

DATE 04/18/2008

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000026644

APPLICANT STEPHEN D. MORGAN PHONE 386.466.1876
ADDRESS 173 SW LANCELOT GLN LAKE CITY FL 32024
OWNER BRAD & LOLA BARNEY PHONE 386.752.8714
ADDRESS 527 NW INDIAN SPRINGS DRIVE LAKE CITY FL 32024
CONTRACTOR FREDRICK L.PERRY PHONE 386.752.2832
LOCATION OF PROPERTY LAKE JEFFERY TO OAKHAVEN SD, TL TO INDIAN SPRINS DR., TO THE
'Y', TR STILL INDAN SPRINGS DR, HOME IS 2ND HOME ON L.
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 50000.00
HEATED FLOOR AREA TOTAL AREA 1484.00 HEIGHT 15.40 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 12-3S-15-00167-029 SUBDIVISION OAKHAVEN
LOT 14 BLOCK B PHASE UNIT TOTAL ACRES 4.49

CBC1252411
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-0034E BLK JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE. DETACHED GARAGE. ACCESSORY USE.

Check # or Cash 1670

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by
Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 250.00 CERTIFICATION FEE \$ 7.42 SURCHARGE FEE \$ 7.42
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 339.84
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CR "1670

For Office Use Only Application # 0801-40 Date Received 1/10/08 By G Permit # 26644 ^{JW}
Zoning Official BLK Date 15.01.08 Flood Zone X Pnt FEMA Map # N/A Zoning A-3
Land Use A-3 Elevation N/A MFE N/A River N/A Plans Examiner DKJH Date 1-14-08
Comments Accessory Use
☒ NOC ☐ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Authorization from Contractor
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. _____ Fax 623-5541 (386) 466-1876Name Authorized Person Signing Permit Stephen D. Morgan Phone 386-466-1876Address 173 SW Lancelot Glen Lake City FL 32024Owners Name Brad & Lola Barney Phone 386-752-8714911 Address 527 N.W. Indian Springs Dr. Lake City FL 32055Contractors Name Fredrick L Perry Phone (386) 752-2832Address 615 SW Sabre Ave. Lake City FL 32055Fee Simple Owner Name & Address N/ABonding Co. Name & Address N/AArchitect/Engineer Name & Address Tim Delbene 192 SW Sagewood Gl. Lake City FL 32024Mortgage Lenders Name & Address N/ACircle the correct power company - FL Power & Light - Clay Elec. - (Suwannee Valley Elec.) - Progress EnergyProperty ID Number 12-35-15-00167-029 Estimated Cost of Construction \$ 50,000.00Subdivision Name Oak Haven Lot 14 Block B Unit _____ Phase _____Driving Directions Take Lake Jeffery Rd to Indian Springs Dr. (Oak Haven Subdivision)When the Rd comes to a Y - Turn Right. Still Indian Springs Dr. - Houseis the 2nd home on Left. Number of Existing Dwellings on Property 1Construction of Detached Garage / Car port Total Acreage 4.49 Lot Size 4.49 AcresDo you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 15'-4"Actual Distance of Structure from Property Lines - Front 170 ft Side 25 ft Side 34 ft Rear 140 ftNumber of Stories 1 Heated Floor Area 0 Total Floor Area 1488 SF Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

spoke with Doug
1-17-08

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.


FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

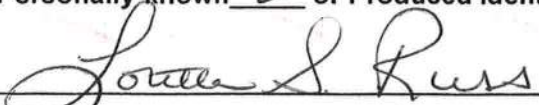
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number CBC 1252411
Columbia County
Competency Card Number 154280204

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 10th day of Jan 2008.
Personally known ☒ or Produced Identification _____



State of Florida Notary Signature (For the Contractor)

SEAL:



Rec. \$27.00
Doc. Stamps \$2030.00

Return to: (enclose self addressed stamped envelope)

Name: RETURN TO

U. S. Title
642 N.E. Santa Fe Blvd.
Address: High Springs, FL 32643

USH-3846

This instrument prepared by : FRS
211 N. Broadway
Suite 2270
St. Louis, MO 63102
481971 1483927
Sue Bocscher

Grantee Name and S.S. #:

Grantee Name and S.S. #:

SPACE ABOVE THIS LINE FOR PROCESSING DATA

Inst:200712015688 Date:7/16/2007 Time:11:24 AM

Doc Stamp-Deed:2030.00

DC, P. DeWitt Cason Columbia County Page 1 of 3

This Warranty Deed

Made this 12th day of July
2007, A.D.

Wherever word herein, the term "party" shall include the heirs, personal representatives, successors and/or assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders.

Between National Residential Nominee Services Inc. a corporation existing under the laws of the State of Delaware having its principal place of business located at 211 N. Broadway, Suite 2270, St. Louis, MO 63102, grantor, and

BRAD BARNEY and LOLA BARNEY, HUSBAND AND WIFE, 527 NW Indian Springs Dr., Lake City, FL 32055, of the County of COLUMBIA and State of FLORIDA grantee,

Witnesseth, that the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in the County of Columbia, State of Florida, to wit:

See Attached Exhibit "A"

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 12-35-15-00167-029

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 527 NW Indian Springs Dr. Lake City FL 32055
a) Street (job) Address: 527 N.W. Indian Springs Dr. Lake City FL 32055

2. General description of improvements: Detach Garage/Car port

3. Owner Information

a) Name and address: Brad & Lola Barney

b) Name and address of fee simple titleholder (if other than owner) _____

c) Interest in property owner

4. Contractor Information

a) Name and address: Fred Perry's Quality Construction

6155 SW Sabre Ave L.C. FL 32055

b) Telephone No.: 386-752-2836

Fax No. (Opt.) _____

5. Surety Information

a) Name and address: N/A

b) Amount of Bond: _____

c) Telephone No.: _____

Inst:200812000489 Date:1/10/2008 Time:10:00 AM

DC,P.DeWitt Cason,Columbia County Page 1 of 1

6. Lender

a) Name and address: N/A

b) Phone No. _____

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: N/A

b) Telephone No.: _____

Fax No. (Opt.) _____

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:

a) Name and address: N/A

b) Telephone No.: _____

Fax No. (Opt.) _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10.

Brad Barney

Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

BRAD BARNEY

Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 10th day of Jan, 2008, by:

as _____

(type of authority, e.g. officer, trustee, attorney

fact) for _____

(name of party on behalf of whom instrument was executed).

Personally Known ☒

OR Produced Identification ☐

Type _____

Notary Signature

Loreta J. Russ

Notary Stamp or Seal:

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing facts stated in it are true to the best of my knowledge and belief.

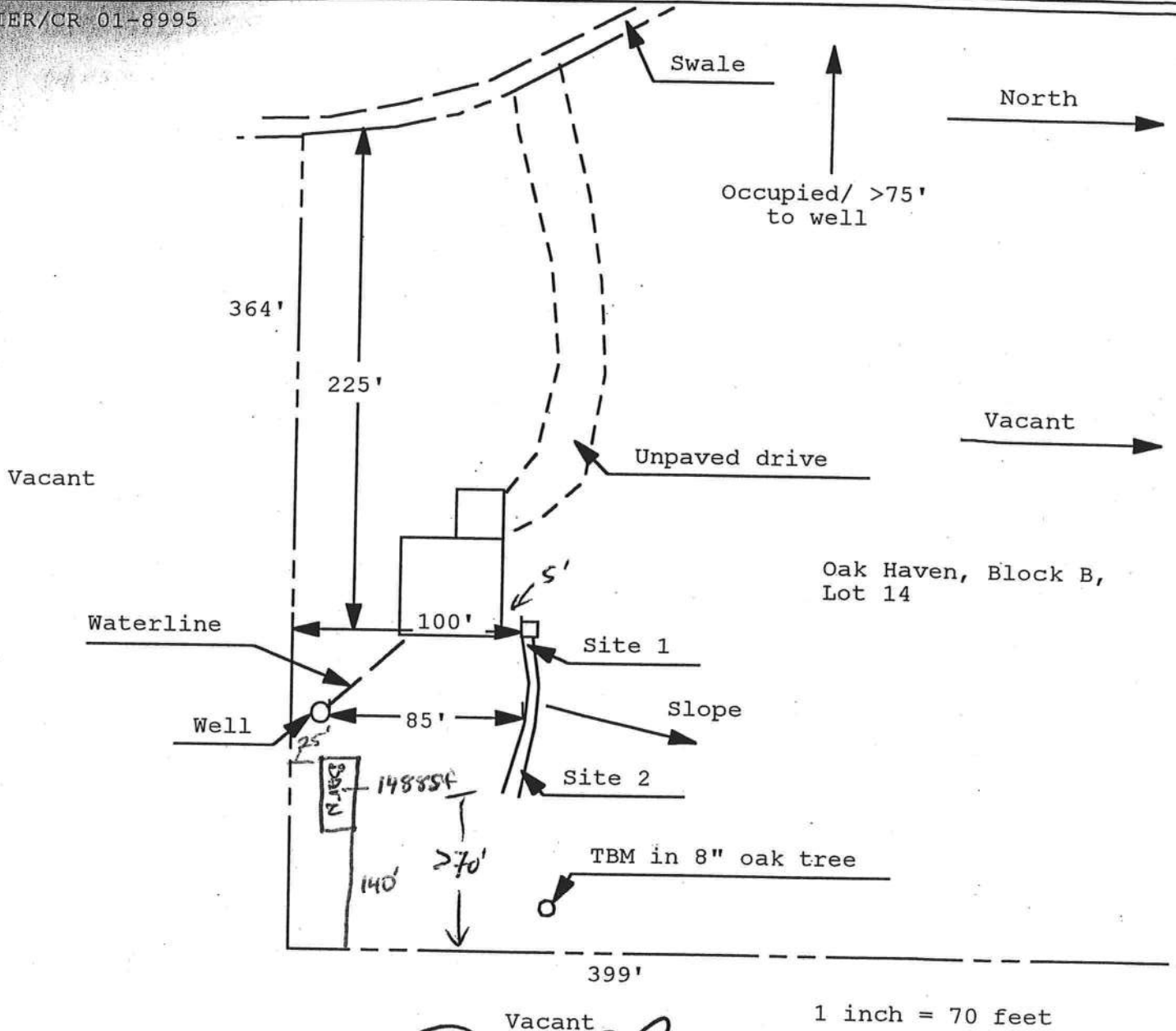
Brad Barney
Signature of Natural Person Signing (in line #10 above.)



Application for Onsite Barney
Construction Permit. Part II Site Plan
Permit Application Number: 08-0034E

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

FRAZIER/CR 01-8995



Site Plan Submitted By [Signature] Date 1/10/08
Plan Approved [Signature] Not Approved [Signature] Date [Signature]
By [Signature] **Columbia CHD** CPHU

Notes: **APPROVED**

Project Name: _____

by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product approval authority should you not know the product approval number for any of the applicable listed products. More information on statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
EXTERIOR DOORS			
1. Swinging	Masonite	Wood-edge Steel Side-Hinge Door	4904.1
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic Garage			FI-9970
6. Other Door + Sidelites	Masonite	Wood-edge Steel Side Hinged Door	4904.3
WINDOWS			
1. Single hung	ALUT	3950 Vinyl Fin Frame Single Hung	1782.2
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed	ALUT	Series 3180 Vinyl Fin Frame Picture	1788.1
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
PANEL WALL			
1. Siding		Haroi	FL 889-122
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
ROOFING PRODUCTS			
1. Asphalt Shingles	ELK	Shingles Hip Starter	728.4 728.5 728.6
2. Underlayments		30#	FL 1814.3
3. Roofing Fasteners		15#	FL 1814.1
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures	Anderson materials		305701 RS
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof	Norboard		PSA -04
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite: 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

**RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR
FLORIDA BUILDING CODE 2001
ONE (1) AND TWO (2) FAMILY DWELLINGS
ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE MARCH 1, 2002**

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Site Plan including:</u> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Wind-load Engineering Summary, calculations and any details required</u> a) Plans or specifications must state compliance with FBC Section 1606 b) The following information must be shown as per section 1606.1.7 FBC a. Basic wind speed (MPH) b. Wind importance factor (I) and building category c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated d. The applicable internal pressure coefficient e. Components and Cladding. The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Elevations including:</u> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation d) Location, size and height above roof of chimneys e) Location and size of skylights f) Building height g) Number of stories

Floor Plan including:

- ☒ ☐ a) Rooms labeled and dimensioned
- ☒ ☐ b) Shear walls
- ☒ ☐ c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- ☒ ☐ d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- ☒ ☐ e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- ☒ ☐ f) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- ☒ ☐ a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- ☒ ☐ b) All posts and/or column footing including size and reinforcing
- ☒ ☐ c) Any special support required by soil analysis such as piling
- ☒ ☐ d) Location of any vertical steel

Roof System:

- ☒ ☐ a) Truss package including:
 - 1. Truss layout and truss details signed and sealed by FI. Pro. Eng.
 - 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- ☒ ☐ b) Conventional Framing Layout including:
 - 1. Rafter size, species and spacing
 - 2. Attachment to wall and uplift
 - 3. Ridge beam sized and valley framing and support details
 - 4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

Wall Sections including:

- ☒ ☐ a) Masonry wall
 - 1. All materials making up wall
 - 2. Block size and mortar type with size and spacing of reinforcement
 - 3. Lintel, tie-beam sizes and reinforcement
 - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
 - 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating).
 - 7. Fire resistant construction (if required)
 - 8. Fireproofing requirements
 - 9. Shoe type of termite treatment (termicide or alternative method)
 - 10. Slab on grade
 - a. Vapor retardant (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 - 11. Indicate where pressure treated wood will be placed
 - 12. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☒ ☐ **b) Wood frame wall**

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termicide or alternative method)
11. Slab on grade
 - a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☒ ☐ c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- ☒ ☐ a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- ☒ ☐ b) Floor joist size and spacing
- ☒ ☐ c) Girder size and spacing
- ☒ ☐ d) Attachment of joist to girder
- ☒ ☐ e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- ☒ ☐ a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- ☒ ☐ b) Ceiling fans
- ☒ ☐ c) Smoke detectors
- ☒ ☐ d) Service panel and sub-panel size and location(s)
- ☒ ☐ e) Meter location with type of service entrance (overhead or underground)
- ☒ ☐ f) Appliances and HVAC equipment
- ☒ ☐ g) Arc Fault Circuits (AFCI) in bedrooms

HVAC information

- ☒ ☐ a) Manual J sizing equipment or equivalent computation
- ☒ ☐ b) Exhaust fans in bathroom

Energy Calculations (dimensions shall match plans)

Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done**

☒ ☐ **Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.
(386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

NOTICE:

ADDRESSES BY APPOINTMENT ONLY!

TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:

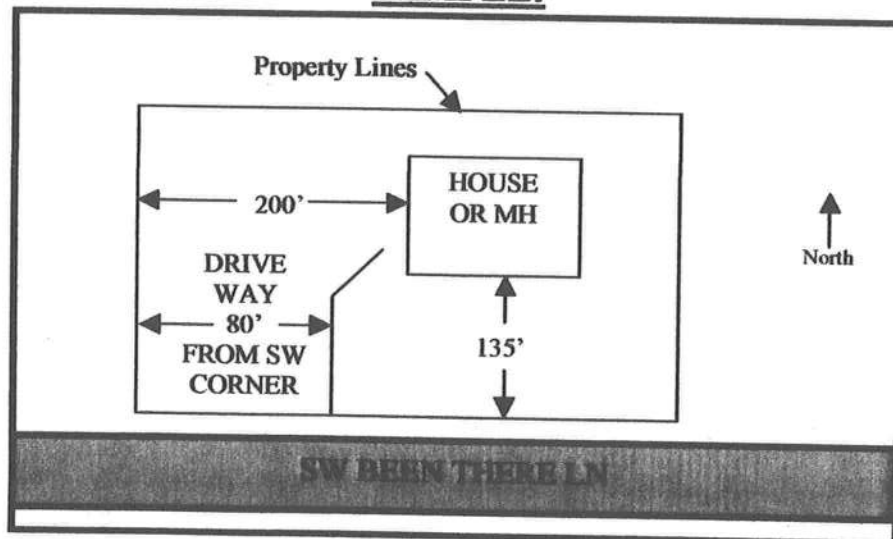
YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!

THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).

THE REQUESTER WILL NEED THE FOLLOWING:

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123") FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
 - a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
 - b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
 - c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: ITCI8228Z0216114610

Truss Fabricator: Anderson Truss Company
Job Identification: 7-333--Doug Morgan Construction BARNEY -- , **
Truss Count: 2
Model Code: Florida Building Code 2004 and 2006 Supplement
Truss Criteria: ANSI/TPI-2002(STD)/FBC
Engineering Software: Alpine Software, Version 7.36.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
the seal date per section 61G15-31.003(5a) of the FAC
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-02 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: A11015EE-GBLLETIN-

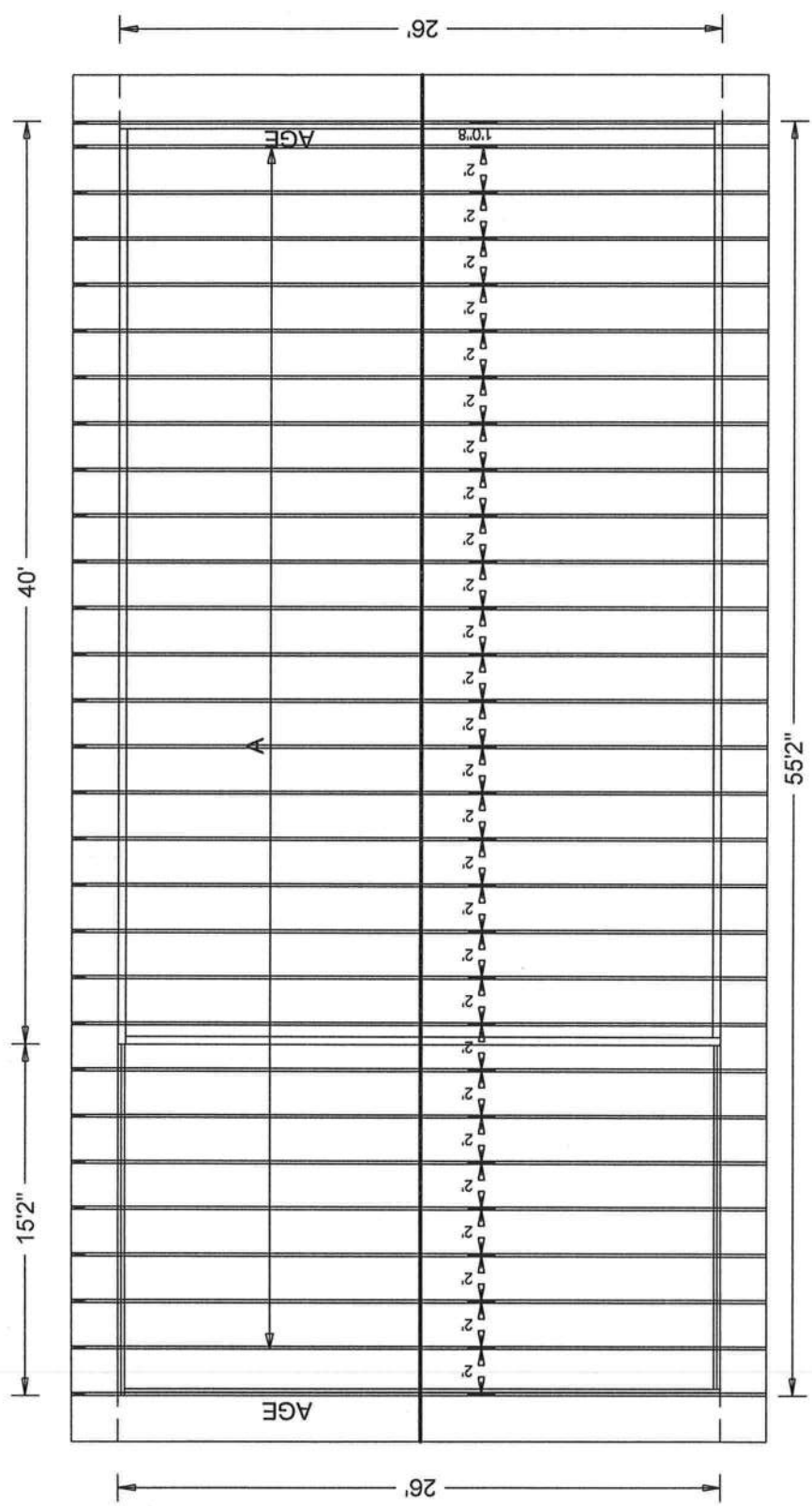
#	Ref	Description	Drawing#	Date
1	55826--A		07320004	11/16/07
2	55827--AGE		07320005	11/16/07

Seal Date: 11/16/2007

-Truss Design Engineer-
Doug Fleming

Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844





Roof Plane Sheathing Area = 1985 sq. ft
 Gable Sheathing Area = 187 sq. ft
 Total Sheathing Area = 2172 sq. ft
 Fascia Material = 185 linear ft
 Ridge Cap Material = 59 linear ft

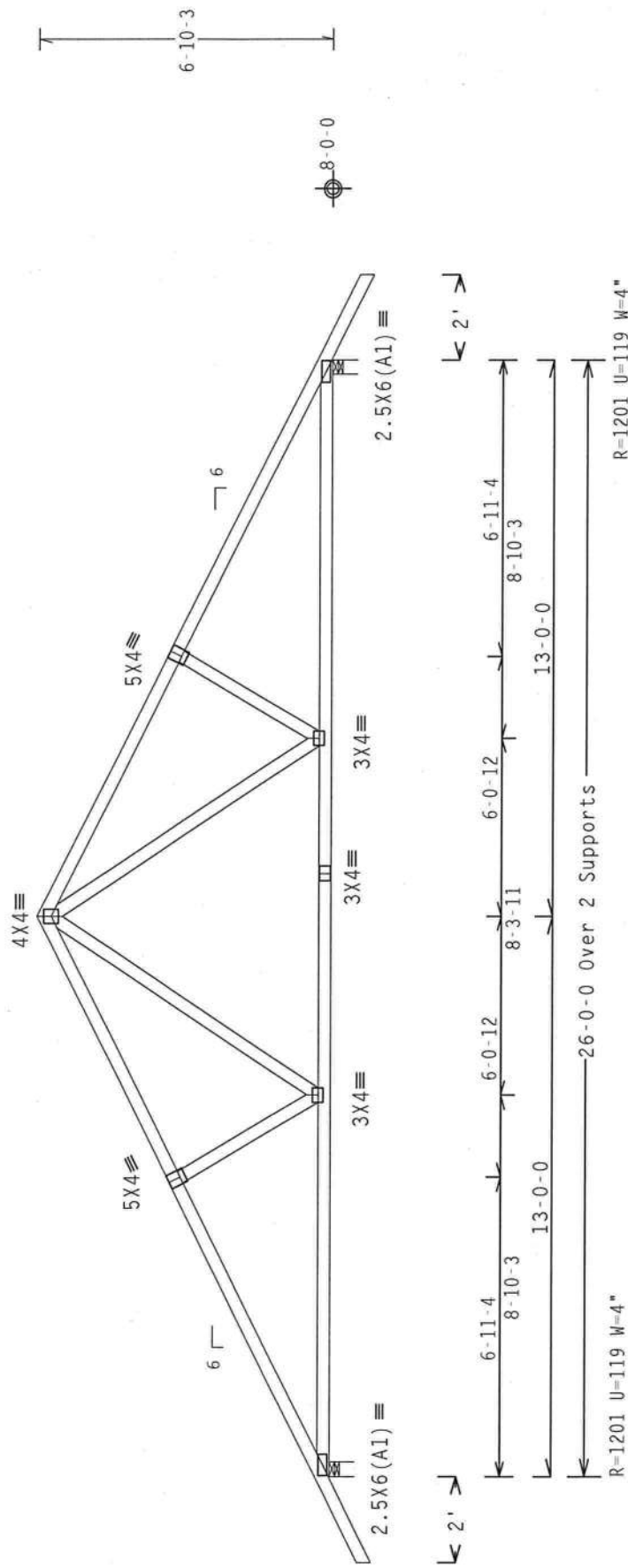
#7-333 Doug Morgan / Barney Garage 11.16.07

(7-333--Doug Morgan Constr	Dense
Top chord 2x4 SP #2	Dense
Bot chord 2x4 SP #2	Dense
Webs 2x4 SP #3	

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi (+/-)=0.18

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

Wind reactions based on MWFRS pressures.



Design Crit: TPI-2002(STD)/FBC

 $Cq/RT=1.00(1.25)/10(0)$ 7.36.042

QTY:1 FL1-141-1-1R1-

Scale = 25"/Ft.

WARNING THUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. PLEASE TO: GESS BUILDING SYSTEMS, INC., 1000 GROUS PULVER BLVD., (THUSS PULVER INSTITUTE), 5300 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA 22304. FOR TECHNICAL SPECIFICATIONS, CONTACT: GESS ENTERPRISE, INC., 1000 ENTERPRISE LANE, MADISON, WI 53719. FOR SAFETY PRACTICES PLEASE TO PERFORMING THESE FUNCTIONS, UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT****FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR, ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH 191E OR TABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CONFORMS WITH APPROVED PROVISIONS OF NAD (NATIONAL DESIGN SPEC., BY AFSPA) AND TPI. ITW BCG PLANNED TO PLATES ARE MADE UP 20/18/17/16GA (.04/.055X) ASTM A663 GRADE 40/60 (N. K/H-S5) GALV. STEEL. APPLICATION OF PLATES TO TRUSSES THEREAFTER LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2Z. ANY INSPECTION OF PLATES FOLLOWED BY VISUAL INSPECTION OF THE TRUSS SECTION, AS SHOWN ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY FOR THE TRUSS, AS SHOWN ON THE DESIGN SHEET. THE SUSTAINABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



ITW Building Components Group, Inc
Haines City, FL 33844

James City, I L 55044
El Certificate of Authorization #0078

REF- 1TCI8228702

	Top chord	2x4	SP	#2	Dense
Bot chord	2x4	SP	#2	Dense	
Wbs	2x4	SP	#3		
:Stack	Chord	SC1	2x4	SP	#2 Dense:
:Stack	Chord	SC2	2x4	SP	#2 Dense:

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP 8, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpf (+/-)=0.18

Wind reactions based on MWFRS pressures.

Truss spaced at 24" OC designed to support 1-0-0 top chord
outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must
not be cut or notched.

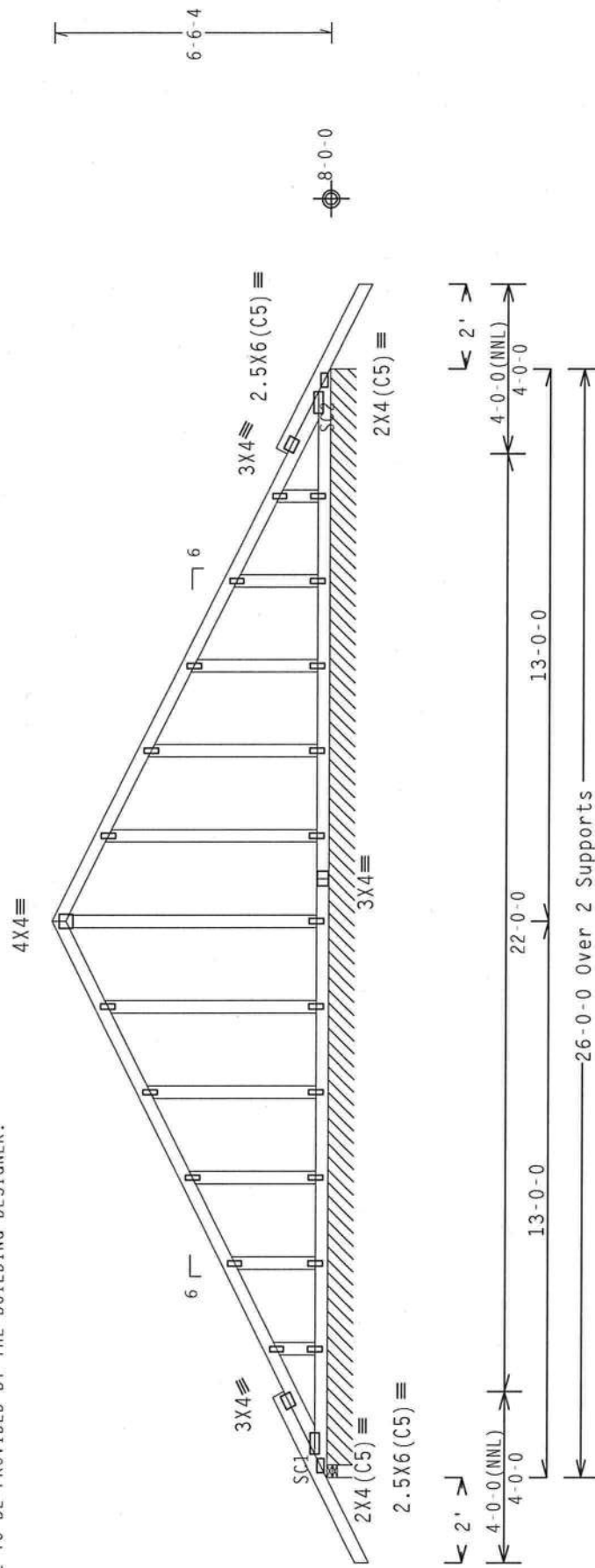
See DWGS A11015EE0207 & GBLLLETIN0207 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

In lieu of structural panels use purlins to brace TC @ 24" OC.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF, FLOOR AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. DIAPHRAGMS AND SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS ARE TO BE PROVIDED BY THE BUILDING DESIGNER.



R=389 W=3.5"

R=112 PLF U=10 PLF W=25-8-8

Note: All Plates Are 1.5X4 Except As Shown.

Design Crit: TPI-2002(STD)/FBC

 $Cq/RT=1.00(1.25)/10(0)$ 7.36.0428

QTY:1 FI / - / 4 / - / - / R / -

Scale = 25"/Ft.



WARNING: TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. TRUSSES MUST BE PROPERLY SUPPORTED IN ORDER TO PREVENT OVERSTRESSING. FOR MORE INFORMATION, CONTACT THE MANUFACTURER. PUBLISHED BY THE ROOF PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, AUSTIN, TEXAS 78701. A MEMBER OF THE NATIONAL ASSOCIATION OF TRUSS ROOFING CONTRACTORS OF AMERICA, 6300 ENTERPRISE LANE, MADISON, AL 35710. FOR SAFETY PRACTICES TO PREVENT ACCIDENTS, TRUSSES MUST BE PROPERLY ATTACHED TO THE WALLS AND OTHERS. OTHERWISE, INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

[illegible]

TC LL	20.0	PSF	REF	R8228-	55827
TC DL	10.0	PSF	DATE	11/16/07	
BC DL	10.0	PSF	DRW	HCUSR8228	07320005
BC LL	0.0	PSF	HC-ENG	DF/DF	
TOT.LD.	40.0	PSF	SEQN-	24832	
DUR.FAC.	1.25				
SPACING	SEE ABOVE		JREF-	1TC18228Z02	

ITW Building Components Group, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 0078

2X4 GABLE VERTICAL PLATE SIZES		BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE •			(2) 2X4 "L" BRACE •			(1) 2X6 "L" BRACE •			(2) 2X6 "L" BRACE •		
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
MAX GABLE VERTICAL LENGTH	SPACING	SPF	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"	14' 0"	14' 0"
		HF	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"	14' 0"	14' 0"
		#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
24" O.C.	SP	#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
16" O.C.	SPF	HF	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	HF	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#1 / #2	4' 11"	8' 5"	8' 5"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
MAX GABLE VERTICAL LENGTH	SPACING	SP	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
		#1	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:		
SPRUCE-PINE-FIR	HEM-FIR	
#1 / #2 STANDARD	#2	STUD
#3	#3	STANDARD

DOUGLAS FIR-LARCH	SOUTHERN PINE	
#3	#3	STUD
STANDARD	STANDARD	

GROUP B:

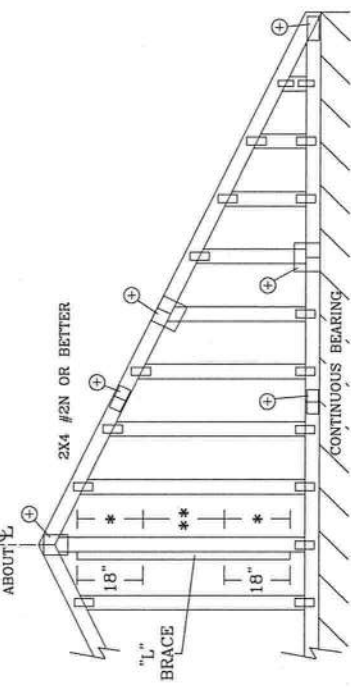
HEM-FIR	DOUGLAS FIR-LARCH	
#1 & BTR	#1	
	#2	

GABLE TRUSS DETAIL NOTES:

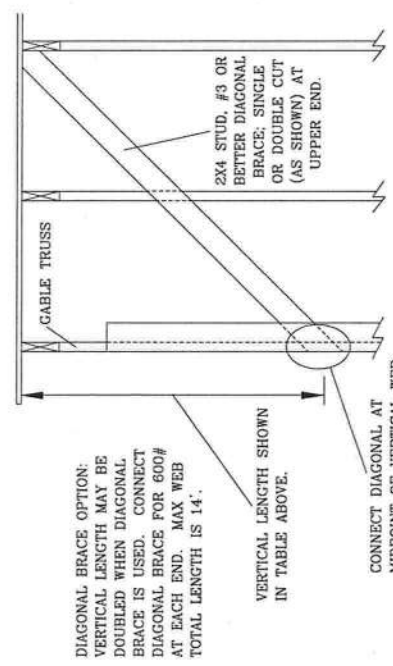
- LIVE LOAD DEFLECTION CRITERIA IS L/240.
- PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
- GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
- ATTACH EACH "L" BRACE WITH 10d NAILS.
- * FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
- ** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.
- "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES		
VERTICAL LENGTH	NO SPLICE	
LESS THAN 4' 0"	1X4 OR 2X3	
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2X4	
GREATER THAN 11' 6"	2-5X4	

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.



DIAGONAL BRACE OPTION:
VERTICAL LENGTH MAY BE DOUBLED WHEN DIAGONAL BRACE IS USED. CONNECT DIAGONAL BRACE FOR 600# AT EACH END. MAX WEB TOTAL LENGTH IS 14'.

VERTICAL LENGTH SHOWN IN TABLE ABOVE.

CONNECT DIAGONAL AT MIDPOINT OF VERTICAL WEB.

REF	ASCE7-02-GABI1015
DATE	2/23/07
DRWG	A11015EE0207
-ENG	

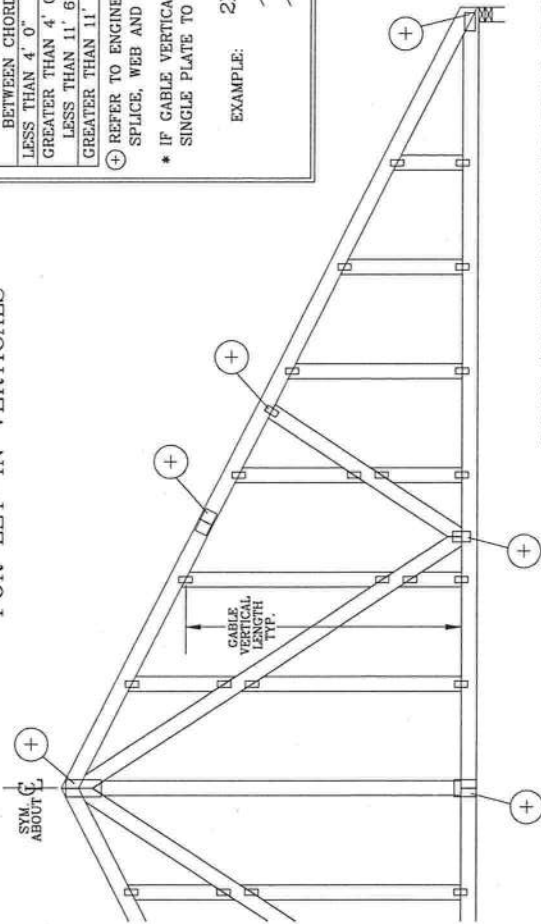
MAX. TOT. LD. 60 PSF	MAX. SPACING 24.0"
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WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION, PUBLISHED BY TPI TRUSS PLATE MANUFACTURER, 218 DORTCH ST., SUITE 312, ALEXANDRIA, VA 22304, AND WCA CLOUD TRUSS COUNCIL OF AMERICA, 10000 W. 11TH AVE., SUITE 100, DENVER, CO 80231. THESE TRUSSES ARE DESIGNED AND MANUFACTURED TO MEET THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 13TH EDITION, 2005. THE TRUSSES ARE MADE OF 20019/ALG60 ALUMINUM ALLOY AND PLY GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (D) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

ITV BUILDING COMPONENTS GROUP, INC.
POMPAHO BEACH, FLORIDA

GABLE DETAIL FOR LET-IN VERTICALS



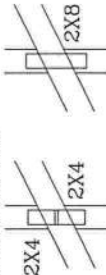
GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH BETWEEN CHORDS	PLATE SIZE	IF PLATES OVERLAP*
LESS THAN 4' 0"	1X4 OR 2X3	2X6
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4	2X8
GREATER THAN 11' 6"	2.5X4	2.5X8

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK,
SPICE, WEB AND HEEL PLATES.

* IF GABLE VERTICAL PLATES OVERLAP, USE A
SINGLE PLATE TO SPAN THE WEB.

EXAMPLE:



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

HAND DRIVEN NAILS:

10d COMMON (0.148" X 3.1" MIN) TOENAILS AT 4" O.C. PLUS

(4) 16d COMMON (0.162" X 3.5" MIN) TOENAILS IN TOP AND BOTTOM CHORD.

GUN DRIVEN NAILS:

8d COMMON (0.131" X 2.5" MIN) TOENAILS AT 4" O.C. PLUS

(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE
OR SBCCI WIND LOAD.

ASCE 7-93 GABLE DETAIL DRAWINGS

A1015EN0207, A10015EN0207, A08015EN0207, A07015EN0207,

A1030EN0207, A10030EN0207, A09030EN0207, A08030EN0207, A07030EN0207

ASCE 7-98 GABLE DETAIL DRAWINGS

A13015EC0207, A12015EC0207, A11015EC0207, A08515EC0207,

A13030EC0207, A12030EC0207, A11030EC0207, A08530EC0207

ASCE 7-02 GABLE DETAIL DRAWINGS

A13015EE0207, A12015EE0207, A11015EE0207, A08515EE0207,

A13030EE0207, A12030EE0207, A11030EE0207, A08530EE0207

ASCE 7-05 GABLE DETAIL DRAWINGS

A13015E50207, A12015E50207, A11015E50207, A08515E50207,

A13030E50207, A12030E50207, A11030E50207, A08530E50207

SEE APPROPRIATE ALPINE GABLE DETAIL (ASCE OR SBCCI

WIND LOAD) FOR MAXIMUM UNREINFORCED GABLE

VERTICAL LENGTH.

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND
BRACING. REFER TO BCST (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI TRUSS PLATE
INSTITUTE, 218 NORTH LEE STR., SUITE 312, ALEXANDRIA, VA, 22314, AND VITA (WOOD TRUSS COUNCIL OF
AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE
FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL
PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ITV BCS, INC. SHALL
NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN
CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AF&PA) AND TPI
TRUSS MANUFACTURING PRACTICES. ALL TRUSSES ARE MADE OF 20/18/16GA (W/H/SS/K) ASTM A653 GRADE 40/60 (A/X/H/SS)
GALV. BCG CONNECTION PLATES ARE MADE OF 20/18/16GA (W/H/SS/K) ASTM A653 GRADE 40/60 (A/X/H/SS)
GALV. BCG CONNECTION PLATES. ALL TRUSSES ARE MADE OF 20/18/16GA (W/H/SS/K) ASTM A653 GRADE 40/60 (A/X/H/SS)
DESIGN. POSITION PER DRAWINGS 1604-7. ANY INSPECTION OF TRUSSES FIELDED BY THIS FIRM SHALL BE PER
ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL
ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND
USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER
ANSI/TPI 1 SEC. 2.

ALPINE

ITV BUILDING COMPONENTS GROUP, INC.
POMPANO BEACH, FLORIDA

2X6 "T"
REINFORCING
MEMBER

2X4 "T"
REINFORCING
MEMBER

TOENAIL

TOENAIL

TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS,
MULTIPLY "T" FACTOR BY LENGTH (BASED ON GABLE
VERTICAL SPECIES, GRADE AND SPACING) FOR (1)
2X4 "L" BRACE, GROUP A, OBTAINED FROM THE
APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR
SBCCI WIND LOAD.

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL
LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINFORCING MEMBER SIZE	SBCCI	ASCE
110 MPH	2x4	10 %	10 %
15 FT	2x6	40 %	50 %
110 MPH	2x4	10 %	10 %
30 FT	2x6	50 %	50 %
100 MPH	2x4	10 %	10 %
15 FT	2x6	30 %	50 %
100 MPH	2x4	10 %	10 %
30 FT	2x6	40 %	40 %
90 MPH	2x4	20 %	10 %
15 FT	2x6	20 %	40 %
90 MPH	2x4	10 %	10 %
30 FT	2x6	30 %	50 %
80 MPH	2x4	10 %	20 %
15 FT	2x6	10 %	30 %
80 MPH	2x4	20 %	10 %
30 FT	2x6	20 %	40 %
70 MPH	2x4	0 %	20 %
15 FT	2x6	0 %	20 %
70 MPH	2x4	10 %	20 %
30 FT	2x6	10 %	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH

MEAN ROOF HEIGHT = 30 FT

GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2X4

(1) 2X4 "L" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH

1.10 x 6' 7" = 7' 3"

THIS DRAWING REPLACES DRAWINGS GAB98117 876,719 & HC26294035

REF LET-IN VERT

DATE 2/23/07

DRWG GBLLETIN0207

-ENG DLJ/KAR

MAX TOT. LD. 60 PSF

DUR. FAC. ANY

MAX SPACING 24.0"

26644

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 BAYA

City: LAKE CITY **Phone:** 752 1703

Site Location: Subdivision _____

Lot # _____ **Block#** _____ **Permit #** 26644

Address: 527 NW INDIAN SPRINGS DR

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

NEW GARAGE

1484

162

8.5

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

1-29-08

Date

2:15

Time

DAVID FULLER

Print Technician's Name

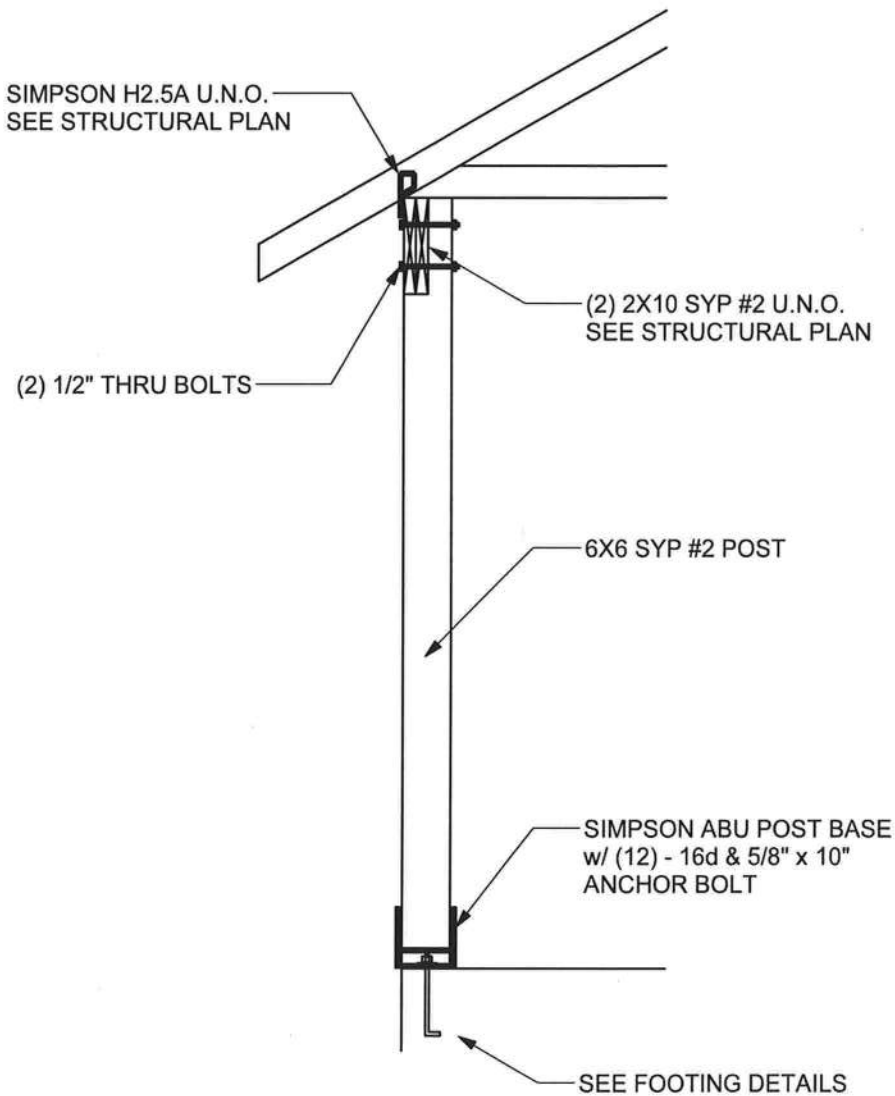
Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

Permit # 26644



TYPICAL PORCH POST DETAIL

SCALE: 1/2" = 1'-0"

form or manner without first the express written permission and consent of Mark Disosway.

CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with section R301.2.1, Florida building code residential 2004, to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

MARK DISOSWAY
P.E. 53915

Mark Disosway
12 FEB 2008
SEAL

Brad Barney Garage

ADDRESS:
Lot 14 Blk. B Oakhaven S/D
Columbia county, Florida

Mark Disosway P.E.
P.O. Box 868
Lake City, Florida 32056
Phone: (386) 754 - 5419
Fax: (386) 269 - 4871

PRINTED DATE:
February 12, 2008

DRAWN BY:

CHECKED BY:

FINALS DATE:
01 / Feb / 08

JOB NUMBER:
711202

DRAWING NUMBER

OF 3 SHEETS

