

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

2974

For Office Use Only

(Revised 7-1-15)

Zoning Official

LC

Building Official

7/11/18 4-4-18

AP#

1803-80

Date Received

3-26-18

By

Permit #

36575

Flood Zone

X

Development Permit

Zoning

A3

Land Use Plan Map Category

A

Comments

FEMA Map#

Elevation

Finished Floor

1. above road

River

In Floodway

☐ Recorded Deed or ☒ Property Appraiser PO ☒ Site Plan ☒ EH # 18-0291 ☐ Well letter OR

☐ Existing well ☒ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # ☐ STUP-MH ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment owed ☐ Out County ☐ In County ☒ Sub VF Form

Property ID #

36-35-15-00302-006

Subdivision

n/a

Lot#

▪ New Mobile Home ☒ Used Mobile Home ☐ MH Size 28x60 Year 2018

▪ Applicant Kimberly Moon Phone # 386 688 2345

▪ Address 1154 NW Hoagel Rd Lake City FL 32055

▪ Name of Property Owner Blake Summers Phone # 386-365 5512

▪ 911 Address 936 SW Mayo Road Lake City FL 32024

▪ Circle the correct power company - FL Power & Light - Clay Electric

(Circle One) - Suwannee Valley Electric - Duke Energy

▪ Name of Owner of Mobile Home Cynthia Summer-Woodermilk Phone # 365-5512

Address 936 SW Mayo Rd. Lake City FL 32055

▪ Relationship to Property Owner mom

▪ Current Number of Dwellings on Property 0 B.V.

▪ Lot Size 680 Total Acreage 13.9

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home no

▪ Driving Directions to the Property TL Marion, TR US-90 W. Ct. for 8.1 miles, TL SW Mayo Rd 0.7 miles property on left.

▪ Name of Licensed Dealer/Installer Ernest "Scott" Johnson Phone # 352-494-8099

▪ Installers Address 3204 SE US Hwy 301, Hawthorne, FL 32640

▪ License Number IH-1025249 Installation Decal # 48038

1/10 sent email 4.5.18

UA - Emailed Kim 4-12-18

6/11/88

SCANNED



## Mobile Home Permit Worksheet

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf  
or check here to declare 1000 lb. soil without testing.

x 1000 x 1000 x 1000

## POCKET PENETROMETER TESTING METHOD

1. Test the penetrometer of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

## TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

x 1000 x 1000 x 1000

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Ernest S. Johnson  
Assumed Oliver, 11/11/11  
2505 495 foot anchors

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

Application Number: \_\_\_\_\_

Date: \_\_\_\_\_

## Site Preparation

Debris and organic material removed

Swale

Pad

Other

Water drainage: Natural

Fastening multi wide units

Floor: Type Fastener: 1/4" x 5" Length: 4" Spacing: 20"

Walls: Type Fastener: 1/4" x 5" Length: 4" Spacing: 20"

Roof: Type Fastener: 1/4" x 5" Length: 4" Spacing: 20"

For used homes a min/30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weatherstripping requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Pg. 1

Installed:

Between Floors Yes

Between Walls Yes

Bottom of ridgebeam Yes

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. \_\_\_\_\_

Siding on units is installed to manufacturer's specifications. Yes Pg. \_\_\_\_\_

Fireplace chimney installed so as not to allow intrusion of rain water. Yes Pg. \_\_\_\_\_

## Miscellaneous

Skirting to be installed. Yes No

Dryer vent installed outside of skirting. Yes No

Range downflow vent installed outside of skirting. Yes No

Drain lines supported at 4 foot intervals. Yes No

Electrical crossovers protected. Yes No

Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

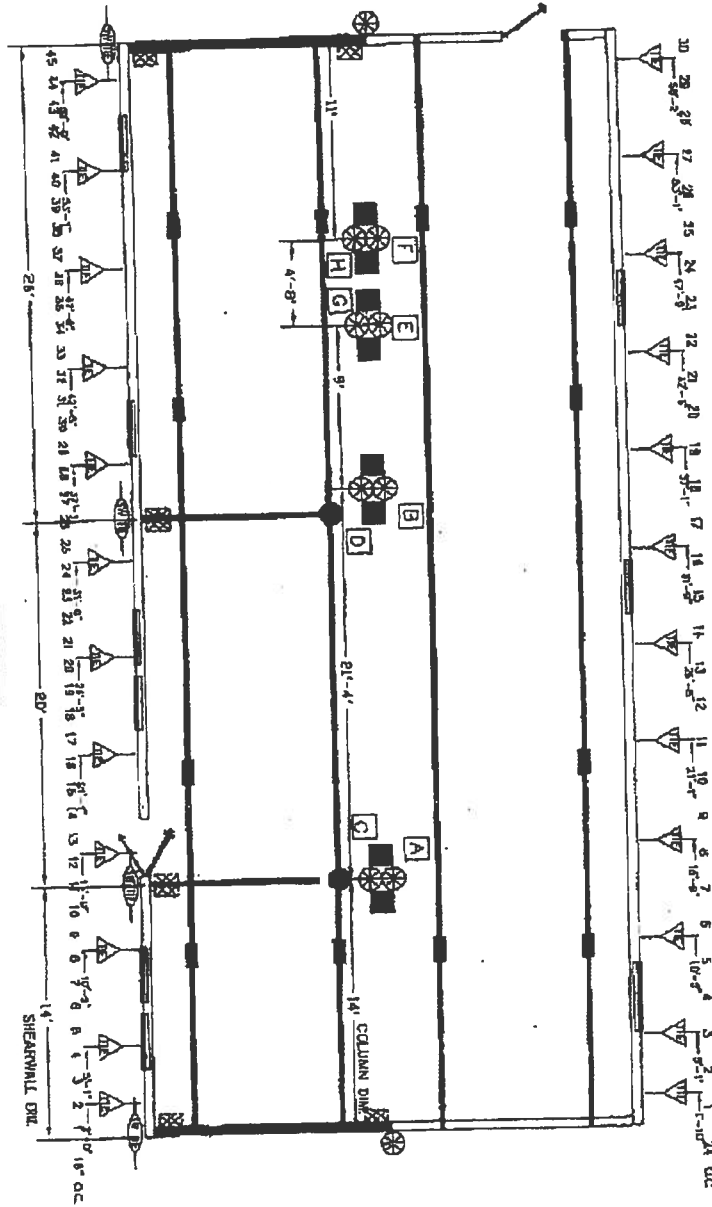
Installer Signature Ernest S. Johnson Date \_\_\_\_\_

- 1-BEAM BLOCKING CAPACITY CHARTS FOR SPACING
- SET SOL. BEARING CAPACITY CHARTS FOR PAD SIZE
- COLUMN BLOCKING
- SEE SOL. BEARING CAPACITY CHARTS FOR PAD SIZE
- SHEARWALL BLOCKING
- SHEARWALL FRAME TIE
- CENTER LINE TIES
- VERTICAL TIE MAX. SPACING 8'-9" CENTER TO CENTER
- LONGITUDINAL TIES

SHEARWALL TIE

BLOCKING LEGEND:

- 1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED SIDING WALLS AND EXTERIOR WALL OPENINGS 48" OR GREATER, WILL REQUIRE BLOCKING ON EACH SIDE.
- 2) 32" RIBBON ROOF REQUIRED TO BE BLOCKED WITH 6"-0" ON CENTER BETWEEN COLUMNS.




<b>TOWNHOMES</b>		<b>Townhomes</b>	
DIFFERENTIAL (UNIFORM) INTERIOR		P.D. BOX 1050	
Order: 1-6-08		LAKELAND, FLORIDA	
D/T: HCB		32058	
Partic: NLR		Resid: 257A	
Spec: 1 (04)		Date: 257A	
Mod: 2837-212		Print: BLOCKING PLAN	

Cynthia Summers  
Woburn, MA

FRONT



		<b>TownHomes</b> P.O. BOX 1059 LAKE CITY, FLORIDA 32056	
<b>NOT A REPAIR - RENTAL - ADDITIONAL FEE</b>			
Date:	1-5-08	Revisions	Code: 2857A
Dr'n:	ROB		
Parent:	NEW		
Code:	T (09)		
Model:	2857-212		
123 TOWN 2008 2008		Print: 1600 SQ.FT. SALES	



OLIVER TECHNOLOGIES, INC.  
FLORIDA INSTALLATION INSTRUCTIONS FOR THE  
**MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM**  
MODEL 1101"V" (STEPS 1-15)  
LONGITUDINAL ONLY: FOLLOW STEPS 1-9  
FOR ADDING LATERAL ARM : Follow Steps 10-15  
FOR CONCRETE APPLICATIONS: Follow Steps 16-19

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - **STOP! Contact Oliver Technologies at 1-800-284-7437 :**  
a) Pier height exceeds 48"    b) Length of home exceeds 76'    c) Roof eaves exceed 16"    d) Sidewall height exceed 96"  
e) Location is within 1500 feet of coast

**INSTALLATION OF GROUND PAN**

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C) .  
3. Place ground pan (C) directly below chassis I-beam . Press or drive pan firmly into soil until flush with or below soil.  
**SPECIAL NOTE:** The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

**INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM**

**NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4" . VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.) .**

4. Select the correct square tube brace (E) length for set - up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT (Approx. 45 degrees Max.)	1.25" ADJUSTABLE Tube Length	1.50" ADJUSTABLE Tube Length
--	---------------------------------	---------------------------------

7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E {18" tube} ) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.  
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.  
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.  
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degree and not below 40 degrees.  
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four(4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.

**INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM**

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".

FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. **NOTE:** Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.  
11. **NOTE:** Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. This frame tie & stabilizer plate needs to be located within 18" from of center ground pan.  
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)  
13. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.  
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector ( I ) with bolt and nut.  
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



**OLIVER TECHNOLOGIES, INC.**  
**1-800-284-7437**

Telephone 931-796-4555  
Fax 931-796-8811  
www.olivertechnologies.com

# **INSTALLATION USING CONCRETE RUNNER / FOOTER**

16. A concrete runner, footer or slab may be used in place of the steel ground pan.
  - a) The concrete shall be minimum 2500 psi mix
  - b) A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
  - c) Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
  - d) If a full slab is used, the depth must be a 4" minimum at system bracket location, all other specifications must be per local jurisdiction. Special inspection of the system bracket installation is not required.. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

**NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.**



## **LONGITUDINAL: (Model 1101 LC "V")**

17. When using Part # 1101-W-CPA (wetset), simply install the bracket in runner/footer **OR** When installing in cured concrete use Part # 101-D-CPA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into drilled holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete. Complete by tightening nuts.

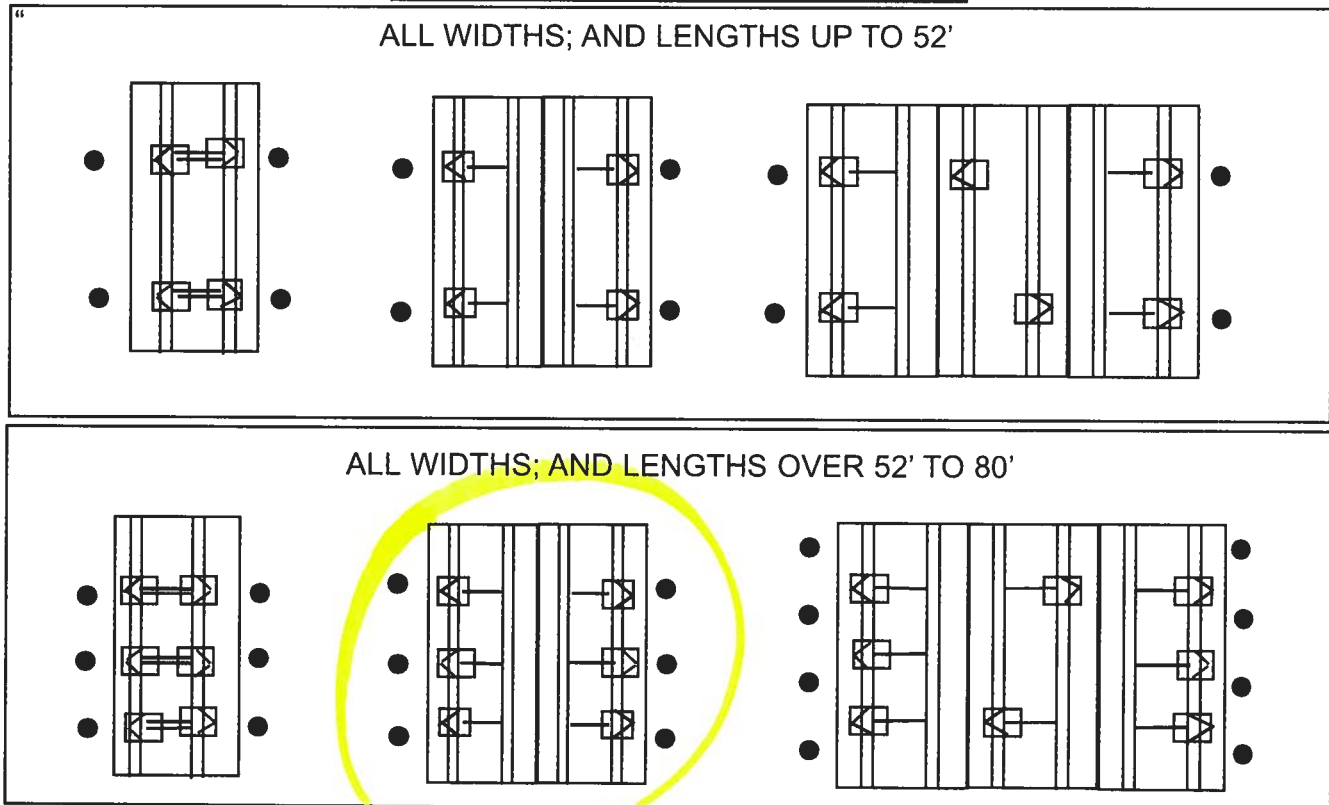
## **LATERAL: (Model 1101 TC "V")**

18. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TACA) mark bolt hole locations, then using a 5/8" diam. masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt), then remove the nut. The sleeve of concrete wedge bolt needs to be at or below the top of concrete.
19. When using part # 1101 CVW (wetset) or 1101 CVD (dryset), install per steps 17 & 18.

## **Notes:**

1. LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
2. ● = STABILIZER PLATE AND FRAME TIE LOCATION (needs to be located within 18 inches of center of ground pan or concrete)
3.  = LOCATION OF LONGITUDINAL BRACING ONLY
4.  = TRANSVERSE & LONGITUDINAL LOCATIONS

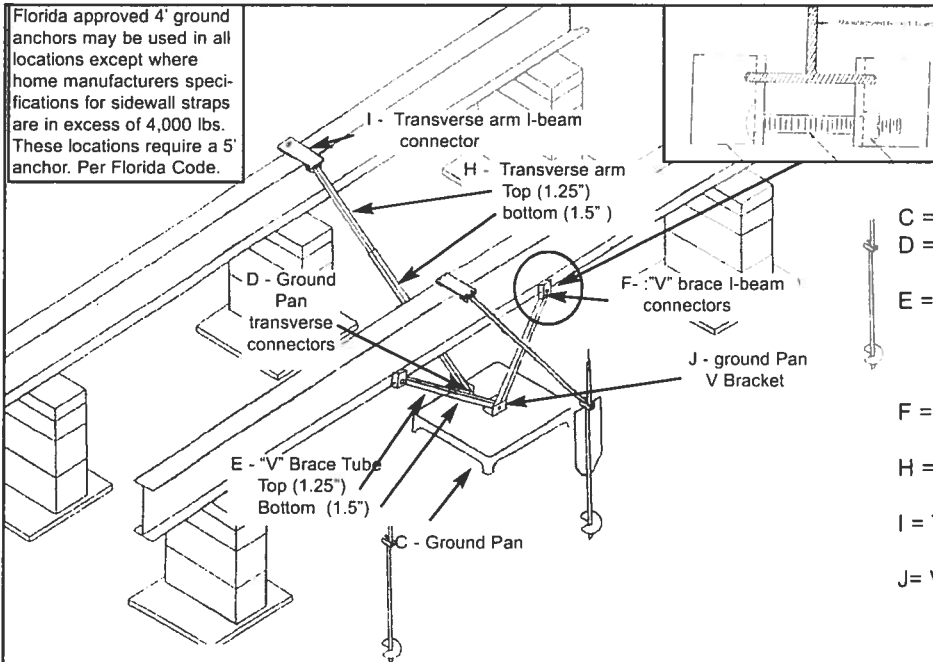
## **REQUIRED NUMBER AND LOCATION OF MODEL 1101 "V" OR 1101 C "V" BRACES FOR UP TO 4/12 ROOF PITCH**



**HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS**

6 systems for home lengths up to 52' and 8 systems for homes over 52' and up 80'. One stabilizer plate and frame tie required at each lateral bracing system.

Florida approved 4' ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5' anchor. Per Florida Code.

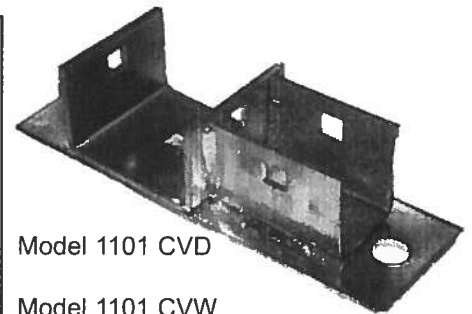
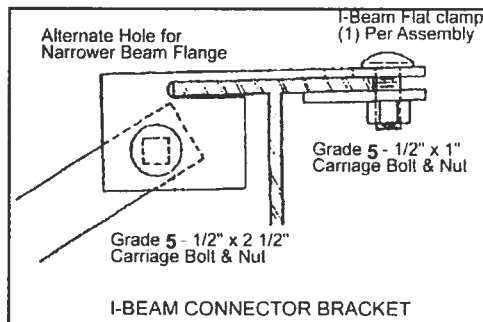
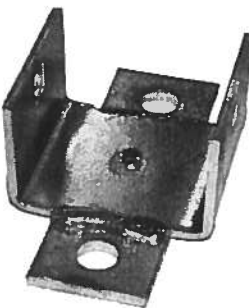


- C = GROUND PAN
- D = GROUND PAN CONNECTOR U BRACKETS TRANSVERSE
- E = TELESOPING V BRACE TUBE ASSEMBLY W/ 1.5 BOTTOM TUBE AND 1.25 TUBE INSERT
- F = "V" BRACE I-BEAM CONNECTORS ASSEMBLY
- H = TELESOPING TRANSVERSE ARM ASSEMBLY
- I = TRANSVERSE ARM I-BEAM CONNECTOR
- J = V PAN BRACKET

Model # 1101 "V"

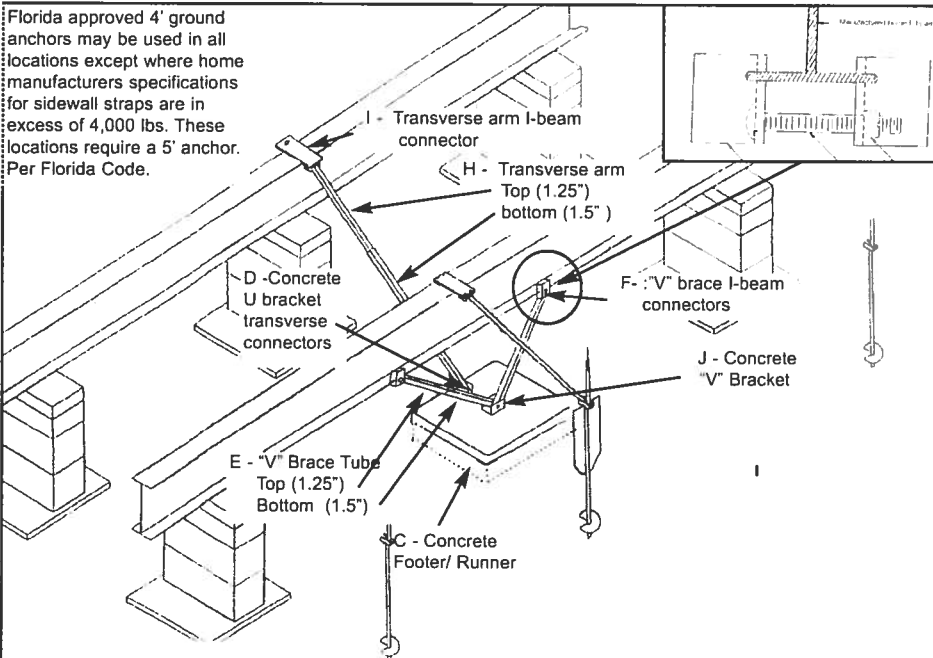
Longitude dry concrete bracket part # 1101 D-CPCA

Wet bracket part # 1101 W-CPCA not shown



Model 1101 CVD  
Model 1101 CVW not shown

Florida approved 4' ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5' anchor. Per Florida Code.



- C = CONCRETE FOOTER/RUNNER
- D = CONCRETE U BRACKET TRANSVERSE CONNECTOR (connects with grade 5 -1/2\" x 2 1/2\" carriage bolt & nut)
- E = TELESOPING V BRACE TUBE ASSEMBLY W/ 1.5 BOTTOM TUBE AND 1.25 TUBE INSERT
- F = "V" BRACE I-BEAM CONNECTOR ASSEMBLY (connects with grade 5 - 1/2\" x 4\" carriage bolt & nut)
- H = TELESOPING TRANSVERSE ARM ASSEMBLY
- I = TRANSVERSE ARM I-BEAM CONNECTOR (connects with grade 5 -1/2\" x 2 1/2\" carriage bolt & nut)
- J = CONCRETE "V" BRACKET (connects with grade 5 - 1/2\" x 4\" carriage bolt & nut)

Model # 1101 C "V"

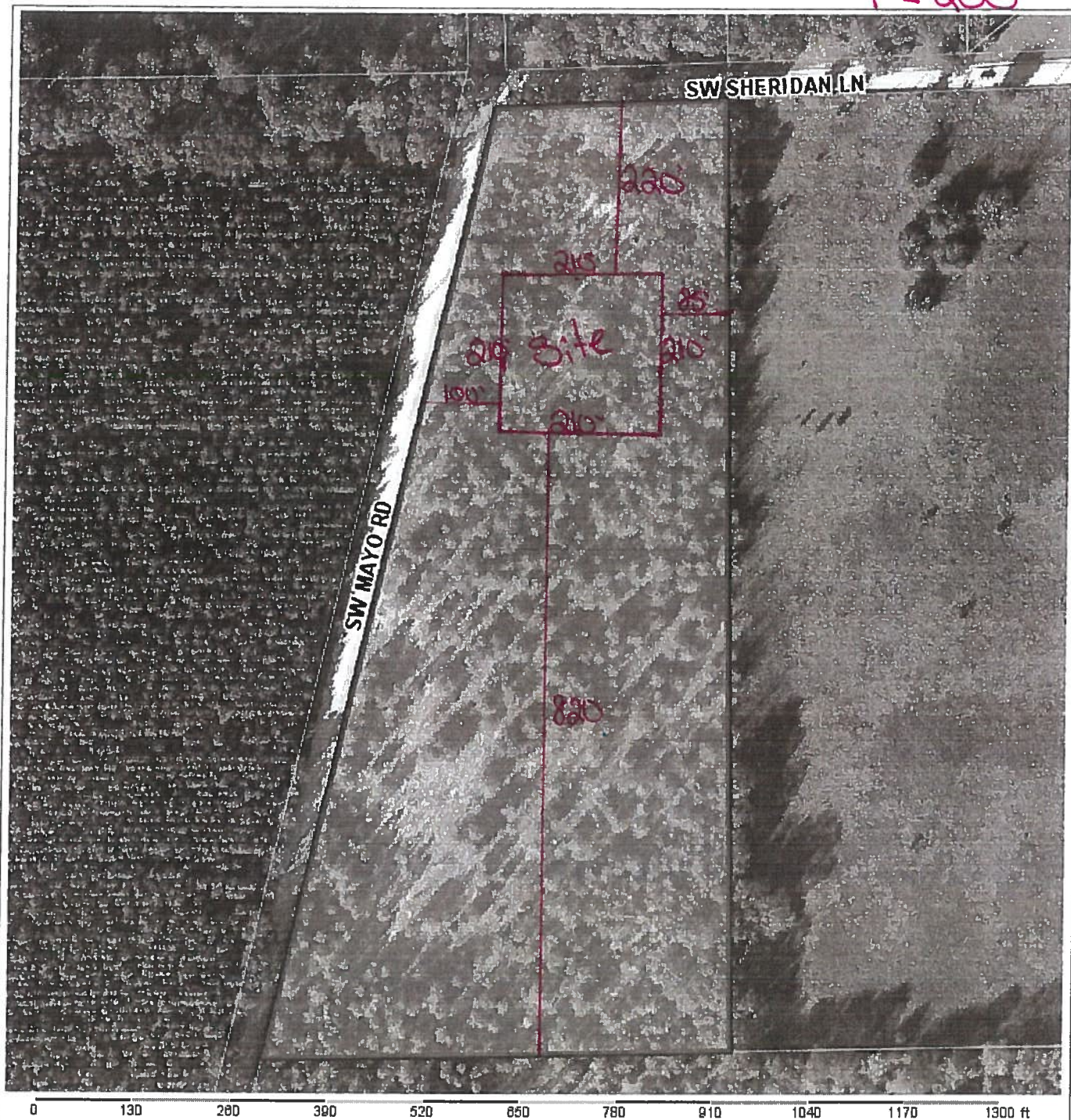


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www.olivertechnologies.com



1" = 200'



### Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

**PARCEL: 36-3S-15-00302-006** | AC/XFOB (009901) | 13.9 AC

COMMEN COR OF SEC, W 1650 FT FOR POB, S 1332.78 FT TO S LINE OF N1/2 OF NE1/4, WEST 680.53 FT TO W RM OF MAYO RD, NE ALONG RD 1288.33 FT, NORTH 85.

#### SUMMERS BLAKE E

Owner: 125 NW LAKE VISTA GLN  
LAKE CITY, FL 32055

Site: 936 MAYO RD, LAKE  
CITY

Sales Info: 2/16/2016 \$70,000 V (Q)  
7/21/2015 \$100 V (U)  
4/1/2011 \$42,500 V (U)

#### 2017 Certified Values

Mkt Lnd	\$64,670	Appraised	\$65,670
Ag Lnd	\$0	Assessed	\$65,670
Bldg	\$0	Exempt	\$0
XFOB	\$1,000		
Just	\$65,670	Total	county: \$65,670
		Taxable	city: \$65,670
			other: \$65,670
			school: \$65,670

#### NOTES:

↑  
north



Columbia County, FL

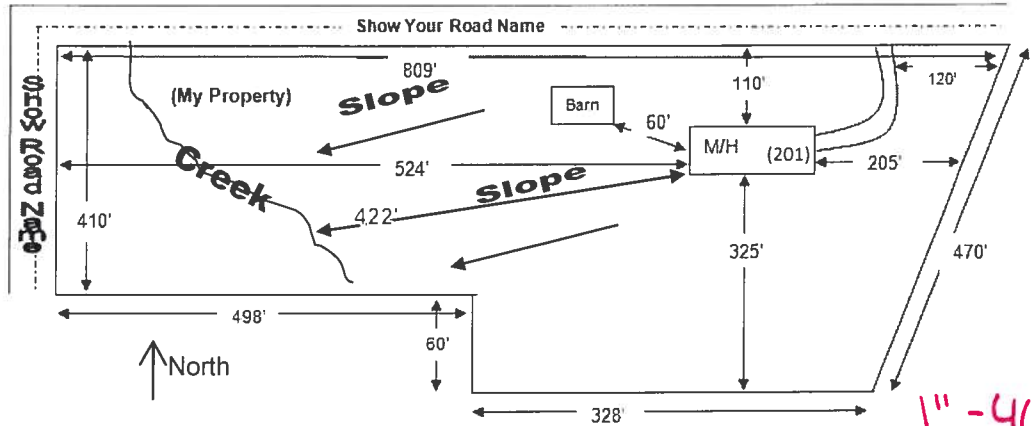


## SITE PLAN CHECKLIST

- ☐ 1) Property Dimensions
- ☐ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ☐ 3) Distance from structures to all property lines
- ☐ 4) Location and size of easements
- ☐ 5) Driveway path and distance at the entrance to the nearest property line
- ☐ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ☐ 7) Show slopes and or drainage paths
- ☐ 8) Arrow showing North direction

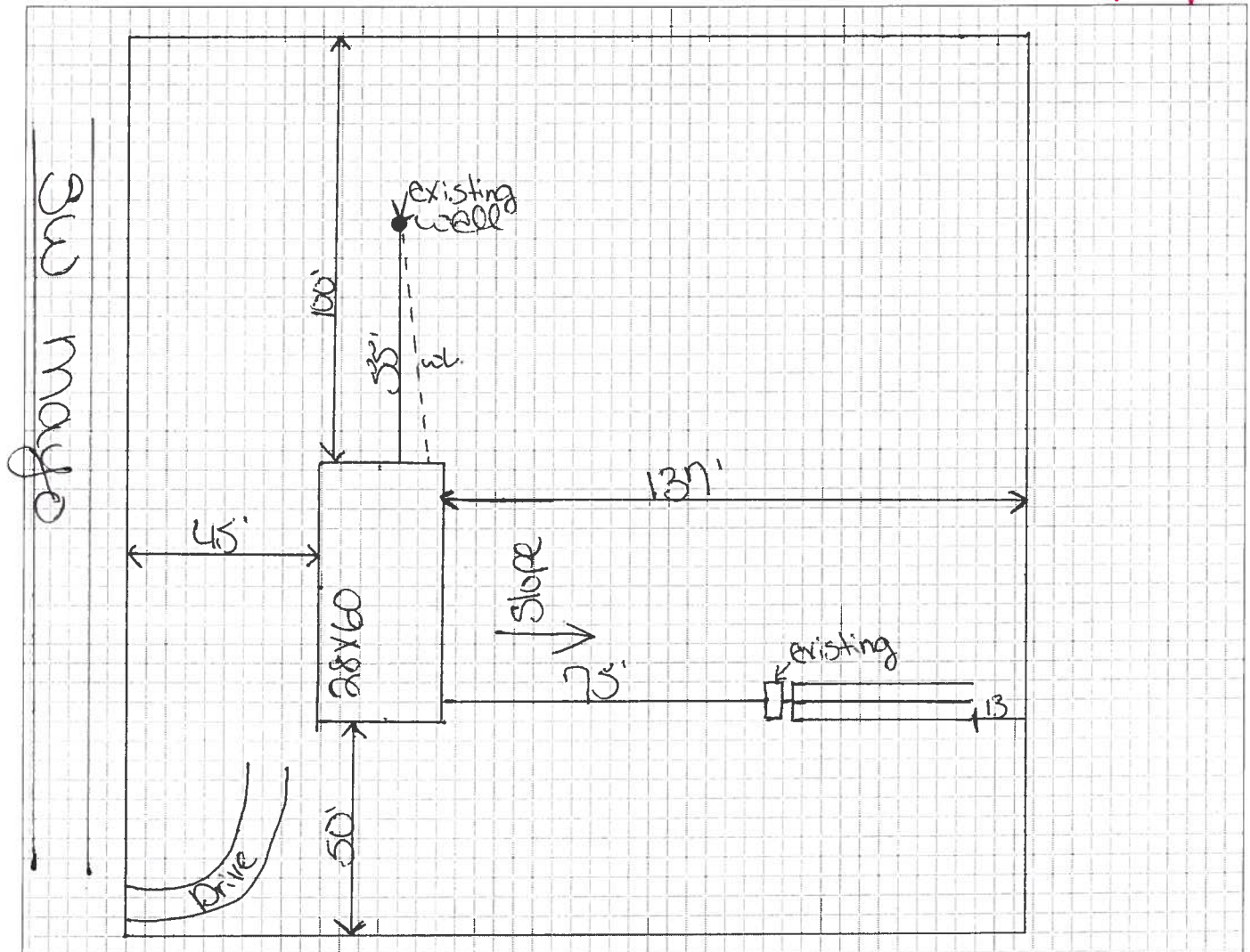
### SITE PLAN EXAMPLE

Revised 7/1/15



#### NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



# Columbia County Property Appraiser

updated: 3/7/2018

**2017 Tax Year**

Parcel: 36-3S-15-00302-006

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

2017 TRIM (pdf)

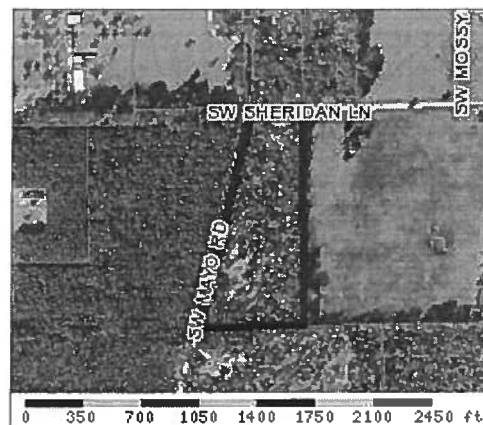
Interactive GIS Map

Print

## Owner & Property Info

Search Result: 1 of 1

Owner's Name	SUMMERS BLAKE E		
Mailing Address	125 NW LAKE VISTA GLN LAKE CITY, FL 32055		
Site Address	936 SW MAYO RD		
Use Desc. (code)	AC/XFOB (009901)		
Tax District	3 (County)	Neighborhood	36315
Land Area	13.900 ACRES	Market Area	01
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM NE COR OF SEC, W 1650 FT FOR POB, S 1332.78 FT TO S LINE OF N1/2 OF NE1/4, WEST 680.53 FT TO W R/W OF MAYO RD, NE ALONG RD 1288.33 FT, NORTH 85.97 FT TO N LINE OF SEC, E 362.01 FT TO POB. 928-535, WD 1158-1376, WD 1212-2324, QC 1299-2468, TR 1310-108,			



## Property & Assessment Values

2017 Certified Values		
Mkt Land Value	cnt: (0)	\$56,973.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$56,973.00
Just Value		\$56,973.00
Class Value		\$0.00
Assessed Value		\$56,973.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$56,973 Other: \$56,973   Schl: \$56,973	

2018 Working Values			(...Hide Values)
Mkt Land Value	cnt: (0)	\$64,670.00	
Ag Land Value	cnt: (2)	\$0.00	
Building Value	cnt: (0)	\$0.00	
XFOB Value	cnt: (1)	\$1,000.00	
Total Appraised Value		\$65,670.00	
Just Value		\$65,670.00	
Class Value		\$0.00	
Assessed Value		\$65,670.00	
Exempt Value		\$0.00	
Total Taxable Value	Cnty: \$65,670 Other: \$65,670   Schl: \$65,670		

**NOTE: 2018 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.**

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
2/16/2016	1310/108	TR	V	Q	01	\$70,000.00
7/21/2015	1299/2468	QC	V	U	11	\$100.00
4/4/2011	1212/2324	WD	V	U	30	\$42,500.00
9/12/2008	1158/1376	WD	V	Q		\$110,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	2016	\$1,000.00	0000001.000	0 x 0 x 0	(000.00)

STATE OF FLORIDA  
COUNTY OF COLUMBIA

LAND OWNER AFFIDAVIT

This is to certify that I, (We), Blake Edward Summers.

as the owner of the below described property:

Property tax Parcel ID number 36-35-15-00302-006

Subdivision (Name, lot, Block, Phase) \_\_\_\_\_

Give my permission for Cynthia Loudermilk to place a

Circle one Mobile Home / Travel Trailer / Utility Pole Only / Single Family Home /  
Barn - Shed - Garage / Culvert / Other \_\_\_\_\_

I (We) understand that the named person(s) above will be allowed to receive a building permit on the property number I (we) have listed above and this could result in an assessment for solid waste and fire protection services levied on this property.

x [Signature]

Owner Signature

2-12-18

Date

Owner Signature

Date

Owner Signature

Date

Sworn to and subscribed before me this 12 day of February, 20 18. This

(These) person(s) are personally known to me or produced ID FDOL.  
(Type)

[Signature]

Notary Public Signature

Laurie Hodson

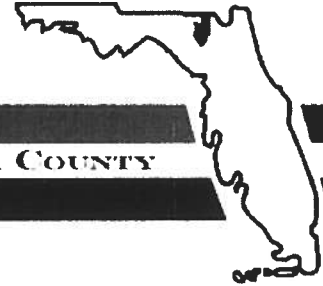
Notary Printed Name

Notary Stamp/



District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Everett Phillips  
District No. 5 - Tim Murphy

**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**



**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **3/28/2018 1:26:13 PM**  
Address: **936 SW MAYO Rd**  
City: **LAKE CITY**  
State: **FL**  
Zip Code **32024**

Parcel ID **00302-006**

REMARKS: Address Verification.

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY  
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125  
Email: [gis@columbiacountyfla.com](mailto:gis@columbiacountyfla.com)





COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave. Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

LICENSED QUALIFIER AUTHORIZATION

I, Ernest Scott Johnson (license holder name) licensed qualifier  
for Dependable Mobile Home Service (company name) do certify that  
the below referenced person(s) listed on this form is/are contracted/hired by me the license  
holder, or is/are employed by me directly or through an employee leasing arrangement or is an  
officer of the corporation, or, partner as defined in Florida Statutes Chapter 468 and the said  
person(s) is/are under my direct supervision and control and is/are authorized to purchase and  
sign permits call for inspections and sign subcontractor verification forms on my behalf

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Kimberly Hoon</u>	1. <u>Kimberly Hoon</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done  
under my license and fully responsible for compliance with all Florida Statutes, Codes, and  
Local Ordinances. I understand that the State and County Licensing Boards have the power and  
authority to discipline a license holder for violations committed by him/her, his/her agents,  
officers, or employees and that I have full responsibility for compliance with all statutes, codes  
and ordinances inherent in the privilege granted by issuance of such permits

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or  
officer(s), you must notify this department in writing of the changes and submit a new letter of  
authorization form, which will supersede all previous lists. Failure to do so may allow  
unauthorized persons to use your name and/or license number to obtain permits.

Ernest Scott Johnson  
Licensed Qualifiers Signature (Notarized)

IH-1025249  
License Number

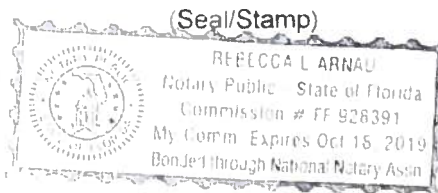
9/29/17  
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Ernest Scott Johnson  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) \_\_\_\_\_ on this 28<sup>th</sup> day of September, 2017

Rebecca L Arnan  
NOTARY'S SIGNATURE



## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1903-80CONTRACTOR Ernest JohnsonPHONE 352 494 8099

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

ELECTRICAL	Print Name <u>Owner</u>	Signature <u>[Signature]</u>
	License #: _____	Phone #: _____
	Qualifier Form Attached <input type="checkbox"/>	
MECHANICAL/ A/C <u>6</u> <u>950</u>	Print Name <u>Michael Boland</u>	Signature <u>[Signature]</u>
	License #: <u>C4C1817716</u>	Phone #: <u>352-274-9329</u>
	Qualifier Form Attached <input checked="" type="checkbox"/>	

*Qualifier Forms cannot be submitted for any Specialty License.*

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



COLUMBIA COUNTY BUILDING DEPARTMENT  
LETTER OF AUTHORIZATION TO SIGN FOR PERMITS  
135 NE Hernando Ave., Suite B-21, Lake City, FL 32055  
Phone 386-758-1008 Fax 386-758-2160

I, Michael Roland (license holder name), licensed qualifier  
for Her H/C of Columbia (company name), do certify that  
the below referenced person(s) listed on this form is/are **employed** by me directly or through an  
employee leasing arrangement; or, is an officer of the corporation, or, partner as defined in  
Florida Statutes Chapter 468, and the said person(s) is/are under my direct supervision and  
control and is/are authorized to purchase permits, call for inspections, and sign on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Kimberly Moon</u>	1. <u>Kimberly Moon</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done  
under my license and fully responsible for compliance with all Florida Statutes, Codes, and  
Local Ordinances. I understand that the State and County Licensing Boards have the power and  
authority to discipline a license holder for violations committed by him/her, his/her agents,  
officers, or employees and that I have full responsibility for compliance with all statutes, codes  
and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer employee(s), or officer(s), you  
must notify this department in writing of the changes and submit a new letter of authorization  
form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to  
use your name and/or license number to obtain permits.

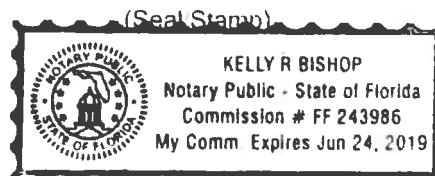
Michael Roland License Holders Signature (Notarized) CACB00010 License Number 10/31/17 Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Michael Roland  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) FDL on this 31<sup>st</sup> day of October, 20 17.

Kelly R Bishop  
NOTARY'S SIGNATURE

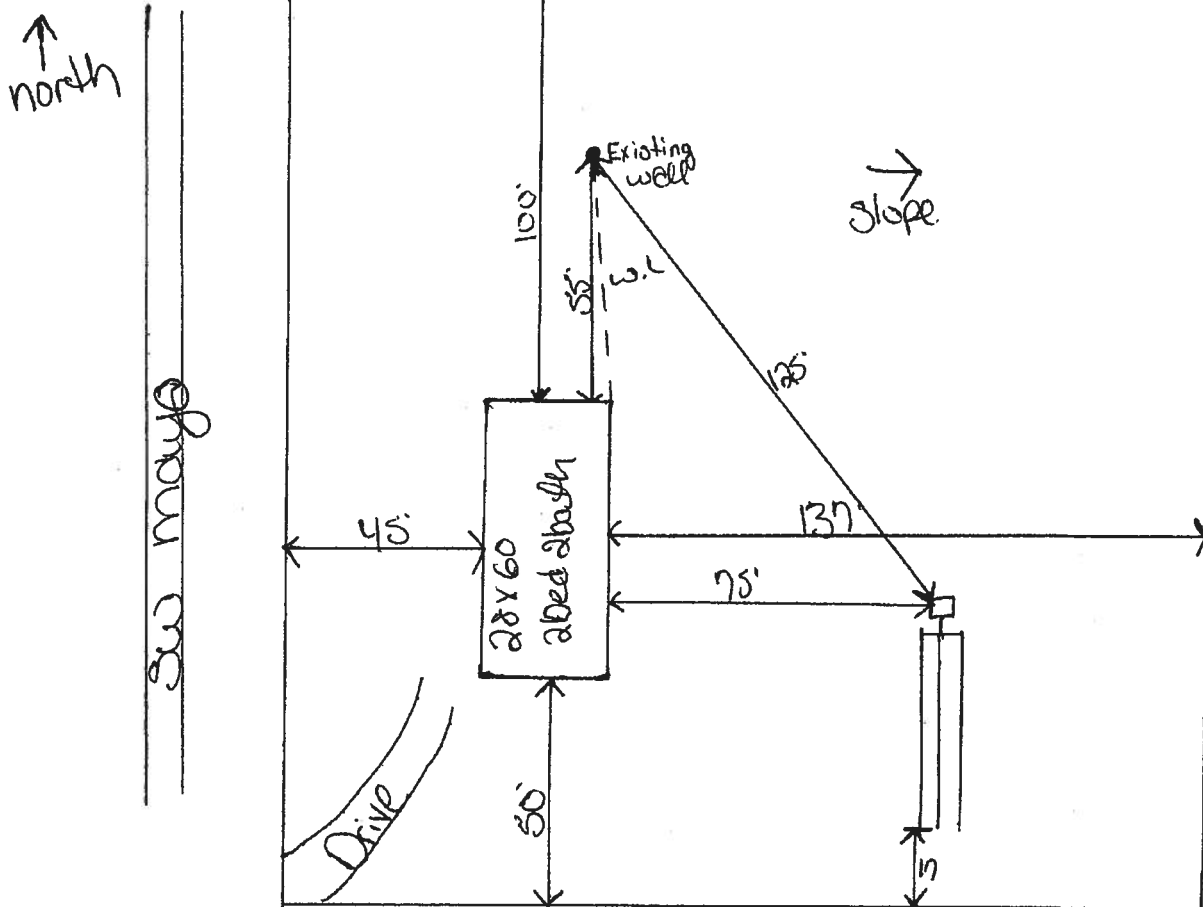


**STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number 18-0291

----- PART II - SITEPLAN -----

Scale: 1 inch = 40 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: Kimberly Moon

Plan Approved ☒ Not Approved \_\_\_\_\_

By Jalhi Lord Env Health Director

Date 3/28/18

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-0241  
DATE PAID: 4/6/18  
FEE PAID: 600.00  
RECEIPT #: 1339925

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Cynthia Summer-Lordmillh Blake Summers

AGENT: Kimberly Moon TELEPHONE: 386-688-2345

MAILING ADDRESS: 1541 NW Noegel Rd, Lake City, FL 32055

BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR REVISED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: — BLOCK: — SUBDIVISION: — PLATTED: —

PROPERTY ID #: 36-39-15-00302-06 ZONING: — I/M OR EQUIVALENT: ☐ Y / ☒ N

PROPERTY SIZE: 13.9 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y / ☐ N DISTANCE TO SEWER: — FT

PROPERTY ADDRESS: 936 SW Mayo Rd, Lake City, FL 32024

DIRECTIONS TO PROPERTY: TL Marion, TR US-90 W, Count for approx 8.1 miles, TL SW Mayo Road, 0.7 miles property on left

## BUILDING INFORMATION

☒ RESIDENTIAL

☐ COMMERCIAL

Unit	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>mobile home</u>	<u>2</u>	<u>1600</u>	<u>Like for like</u>
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) —

SIGNATURE: Kim Moon DATE: 3-28-18