.71
R26	13+49.56	12.00	R	202.74
R27	13+85.45	37.48	R	202.74
R28	13+86.19	42.42	R	202.76
R29	13+54.56	42.08	R	202.91
R30	13+49.56	42.82	R	202.94
R31	12+90.60	42.03	R	203.04
R32	12+59.68	44.21	R	203.06
R33	12+85.66	12.00	L	202.86
R34	12+88.53	12.00	L	202.87
R35	13+10.48	12.00	L	202.83
R36	13+13.31	12.00	L	202.83
R37	13+44.56	12.00	L	202.64
R38	13+54.56	12.00	L	202.53
R39	13+99.56	12.00	L	202.43
R40	11+77.78	57.13	R	204.30
R41	11+82.75	56.39	R	204.30
B1	14+07.30	109.04	R	203.00
B2	13+98.47	49.69	R	203.00
B3	12+49.17	34.70	R	203.00
B4	12+89.82	43.54	R	203.00

FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION  
620 South Meridian Street  
Tallahassee, FL 32399-1600

INITIAL ISSUE DATE	5/15/08
SYMBOL	REVISION
A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL
DATE	6/18/08

DESIGNER :	J.S.
DRAWN BY:	B.W.
COMP. FILE No.	XXXXXX
STATE PROJECT No.	

PROFESSIONAL REGISTRATION
JOHN F. SLIGER II
P.E. # 55550
<i>John F. Sliger II</i>
30 OCT 08

	REGISTE, SLIGER ENGINEERING, INC.
	CIVIL AND STRUCTURAL ENGINEERING CONSULTANT
	CERT. OF AUTHORIZATION # 9292
	1427 N. Bronough Street - Tallahassee, FL 32303 PHONE: (850) 894-4521 - FAX: (850) 224-0505

LAKE CITY FLORIDA	
SHEET TITLE	
TYPICAL ROADWAY/ PARKING SECTION	
PROJECT TITLE	SHEET NO.
FWC REGIONAL OFFICE SITE PLAN - PHASE II	C102





REGISTE, SLIGER ENGINEERING, INC.

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CERT. OF AUTHORIZATION # 9292

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FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION

620 South Meridian Street  
Tallahassee, FL 32399-1800

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PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 55550  
*[Signature]*  
30 OCT 08

LAKE CITY FLORIDA

SHEET TITLE  
PROPOSED SITE LAYOUT AND GRADING PLAN  
SCOPE OF WORK

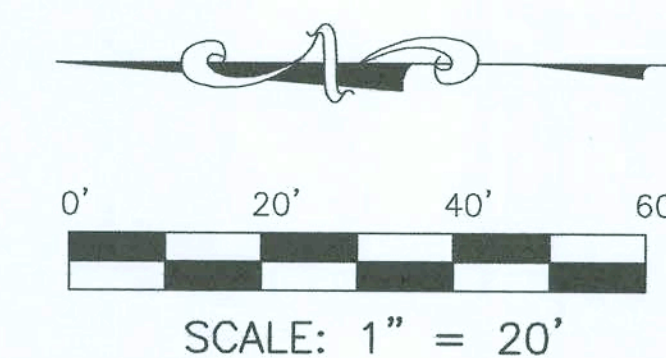
PROJECT TITLE  
FWC REGIONAL OFFICE SITE PLAN - PHASE II



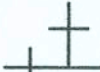

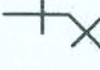







SHEET NO.  
C103

SITE DATA	
SITE AREA-----	87146 SQ. FT.
EXISTING BUILDING-----	3162 SQ. FT.
TOTAL EXISTING IMPERVIOUS-----	3162 SQ. FT.
PROPOSED BUILDING-----	4560 SQ. FT.
PROPOSED SIDEWALKS/ADA PARKING-----	805 SQ. FT.
PROPOSED PERVIOUS ROAD/PARKING-----	1254 SQ. FT.
TOTAL PROPOSED IMPERVIOUS-----	5365 SQ. FT.
TOTAL IMPERVIOUS-----	8527 SQ. FT.







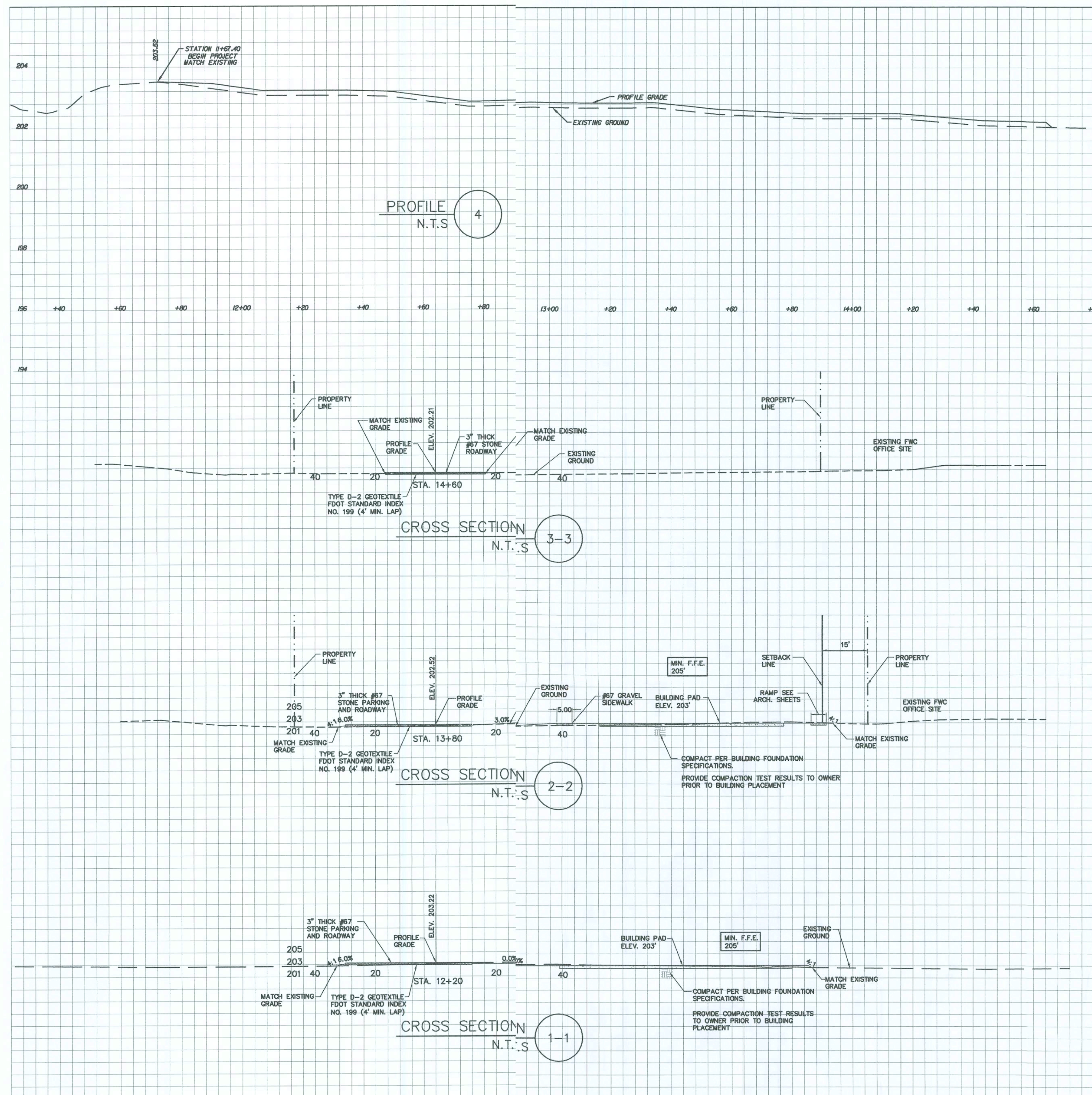
C.O.	CLEAN OUT
	LIFT STATION
	METER
	TEE
	90° ELBOW
	45° ELBOW
	22.5° ELBOW
	11.25° ELBOW
	REDUCER
	GATE VALVE
	BALL VALVE
	HOSE BIBB
	BACKFLOW PREVENTER

PIPING AND VALVE SYMBOLS (A)



C104





A

FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION

620 South Meridian Street  
Tallahassee, FL 32399-1600

INITIAL ISSUE DATE		5/15/08
SYMBOL	REVISION	DATE
A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL	6/18/08

DESIGNER :  
J.S.  
DRAWN BY:  
B.W.  
COMP. FILE No.  
XXXXXX  
STATE PROJECT No.

PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 55550  
30 OCT 08



REGISTE, SLIGER ENGINEERING, INC.  
CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
1427 N. Bronough Street - Tallahassee, FL 32303  
PHONE: (850) 894-4521 - FAX: (850) 224-0505

LAKE CITY FLORIDA

SHEET TITLE

PROFILE AND CROSS SECTIONS - SCOPE OF WORK

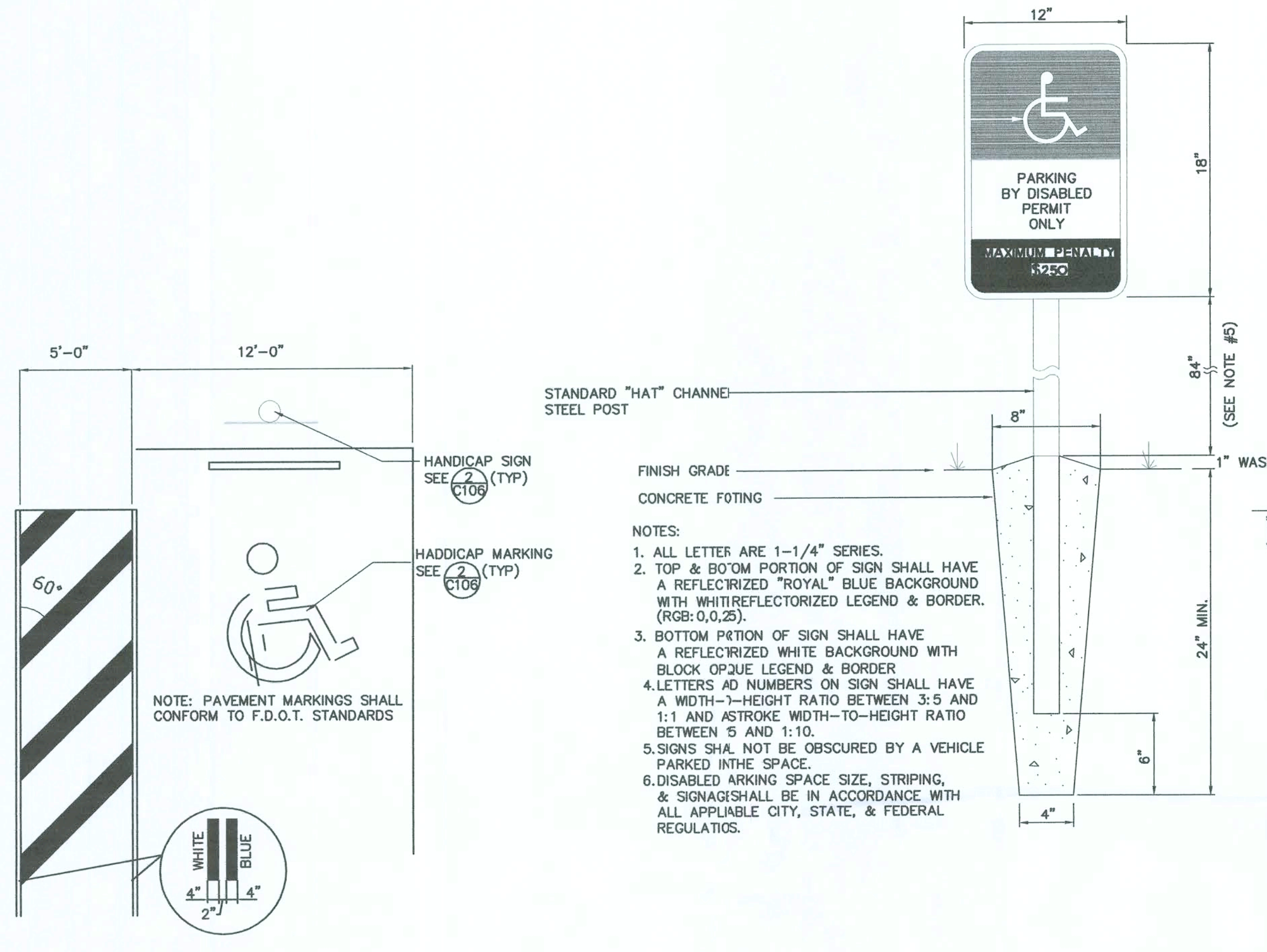
PROJECT TITLE

FWC REGIONAL OFFICE SITE PLAN - PHASE II

SHEET NO.

C105

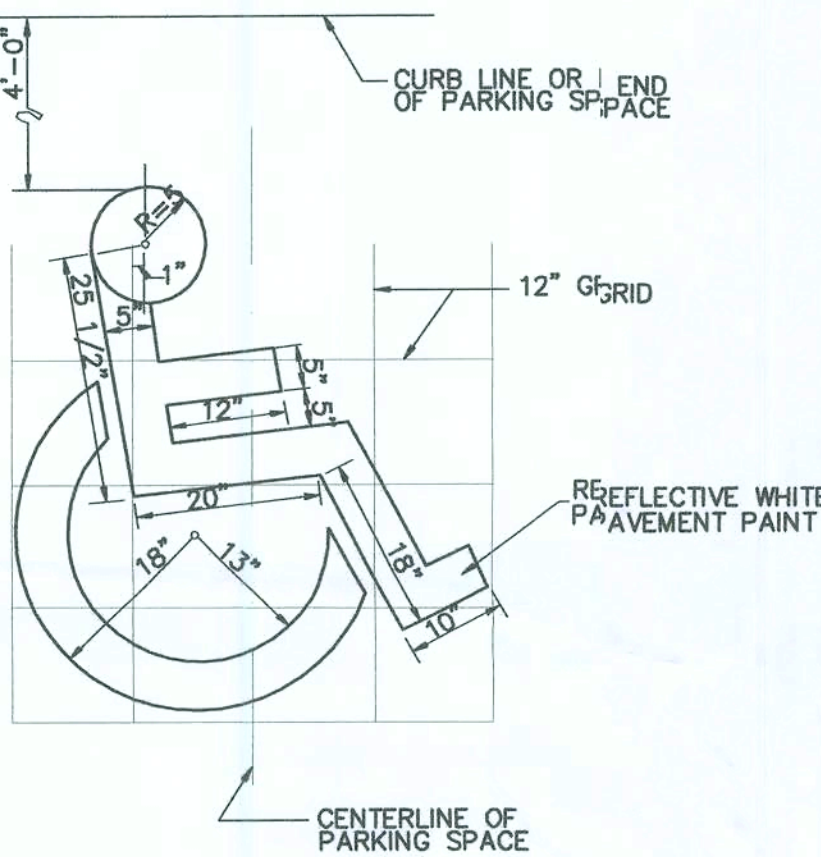




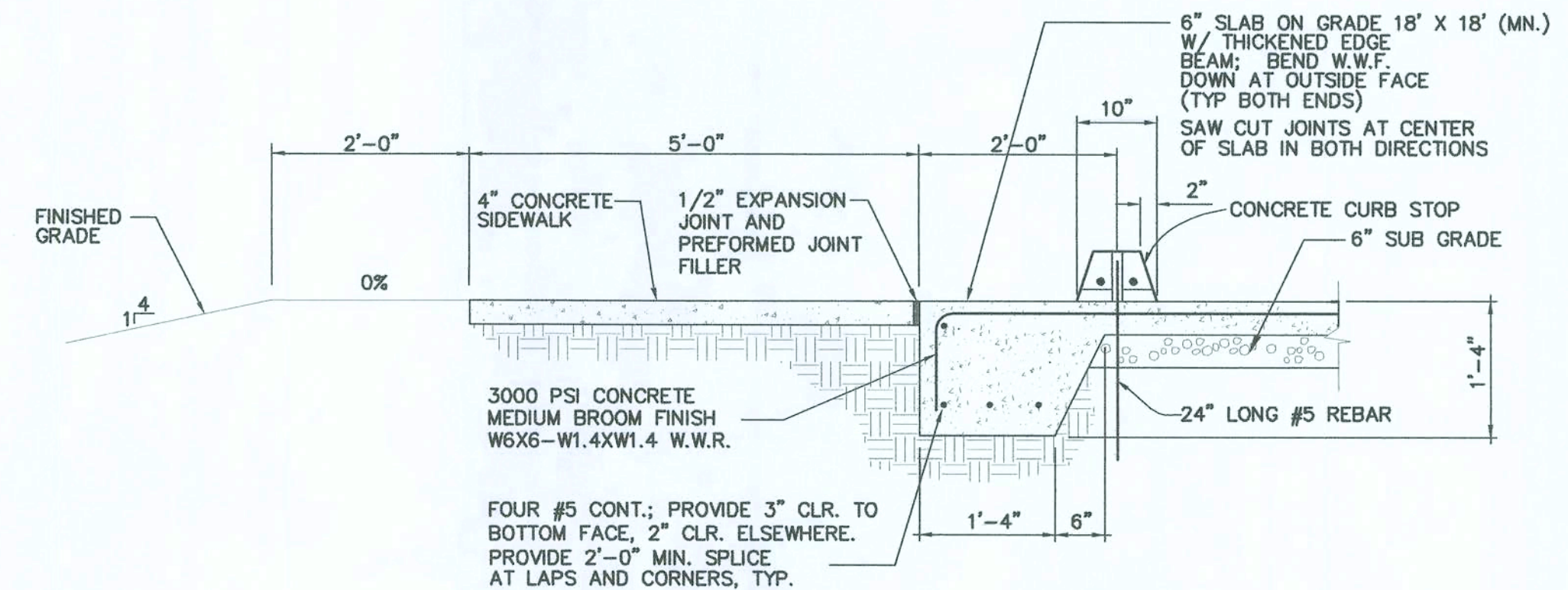
HANDICAP PARKING DETAIL 1 N.T.S.

- NOTES:
1. ALL LETTER ARE 1-1/4" SERIES.
  2. TOP & BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED "ROYAL" BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER. (RGB:0,0,25).
  3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPQUE LEGEND & BORDER.
  4. LETTERS AND NUMBERS ON SIGN SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 5 AND 1:10.
  5. SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
  6. DISABLED PARKING SPACE SIZE, STRIPING, & SIGNAGE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE, & FEDERAL REGULATIONS.

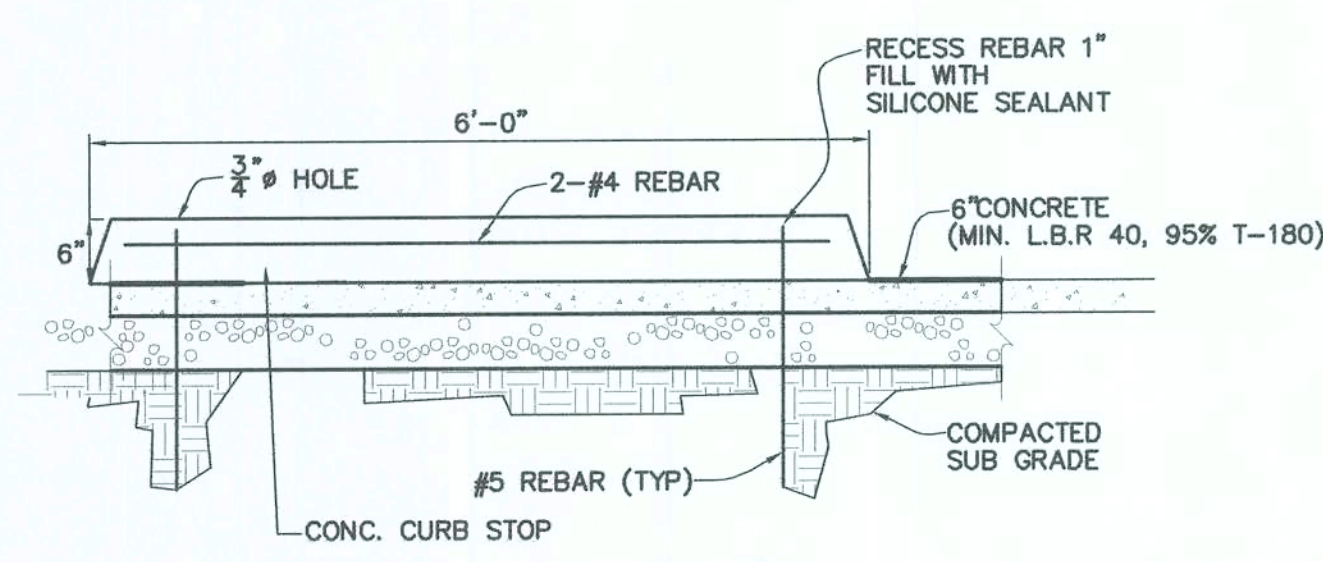
HANDICAP SIGN AND MARKING DETAIL 2 N.T.S.



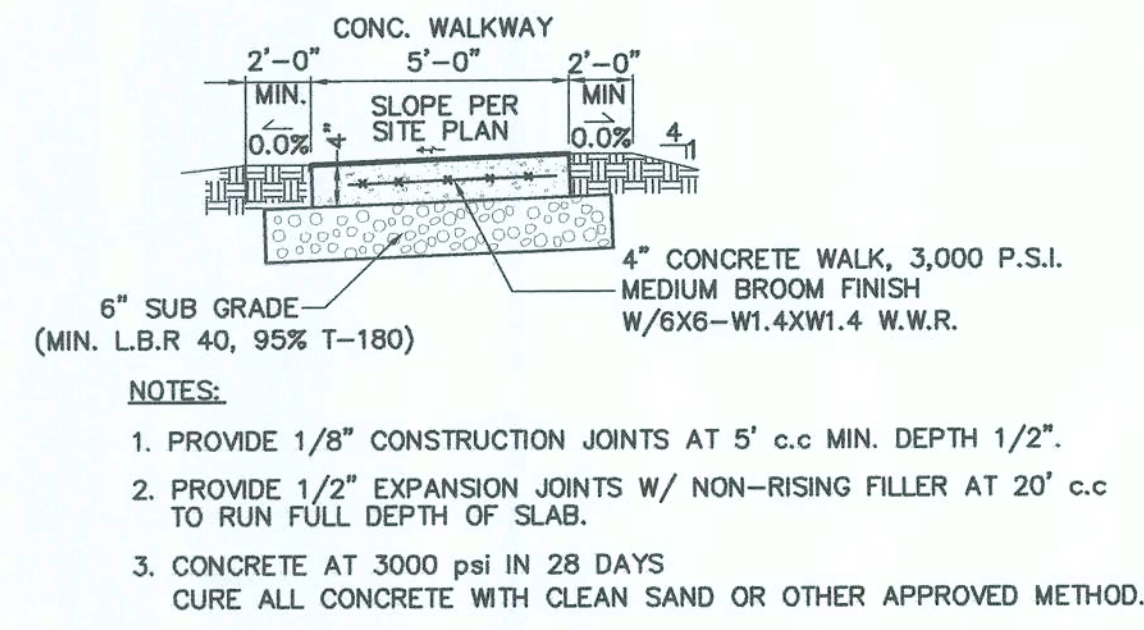
STANDARD PAVEMENT MARKING DETAIL 3 N.T.S.



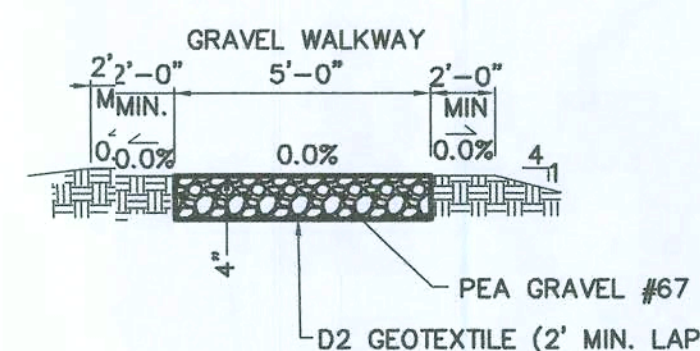
CONCRETE HANDICAP PARKING WITH THE ADJACENT SIDEWALK 4 N.T.S.



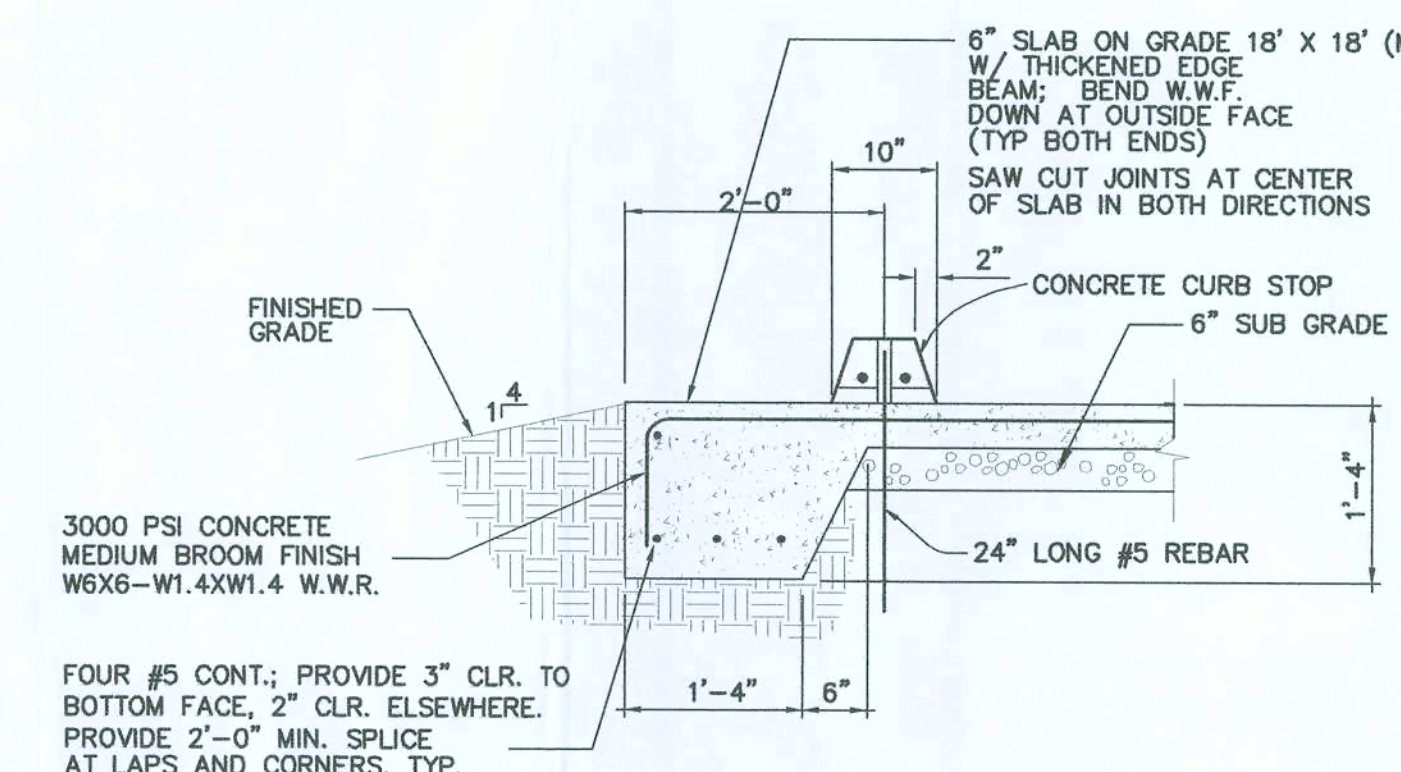
PARKING BUMPER BLOCK 5 N.T.S.



TYPICAL CONCRETE SIDEWALK DETAIL 6 N.T.S.



TYPICAL GRAVEL SIDEWALK DETAIL 7 N.T.S.



CONCRETE HANDICAP PARKING PAVEMENT DETAIL 8 N.T.S.

FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION  
OFFICE OF RECREATION SERVICES  
PLANNING AND DESIGN SECTION  
620 South Meridian Street  
Tallahassee, FL 32399-1800

SYMBOL	REVISION	DATE
A	SUWANNEE RIVER WATER MANAGEMENT DISTRICT PERMIT SUBMITTAL	6/18/08

DESIGNER : J.S.  
DRAWN BY: B.W.  
COMP. FILE No. XXXXXX  
STATE PROJECT No.

PROFESSIONAL REGISTRATION  
JOHN F. SLIGER II  
P.E. # 53550  
30 OCT 08

REGISTE, SLIGER ENGINEERING, INC.  
CIVIL AND STRUCTURAL ENGINEERING CONSULTANT  
CERT. OF AUTHORIZATION # 9292  
1427 N. Bronough Street - Tallahassee, FL 32303  
PHONE: (850) 894-4521 - FAX: (850) 224-0505

LAKE CITY FLORIDA

MISC. DETAILS

FWC REGIONAL OFFICE SITE PLAN - PHASE II

SHEET NO. C106



# STRUCTURAL LOAD LIMITATIONS:

FLOOR LIVE LOAD:  
A. 100 PSF (LOBBIES & CORRIDORS)  
50 PSF (REMANOIR)  
2000 LBS (CONCENTRATED)

ROOF LIVE LOAD:  
A. 20 PSF  
ROOF SNOW LOAD: N/A

WIND LOAD:  
1. 140 MPH  
2.  $I_w = 1.0$   
3. BUILDING CATEGORY: II  
4. ENCLOSURE CLASSIFICATION: ENCLOSED  
GCFI = 0.18

WIND SPEED  
WIND IMPORTANCE FACTOR:  
WIND EXPOSURE CATEGORY:  
INTERNAL PRESSURE COEFFICIENT:  
COMPONENT & CLADDING LOAD:  
(ROOFS)  
Pr = -42.71 PSF ZONE 1  
Pr = -61.47 PSF ZONE 2  
Pr = -71.63 PSF ZONE 3  
Pr = -107.69 PSF ZONE 4  
(OVERHANGS)  
Pr = -61.47 PSF ZONE 2  
Pr = -101.28 PSF ZONE 3  
(WALLS / WINDOWS / DOORS):  
Pr = -46.22 PSF ZONE 4  
Pr = -57.11 PSF ZONE 5

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

7. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT IN A HIGH VELOCITY HURRICANE ZONE AS DEFINED BY THE FBC.

SEISMIC LOAD: N/A

FLOOD LOAD:  
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECT TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE BOTTOM OF THE STRUCTURAL I-BEAM MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA OR THE GRADE AT THE BUILDING SITE MUST BE ABOVE THE FLOOD PLANE LEVEL.

## FOUNDATION NOTES:

NOTE: ALL REQUIRED BUILDING AND/OR CONSTRUCTION PERMITS MUST BE APPLIED FOR AND OBTAINED FROM THE LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO ANY WORK BEING DONE ON THE ABOVE SHOWN FOUNDATION DESIGN.

1. TIE-DOWN STRAPS TO BE 1-1/4" X .035 GALVANIZED STEEL FEDERAL SPECIFICATION QCS-781-H TYPE-1 FINISH-B GRADE-1. TIE-DOWN STRAPS AND CONNECTING HARDWARE TO HAVE 4,725# MINIMUM ULTIMATE CAPACITY (3,150# x 1.5).
2. POURED CONCRETE TO BE MIN. 3000 P.S.I.
3. ALL TIE-DOWN ANCHORS SHALL HAVE MINIMUM 4,725 LB. CAPACITY AND SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
4. SEE ABOVE FOUNDATION LAYOUT FOR TIE-DOWN STRAP SPACING.
5. ALL PIERS SHALL BE 8"x8"x16" MASONRY BLOCKS EXCEPT AS OTHERWISE NOTED ON THE FOUNDATION PLAN.
6. MINIMUM SOIL BEARING CAPACITY IS 1,500 PSF. TO BE VERIFIED BY BUILDING'S OWNER. IT WILL BE THE BUILDING OWNER'S RESPONSIBILITY TO INSURE THAT ALL GRASS, LOOSE DEBRIS, ETC. ARE REMOVED FROM UNDER THE SLAB AND THAT THE GROUND IS LEVELED TO WITHIN 6" AND FIRMLY COMPACTED.
7. WOOD SHIMS MAY BE INSTALLED WHEN NECESSARY, BETWEEN THE I-BEAM AND THE TOP OF THE PIER. SHIMS SHALL BE FREE OF KNOTS, CHECKS, SPLITS, AND SIMILAR IMPERFECTIONS. SHIMS SHALL BE OF P.T. LUMBER AND BEARING AT ALL CONTACT POINTS SHALL NOT BE LESS THAN 2/3 OF THE BEARING PRIOR TO ADDING THE SHIMS.
8. LAP HORIZONTAL STEEL REINFORCING REBAR IN FOOTING A MIN. OF 25 INCHES. PROVIDE CORNER BARS TO LAP HORIZONTAL STEEL.
9. OVERALL WIDTH DIMENSION IS NOMINAL AND IS BASED ON UNIT WIDTH x NUMBER OF UNITS. ACTUAL OVERALL WIDTH MAY INCREASE DUE TO SITE CONDITIONS, MATERIAL TOLERANCES, FAILURE TO REMOVE CLOSE-UP MATERIAL AND/OR OTHER FACTORS BEYOND THE CONTROL OF THE BUILDING MANUFACTURER.
10. PIER A: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 34" SHALL REQUIRE FOUNDATIONS TO BE ENGINEERED BEYOND THIS APPROVAL.
11. PIER B: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 66" SHALL REQUIRE FOUNDATIONS TO BE ENGINEERED BEYOND THIS APPROVAL.
12. CONCRETE FOOTERS TO BE MIN. 12" THICK 3000 P.S.I.
13. ALL CONCRETE SLAB ANCHORS TO BE #4, #5, #6, #7, #8, #9, #10, #11, #12, OR #14 (TIE-DOWN ENGINEERING, INC.) OR AN APPROVED EQUAL.
14. HANDICAP RAMP(S), STAIR(S), AND HANDRAILS ARE TO BE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
15. ALL MASONRY PIERS MUST BE LAID IN TYPE "M" OR "S" MORTAR IN COMPLIANCE w/ASTM C 946, OR SHALL HAVE SURFACE BONDING MORTAR IN COMPLIANCE w/ASTM C 946.

NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A MIN. 4"x2"x2"x1/4" STEEL ANGLE WELDED TO FRAME. SEE DETAIL ON SHEET FD2.

NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A MINUTE MAN #MMA-71 BOLTED TO SIDE OF I-BEAM FRAME. SEE DETAIL ON SHEET FD2.

NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A SLOT CUT THRU THE I-BEAM AND THE STRAP WRAPPED THRU THE FRAME. SEE DETAIL ON SHEET FD2.

NOTE: STRAP SPACING MAY VARY DUE TO SITE CONDITIONS

NOTE: FRAME TIES ONLY, NO OVER-THE-ROOF STRAPS REQUIRED. SEE DETAIL E-FD1.

NOTE: FIRST STRAP FROM END WALLS NOT TO EXCEED 2'-0"

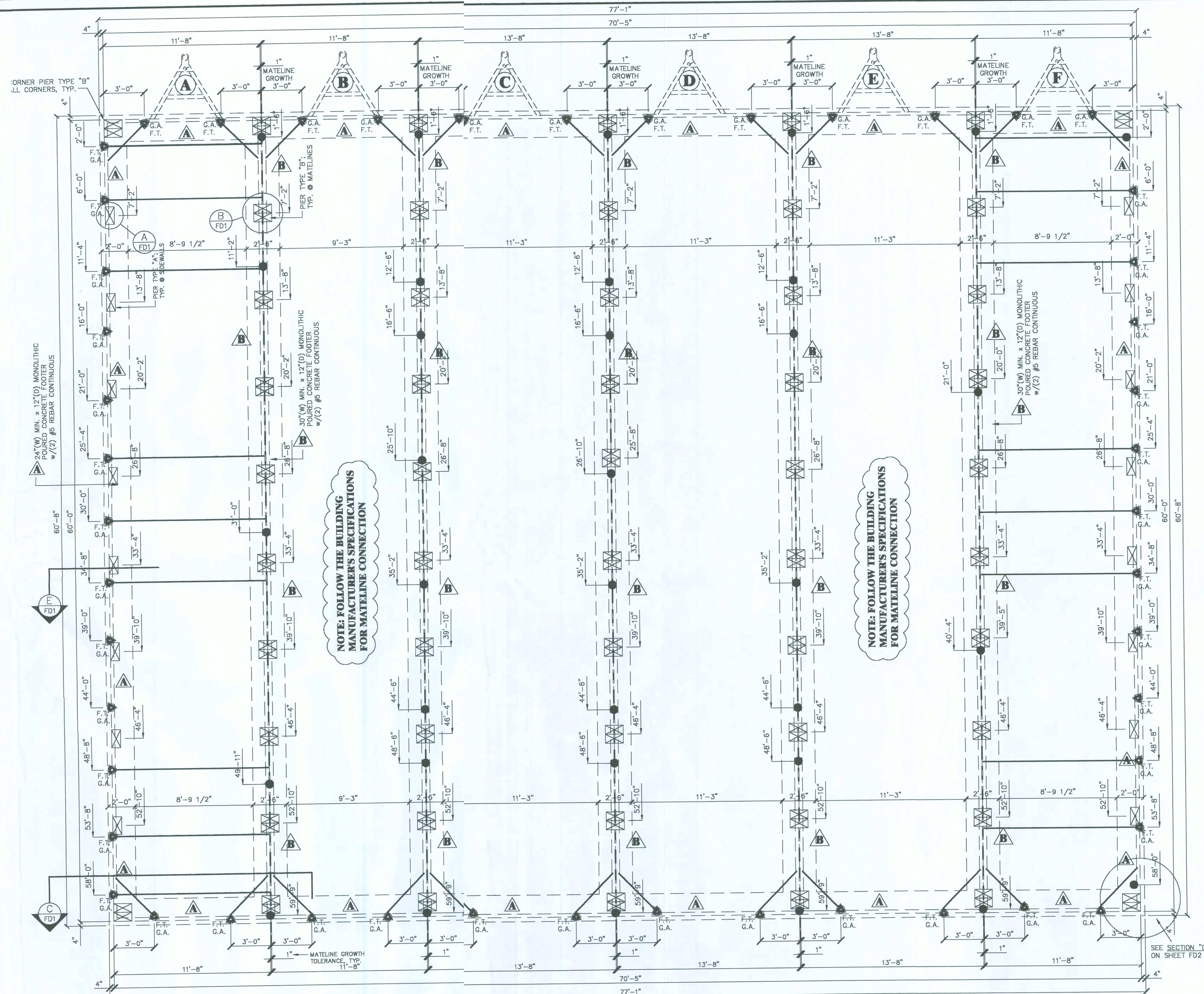
NOTE: MATELINE SUPPORT COLUMN LOCATIONS TO BE VERIFIED PRIOR TO INSTALLING MATELINE SUPPORT PIERS

## SYMBOLS:

F.T. - FRAME TIE-DOWN FASTENED TO CONCRETE ANCHOR

● - HURRICANE STRAP FASTENED TO CONCRETE ANCHOR

⊠ - CMU BLOCK PIER



## FOUNDATION PLAN

SCALE: 1/8"=1'-0"

WIND: 140 MPH (EXP. C)

SOIL: 1500 P.S.F.

## STATE OF FLORIDA:

2004 FBC w/2005-07 SUPPLEMENTS  
2004 FPC w/2005-07 SUPPLEMENTS  
2004 FMC w/2005-07 SUPPLEMENTS  
2003 NFPA 101  
2005 NEC  
FACBC  
2004 FPPC

OCCUPANCY: BUSINESS  
FLOOR DESIGN LIVE LOAD: 50/100 PSF  
ROOF LIVE LOAD: 20 PSF  
CONSTRUCTION: TYPE: V-B

FL FISH & WILDLIFE  
3377 EAST  
LAKELAND BLVD  
(386) 758-0525

## FOUNDATION PLAN

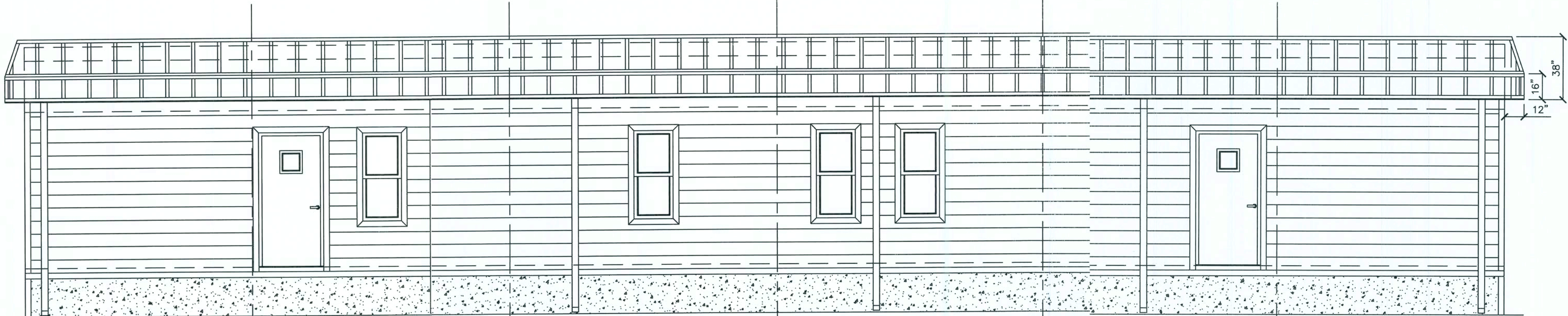
SHEET:  
**FD1**

PAGE:  
1 of 2



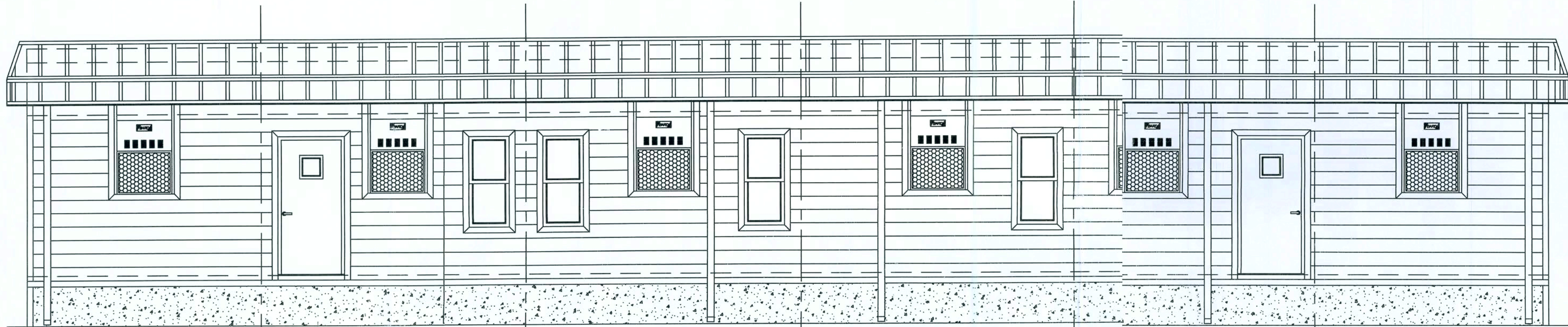






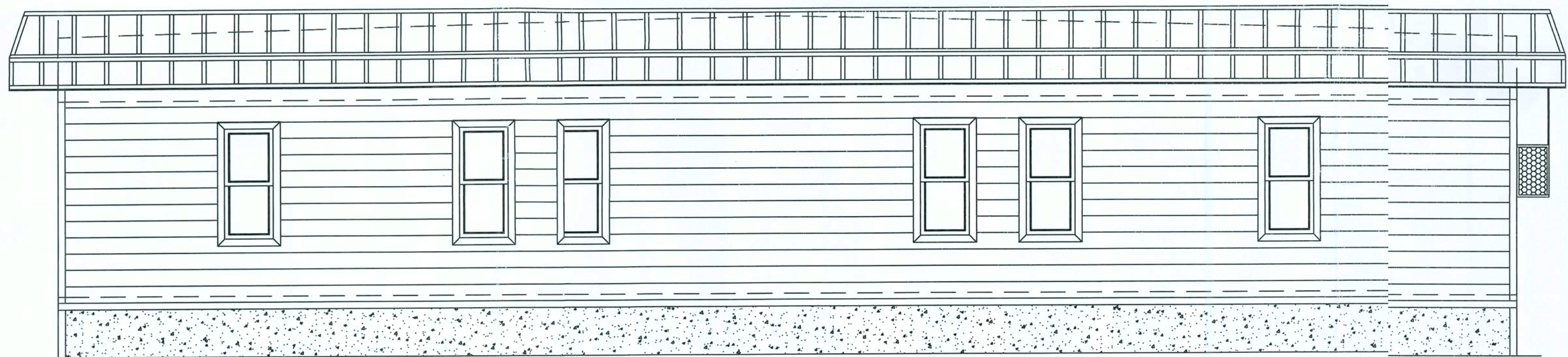
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"



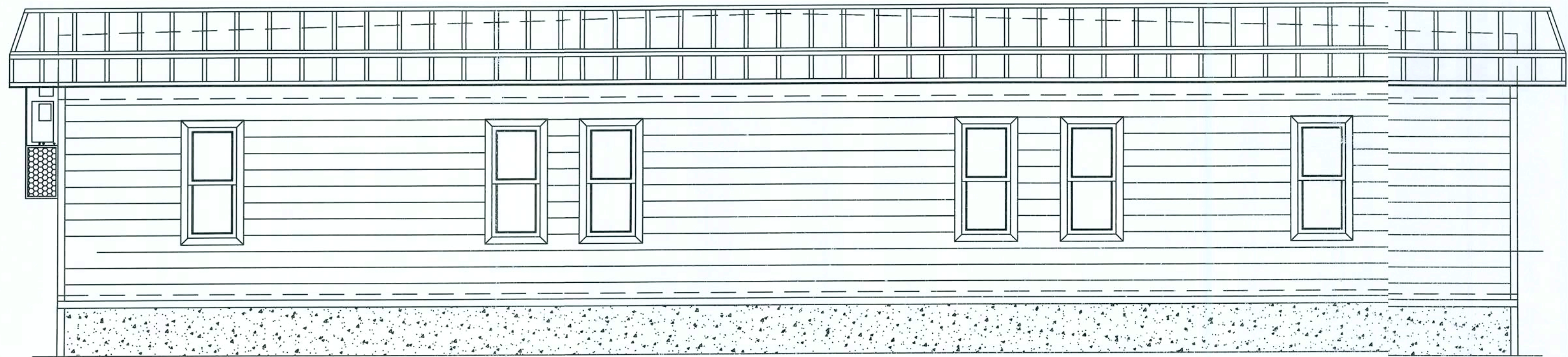
**REAR ELEVATION**

SCALE: 1/4"=1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4"=1'-0"

LISTING AGENCY APPROVAL  
THESE PRINTS COMPLY WITH THE  
FLORIDA MANUFACTURED BUILDING  
ACT OF 1978 CONSTRUCTION CODE AND  
ADHERE TO THE FOLLOWING CRITERIA:  
CONST. TYPE: V-B  
OCCUPANCY: B  
FLOOR LL: 50/100 PSF  
WIND VELOCITY: 140-(1.356C) MPH  
FIRE RATING OF  
EXT. WALLS: 0 HRS  
ALLOWABLE NO.  
OF FLOORS: 1  
MANUFACTURER: FSS  
PLAN NO: FSS-643F  
APPROVAL DATE: 10-30-08  
APPROVED FOR  
HIGH VELOCITY  
HURRICANE ZONE: NO

**RADCO**

THIRD PARTY:  
RADCO, INC.  
5456 - A CRENSHAW STREET  
TAMPA, FL 33634

REV	DATE	BY	DESCRIPTION

*J.E.B.*  
10-22-08  
10/24/08  
FL P.E. LIC. #16695

**J.E.B.**  
JAMES E. BRADLEY, P.E.  
CONSULTING ENGINEER  
1100 W. 11TH AVE., SUITE 100  
CLEARWATER, FL 33756  
Ph: (727) 565-9941

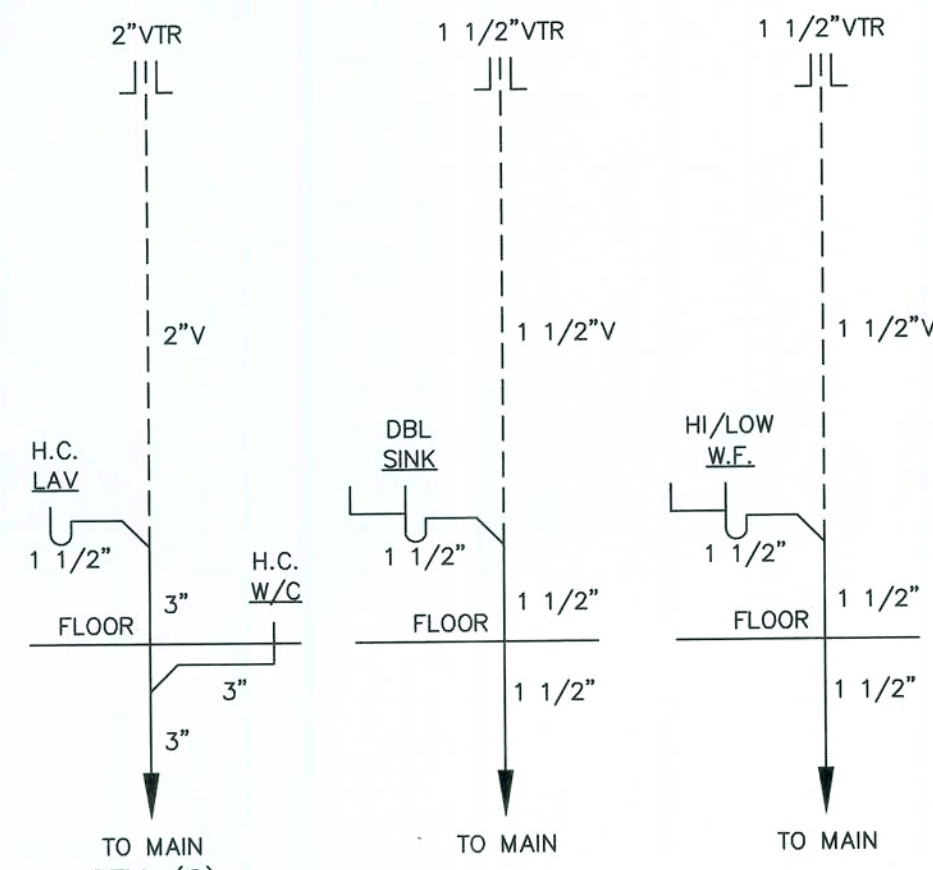
DATE:  
10-15-08  
SCALE:  
1/4"=1'-0"  
DRAWN BY:  
J.L.B.  
CHECKED BY:  
J.E.B.  
DRAWING NO. #:  
FSS-2008-0001  
MANUFACTURER:  
FSS  
SERIAL NO. #:  
643 A-F  
BUILDING SIZE:  
76'x60'  
CODES:  
SEE NOTES  
LABELS:  
FL  
JOB NO #:  
FSS-

**FIRST STRING SPACE, INC.**  
894 RAILROAD AVENUE EAST  
PEARSON, GA 31642  
(912) 422-6455

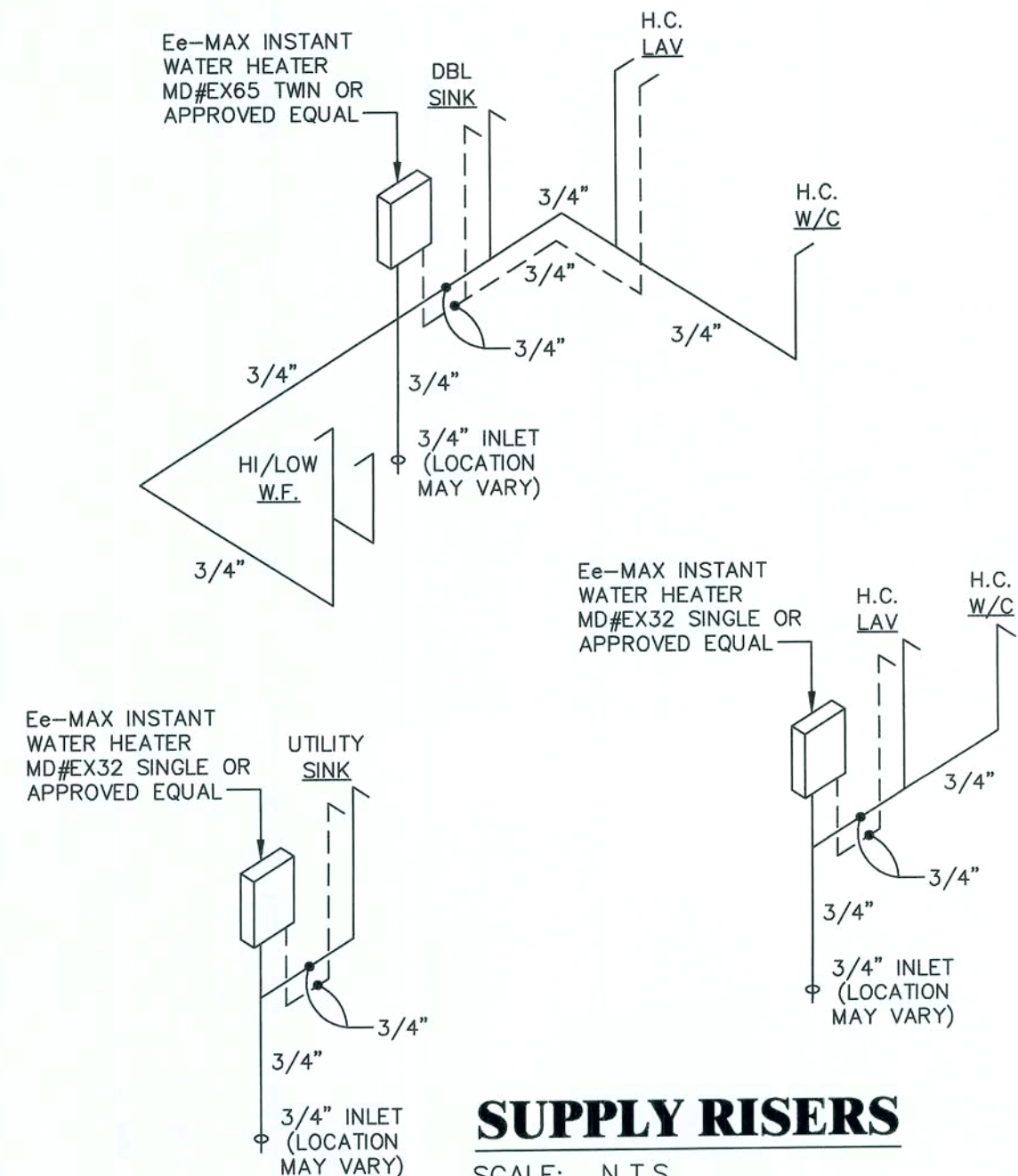
**EXTERIOR ELEVATIONS**

SHEET:  
**EV1**  
PAGE:  
2 of 5





# **D.W.V. RISERS** SCALE: N.T.S.



# **SUPPLY RISERS**

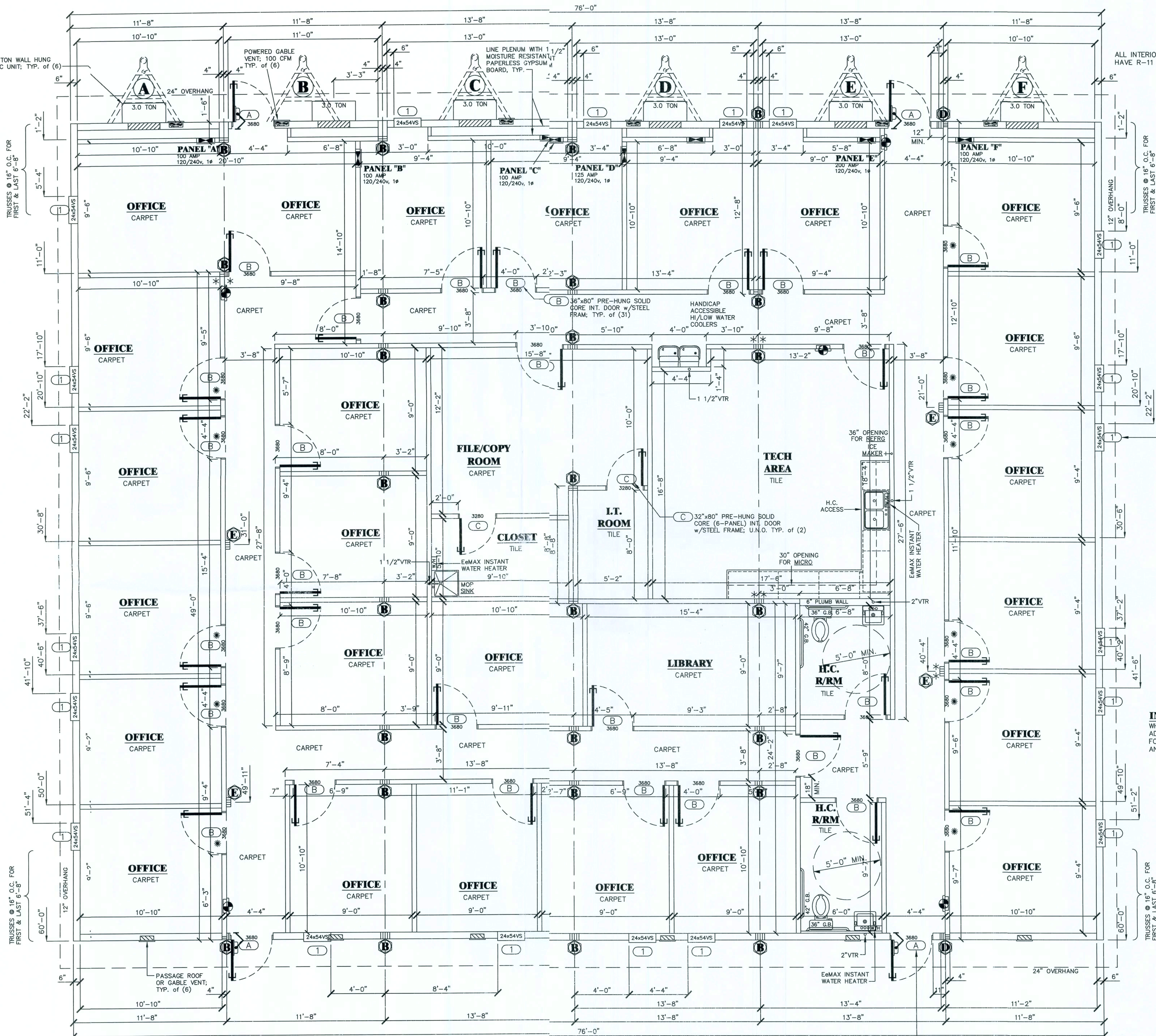
SCALE: N.T.S.  
HOT ---  
COLD ---  
ALL SUPPLY LINES SHALL BE 3/4" AND ALL  
STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE  
SPECIFIED. SUPPLY LINE SIZING IS BASED ON  
AN ASSUMED AVAILABLE PRESSURE OF 46 TO  
60 PSI AT MAIN INLET AND SHOULD BE VERIFIED  
PRIOR TO CONSTRUCTION.

# **COLUMN STRAPPING SCHEDULE**

- |                              |                              |
|------------------------------|------------------------------|
| (A) (2) 2x4 SYP #2 THIS HALF | (B) (2) 2x4 SYP #2 EACH HALF |
| (C) (3) 2x4 SYP #2 THIS HALF | (D) (3) 2x4 SYP #2 EACH HALF |
| (E) (4) 2x4 SYP #2 THIS HALF | (F) (4) 2x4 SYP #2 EACH HALF |
| (G) (3) 2x8 SYP #2 THIS HALF | (H) (3) 2x8 SYP #2 EACH HALF |

\* ADD RIDGE BEAM BEARING STIFFENER

- NOTES:
1. ALL COLUMN STUDS SHALL BE GLUE/NAILED TOGETHER.  
PVA GLUE WITH 100% COVERAGE SHALL BE USED.
  2. INSTALL TWO STEEL STRAPS AT EACH STUD OF EACH COLUMN.
  3. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.



# **FLOOR PLAN**

SCALE: 3/16"=1'-0"  
S/I #: FSS 3174 A-F

ALL INTERIOR WALLS TO  
HAVE R-11 INSULATION

# **EXT. WALLS:**

HOLD HARDI-LAP SIDING  
BACK EACH SIDE OF MATELINE

# **ROOFS:**

DRAFT STOPPING TO BE LOCATED THE  
ENTIRE LENGTH OF BOTH MATELINES  
ALL INT. GYPSUM 22" EACH  
SIDE OF MATELINE

# **INT. WALLS:**

WHERE APPLICABLE HOLD BACK  
ALL INT. GYPSUM 22" EACH  
SIDE OF MATELINE

# **R/R.M. WALLS:**

PROVIDE REINFORCING IN WALLS FOR  
WALL MOUNTED EQUIPMENT

**EXT. WALLS:**  
HOLD HARDI-LAP SIDING  
BACK EACH SIDE OF MATELINE

**INT. WALLS:**  
WHERE APPLICABLE HOLD BACK  
ALL INT. GYPSUM 22" EACH

TRUSSES @ 16" O.C. FOR  
FIRST & LAST 6'-8"

TRUSSES @ 16" O.C. FOR  
FIRST & LAST 6'-8"

LISTING AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1978 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA:	
CONST. TYPE:	V-B
OCCUPANCY:	8
FLOOR LL:	50/100
WIND VELOCITY:	140-(CL35sec) MPH
FIRE RATING OF	
EXT. WALLS:	0
ALLOWABLE NO.	
OF FLOORS:	1
MANUFACTURER	FSS
PLAN NO.:	FSS-643F
APPROVAL DATE:	10-20-08
APPROVED FOR	
HIGH VELOCITY	
HURRICANE ZONE:	NO

# **RADCO**

THIRD PARTY:  
RADCO, INC.  
5406 - A CRENSHAW STREET  
TAMPA, FL 33634

**FIRST STRING SPACE, INC.**  
894 RAILROAD AVENUE EAST  
PEARSON, GA 31642  
(912) 422-6455

# **FLOOR PLAN**

SHEET:  
**FP1**

PAGE:  
3 of 5

*James E. Bradley*  
10-22-08  
10/24/08  
FL P.E. LIC. #16695































**J.E.B.**  
JAMES E. BRADLEY, P.E.  
CONSULTING ENGINEER  
1000 W. WILSON AVE. SUITE 300  
TAMPA, FL 33606  
PH: (727) 565-9941


DATE:  
10-15-08  
SCALE:  
1/4"=1'-0"  
DRAWN BY:  
J.L.B.  
CHECKED BY:  
J.E.B.  
DRAWING NO. #:  
FSS-2008-0001  
MANUFACTURER:  
FSS  
SERIAL NO. #:  
643 A-F  
BUILDING SIZE:  
76'x60'  
CODES:  
SEE NOTES  
LABELS:  
FL  
JOB NO #:  
FSS-




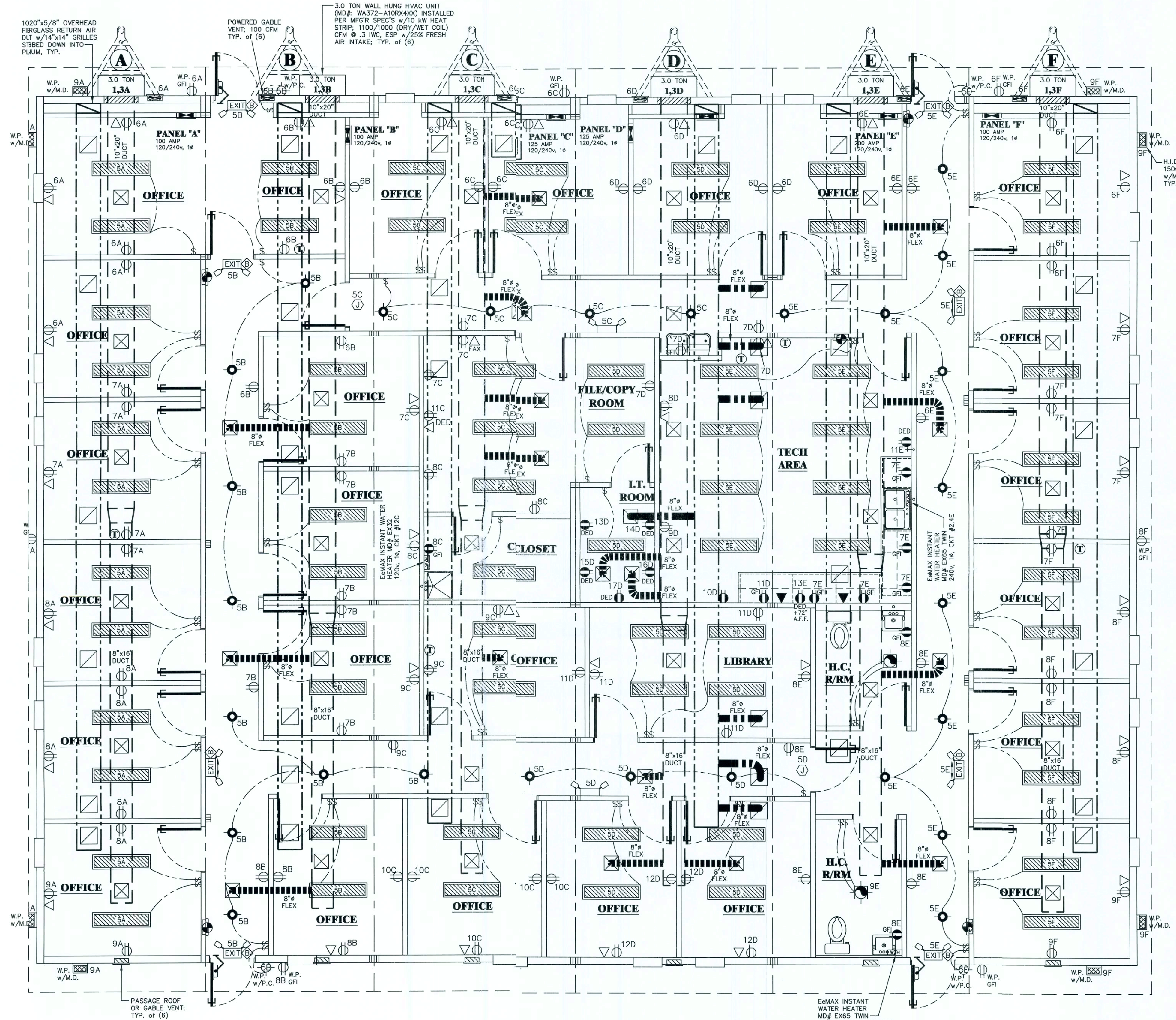
ELECTRICAL PANEL "E" SIZING		ELECTRICAL PANEL "F" SIZING	
DESCRIPTION	KVA	DESCRIPTION	KVA
.0035 KW/SF x 820 SF x 1.25 =	3.59	.0035 KW/SF x 700 SF x 1.25 =	3.06
16 RECEPTS @ 180 VA / 1000 =	2.88	21 RECEPTS @ 180 VA / 1000 =	3.78
2 DED DEEDS @ 1800 VA / 1000 =	2.75	1 WATER HEATER @ 3.5 KW =	3.50
1 WATER HEATER @ 6.5 KW =	13.00	1 FANS @ 3 KW x 1.25 =	3.75
3 FANS @ .3 KW x 1.25 =	1.13	1 HVAC @ 10.50 KW (EA.) =	10.50
1 HVAC @ 10.50 KW (EA.) =	10.50		
<b>35.85 TOTAL KW</b>		<b>17.72 TOTAL KW</b>	
TOTAL / 240 x 1000 =	149.38	TOTAL / 240 x 1000 =	73.84
100 AMP PANEL	AMPS	100 AMP PANEL	AMPS

# ELECTRICAL SYMBOLS


	DUPLEX RECEPTACLE @ 16" A.F.F.		PROGRAMMABLE A/C THERMOSTAT @ 53" J-BOX @ 48" A.F.F. FOR PULSATION STRIPPED WIRE BACK TO HORN/STROBE (2x4 SIN.)
	DUPLEX RECEPTACLE @ 42" A.F.F. (UNLESS NOTED)		H-BOXES @ 48" & 80" A.F.F. FOR PULSATION STRIPPED WIRE BACK TO HORN/STROBE (2x4 SINGLE)
	DUPLEX RECEPTACLE @ 42" A.F.F. (UNLESS NOTED)		H-BOXES @ 48" & 80" A.F.F. FOR PULSATION STRIPPED WIRE BACK TO HORN/STROBE (2x4 SINGLE)
	RECEPTACLE 240 @ 16" A.F.F.		H-BOX @ 80" A.F.F. FOR STROBE ONLY (4x4 DOUBLE GANG)
	CEILING MOUNTED DUPLEX RECEPTACLE		EXHAUST FAN-100 CFM (UNLESS NOTED)
	CEILING MOUNTED DUPLEX RECEPTACLE		EXHAUST FAN & LIGHT COMBO-100 CFM (15" PRESSURE FLUORESCENT BULB)
	CEILING MOUNTED DUPLEX RECEPTACLE		HVAC PRESSURE RELIEF VALVE
	SWITCH @ 48" A.F.F. 3-WAY SWITCH @ 48" A.F.F.		INCANDESCENT SP FIXTURE (15" FLUORESCENT BULB)
	ELECTRICAL PANEL BOX 48" TO BOTTOM		RECESSED FIXTURE (FLUORESCENT BULB)
	TELEPHONE JACK AT 16" A.F.F. (UNLESS NOTED)		WEATHERPROOF LIGHT (15" FLUORESCENT BULB)
	TELEPHONE JACK AT 42" A.F.F. (UNLESS NOTED)		WEATHERPROOF LIGHT (15" FLUORESCENT BULB)
	TELEPHONE LINE J-BOX		HVAC DISCONNECT
	COMPUTER JACK @ 16" A.F.F. (UNLESS NOTED)		
	WEATHERPROOF PHOTOCELL		
	WALL MOUNTED JUNCTION BOX 16" (UNLESS NOTED)		
	CEILING MOUNTED JUNCTION BOX		
	FLOOR MOUNTED JUNCTION BOX		
	SMOKE DETECTOR		

 1'x4" FLUORESCENT RECESSED (w/2) T-8 32w FLUORESCENT BULBS = 74w MAX.)


 DENOTES CROSS CONNECTIONS



**ELEC NOTE:**  
(ON SITE BY OTHERS) ALL J-BOX  
STUBS ARE TO HAVE CONDUIT RUN  
AT SITE BACK TO IT ROOM.

<b>FIRST STRING SPACE, INC.</b> 894 RAILROAD AVENUE EAST PEARSON, AL 36442 (312) 422-6453	<b>ELEC/HVAC PLAN</b>	SHEET: <b>E/H1</b>	PAGE: 4 of 5	<div><div><div><b>J.E.B</b> JAMES E. BRADLEY, P.E. REGISTERED ELECTRICAL CONSULTING ENGINEER 1785 CARNegie AVENUE CLEARWATER, FL 33756 Ph: (727) 505-9941</div><div> 10/24/08 FL P.E. LIC. #16695</div></div></div>				REV	DATE	BY	DESCRIPTION

LISTING AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA:	
CONST. TYPE:	V-B
OCCUPANCY:	B
FLOOR LL:	50/100
WIND VELOCITY:	140-0 (35mph)
FIRE RATING OF	PSF
WALLS:	NO
ALLOWABLE NO.	HRS
OF FLOORS:	1
MANUFACTURER	PSF-643F
PLAN NO.:	1
APPROVAL DATE:	10-30-96
APPROVED FOR:	
HURRICANE ZONE:	NO

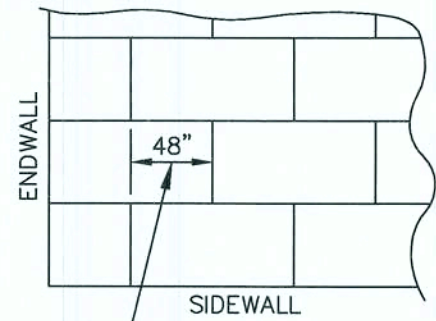


THIRD PARTY:  
 PACO, INC.  
 5456 S CRENSHAW STREET  
 TAMPA, FL 33634



GENERAL CROSS-SECTION NOTES:

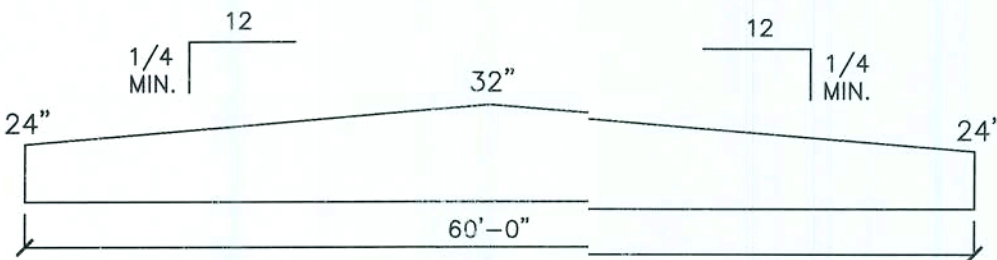
- UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A36, YIELD STRENGTH = 36 KSI.
- ALL LAG SCREWS MUST COMPLY WITH ANSI/ASME B18.2.1. Fy = 60 K.S.I. MIN.
- EXTERIOR WALL STUDS MAY NOT BE NOTCHED OR CUT (DADO), UNLESS STUDS ARE DOUBLED.
- TRUSS BOTTOM CHORDS MUST BE BRACED IN ACCORDANCE WITH SPECIALTY ENGINEERS DESIGN DRAWING.



7/16" APA RATED O.S.B. SHEATHING TO BE FASTENED TO TRUSSES w/8d NAILS @ 4" O.C. (EDGES) AND 4" O.C. (FIELD)

ROOF SHEATHING DETAIL

SCALE: N.T.S.



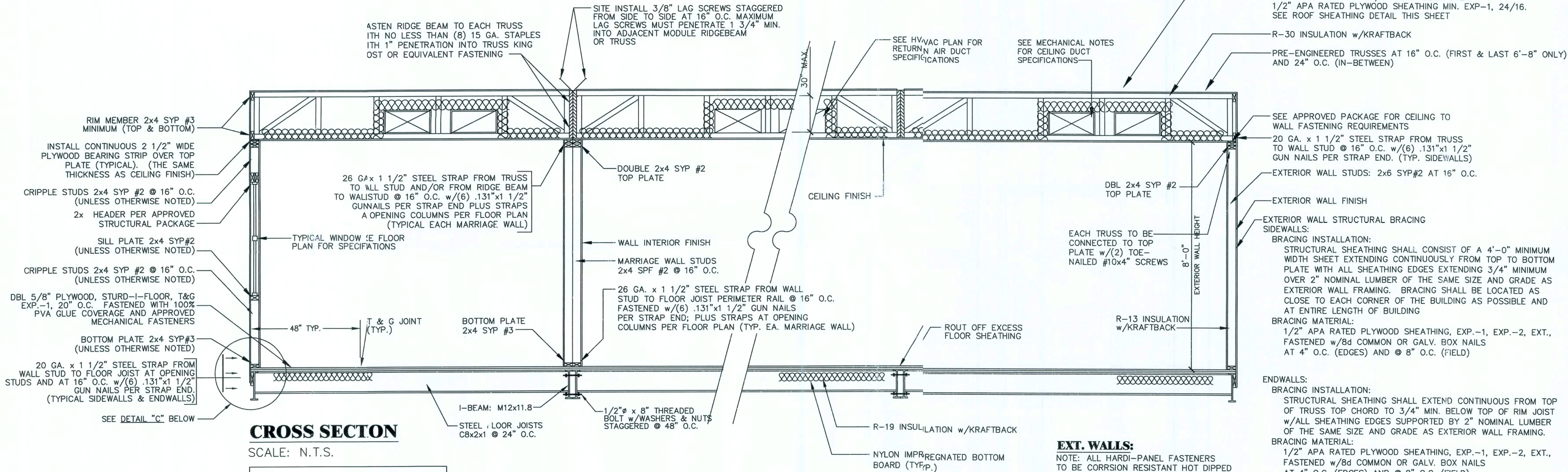
ROOF SLOPE DETAIL

SCALE: N.T.S.

APPROVED TRUSS DESIGN:  
TRUSS MFG'R: UNIVERSAL  
TRUSS DWG #: F072908 UNITS A & F  
TRUSS DWG #: F072906 UNITS B  
TRUSS DWG #: F063106 UNITS C,D & E  
(OR APPROVED EQUAL)

NOTE:  
TRUSSES HICH DO NOT FALL DIRECTLY OVER WALL STUDS SHALL BESTRAPPED TO TOP PLATE w/(1) 26 GA x 1 1/2" STRAP AN FASTENED w/(8) 15 GA. x 1 1/2" STAPLES WITH MIN. 1" PENETRATION PER STRAP END. STRAP WALL STUDS EITHER SE OF TRUSS TO DOUBLE TOP PLATE w/(1) 26 GA. x 1 1/2" TRAP WRAPPED AROUND DOUBLE TOP PLATE AND FASTENED w/(8) 15 GA. x 1 1/2" STAPLES WITH MIN. 1" PENETRATION

2.7 SQUARE FEET NET FREE AREA OF ATTIC VENTILATION TO BE PROVIDED BY GABLE AND/OR ROOF VENTS, PER MODULE.



CROSS SECTION

SCALE: N.T.S.

NOTE: AIR GAPS BETWEEN FLOOR AND CEILING SHALL E CAULKED, GASKETED, WEATHERSTRIPPED, WRAPPED OR OTHERWISE SEALED.

EXT. WALLS:

NOTE: ALL HARDI-PANEL FASTENERS TO BE CORROSION RESISTANT HOT DIPPED GALVANIZE OR STAINLESS STEEL AND ALL JOINTS TO BE CAULKED

RIDGE BEAM CONSTRUCTION:

(2) LAYERS OF 3/4" x 24" PLYWOOD RATED SHEATHING EXP.-1 48/24, STRUCT.-1, 5 PLY/5 LAYER EACH SIDE OF EACH MARRIAGE LINE, CONTINUOUS ENTIRE LENGTH OF CLEAR SPANS.

NOTES:

- PLYWOOD FACE GRAIN MUST BE PARALLEL TO THE RIDGE BEAM SPAN.
- ALL PLYWOOD BUTT JOINTS MUST BE STAGGERED 24" MINIMUM.
- ALL RIDGE BEAM PLYWOOD LAMINATIONS MUST BE THE SAME DEPTH, THICKNESS, AND GRADE OF PLYWOOD. NO LUMBER OR PLYWOOD FLANGES ARE PERMITTED.
- PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE WITH PS 1-95.
- PLYWOOD LAMINATIONS IN EACH HALF OF THE UNITS MUST BE GUN NAILED TO ADJACENT LAYERS IN ACCORDANCE WITH PDS SUPPLEMENT #5, WITH AN ADHESIVE COMPLYING WITH ASTM D3024, D2559, OR CA25-4.
- PLYWOOD MUST NOT BE TREATED WITH A FIRE RETARDANT PROCESS.
- MOISTURE CONTENT MUST BE LESS THAN 16 %.
- BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
- INSTALL (2x4) x 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN; FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100 % GLUE COVERAGE AND 6- 16 GA. x 2-1/2" STAPLES.

INTERIOR FINISH MATERIAL:

CEILING: 5/8"ICH GYPSUM BOARD (KNOCKDOWN FINISH) - THRU OUT; INSTLED PER MANUFACTURER'S SPECIFICATIONS.

WALL: 5/8"TYPE-X VINYL COVERED GYPSUM WALL BOARD (BATTENLESS) - THRU OUT; INSTLED PER MANUFACTURER'S SPECIFICATIONS.  
5/8"FIRE RESISTANT PAINTED CDX PLYWOOD - IT ROOM ONLY;

FLOOR: CARFT AND VINYL BLOCK TILE - SEE FLOOR PLAN FOR LOCATION INSTLED PER MANUFACTURER'S SPECIFICATIONS.

EXTERIOR FINISH MATERIAL:

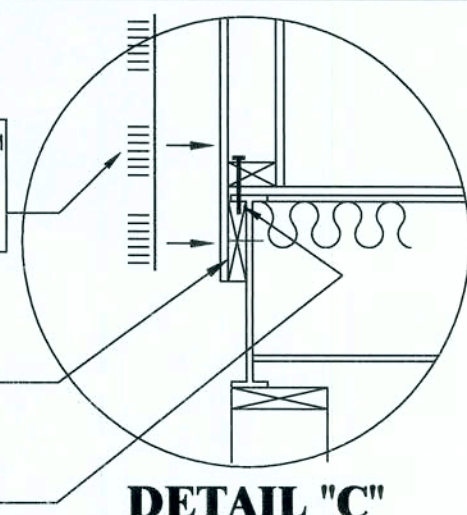
ROOF: 60 MIL EPDM SYNTHETIC MEMBRANE ROOF COVERING INSTALLED PER MANUFACTURERS SPECIFICATIONS.

WALL: 5/16 INCH HARDI-LAP OVER APPPROVED WEATHER RESISTANT BARRIER AND BRACING MATERIAL; FASTEN w/8d x 2 1/2" COMMON NAILS @ 6" O.C. IN ACCORDANCE WITH FLORIDA PRODUCT APPROVAL AND MANUFACTURER'S SPECIFICATIONS

20 GA. x 1 1/2" x 16" STEEL STRAP FROM WALL STUD TO 2x6 SIDERAIL AT OPENING STUDS & AT 16" O.C. FASTEN w/(6) .131"x1 1/2" GUN NAILS PER STRAP END; (TYP. FULL PERIMETER)

2x6 P.T. SIDERAIL, RUNNING THE ENTIRE LENGTH OF I-BEAM. FASTENED TO I-BEAM w/(1) 2 1/2" HILT SHOT @ 48" O.C.

(1) HILT SHOT @XDN1 38 PBS36 w/WASHER AT 16" O.C. FROM BOTTOM PLATE INTO PERIMETER I-BEAM (FULL PERIMETER)



DETAIL "C"

SCALE: NONE

LISTING AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA:  
CONST. TYPE: V-B  
OCCUPANCY: 0  
FLOOR LL: 50/100 PSF  
WIND VELOCITY: 140-(135ms) MPH  
FIRE RATING OF EXT. WALLS: 0 HRS  
ALLOWABLE NO. OF FLOORS: 1  
MANUFACTURER PLAN NO.: FSS-643F  
APPROVAL DATE: 10-30-08  
APPROVED FOR HIGH VELOCITY HURRICANE ZONE: NO

AROCO

THIRD PARTY:  
AROCO, INC.  
5455 S. A CRENshaw STREET  
TAMPA, FL 33634

FIRST STRING SPACE, INC.  
894 RAILROAD AVENUE EAST  
PEARSON, GA 31642  
(912) 422-6455

BUILDING CROSS SECTION

SHEET:

X1

PAGE:

5 of 5

FL P.E. LIC. #16695  
J.E.B.  
JAMES E. BRADLEY, P.E.  
CONSULTING ENGINEER  
1785 CARNegie AVENUE  
PEARSON, GA 31642  
PH (770) 905-9941

J.E.B.  
JAMES E. BRADLEY, P.E.  
CONSULTING ENGINEER  
1785 CARNegie AVENUE  
PEARSON, GA 31642  
PH (770) 905-9941

DATE: 10-15-08  
SCALE: NONE  
DRAWN BY: J.L.B.  
CHECKED BY: J.E.B.  
DRAWING NO. #: FSS-2008-0001  
MANUFACTURER: FSS  
SERIAL NO. #: 643 A-F  
BUILDING SIZE: 76'x60'  
CODES: SEE NOTES  
LABELS: FL  
JOB NO #: FSS-



STRUCTURAL LOAD LIMITATIONS:

FLOOR LIVE LOAD:  
A. 100 PSF (LOBBIES & CORRIDORS)  
50 PSF (REMAINDER)  
2000 LBS (CONCENTRATED)

ROOF LIVE LOAD:  
A. 20 PSF  
ROOF SNOW LOAD: N/A

WIND LOAD:  
1. 140 MPH WIND SPEED  
2. II WIND IMPORTANCE FACTOR.  
3. C BUILDING CATEGORY.  
4. ENCLASURE CLASSIFICATION: ENCLOSED WIND EXPOSURE CATEGORY.  
Gcpi = 0.18 INTERNAL PRESSURE COEFFICIENT.

5. COMPONENT & CLADDING LOAD:  
(ROOFS) (OVERHANGS)  
Pr = -42.71 PSF ZONE 1 Pr = -61.47 PSF ZONE 2  
Pr = -71.53 PSF ZONE 2 Pr = -101.28 PSF ZONE 3  
Pr = -107.69 PSF ZONE 3

(WALLS / WINDOWS / DOORS):  
Pw = -46.22 PSF ZONE 4  
Pw = -57.11 PSF ZONE 5

6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

7. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT IN A HIGH VELOCITY HURRICANE ZONE AS DEFINED BY THE FBC.

SEISMIC LOAD: N/A

FLOOD LOAD:  
THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE BOTTOM OF THE STRUCTURAL I-BEAM MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL. FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA OR THE GRADE AT THE BUILDING SITE MUST BE ABOVE THE FLOOD PLANE LEVEL.

FOUNDATION NOTES:

- NOTE: ALL REQUIRED BUILDING AND/OR CONSTRUCTION PERMITS MUST BE APPLIED FOR AND OBTAINED FROM THE LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO ANY WORKED BEING DONE ON THE ABOVE SHOWN FOUNDATION DESIGN.
1. TIE-DOWN STRAPS TO BE 1-1/4" X .035 GALVANIZED STEEL FEDERAL SPECIFICATION Q35-781-H TYPE-1 FINISH-8 GRADE-1 TIE-DOWN STRAPS AND CONNECTING HARDWARE TO HAVE 4,725# MINIMUM ULTIMATE CAPACITY (3,150# x 1.5).
  2. POURED CONCRETE TO BE MIN. 3000 P.S.I.
  3. ALL TIE DOWN ANCHORS SHALL HAVE MINIMUM 4,725 LB. CAPACITY AND SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  4. SEE ABOVE FOUNDATION LAYOUT FOR TIE-DOWN STRAP SPACING.
  5. ALL PERS SHALL BE 8"x8"x16" MASONRY BLOCKS EXCEPT AS OTHERWISE NOTED ON THE FOUNDATION PLAN.
  6. MINIMUM SOIL BEARING CAPACITY IS 2,000 PSF. TO BE VERIFIED BY BUILDING'S OWNER. IT WILL BE THE BUILDING OWNER'S RESPONSIBILITY TO INSURE THAT ALL GRASS, LOOSE DEBRIS, ETC ARE REMOVED FROM UNDER THE SLAB AND THAT THE GROUND IS LEVELED TO WITHIN 6" AND FIRMLY COMPACTED.
  7. WOOD SHIMS MAY BE INSTALLED WHEN NECESSARY, BETWEEN THE I-BEAM AND THE TOP OF THE PIER. SHIMS SHALL BE FREE OF KNOTS, CHECKS, SPLITS, AND SIMILAR IMPERFECTIONS. SHIMS SHALL BE OF P.T. LUMBER AND BEARING AT ALL CONTACT POINTS SHALL NOT BE LESS THAN 2/3 OF THE BEARING PRIOR TO ADDING THE SHIMS.
  8. LAP HORIZONTAL STEEL REINFORCING REBAR IN FOOTING A MIN. OF 25 INCHES. PROVIDE CORNER BARS TO LAP HORIZONTAL STEEL.
  9. OVERALL WIDTH DIMENSION IS NOMINAL AND IS BASED ON UNIT WIDTH X NUMBER OF UNITS. ACTUAL OVERALL WIDTH MAY INCREASE DUE TO SITE CONDITIONS, MATERIAL TOLERANCES. FAILURE TO REMOVE CLOSE-UP MATERIAL AND/OR OTHER FACTORS BEYOND THE CONTROL OF THE BUILDING MANUFACTURER.
  10. PIER A: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 34" SHALL REQUIRE FOUNDATIONS TO BE ENGINEERED BEYOND THIS APPROVAL.  
PIER B: FIELD CONDITIONS WITH DRY STACK PIERS GREATER THAN 68" SHALL REQUIRE FOUNDATIONS TO BE ENGINEERED BEYOND THIS APPROVAL.
  11. CONCRETE FOOTERS TO BE MIN. 12" THICK 3000 P.S.I.
  12. ALL CONCRETE SLAB ANCHORS TO BE #MU2, #MIT2, OR #MICS2 (TIE-DOWN ENGINEERING, INC.) OR AN APPROVED EQUAL.
  13. HANDICAP RAMPS(S), STAIR(S), AND HANDRAILS ARE TO BE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION AND APPROVAL.
  14. ALL MASONRY PIERS MUST BE LAID IN TYPE "M" OR "S" MORTAR IN COMPLIANCE W/ASTM C887, OR SHALL HAVE SURFACE BONDING MORTAR IN COMPLIANCE W/ASTM C 946.

NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A MIN. 4"x2"x2"x1/4" STEEL ANGLE WELDED TO FRAME. SEE DETAIL ON SHEET FD2.

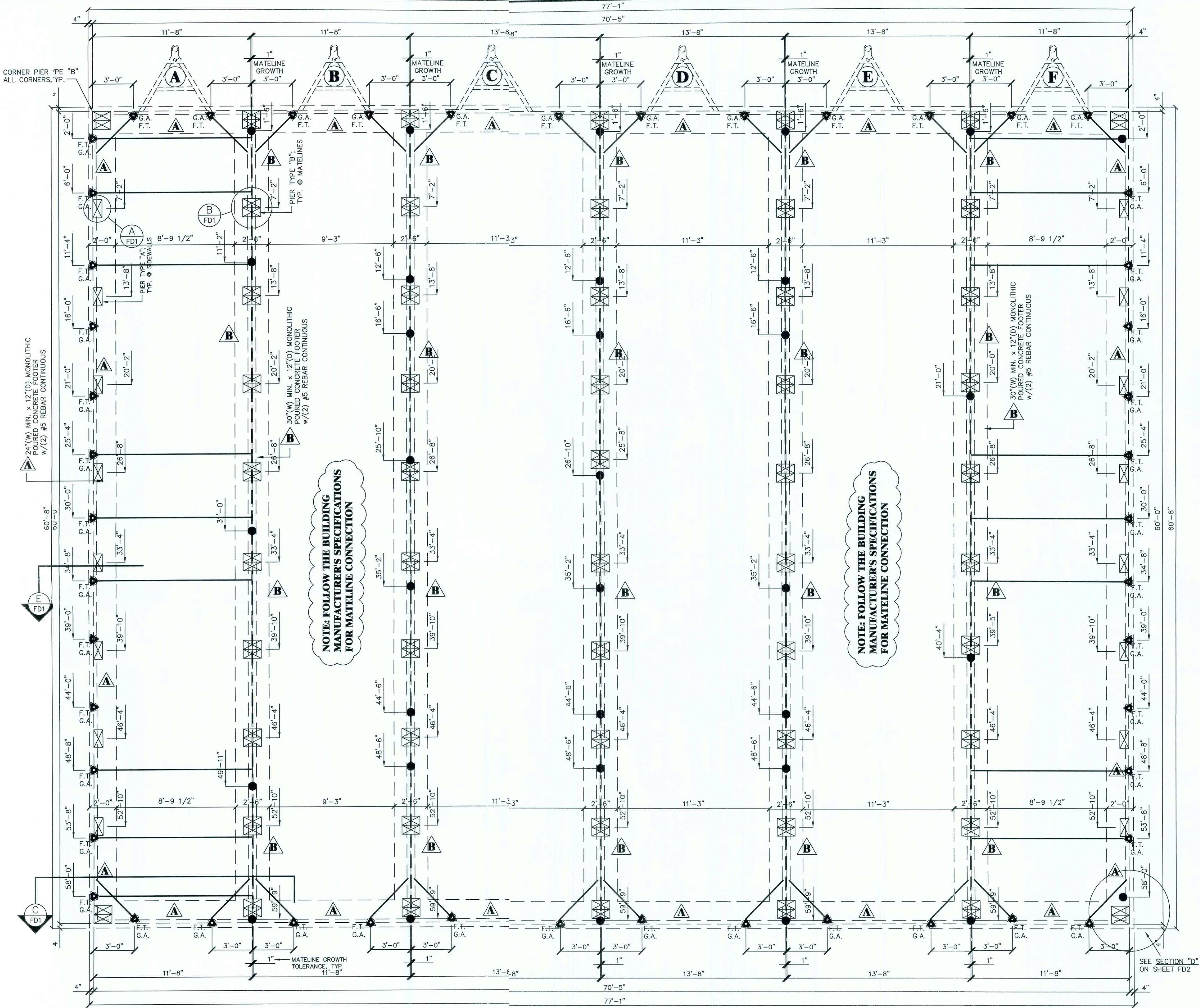
NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A MINUTE MAN #MMA-71 BOLTED TO SIDE OF I-BEAM FRAME. SEE DETAIL ON SHEET FD2.

NOTE: ALL STEEL STRAP LOCATIONS MAY BE ATTACHED TO PERIMETER FRAME WITH A SLOT CUT THRU THE I-BEAM AND THE STRAP WRAPPED THRU THE FRAME. SEE DETAIL ON SHEET FD2.

- NOTE: STRAP SPACING MAY VARY DUE TO SITE CONDITIONS
- NOTE: FRAME TIES ONLY, NO OVER-THE-ROOF STRAPS REQUIRED. SEE DETAIL E-FD1.
- NOTE: FIRST STRAP FROM END WALLS NOT TO EXCEED 2'-0"
- NOTE: MATELINE SUPPORT COLUMN LOCATIONS TO BE VERIFIED PRIOR TO INSTALLING MATELINE SUPPORT PIERS

SYMBOLS:

- F.T. - FRAME TIE-DOWN FASTENED TO CONCRETE ANCHOR
- - HURRICANE STRAP FASTENED TO CONCRETE ANCHOR
- ⊠ - CMU BLOCK PIER



FOUNDATION PLAN

SCALE: 1/8"=1'-0"

WIND: 140 MPH (EXP. C)  
SOIL: 2000 P.S.F.

STATE OF FLORIDA:

2004 FBC w/2005-07 SUPPLIMENTS  
2004 FPC w/2005-07 SUPPLIMENTS  
2004 FMC w/2005-07 SUPPLIMENTS  
2003 NFPA 101  
2005 NEC  
FACBC  
2004 FFPC

OCCUPANCY: BUSINESS  
FLOOR DESIGN LIVE LOAD: 50/100 PSF  
ROOF LIVE LOAD: 20 PSF  
CONSTRUCTION: TYPE: V-B

APPROVED RADCO  
OCT 3 0 2008  
R. JOHNSON

DESCRIPTION

BY

DATE

REV

FL P.E. LIC. #16695

J.E.B. JAMES E. BRADLEY, P.E. CONSULTING ENGINEER 1785 CARNegie AVENUE CLEARWATER, FL 33756 PH. (727) 353-9941

DATE: 10-15-08  
SCALE: 1/4"=1'-0"  
DRAWN BY: J.L.B.  
CHECKED BY: J.E.B.  
DRAWING NO. #: FSS-2008-0001  
MANUFACTURER: FSS  
SERIAL NO. #: 643 A-F  
BUILDING SIZE: 78'x60'  
CODES: SEE NOTES  
LABELS: FL  
JOB NO. #:

FL FISH & WILDLIFE 1377 E. EAST AS HWY 80 LAKE CITY, FL 32055 (386) 758-0525

FOUNDATION PLAN

SHEET: FD1

PAGE: 1 of 2





SCALE: N.T.S.



SCALE: N.T.S.



SCALE: N.T.S.

**NOTE: MINUTE MAN GATOR CLAMP MD#MMA34 AND #MMA31 AND THE CORNER TIE-CLIP MD#MMA71C HAVE BEEN TESTED AND ARE APPROVED MATERIALS ALLOWED TO BE USED ON THIS FOUNDATION INSTALLATION IF NECESSARY.**

